

STRIP FOOTINGS -	
FOR SINGLES & SEMIS UP TO 2 STOREY	
8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS 20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS. 24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.	
FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS 24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.	
FOOTINGS ON ENGINEERED FILL	
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW EXTERIOR WALLS. 30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS. (REFER TO FOOTING DETAILS ON ENGINEERED FILL)	
ASSUME THE LARGER FOOTING SIZE	
WHEN TWO CONDITIONS APPLY	
ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.	

PAD FOOTINGS	
120 KPa NATIVE SOIL	90 KPa ENGINEERED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD	F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD	F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD	F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD	F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD	F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)	

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FDTN. WALL IS REQUIRED.
--

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT
--

BRICK VENEER LINTELS	
WL1 = 3-1/2"x3-1/2"x1/4"L (90x90x6.OL) + 2-2"x8" SPR. No.2	
WL2 = 4"x3-1/2"x5/16"L (100x90x8.OL) + 2-2"x8" SPR. No.2	
WL3 = 5"x3-1/2"x5/16"L (125x90x8.OL) + 2-2"x10" SPR. No.2	
WL4 = 6"x3-1/2"x3/8"L (150x90x10.OL) + 2-2"x12" SPR. No.2	
WL5 = 6"x4"x3/8"L (150x100x10.OL) + 2-2"x12" SPR. No.2	
WL6 = 5"x3-1/2"x5/16"L (125x90x8.OL) + 2-2"x12" SPR. No.2	
WL7 = 5"x3-1/2"x5/16"L (125x90x8.OL) + 3-2"x10" SPR. No.2	
WL8 = 5"x3-1/2"x5/16"L (125x90x8.OL) + 3-2"x12" SPR. No.2	
WL9 = 6"x4"x3/8"L (150x100x10.OL) + 3-2"x12" SPR. No.2	
WOOD LINTELS AND BEAMS	
WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)	
WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)	
WB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)	
WB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)	
WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)	
WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)	
WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)	
WB8 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)	
WB9 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)	

LAMINATED VENEER LUMBER (LVL) BEAMS	
LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)	
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)	
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)	
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)	
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)	
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)	
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)	
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)	
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)	
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)	
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)	
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)	
LVL8 = 2-1 3/4" x 14" (2-45x356)	
LVL9 = 3-1 3/4" x 14" (3-45x356)	
LVL10 = 2-1 3/4" x 18" (3-45x456)	

LOOSE STEEL LINTELS	
L1 = 3-1/2"x3-1/2"x1/4"L (90x90x6.OL)	
L2 = 4"x3-1/2"x5/16"L (100x90x8.OL)	
L3 = 5"x3-1/2"x5/16"L (125x90x8.OL)	
L4 = 6"x3-1/2"x3/8"L (150x90x10.OL)	
L5 = 6"x4"x3/8"L (150x100x10.OL)	
L6 = 7"x4"x3/8"L (175x100x10.OL)	

DOOR SCHEDULE				
NOS.	WIDTH	HEIGHT 8'-0" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

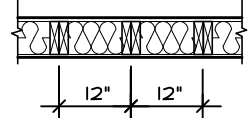
5.		
4.		
3.	LOT SPECIFIC FOR LOT 164	APRIL 2022
2.	ISSUED FOR PERMIT	MAY 2021
1.	ISSUED FOR COORDINATION	Feb 2021
REVISIONS		

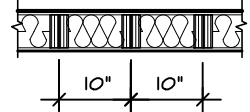
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7', 2 ROWS FOR SPANS GREATER THAN 7'
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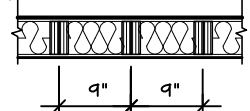
REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION
--

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @12" O.C. FULL HT C/W SOLID BLOCKING 4'-0" O.C. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.

NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0"
TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED AND NAILED TOGETHER AND SPACED MAX. @10" O.C. FULL HT C/W SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.

NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND MAXIMUM WIDTH IS 40'-0"
TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED AND NAILED TOGETHER AND SPACED MAX. @9" O.C. FULL HT C/W SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.

NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 21'-5" AND MAXIMUM WIDTH IS 40'-0"
TWO STORY HEIGHT WALL DETAIL

C1 = 4"x4"x1/4" H.S.S. W/ 10"x8"x1/2" BASE PLATE & 2-3/4" DIA. ANCHOR BOLTS C2 = 5"x5"x1/4" H.S.S. W/ 12"x12"x1/2" BASE PLATE & 4-3/4" DIA. ANCHOR BOLTS USE 4 BOLTS FOR MOMENT CONNECTION "M" - MOMENT CONNECTION BEAM/COLUMN = 35 kNm
--

AREA CALCULATIONS		ELEV. 2
GROUND FLOOR AREA	=	1276 Sq. Ft.
SECOND FLOOR AREA	=	1645 Sq. Ft.
TOTAL FLOOR AREA	=	2921 Sq. Ft.
		271.37 Sq. M.
1ST FLOOR OPEN AREA	=	0 Sq. Ft.
2ND FLOOR OPEN AREA	=	11 Sq. Ft.
ADD TOTAL OPEN AREAS	=	11 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2932 Sq. Ft.
		272.34 Sq. M.
GROUND FLOOR COVERAGE	=	1276 Sq. Ft.
GARAGE COVERAGE / AREA	=	397 Sq. Ft.
PORCH COVERAGE / AREA	=	58 Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1731 Sq. Ft.
		160.82 Sq. m.
TOTAL COVERAGE W/O PORCH	=	1673 Sq. Ft.
		155.43 Sq. m.

GLENROWAN 3		ELV. 2			
ELEVATION	WALL FT ²	WALL MT ²	OPENING FT ²	OPENING MT ²	PERCENTAGE
FRONT	748.37	69.53	115.22	10.70	15.40 %
LEFT SIDE	1145.57	106.43	69.01	6.41	6.02 %
RIGHT SIDE	1145.57	106.43	47.96	4.46	4.19 %
REAR	682.29	63.39	147.42	13.70	21.61 %
TOTAL	3721.80	345.77	379.61	35.27	10.20 %

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING	
COMPLIANCE PACKAGE "A1"	
COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.51 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSE FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	3.81 (R22)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY RATING = 25, MAX. U=0.28
SPACE HEATING EQUIPMENT MINIMUM AFUE	96%
HRV MINIMUM EFFICIENCY	75%
HOT WATER TANK	MIN. EF 0.80

Lot 164 Construction Set



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GLENROWAN 3-164

COMPLIANCE PACKAGE "A1"



PROJECT NAME
ROUNDEL

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
SIGNATURE
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
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P (416) 736-4096
F (905) 660-0746

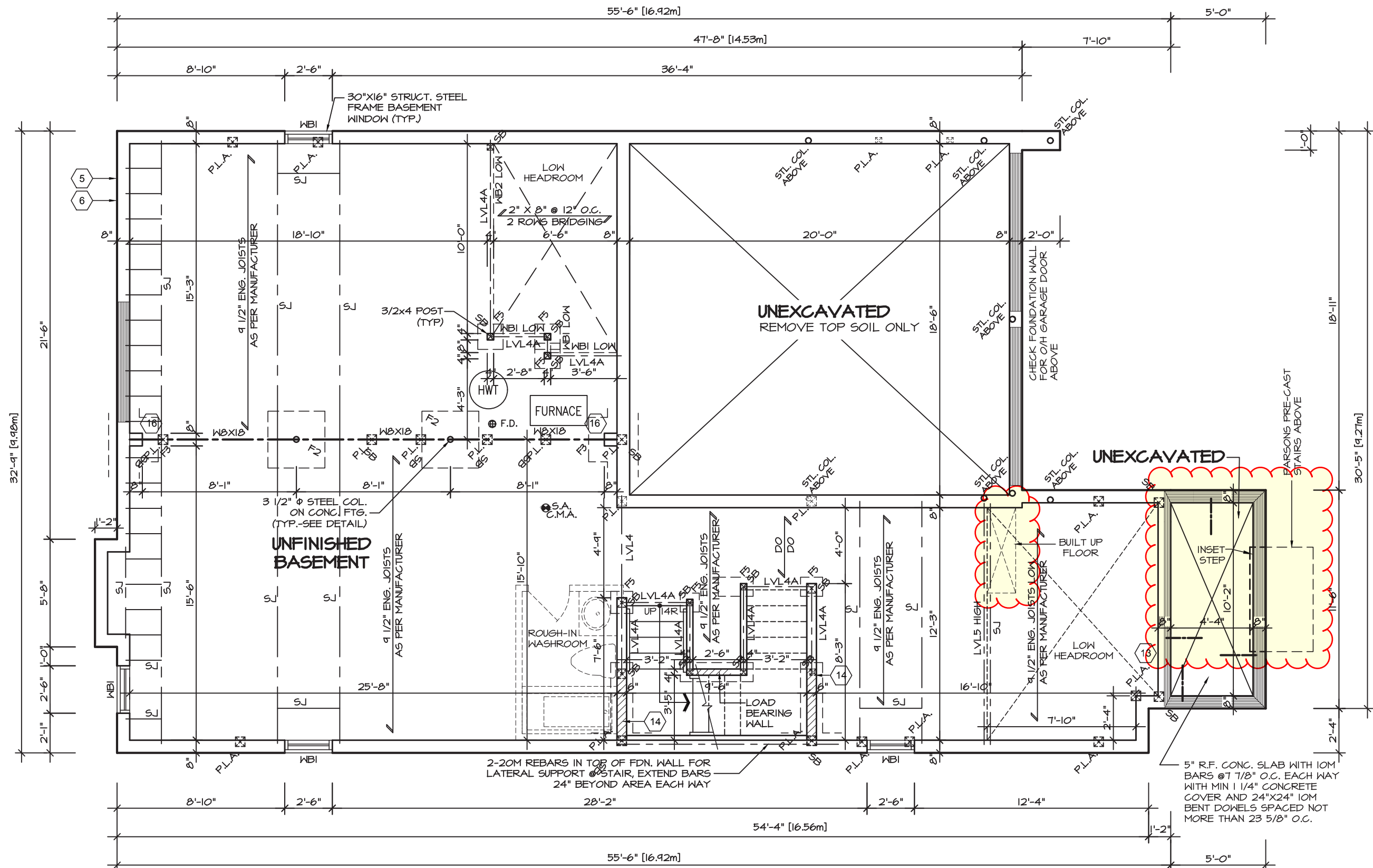
REGION DESIGN INC.

GENERAL NOTES & CHARTS

SCALE	BY MB
DATE JAN 2021	TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA 2,930	PAGE No. 0
PROJECT 12-04-19	



BASEMENT FLOOR PLAN 2

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

THE ENGINEER OF RECORDED SHALL PROVIDE THE BUILDING INSPECTOR WITH A FIELD REVIEW REPORT

STRUDET INC.



FOR STRUCTURE ONLY

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Richmond Hill City of Richmond Hill Building Division
REVIEWED
By: **KER** Date: **11/25/2022**
Building Permit #: **BP#-2022-01148**
All construction shall comply with the Ontario Building Code and all other applicable statutory regulations. The reviewed documents must be kept on site at all times.
Building inspection line: 905-771-5465 (24 hr)
buildinginspections@richmondhill.ca
Building inquiry line 905-771-8810
building@richmondhill.ca

These drawings shall be read in conjunction with drawings issued with building permit:
RM#-2022-00085

CITY OF RICHMOND HILL BUILDING DIVISION
09/22/2022
RECEIVED
Per:maddy.toalaalejandro

GLENROWAN 3-164
COMPLIANCE PACKAGE "A1"

5.		
4.		
3.	LOT SPECIFIC FOR LOT 164	APRIL 2022
2.	ISSUED FOR PERMIT	MAY 2021
1.	ISSUED FOR COORDINATION	Feb 2021
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
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8700 DUFFERIN ST.
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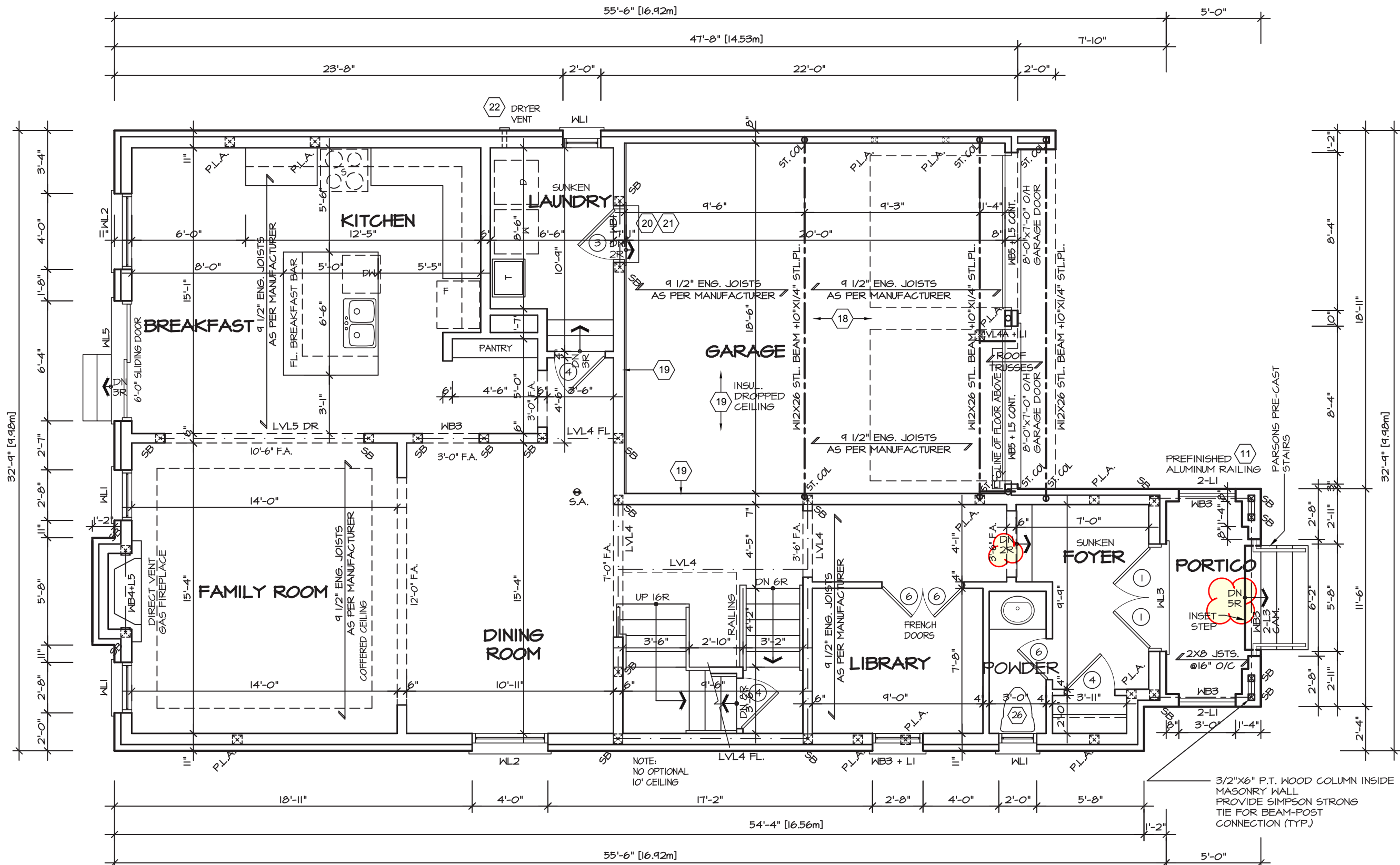


SHEET TITLE
BASEMENT PLAN ELEVATION 2
SCALE
3/16"=1'-0"
DATE
JAN 2021
BY
MB
TYPE

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AREA
2,930
PAGE No.
1-2
PROJECT
12-04-19

Greenpark
PROJECT NAME
ROUNDEL



FIRST FLOOR PLAN 2

CITY OF RICHMOND HILL
BUILDING DIVISION
09/22/2022
RECEIVED
Per:maddy.toalaalejandro

GLENROWAN 3-164
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REGION
DESIGN
INC.

SHEET TITLE
FIRST FLOOR
ELEVATION 2
SCALE
3/16"=1'-0"
DATE
JAN 2021

BY
MB
TYPE

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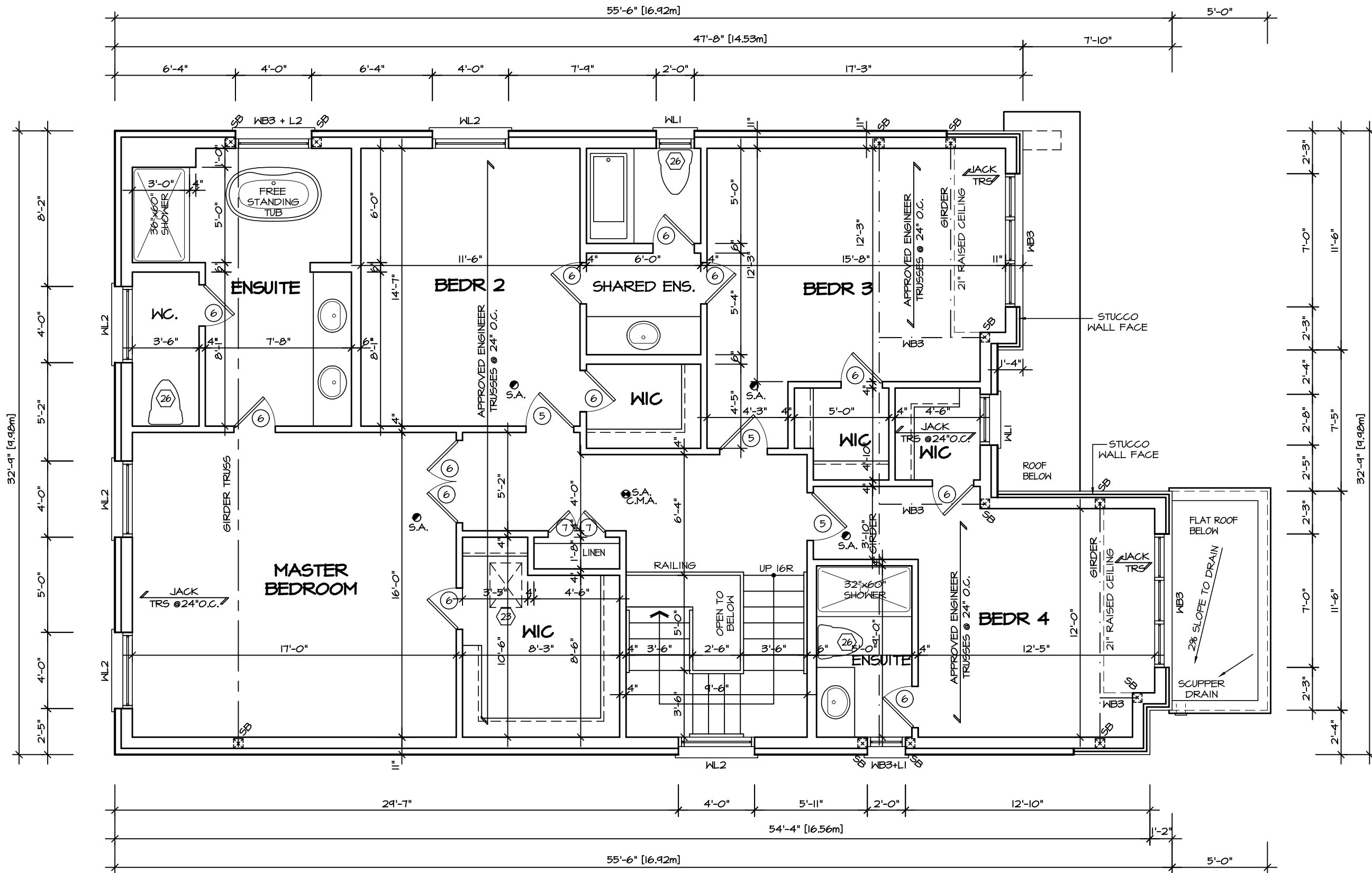
AREA
2,930
PAGE No.
2-2
PROJECT
12-04-19

Greenpark™
PROJECT NAME
ROUNDEL

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
APR 7, 2022
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

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SECOND FLOOR PLAN 2



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GLENROWAN 3-164

COMPLIANCE PACKAGE "A1"

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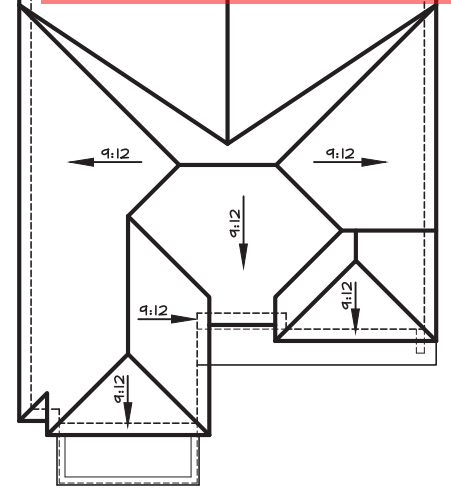
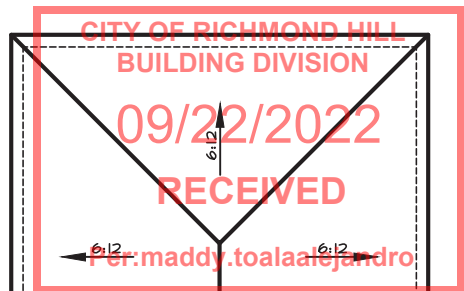


SHEET TITLE SECOND FLOOR ELEVATION 2	
SCALE 3/16"=1'-0"	BY MB
DATE JAN 2021	TYPE

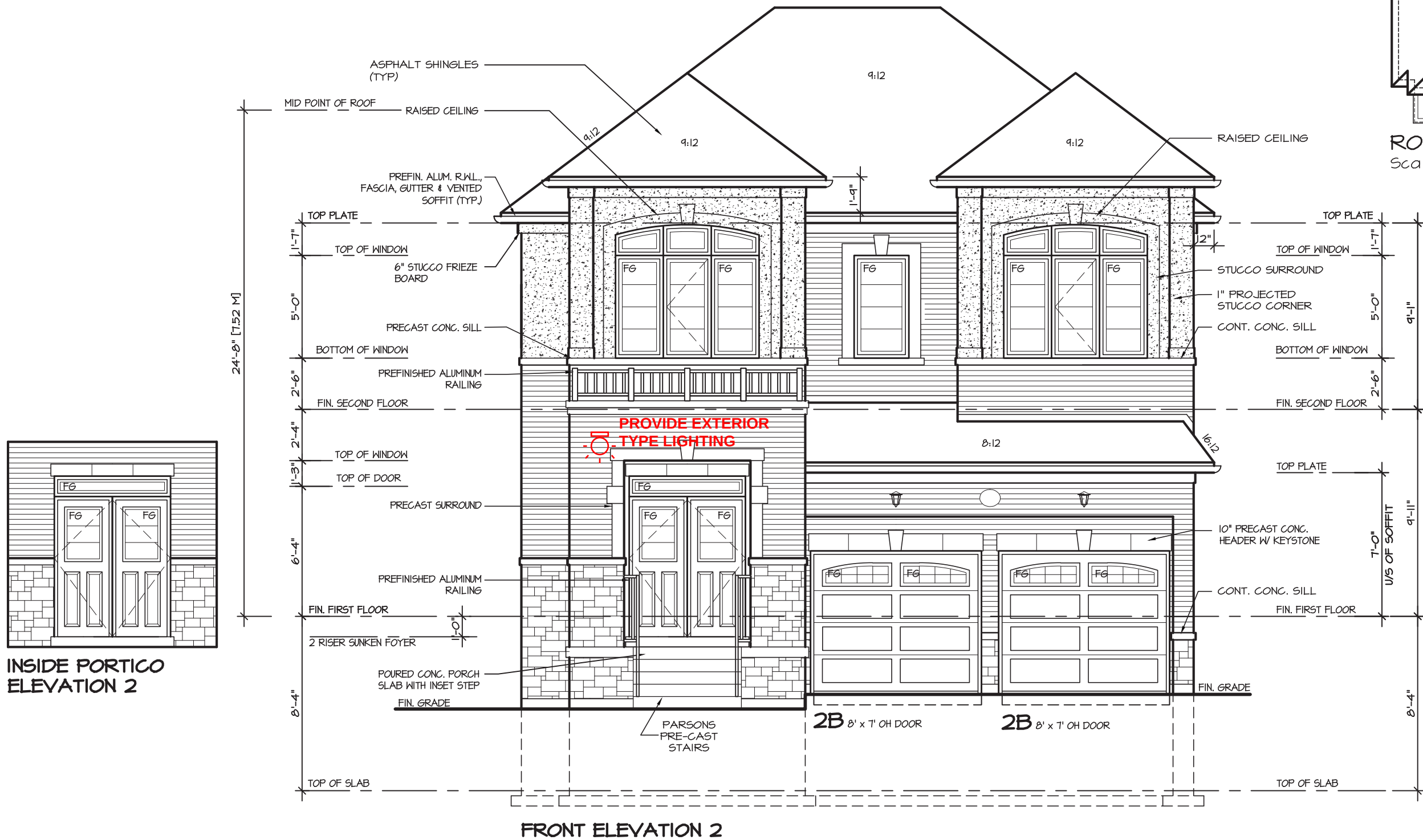
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AREA 2,930	PAGE No. 3-2
PROJECT 12-04-19	



PROJECT NAME
ROUNDEL



ROOF PLAN 2
Scale: 1/16"=1'-0"



INSIDE PORTICO
ELEVATION 2

W Architect Inc.
DESIGN CONTROL REVIEW
MAY 03, 2022
FINAL BY: GGE
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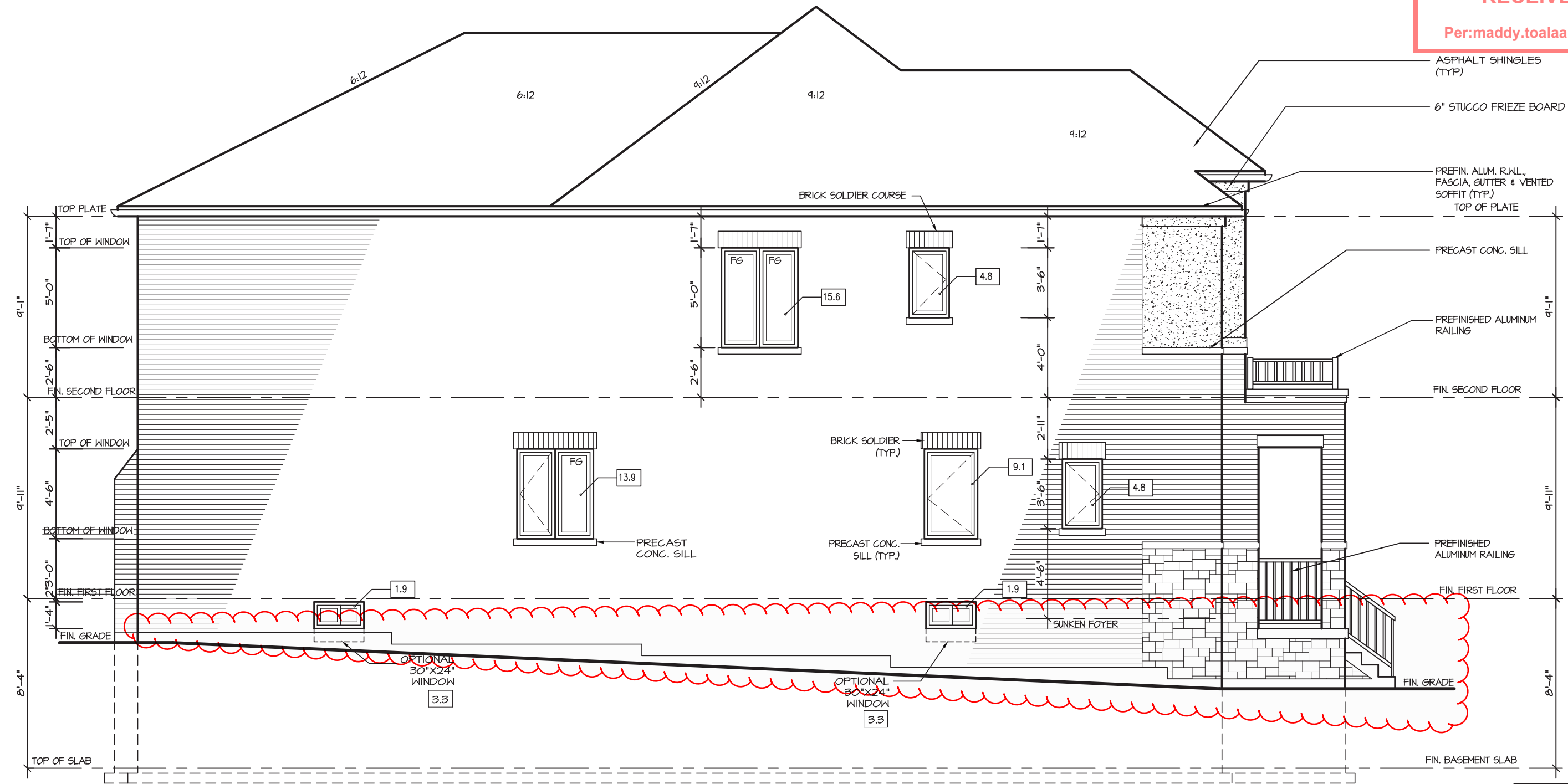
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REGION
DESIGN
INC.

SHEET TITLE FRONT ELEVATION 2	
SCALE 3/16"=1'-0"	BY MB
DATE JAN 2021	TYPE

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AREA 2,930	PAGE No. 4-2
PROJECT 12-04-19	

	PROJECT NAME ROUNDEL



LEFT ELEVATION 2

ALLOWABLE GLAZING

WALL AREA	1145.00
ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDEYARD)	80.15
ACTUAL WINDOW AREA	52.00
WITH OPTIONAL 30"X24" BASEMENT WINDOWS ACTUAL OPENING AREA	54.80

W Architect Inc.
DESIGN CONTROL REVIEW
MAY 03, 2022
FINAL BY: GGE
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REGION
DESIGN
INC.

SHEET TITLE

LEFT SIDE
ELEVATION 2

SCALE
3/16"=1'-0"

DATE
JAN 2021

BY
MB

TYPE

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AREA
2,930

PROJECT
12-04-19

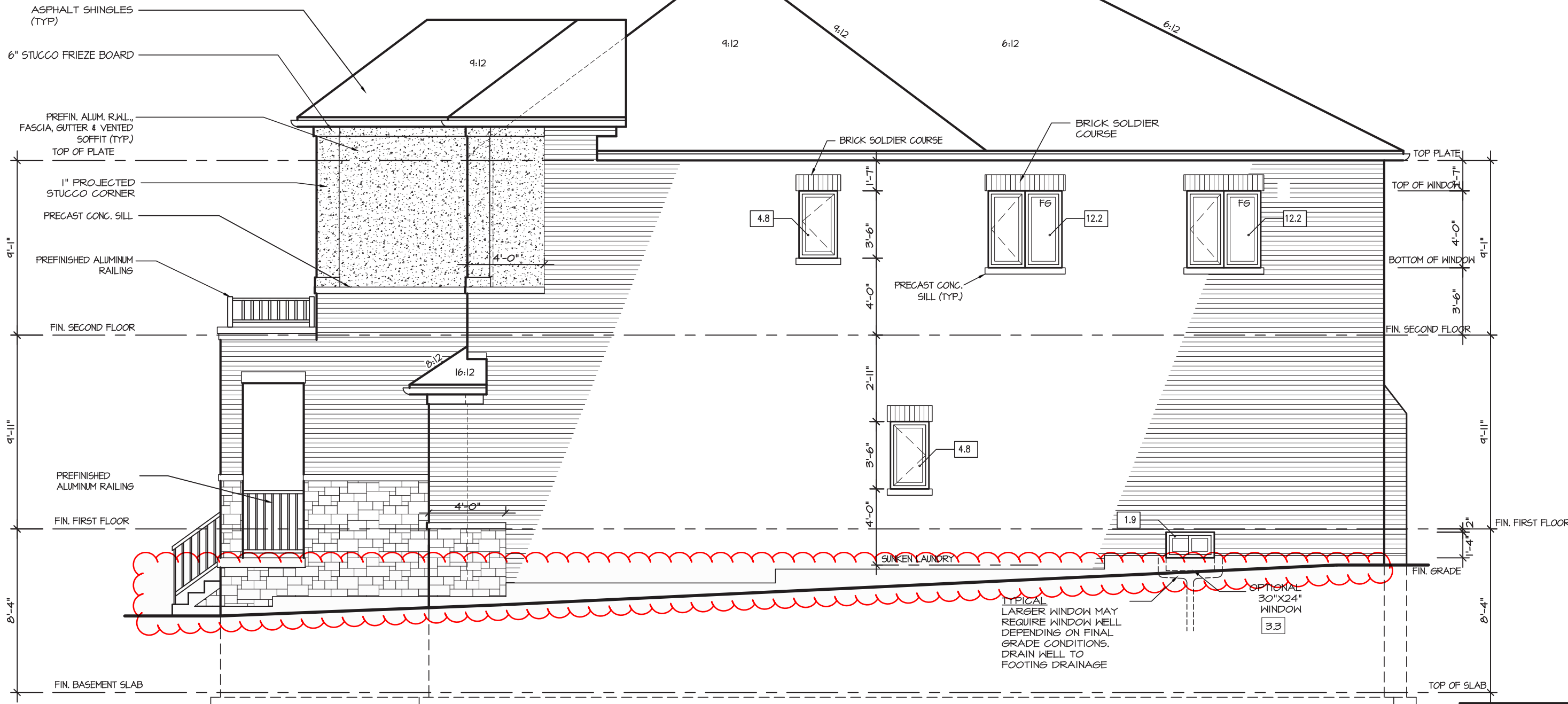
PAGE No.

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Greenpark™

PROJECT NAME

ROUNDEL



ASPHALT SHINGLES (TYP)
6" STUCCO FRIEZE BOARD
PREFIN. ALUM. RAIL., FASCIA, GUTTER & VENTED SOFFIT (TYP.)
TOP OF PLATE
1" PROJECTED STUCCO CORNER
PRECAST CONC. SILL
PREFINISHED ALUMINUM RAILING
FIN. SECOND FLOOR
FIN. FIRST FLOOR
FIN. BASEMENT SLAB

9:12

9:12

6:12

BRICK SOLDIER COURSE

BRICK SOLDIER COURSE

4.8

12.2

12.2

PRECAST CONC. SILL (TYP.)

4.8

1.9

3.3

TYPICAL LARGER WINDOW MAY REQUIRE WINDOW WELL DEPENDING ON FINAL GRADE CONDITIONS. DRAIN WELL TO FOOTING DRAINAGE

OPTIONAL 30"x24" WINDOW

RIGHT ELEVATION 2

ALLOWABLE GLAZING

WALL AREA

WALL AREA	1145.00
ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDEYARD)	80.15
ACTUAL WINDOW AREA	35.90
WITH OPTIONAL 30"x24" BASEMENT WINDOWS ACTUAL OPENING AREA	37.30

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Richmond Hill

W Architect Inc.
DESIGN CONTROL REVIEW
MAY 03, 2022
FINAL BY: GGE
This stamp is only for the purposes of design control and carries no other professional obligations.

GLENROWAN 3-164

COMPLIANCE PACKAGE "A1"

5.		
4.		
3.	LOT SPECIFIC FOR LOT 164	APRIL 2022
2.	ISSUED FOR PERMIT	MAY 2021
1.	ISSUED FOR COORDINATION	Feb 2021
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
SIGNATURE
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION
DESIGN
INC.

SHEET TITLE
RIGHT SIDE
ELEVATION 2

SCALE
3/16"=1'-0"

DATE
JAN 2021

BY
MB

TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA
2,930

PROJECT
12-04-19

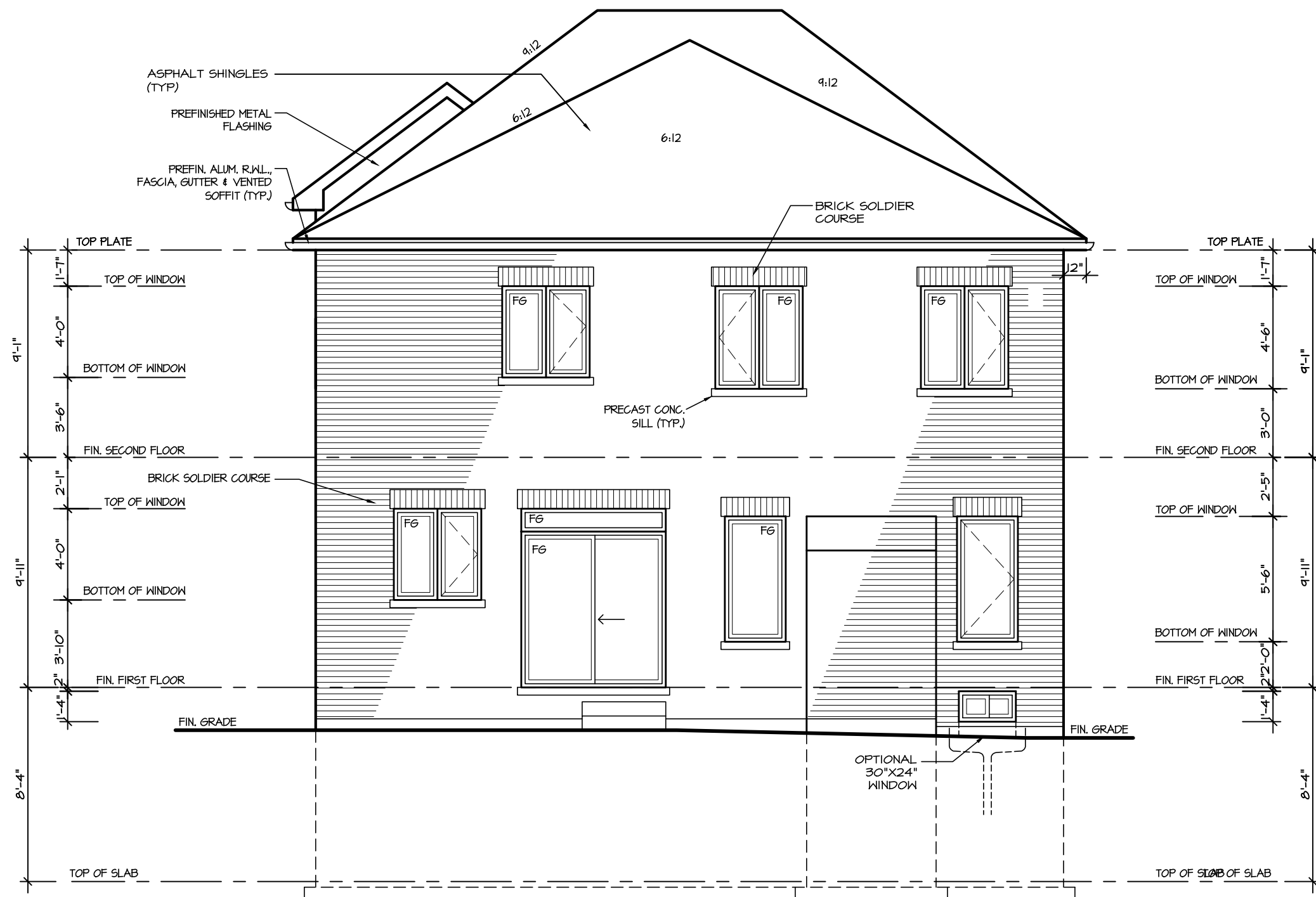
PAGE No.

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Greenpark™

PROJECT NAME

ROUNDEL



REAR ELEVATION 2

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GLENROWAN 3-164

COMPLIANCE PACKAGE "A1"

5.		
4.		
3.	LOT SPECIFIC FOR LOT 164	APRIL 2022
2.	ISSUED FOR PERMIT	MAY 2021
1.	ISSUED FOR COORDINATION	Feb 2021
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
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**REGION
DESIGN
INC.**

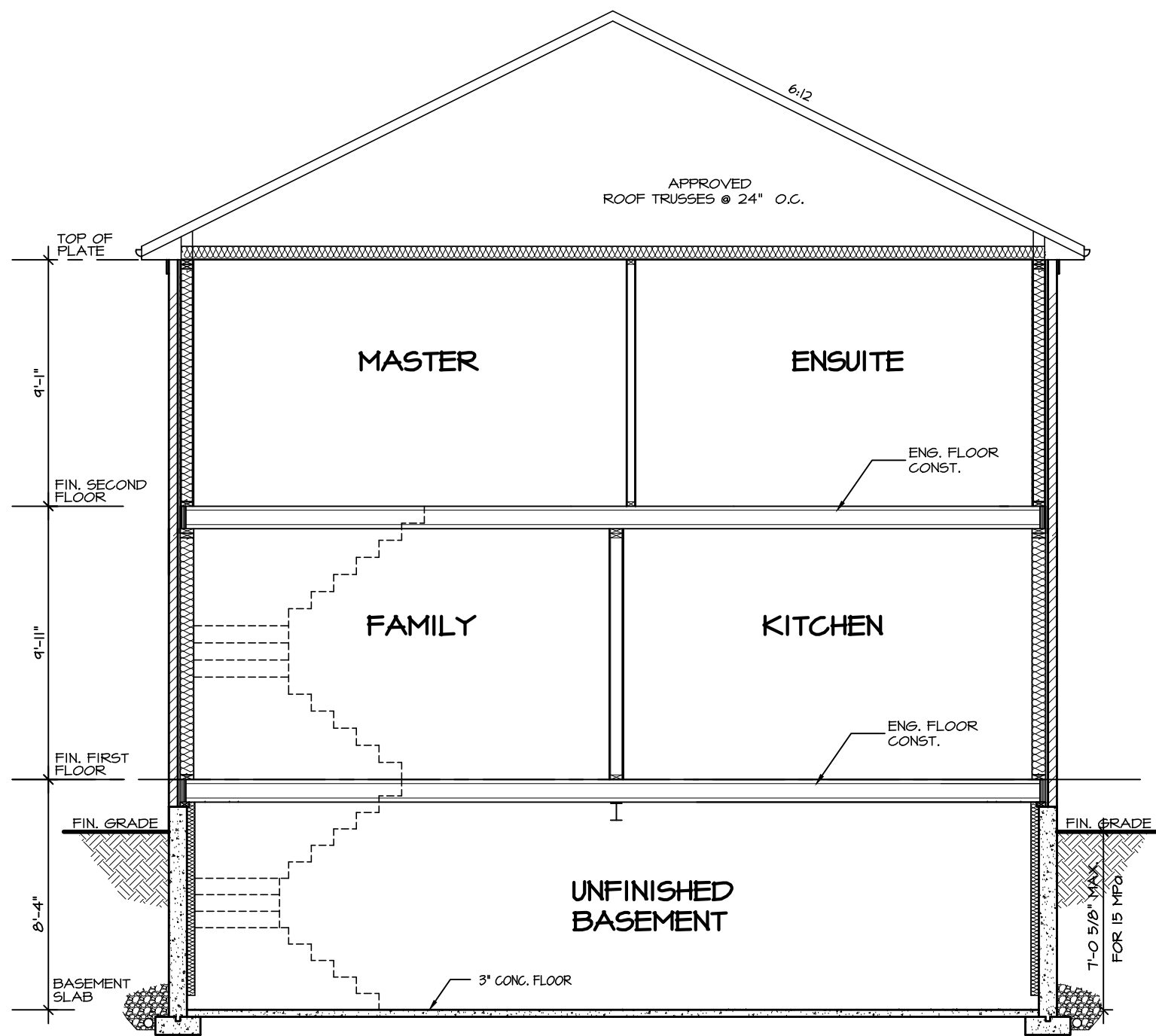
SHEET TITLE REAR ELEVATION 2	
SCALE 3/16"=1'-0"	BY MB
DATE JAN 2021	TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

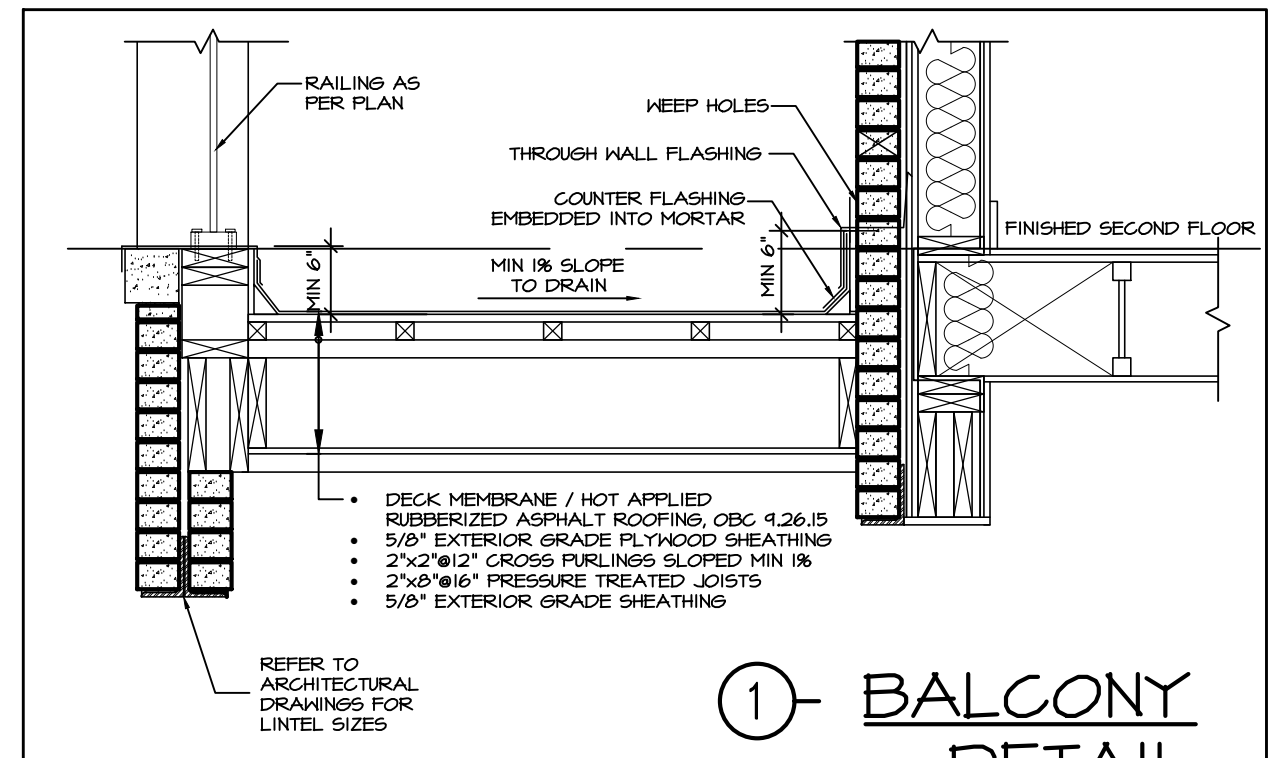
AREA 2,930	PAGE No. 7-2
PROJECT 12-04-19	



PROJECT NAME
ROUNDEL



CROSS SECTION



1- BALCONY
DETAIL
SCALE:
3/4"=1'0"



FOR STRUCTURE ONLY

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GLENROWAN 3-164

COMPLIANCE PACKAGE "A1"

5.		
4.		
3.	LOT SPECIFIC FOR LOT 164	APRIL 2022
2.	ISSUED FOR PERMIT	MAY 2021
1.	ISSUED FOR COORDINATION	Feb 2021
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

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F (905) 660-0746



SHEET TITLE CROSS SECTION ELEV. 1, 2 & 3	
SCALE 3/16"=1'-0"	BY MB
DATE JAN 2021	TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA 2,930	PAGE No. 8
PROJECT 12-04-19	

PROJECT NAME ROUNDEL	