

STRIP FOOTINGS FOR SINGLES AND SEMIS UP TO 2 STOREY	
120 KPa NATIVE SOIL 20"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS. 24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.	90 KPa ENGINEERED FILL SOIL 24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW FOUNDATION WALLS. 30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.
100 KPa NATIVE SOIL 22"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS. 26"x10" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS. OR 28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS	GENERAL NOTE: ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 99 KPa FOR ENGINEERED FILL. TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL FOOTING DETAIL FOR REINFORCEMENT. (REFER TO ENG. FILL FOOTING DETAIL)

PAD FOOTING		
120 KPa NATIVE SOIL F1 = 42"x42"x24" CONCRETE PAD F2 = 36"x36"x18" CONCRETE PAD F3 = 30"x30"x15" CONCRETE PAD F4 = 24"x24"x12" CONCRETE PAD F5 = 16"x16"x8" CONCRETE PAD	90 KPa ENGINEERED FILL SOIL F1 = 48"x48"x24" CONCRETE PAD F2 = 40"x40"x20" CONCRETE PAD F3 = 36"x36"x18" CONCRETE PAD F4 = 28"x28"x14" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD	100 KPa NATIVE SOIL F1 = 48"x48"x30" CONCRETE PAD F2 = 38"x38"x18" CONCRETE PAD F3 = 32"x32"x16" CONCRETE PAD F4 = 26"x26"x12" CONCRETE PAD F5 = 17"x17"x8" CONCRETE PAD

NOTE:
WHEN VENEER CUT IS GREATER THAN 26" A 10' POURED CONC. FOUNDATION WALL IS REQUIRED.

NOTE:
ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS:	
WL1 = 3'-1 1/2" x 3'-1 1/2" x 14" (90x90x6) - 2'-2" x 8" SPR.	WL6 = 5'-3 1/2" x 5'-16" (125x90x6) - 2'-2" x 12" SPR.
WL2 = 4'-3 1/2" x 5'-16" (100x90x6) - 2'-2" x 8" SPR.	WL7 = 5'-3 1/2" x 5'-16" (125x90x6) - 3'-2" x 10" SPR.
WL3 = 5'-3 1/2" x 5'-16" (125x90x6) - 2'-2" x 10" SPR.	WL8 = 5'-3 1/2" x 5'-16" (125x90x6) + 3'-2" x 12" SPR.
WL4 = 6'-3 1/2" x 3'-8" (150x90x10) - 2'-2" x 12" SPR.	WL9 = 6'-4" x 3'-8" (150x100x10) + 3'-2" x 12" SPR.
WL5 = 6'-4" x 3'-8" (150x100x10) + 2'-2" x 12" SPR.	

WOOD LINTELS:	
WB1 = 2'-2" x 8" SPRUCE BEAM	WB6 = 3'-2" x 12" SPRUCE BEAM
WB2 = 3'-2" x 8" SPRUCE BEAM	WB7 = 5'-2" x 12" SPRUCE BEAM
WB3 = 2'-2" x 10" SPRUCE BEAM	WB10 = 4'-2" x 8" SPRUCE BEAM
WB4 = 3'-2" x 10" SPRUCE BEAM	WB11 = 4'-2" x 10" SPRUCE BEAM
WB5 = 2'-2" x 12" SPRUCE BEAM	

STEEL LINTELS:	
L1 = 3'-1 1/2" x 3'-1 1/2" x 14" (90 x 90 x 6)	L4 = 8'-3" x 3'-1 1/2" x 3'-8" (150 x 90 x 10)
L2 = 4'-3 1/2" x 3'-1 1/2" x 14" (100 x 90 x 6)	L5 = 8'-4" x 3'-8" (150 x 100 x 10)
L3 = 5'-3 1/2" x 3'-1 1/2" (125 x 90 x 6)	L6 = 7'-4" x 3'-8" (150 x 100 x 10)

LAMINATED VENEER LUMBER (LVL BEAMS)	
LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)	
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)	
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)	
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)	
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)	
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)	
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)	
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)	
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)	
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)	
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)	
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)	
LVL8 = 2-1 3/4" x 14" (2-45x356)	
LVL9 = 3-1 3/4" x 14" (3-45x356)	

Door Schedule				
NO.	WIDTH	HEIGHT 8' TO 9' CEILINGS	HEIGHT 10' OR MORE CEILINGS	TYPE
1	2'-10"	6'-8" (865x2033)	8'-0" (815x2439)	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8" (815x2033)	8'-0" (815x2439)	INSULATED FRONT DOORS
2	2'-8"	6'-8" (815x2033)	8'-0" (815x2439)	WOOD & GLASS DOOR
3	2'-8"	6'-8" x 1-3/4" (815x2033x45)	8'-0" x 1-3/4" (815x2439x45)	EXTERIOR SLAB DOOR
4	2'-8"	6'-8" x 1-3/8" (815x2033x35)	8'-0" x 1-3/8" (815x2439x35)	INTERIOR SLAB DOOR
5	2'-8"	6'-8" x 1-3/8" (760x2033x35)	8'-0" x 1-3/8" (760x2439x35)	INTERIOR SLAB DOOR
6	2'-2"	6'-8" x 1-3/8" (660x2033x35)	8'-0" x 1-3/8" (660x2439x35)	INTERIOR SLAB DOOR
7	1'-6"	6'-8" x 1-3/8" (480x2033x35)	8'-0" x 1-3/8" (480x2439x35)	INTERIOR SLAB DOOR
8	3'-0"	6'-8" x 1-3/8" (915x2033x35)	8'-0" x 1-3/8" (915x2439x35)	INTERIOR SLAB DOOR

AREA CALCULATIONS EL-1	
FIRST FLOOR AREA	= 1180 Sq. Ft.
SECOND FLOOR AREA	= 1385 Sq. Ft.
TOTAL FLOOR AREA	= 2565 Sq. Ft.
ADD OPEN AREAS	= 16 Sq. Ft.
ADD FIN. BASEMENT AREA	= 0 Sq. Ft.
GROSS FLOOR AREA	= 2581 Sq. Ft.
GROUND FLOOR COVERAGE	= 1180 Sq. Ft.
GARAGE COVERAGE / AREA	= 377 Sq. Ft.
PORCH COVERAGE / AREA	= 72 Sq. Ft.
COVERAGE W/ PORCH	= 1629 Sq. Ft.
COVERAGE W/ PORCH	= 151.34 Sq. m.
COVERAGE W/O PORCH	= 1557 Sq. Ft.
COVERAGE W/O PORCH	= 144.65 Sq. m.

AREA CALCULATIONS EL-2	
FIRST FLOOR AREA	= 1180 Sq. Ft.
SECOND FLOOR AREA	= 1383 Sq. Ft.
TOTAL FLOOR AREA	= 2563 Sq. Ft.
ADD OPEN AREAS	= 16 Sq. Ft.
ADD FIN. BASEMENT AREA	= 0 Sq. Ft.
GROSS FLOOR AREA	= 2579 Sq. Ft.
GROUND FLOOR COVERAGE	= 1180 Sq. Ft.
GARAGE COVERAGE / AREA	= 377 Sq. Ft.
PORCH COVERAGE / AREA	= 72 Sq. Ft.
COVERAGE W/ PORCH	= 1629 Sq. Ft.
COVERAGE W/ PORCH	= 151.34 Sq. m.
COVERAGE W/O PORCH	= 1557 Sq. Ft.
COVERAGE W/O PORCH	= 144.65 Sq. m.

AREA CALCULATIONS EL-3	
FIRST FLOOR AREA	= 1180 Sq. Ft.
SECOND FLOOR AREA	= 1402 Sq. Ft.
TOTAL FLOOR AREA	= 2582 Sq. Ft.
ADD OPEN AREAS	= 16 Sq. Ft.
ADD FIN. BASEMENT AREA	= 0 Sq. Ft.
GROSS FLOOR AREA	= 2598 Sq. Ft.
GROUND FLOOR COVERAGE	= 1180 Sq. Ft.
GARAGE COVERAGE / AREA	= 377 Sq. Ft.
PORCH COVERAGE / AREA	= 53 Sq. Ft.
COVERAGE W/ PORCH	= 1610 Sq. Ft.
COVERAGE W/ PORCH	= 149.57 Sq. m.
COVERAGE W/O PORCH	= 1557 Sq. Ft.
COVERAGE W/O PORCH	= 144.65 Sq. m.

City of Richmond Hill Building Division
REVIEWED
By: **KER** Date: **10/31/2022**
Building Permit #: RMH-2022-00081
All construction shall comply with the Ontario Building Code and all other applicable statutory regulations. The reviewed documents must be kept on site at all times.
Building Inspection line: 905-771-5485 (24 hr)
Building inspection@richmondhill.ca
Building inquiry line: 905-771-5810
building@richmondhill.ca

Refer to attached general notes and drawings.

These drawings have been reviewed under Compliance Option: **A1** of the OBC 2012, SB-12.

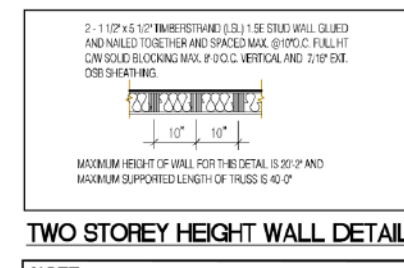
Windows, sliding glass doors and skylights shall comply with OBC 2012, SB-12, 3.1.1.9 for maximum U-Value.

City of Richmond Hill Building Division
INSPECTION NOTICES - HOUSING
You are required to notify the Inspection Section of the readiness to inspect at the following construction stages:
- Footings (prior to concrete placement)
- Building sewers (sewers)
- Water service pipe (sewers)
- Foundation (prior to backfill)
- Building drains (under slab)
- Plumbing rough-in
- HVAC rough-in
- Air barrier (prior to exterior cladding)
- Structural framing (exterior cladding completed)
- Insulation (includes vapour barrier)
- Solid fuel burning appliances
- Occupancy Permit

Please contact the Inspection Section by one of the following methods:
- E-mail: buildinginspections@richmondhill.ca
- Inspection fax line: 905-771-2528
- Inspection Request Line: 905-771-5485

A minimum of 2 business days is required. An inspection may be refused if permit documents are not a copy of the permit are not present on site. Please refer to other inspection information on the reverse of the permit card.

This review does not exempt the owner, designer and the builder from complying with all applicable regulations and by-laws of the City of Richmond Hill and the Ontario Building Code.



NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

W Architect Inc.
DESIGN CONTROL REVIEW
APRIL 28, 2022
FINAL RECENT BY: *W*

This stamp is only for the purposes of design control and carries no other professional obligations.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

THIS IS TO CERTIFY THAT THESE PLANS COMPLY WITH THE APPLICABLE ARCHITECTURAL DESIGN GUIDELINES APPROVED BY THE TOWN OF RICHMOND HILL.

CITY OF RICHMOND HILL BUILDING DIVISION
09/22/2022
RECEIVED
Per: Joshua.nabua

2581
11.6m LOTS
PINETREE 2(GR)
ELEVATION 1,2 & 3
A1 PACKAGE
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO ARCHITECTS OR GROUP PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR ANY ACCOUNT OF PLANNING, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION DETAILS SHOWN ON THE DRAWINGS OR ANY INFORMATION THAT MAY BE USED IN ANY MANNER. A LAMINATED VENEER LUMBER (LVL) PRODUCT IS NOT TO BE USED FOR ANY APPLICATIONS WHERE IT IS NOT SPECIFICALLY DESIGNED FOR.

JARDIN DESIGN GROUP INC. HAS NOT BEEN INFORMED TO VERIFY OR CORRECT REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONSTRUCTION OR THE CONSTRUCTION TO COMPLY WITH THE REQUIREMENTS OF THE OBC 2012, SB-12.

THE ENGINEER'S PROFESSIONAL OPINION OF SERVICE IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

7	
6	
5	
4	MAY 17, 2021 ISSUED FOR BUILDING PERMIT
3	MAY 12, 2021 COORDINATED ENGINEER & CLIENT COMMENTS
2	MAY 11, 2021 COORDINATED AS PER FLOOR JOIST & ROOF TRUSS DRAWINGS PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
1	FEB 22, 2021

No. DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.2 of the building code.

Walter Boffa *WBe* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.2 of the building code.

jardin design group inc. 27753
FIRM NAME BCIN

TITLE SHEET
ROUNDEL HOMES INC.
RICHMOND HILL

MODEL	T
SCALE:	3/16" = 1'-0"
PRINT No.	20-31
DWG. No.	0

THE ENGINEER OF RECORD SHALL
PROVIDE THE BUILDING INSPECTOR
WITH A FIELD REVIEW REPORT

2581

11.6m LOTS

PINETREE 2(GR)
ELEVATION 1

A1 PACKAGE

O.REG. 332/12

STRUDET INC
FOR STRUCTURAL ONLY



May 18/2021

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JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF EXISTING STRUCTURAL OR FOUNDATION INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFERENCE TO THE APPROXIMATE LOCATION OF UNDESIGNED OR UNLAWFUL WORK SHALL NOT BE CONSIDERED AS CONSTRUCTION INVAIANTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE DRAWING DOCUMENTS.
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7	
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4	MAY 17, 2021
3	MAY 12, 2021
2	MAY 11, 2021
1	FEB. 22, 2021
No.	DATE
	WORK DESCRIPTION:

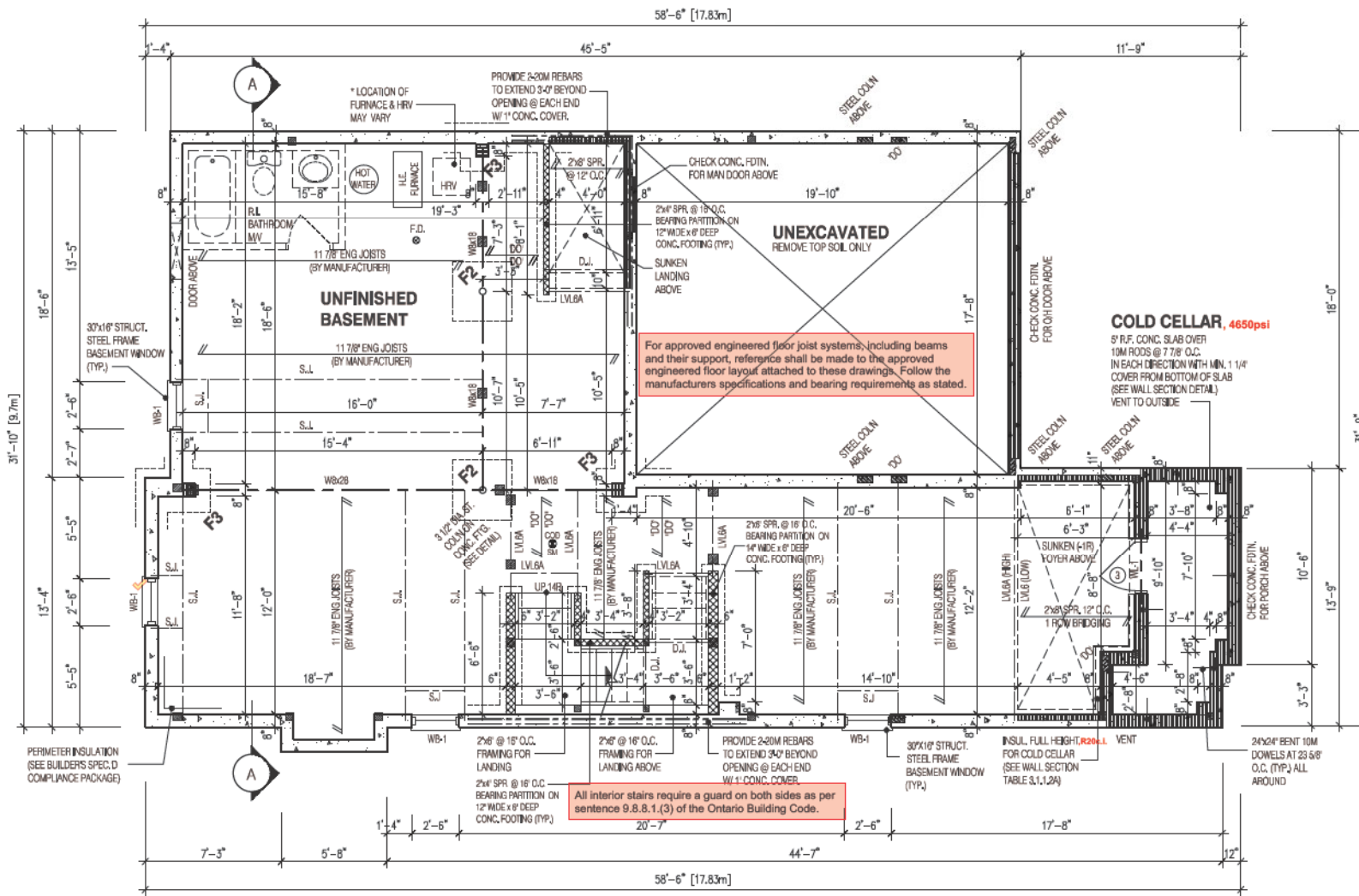
jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 1.2.1 of the Ontario Building Code.

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 1.2.4 of the building code.
jardin design group inc. 27763
FIRM NAME BCIN

BOUNDEL HOMES INC.
RICHMOND HILL
RICHMOND HILL

10/21/2022
3/16-1-10
BILD
20-31
1



NOTE:
REFER TO SHEET NO. G-1 FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7". 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:
SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL

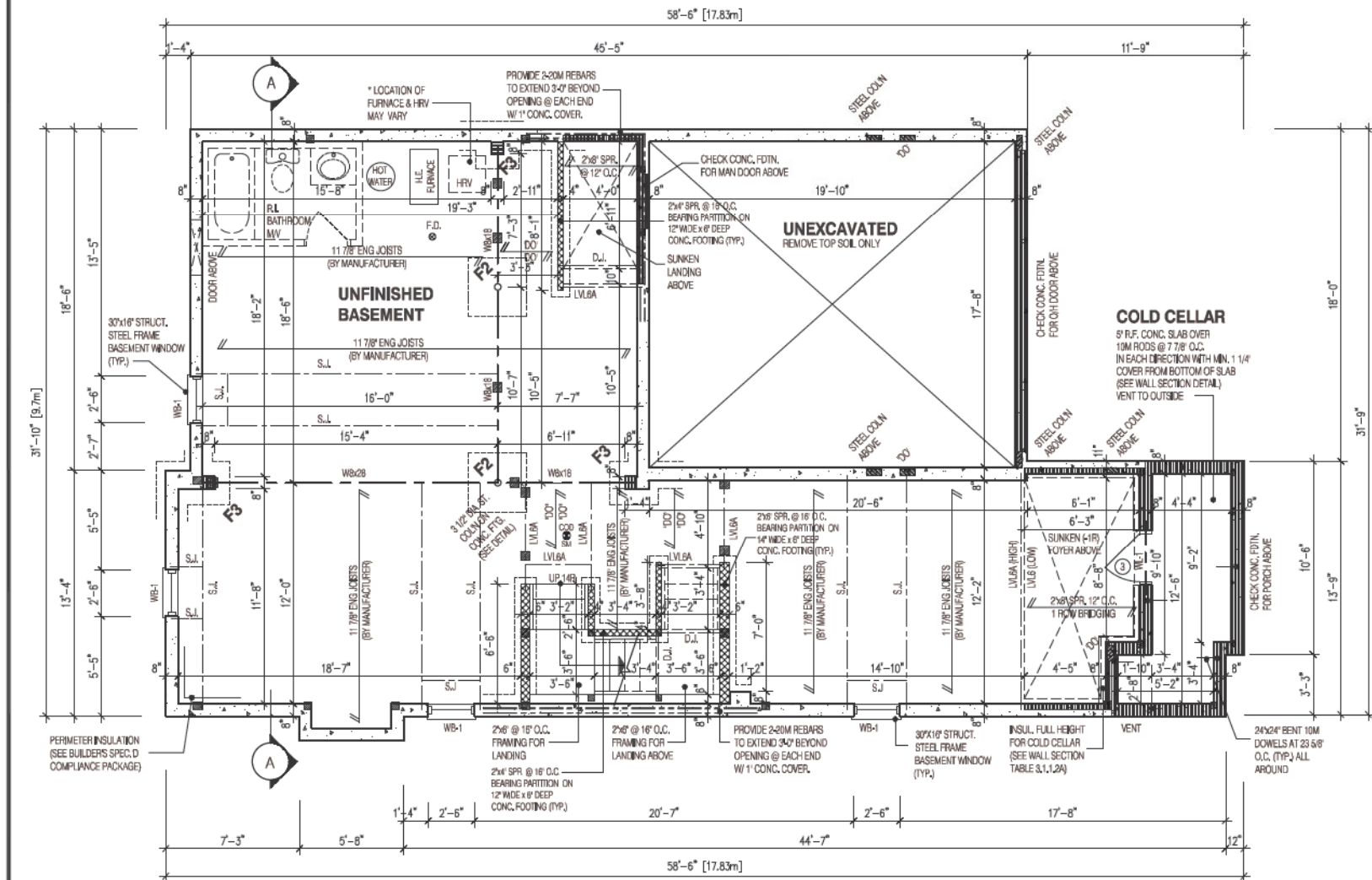
NOTE:
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE
- LVL LAMINATED VENEER LUMBER
- SINGLE JOIST
- DOUBLE JOIST
- TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of RICHMOND HILL.



NOTE:
REFER TO SHEET NO. 0-1 FOR UNTEL, BEAMS AND DOOR SIZE

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- LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

2581
11.6m LOTS
PINETREE 2(GR)
ELEVATION 2
A1 PACKAGE
O.REG. 332/12

STRUDET INC
FOR STRUCTURAL ONLY


B. MARINKOVIC
PROVINCE OF ONTARIO
May 18/2021

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7	
6	
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4	MAY 17, 2021
3	MAY 12, 2021
2	MAY 11, 2021
1	FEB. 22, 2021

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

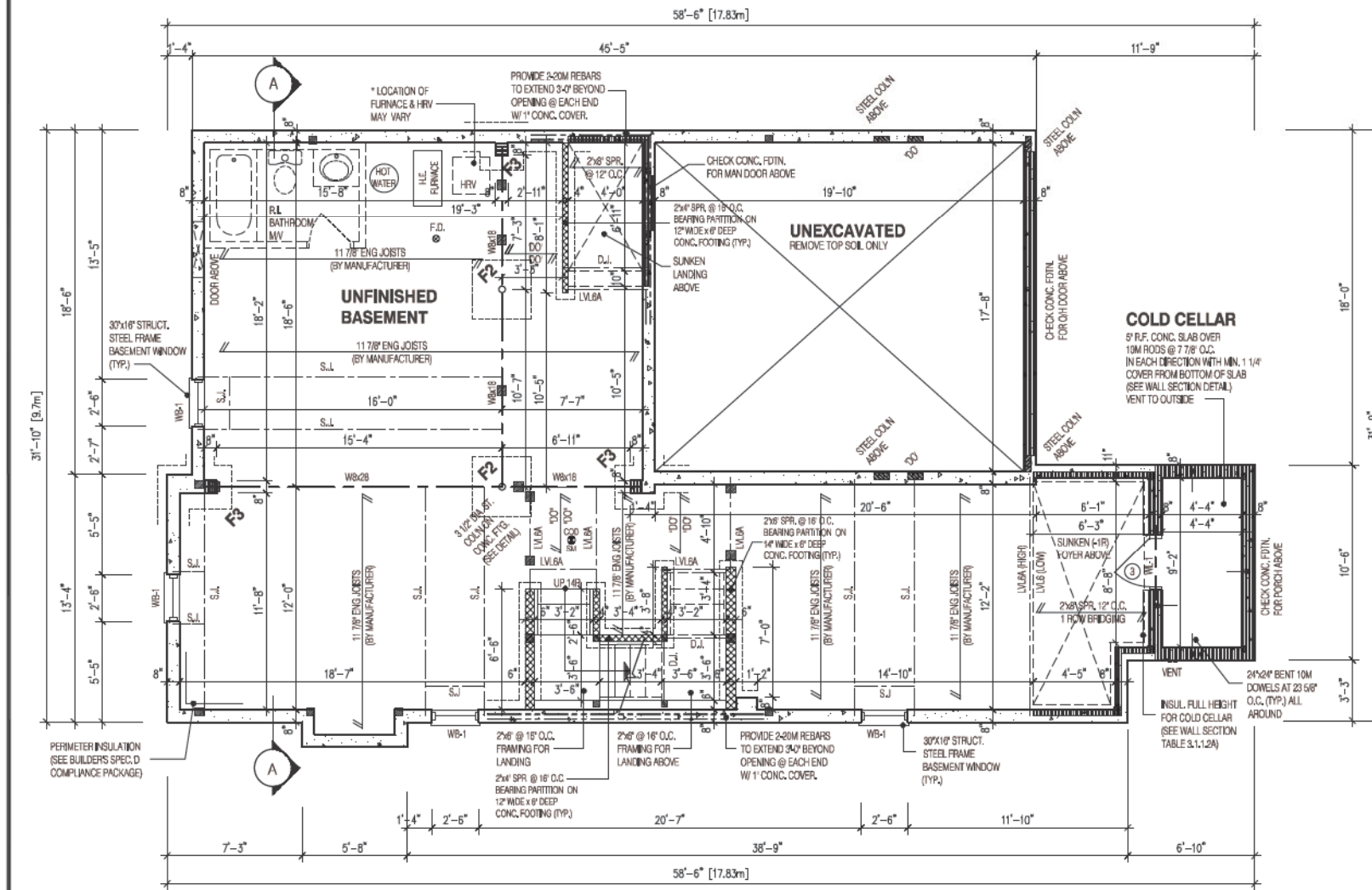
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Section 1.2.1 of the Ontario Building Code

Walter Botter  21031
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Section 1.2.4 of the building code
jardin design group inc. 27763
FIRM NAME BCIN

BASEMENT PLAN EL-2

BOUNDEL HOMES INC.
RICHMOND HILL
RICHMOND HILL
RICHMOND HILL

10/21/2022
3/16-1-0
PROJ. No. 20-31
DWG. No. 1A
BILD RECEIVED
Per: jordanm@bld.com



NOTE:
REFER TO SHEET NO. G-1 FOR UNTEL, BEAMS AND DOOR SIZE

NOTE:
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- STL. PLATE FOR STEEL COLUMN ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

2581
11.6m LOTS
PINETREE 2(GR)
ELEVATION 3
A1 PACKAGE
O.REG. 332/12

STRUDET INC
FOR STRUCTURAL ONLY

LICENSED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

May 18/2021

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1	FEB. 22, 2021 PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT

No: DATE: WORK DESCRIPTION:

jardin
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VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Section 1.2.1 of the Ontario Building Code

Walter Botter **UBC** **21031**
NAME SIGNATURE BCIN

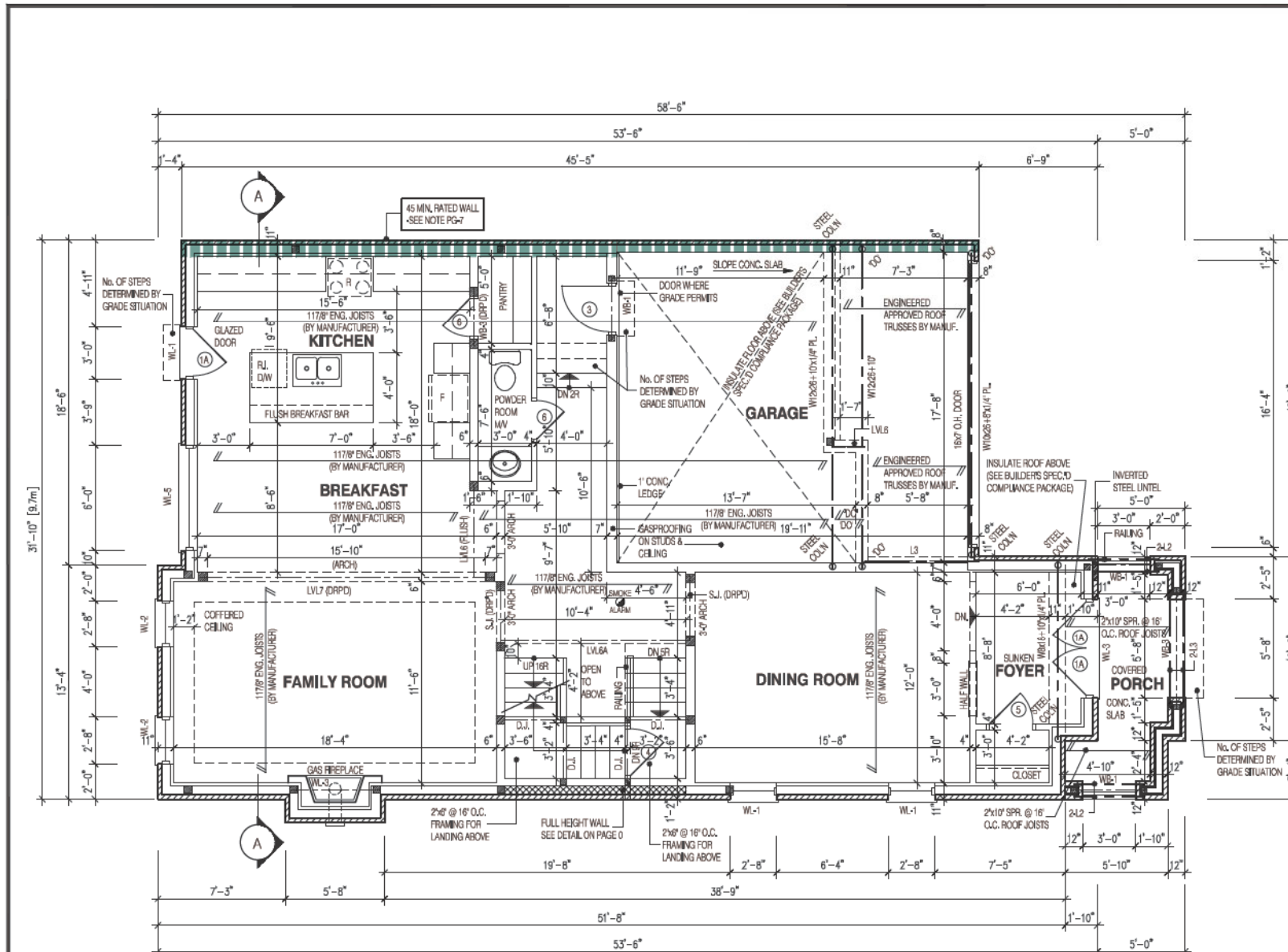
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Section 1.2.4 of the building code

jardin design group inc. **27763**
FIRM NAME BCIN

BASEMENT PLAN EL-3

ROUNDEL HOMES INC.
RICHMOND HILL
CONSTRUCTION

10/21/2022
3/16-14/2
BILD
20-31
1B



NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:
REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:
SUBFLOOR TO BE 5/8\"/>

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE
- LVL. LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

2581
11.6m LOTS
PINETREE 2(GR)
ELEVATION 2
A1 PACKAGE
O.REG. 332/12

STRUDET INC
FOR STRUCTURAL ONLY

LICENSED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

May 18/2021

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF EXISTING STRUCTURAL OR FOUNDATION INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFERENCE TO THE APPROVED FOUNDATION DIMENSIONS IS ONLY FOR GUIDANCE WITH WORK. AS CONSTRUCTED DIMENSIONS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THE DRAWING IS NOT TO BE COPIED.

7	
6	
5	
4	MAY 17, 2021
3	MAY 12, 2021
2	MAY 11, 2021
1	FEB. 22, 2021

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Section 1.2.1 of the building code.

Walter Botter 21031
NAME SIGNATURE BCIN

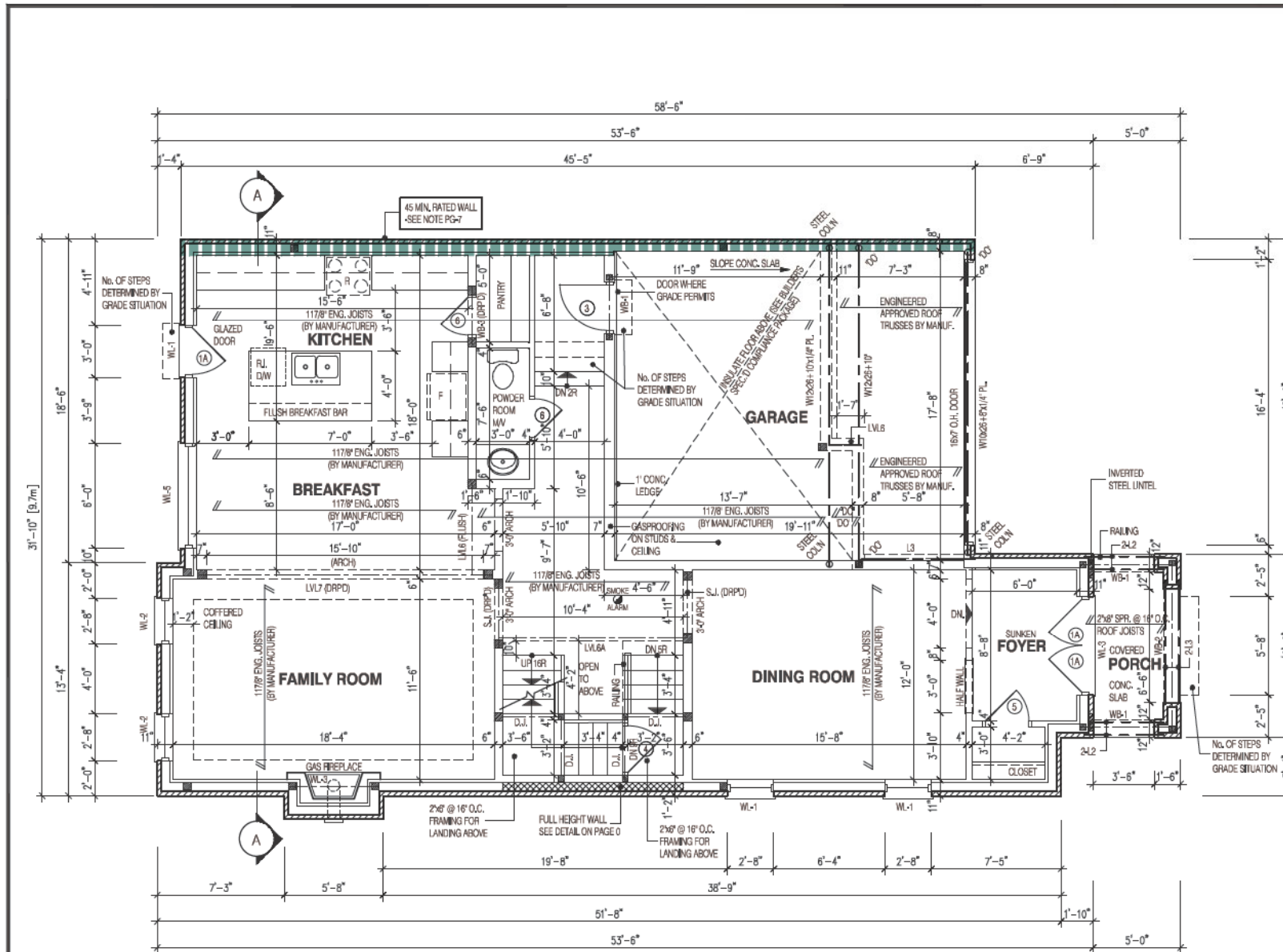
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Section 1.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

FIRST FLOOR PLAN EL-2

BOUNDARY HOMES INC.
RICHMOND HILL
RICHMOND HILL

19/2/2022
RECEIVED
BILD
20-31
2A



NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:
REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:
SUBFLOOR TO BE 5/8\"/>

LEGEND:

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- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of RICHMOND HILL.

2581
11.6m LOTS
PINETREE 2(GR)
ELEVATION 3
A1 PACKAGE
O.REG. 332/12

STRUDET INC
FOR STRUCTURAL ONLY



May 18/2021

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7	
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5	
4	MAY 17, 2021 ISSUED FOR BUILDING PERMIT
3	MAY 12, 2021 COORDINATED ENGINEER & CLIENT COMMENTS
2	MAY 11, 2021 COORDINATED AS PER FLOOR JOIST & ROOF TRUSS DRAWINGS
1	FEB. 22, 2021 PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

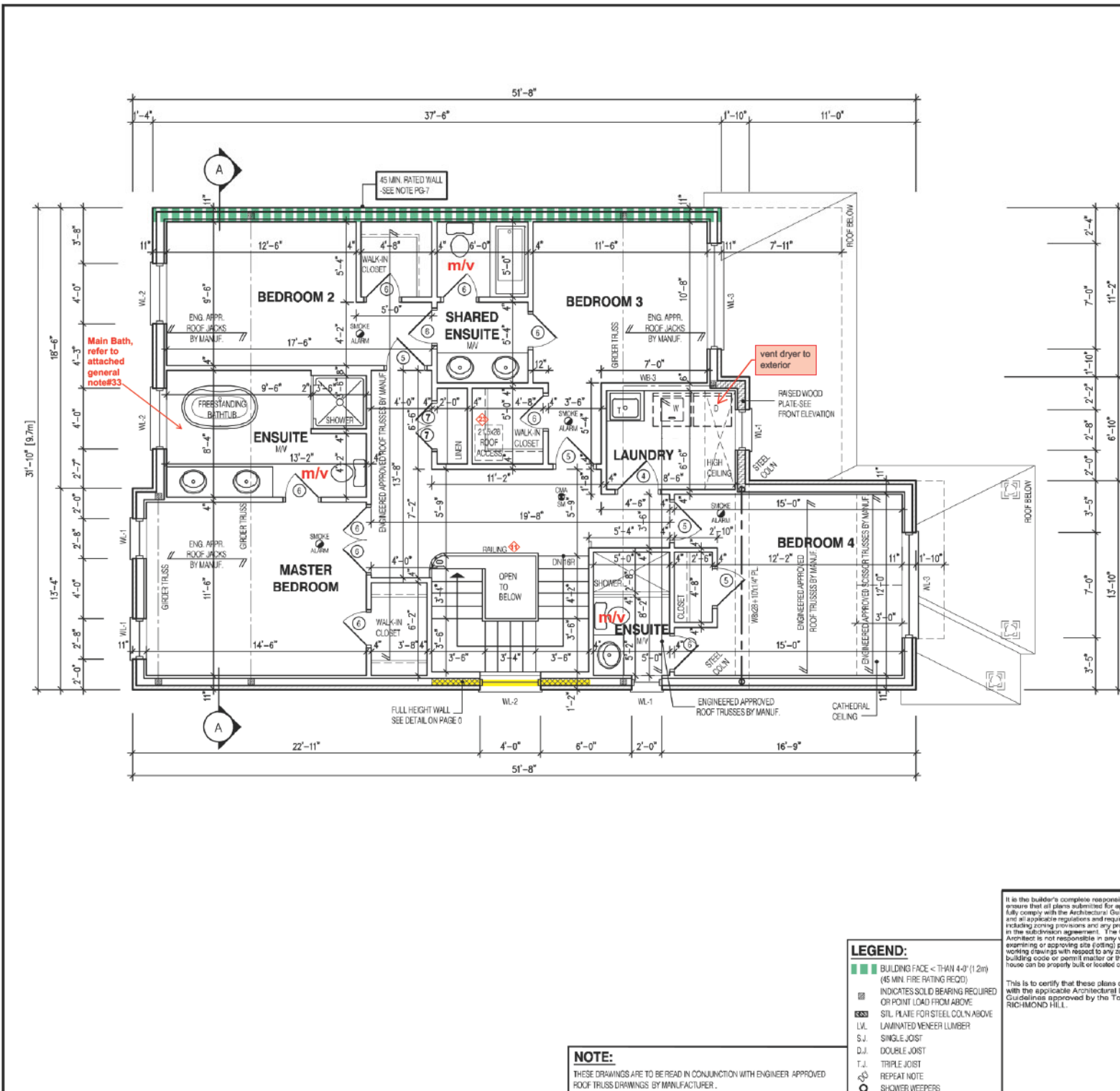
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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Section 1.2.1 of the building code

Walter Botter 21031
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Section 1.2.4 of the building code
jardin design group inc. 27763
FIRM NAME BCIN

FIRST FLOOR PLAN EL-3

BOUNDARY HOMES INC.
RICHMOND HILL
10/21/2022
SCALE 3/16"=1'-0"
PROJ. NO. 20-31
DWG. NO. 2B
BILD RECEIVED



2581

11.6m LOTS

PINETREE 2(GR)

ELEVATION 1

A1 PACKAGE

O.REG. 332/12

STRUDET INC

FOR STRUCTURAL ONLY

May 18/2021

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JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURE OR INFORMATION PROVIDED HEREON. THESE DRAWINGS OR INFORMATION ARE NOT TO BE USED FOR THE DESIGN OF ANY BUILDING OR STRUCTURE. BUILDING INFORMATION IS PROVIDED FOR INFORMATION ONLY. BUILDING INFORMATION IS NOT TO BE USED FOR ANY OTHER PURPOSE.

ALL DIMENSIONS SHOWN IN THIS DRAWING SHALL BE IN METERS UNLESS OTHERWISE SPECIFIED.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO OBTAIN OR GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO COMPLY WITH THE WORKING DRAWINGS AND ALL LOCAL AND NATIONAL CODES.

THIS DRAWING IS A PART OF THE SERVICE PROVIDED BY JARDIN DESIGN GROUP INC. AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF JARDIN DESIGN GROUP INC.

7	
6	
6	
3	MAY 17, 2021
3	MAY 12, 2021
2	MAY 11, 2021
1	FEB 22, 2021

No: DATE: WORK DESCRIPTION:

jardin

DESIGN GROUP INC

64 JARDIN DR. SUITE 3A

VAUGHAN ONT. L4K 3P3

TEL: 905 660-3377 FAX: 905 660-3713

EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.2 of the Building Code.

Walter Botter 21031

NAME SIGNATURE BON

REGISTRATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.4 of the Building Code.

jardin design group inc. 27763

FIRM NAME BON

SECOND FL. PLAN EL-1

ROUNDEL HOMES INC.

RICHMOND HILL

20-31

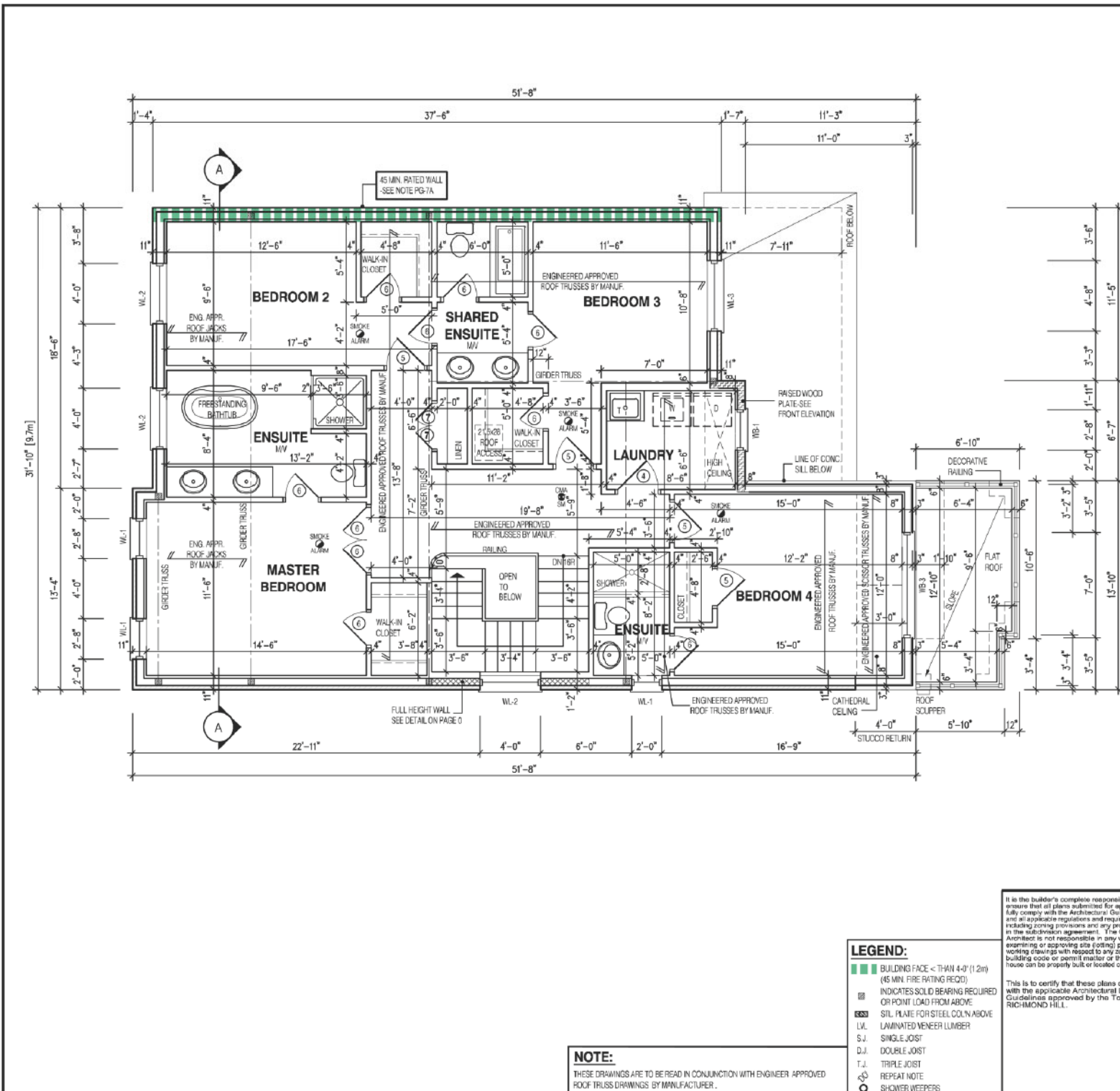
3

RECEIVED

Per: joshua.nabua

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contract Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of RICHMOND HILL.



2581
11.6m LOTS
PINETREE 2(GR)
ELEVATION 2
A1 PACKAGE
O.REG. 332/12

STRUDET INC
FOR STRUCTURAL ONLY



May 18/2021

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JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURE, OR ENGINEERING INFORMATION (INCLUDING THESE DRAWINGS) OR FOR CONSTRUCTION DEFECTS PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. BUILDING DEFECTS ARE THE RESPONSIBILITY OF THE OWNER AND/OR THE CONTRACTOR. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR DEFECTS OR DAMAGE TO EXISTING UTILITIES OR STRUCTURES.

NO CONSTRUCTION SHALL BE UNDERTAKEN WITHOUT OBTAINING THE NECESSARY PERMITS FROM THE LOCAL AUTHORITY.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO OBTAIN OR PROVIDE A GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO COMPLY WITH THE PERMITS AND/OR LOCAL BY-LAWS.

THIS DRAWING IS THE PROPERTY OF JARDIN DESIGN GROUP INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED. IT IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF JARDIN DESIGN GROUP INC.

NO.	DATE	DESCRIPTION
7		
6		
5		
4	MAY 17, 2021	ISSUED FOR BUILDING PERMIT
3	MAY 12, 2021	COORDINATED ENGINEER & CLIENT COMMENTS
2	MAY 11, 2021	COORDINATED AS PER FLOOR JOIST & ROOF TRUSS DRAWINGS
1	FEB. 22, 2021	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT

No. DATE: WORK DESCRIPTION:



DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 2.2.2 of the Building Code.



Walter Botter 21031
NAME SIGNATURE BON

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 2.2.2 of the Building Code.

Jardin design group inc. 27763
FIRM NAME BON

SECOND FL. PLAN EL-2
ROUNDEL HOMES INC.
RICHMOND HILL



RECEIVED
Per: joshua.nabua

LEGEND:

-  BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
-  INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
-  STL. PLATE FOR STEEL COLUMN ABOVE
-  L.V. LAMINATED VENEER LUMBER
-  S.J. SINGLE JOIST
-  D.J. DOUBLE JOIST
-  T.J. TRIPLE JOIST
-  REPEAT NOTE
- SHOWER WEEPERS

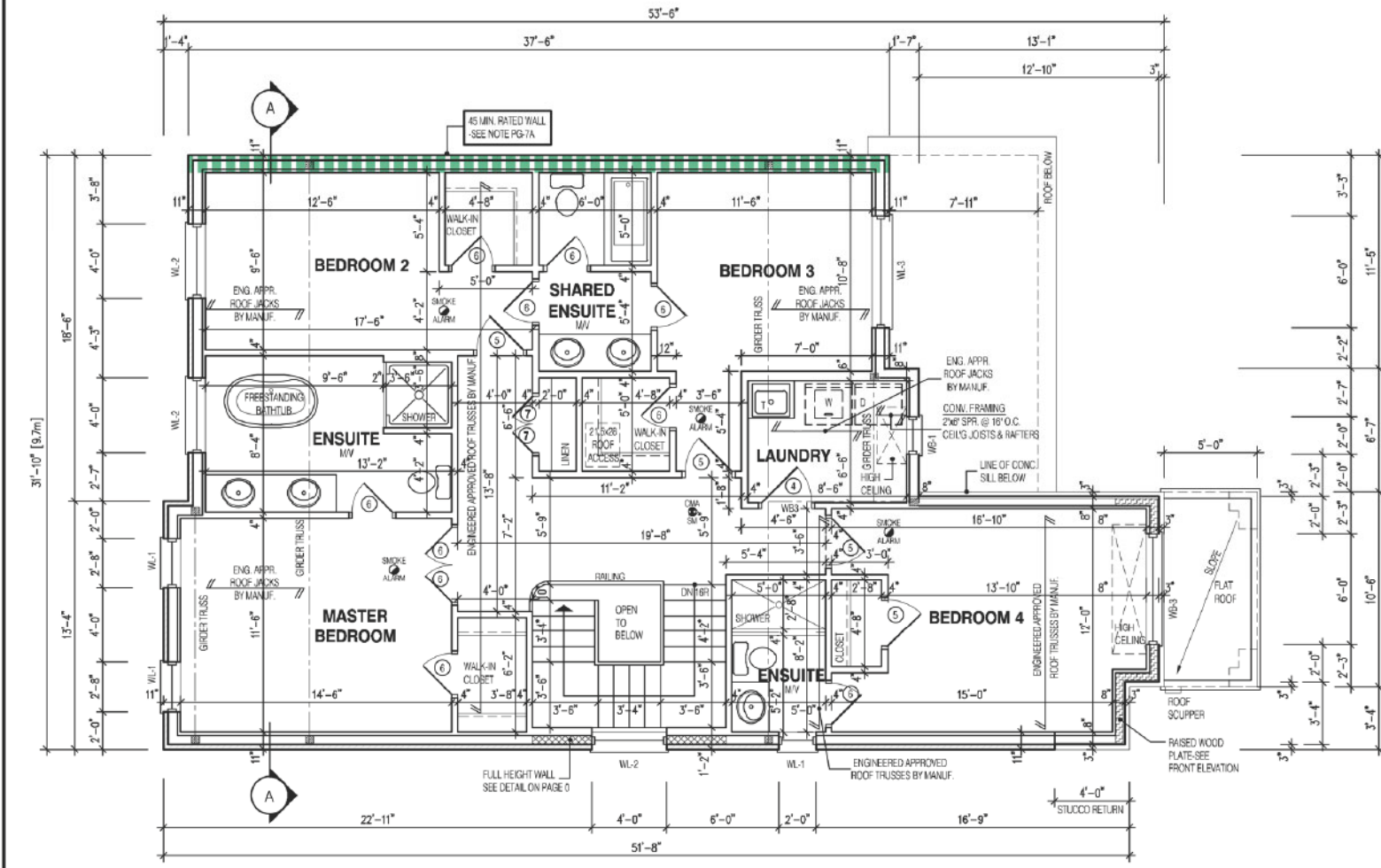
NOTE:
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It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of RICHMOND HILL.

Per: joshua.nabua

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
FLOOR TRUSS LAYOUT BY MANUFACTURER.



- LEGEND:**
- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
 - INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
 - STL. PLATE FOR STEEL COLN ABOVE
 - L.V. LAMINATED VENEER LUMBER
 - S.J. SINGLE JOIST
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 - REPEAT NOTE
 - SHOWER WEEPERS

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

2581
11.6m LOTS
PINETREE 2(GR)
ELEVATION 3
A1 PACKAGE
O.REG. 332/12

STRUDET INC
FOR STRUCTURAL ONLY


May 18/2021

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION (INCLUDING THESE DRAWINGS) OR FOR CONSTRUCTION. LIABILITY FOR THE DESIGN OF BUILDINGS SHALL REMAIN WITH THE ARCHITECT. A BUILDING OWNER SHALL OBTAIN A PERMIT FROM THE LOCAL AUTHORITY BEFORE COMMENCING CONSTRUCTION. NO CONSTRUCTION SHALL BE UNDERTAKEN WITHOUT HOLDING A PERMIT.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CONDUCT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO COMPLY WITH THE PERMIT REQUIREMENTS. THE LOCAL AUTHORITY SHALL BE RESPONSIBLE FOR THE REVIEW OF THE WORK.

THIS DRAWING IS A CONTRACT DOCUMENT. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED. IT IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

7	
6	
6	
4	MAY 17, 2021
3	MAY 12, 2021
2	MAY 11, 2021
1	FEB 22, 2021

No. DATE: WORK DESCRIPTION:


DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 2.2.2 of the Building Code.

Walter Botter  21031
NAME SIGNATURE BON

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 2.2.2 of the Building Code.

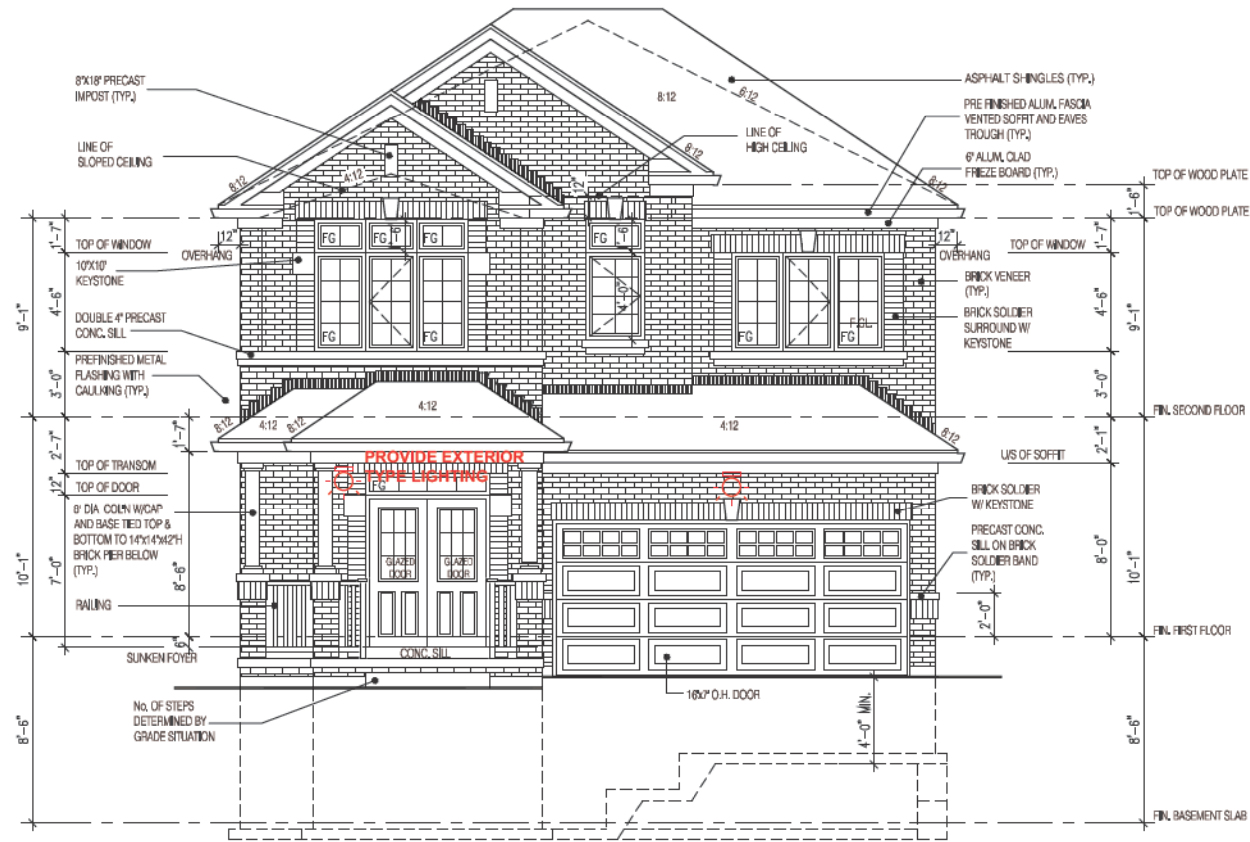
Jardin design group inc. 27763
FIRM NAME BON

SECOND FL. PLAN EL-3
ROUNDEL HOMES INC.
RICHMOND HILL

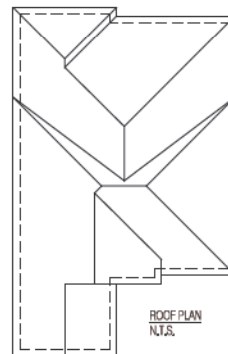

BILD

WORK OF RICHMOND HILL
BUILDING DIVISION
SCALE: 3/16"=1'-0"
PROJ. NO. 20-31
DATE: 07/22/2022
3B
RECEIVED
Per: joshua.nabua

2581
11.6m LOTS
PINETREE 2(GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12



FRONT ELEVATION 1



ROOF PLAN
N.T.S.

Attic ventilation min. 1 square foot / 300 square foot of ceiling area. Locate 50% of ventilation near ridge.

Refer to approved truss drawings for roof framing layout and specifications for correct bearing, uplift and anchorage.

W Architect Inc.
DESIGN CONTROL REVIEW
APRIL 28, 2022

FINAL
RECEIPT BY: *[Signature]*
This stamp is only for the purpose of design control and carries no other professional obligations.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. This Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Richmond Hill.

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4	MAY 17, 2021 ISSUED FOR BUILDING PERMIT
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No:	DATE: WORK DESCRIPTION:

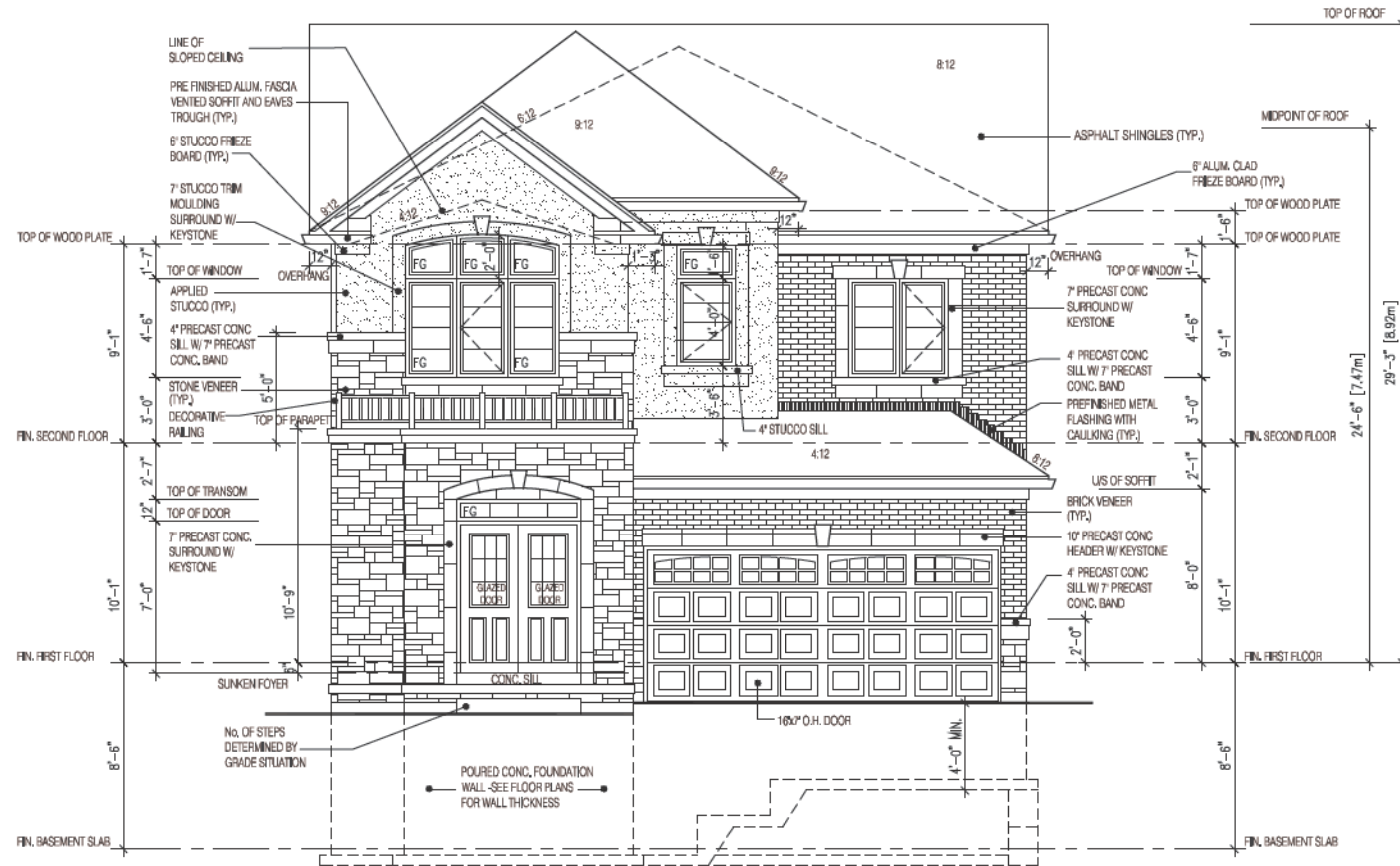
jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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QUALIFICATION INFORMATION
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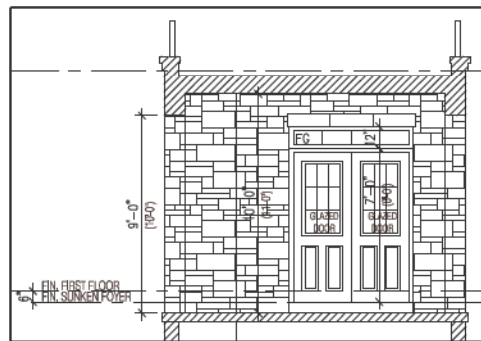
Walter Botter *[Signature]* 21031
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 1.2.4 of the building code
jardin design group inc. 27763
FIRM NAME BCIN

FRONT ELEVATION 1
ROUNDEL HOMES INC.
RICHMOND HILL
BAYVIEW & HILL
BAYVIEW & HILL
MODEL: 10/2/2022
SCALE: 3/16" = 1'-0"
PROJ. No. 20-31 DWG. No. 4
BILD RECEIVED
Per: jordanm@roundel.com

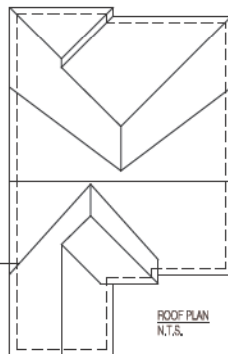
2581
11.6m LOTS
PINETREE 2(GR)
ELEVATION 2
A1 PACKAGE
O.REG. 332/12



FRONT ELEVATION 2



PORTICO INTERIOR ELEVATION 2



W Architect Inc.
DESIGN CONTROL REVIEW
APRIL 28, 2022
FINAL RECERT BY: *W*
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No:	DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
 64 JARDIN DR. SUITE 3A
 VAUGHAN ONT, L4K 3P3
 TEL: 905 660-3377 FAX: 905 660-3713
 EMAIL: info@jardindesign.ca

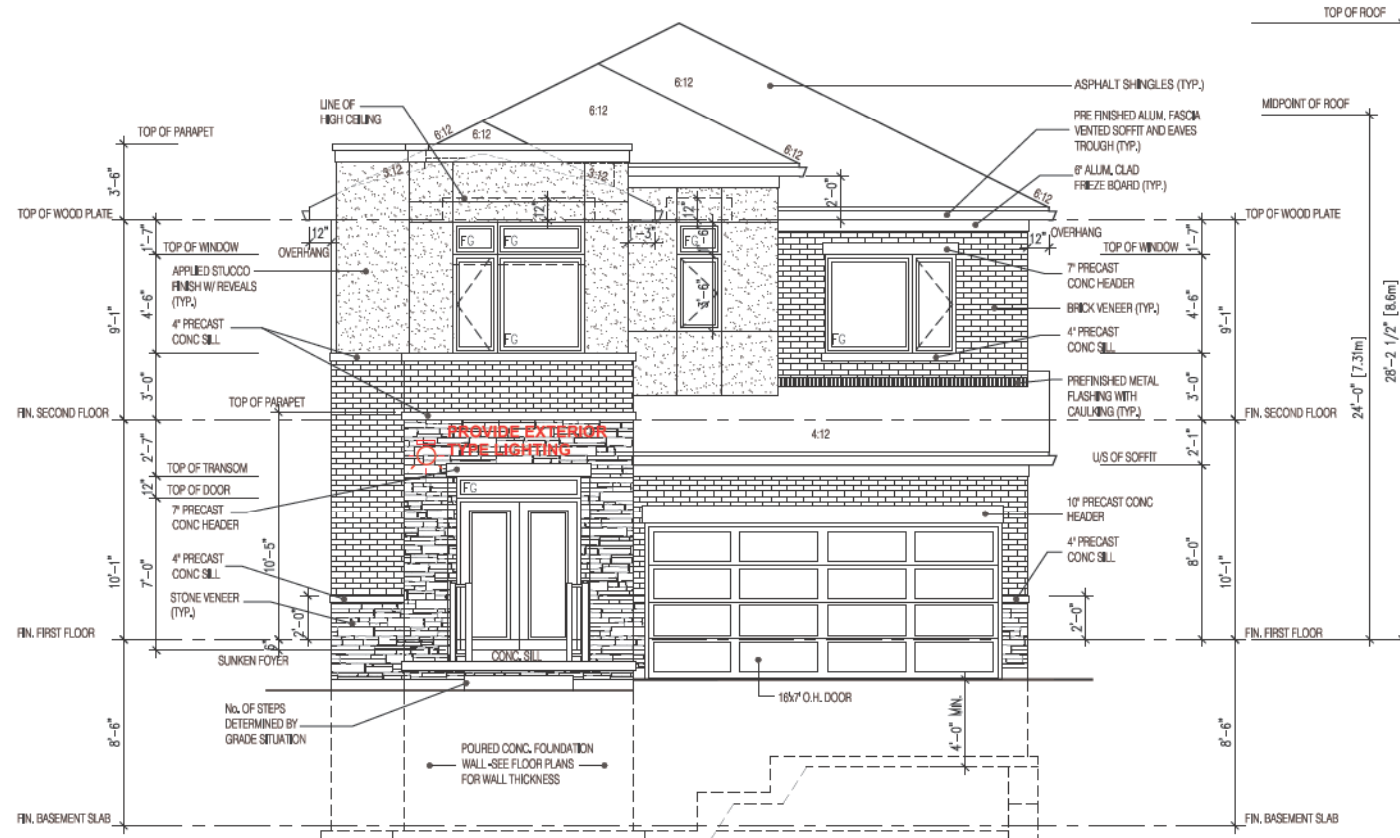
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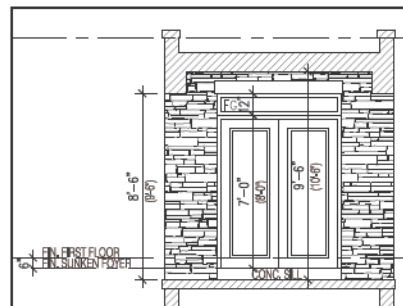
Walter Botter *W* **21031**
 NAME SIGNATURE BCIN
 REGISTRATION INFORMATION
 Required unless design is exempt under Division C, Subsection 1.2.4 of the building code
jardin design group inc. **27763**
 FIRM NAME BCIN

FRONT ELEVATION 2
ROUNDEL HOMES INC.
RICHMOND HILL
10/21/2022
BILD **RECEIVED** **4A**
 Per: *jd*

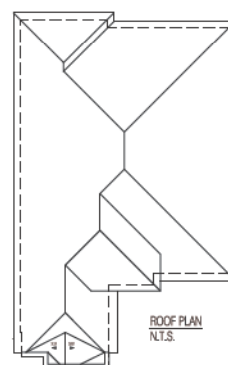
2581
11.6m LOTS
PINETREE 2(GR)
ELEVATION 3
A1 PACKAGE
O.REG. 332/12



FRONT ELEVATION 3



PORTICO INTERIOR
ELEVATION 3



ROOF PLAN
N.T.S.

W Architect Inc.
DESIGN CONTROL REVIEW
APRIL 28, 2022
FINAL
RECEIVED BY: *[Signature]*
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5	APRIL 20, 2022
4	MAY 17, 2021
3	MAY 12, 2021
2	MAY 11, 2021
1	FEB. 22, 2021

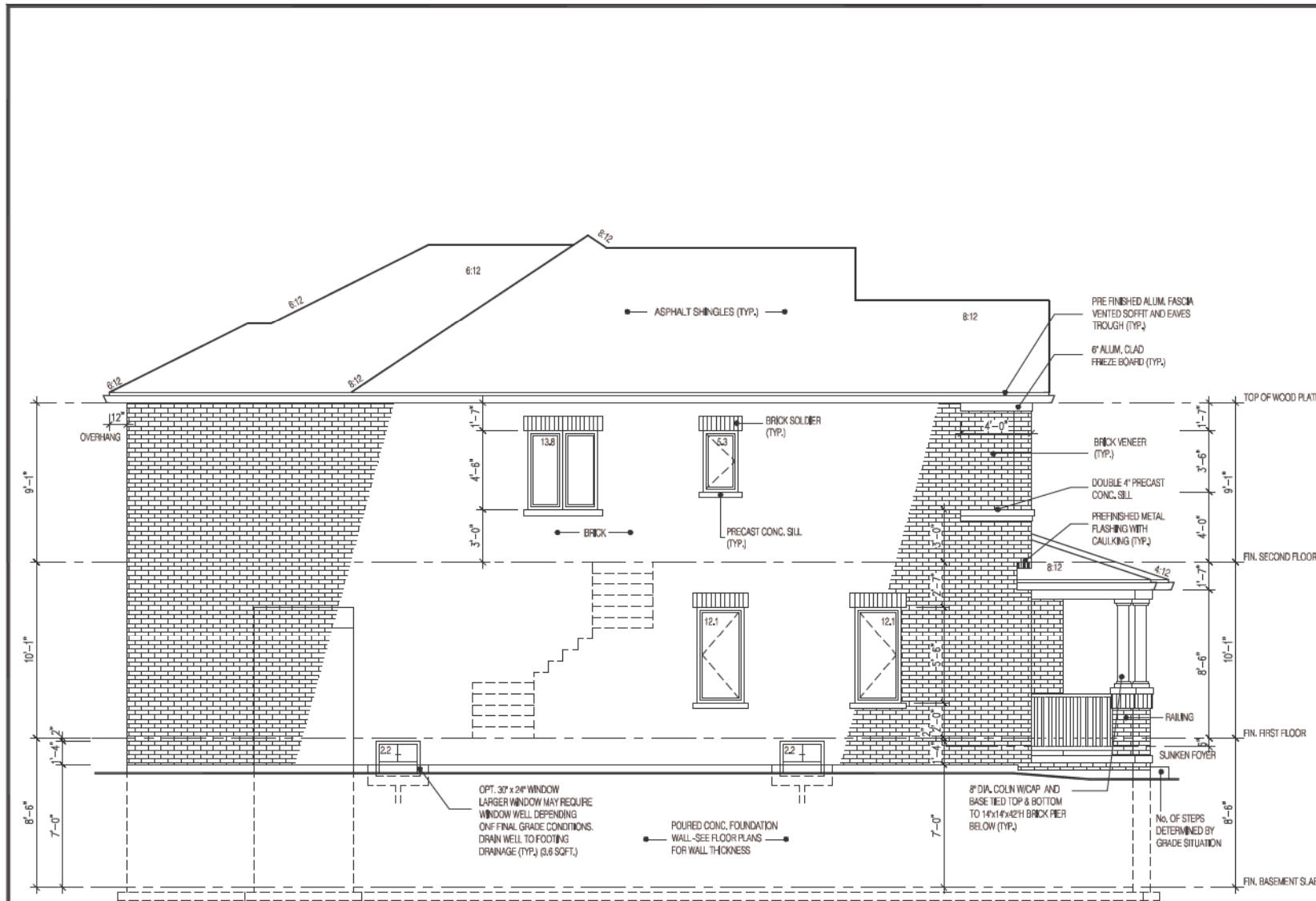
No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.3 of the building code

Walter Botter *[Signature]* 21031
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code
jardin design group inc. 27763
FIRM NAME BCIN

FRONT ELEVATION 3
ROUNDEL HOMES INC.
BIRCHMOUNT HILL
BIRCHMOUNT HILL
MODEL: 1
DATE: 09/23/2022
SCALE: 3/16" = 1'-0"
PROJ. No. 20-31 DWG. No. 4B
Per: jordanm@rdh.com



LEFT SIDE ELEVATION 1

UNPROTECTED OPENINGS

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

WALL AREA	1094	⊕
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDEYARD)	76.58	⊕
ACTUAL GLASS AREA	47.7	⊕

WITH OPTIONAL 30"x24" BASEMENT WINDOWS		
ACTUAL GLASS AREA	50.5	⊕

W Architect Inc.
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APRIL 28, 2022
FINAL
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2581
11.6m LOTS
PINETREE 2(GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12

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1	FEB. 22, 2021 PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT

No: DATE: WORK DESCRIPTION:

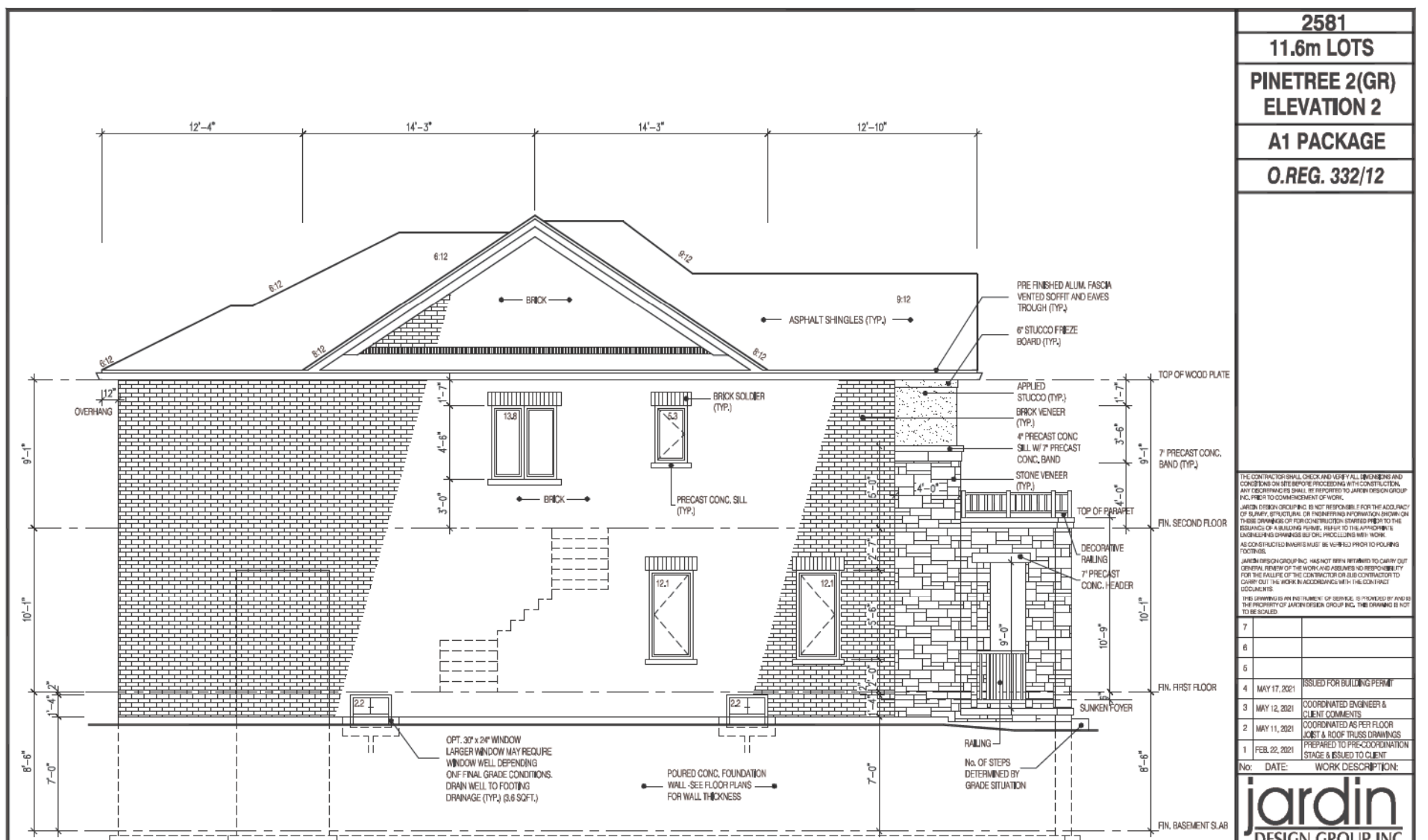
jardin
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jardin design group inc. 27763
FIRM NAME BCIN

SIDE ELEVATION 1
BOUNDEL HOMES INC.
RICHMOND HILL
10/21/2022
3/16-1-0
BILD
20-31
5



LEFT SIDE ELEVATION 2

UNPROTECTED OPENINGS

WALL AREA	1094	⊕
ALLOWABLE GLASS AREA @ 7.0% (1.2m SIDEYARD)	76.58	⊕
ACTUAL GLASS AREA	47.7	⊕

WITH OPTIONAL 30"x24" BASEMENT WINDOWS		
ACTUAL GLASS AREA	50.5	⊕

W Architect Inc.
DESIGN CONTROL REVIEW
APRIL 28, 2022

FINAL
RECEIPT BY: *W*
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Walter Botter *W* 21031
NAME SIGNATURE BCIN

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jardin design group inc. 27763
FIRM NAME BCIN

SIDE ELEVATION 2

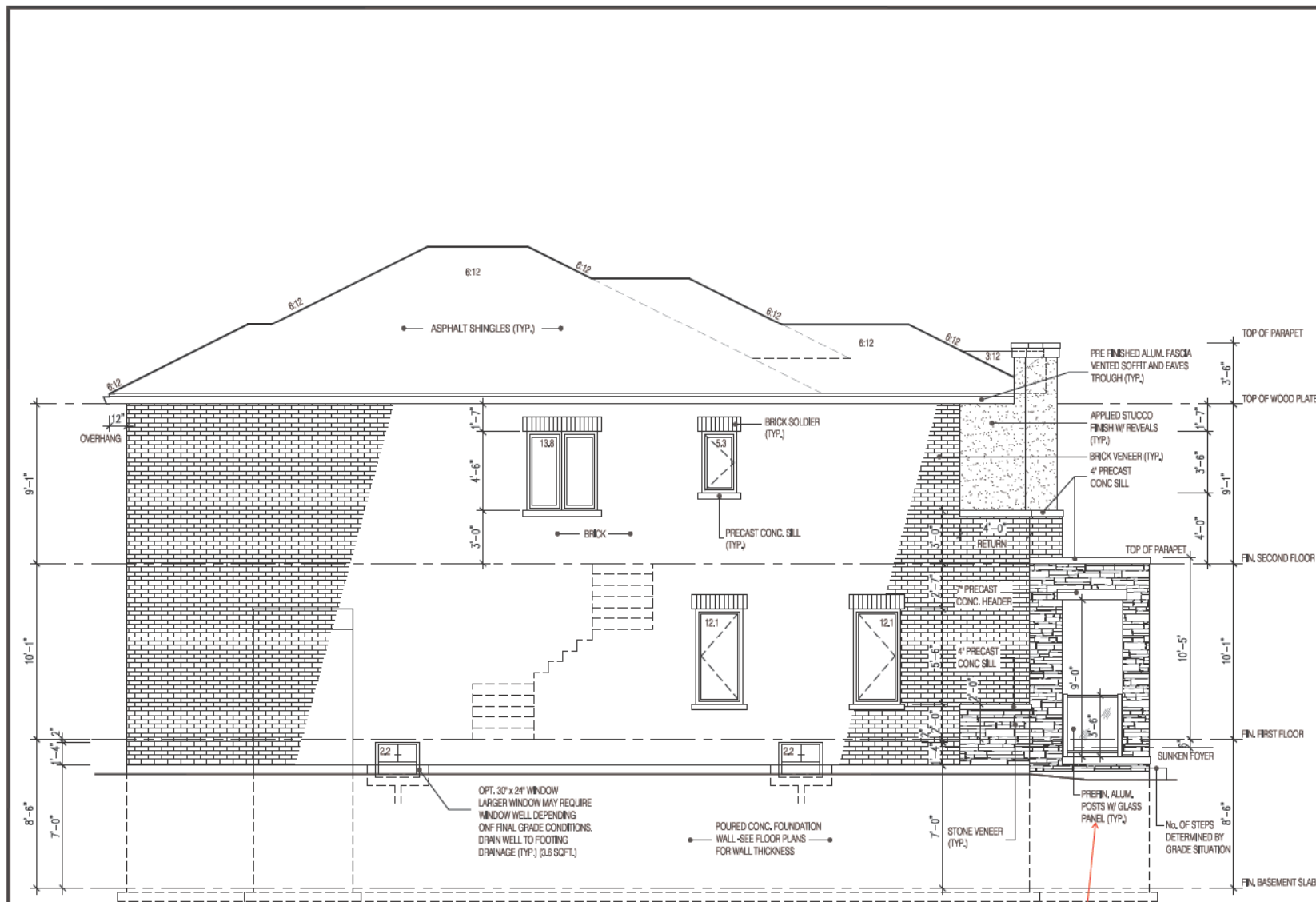
ROUNDEL HOMES INC.
RICHMOND HILL
BAYVIEW & BRIMLEY

10/21/2022

PROJ. No. 20-31 DWG. No. 5A

RECEIVED

Per: jordanm@jardin.ca



LEFT SIDE ELEVATION 3

UNPROTECTED OPENINGS

WALL AREA	1094	⌘
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDEYARD)	76.58	⌘
ACTUAL GLASS AREA	47.7	⌘
WITH OPTIONAL 30"x24" BASEMENT WINDOWS		
ACTUAL GLASS AREA	50.5	⌘

Glazed enclosure acting as guards shall be in conformance with CAN/CGSB-12.1-M, OBC 2012 SB-13, Framing Elements shall be in conformance with OBC 2012 SB-7

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2581
11.6m LOTS
PINETREE 2(GR)
ELEVATION 3
A1 PACKAGE
O.REG. 332/12

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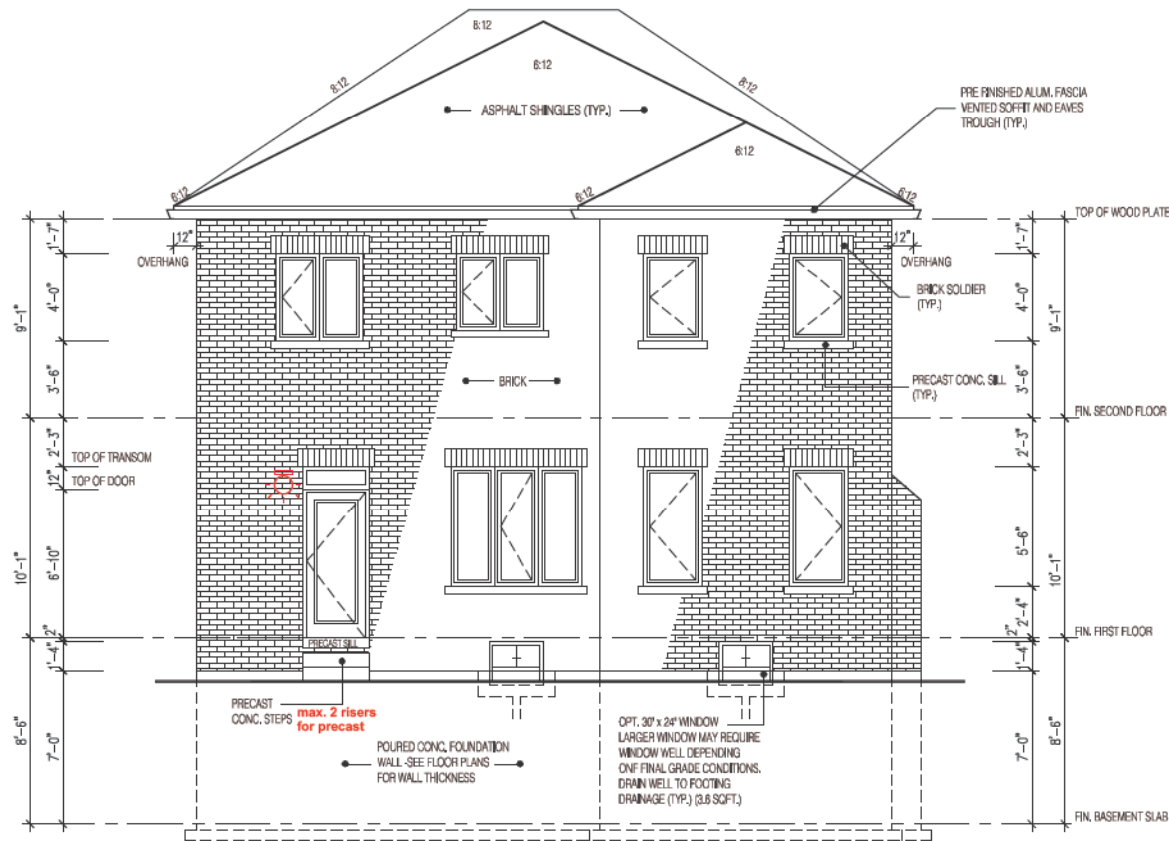
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NAME SIGNATURE BCIN
REGISTRATION INFORMATION
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jardin design group inc. 27763
FIRM NAME BCIN

SIDE ELEVATION 3
ROUNDEL HOMES INC.
BIRCHMOUNT HILL
BUILDING DIVISION
MODEL: **19/12/2022**
SCALE: **3/16" = 1'-0"**
PROJ. No. **20-31** DWG. No. **5B**
Per: **jardindesign.ca**



REAR ELEVATION 1

W Architect Inc.
DESIGN CONTROL REVIEW
APRIL 28, 2022
FINAL
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2581
11.6m LOTS
PINETREE 2(GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12

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2	MAY 11, 2021 COORDINATED AS PER FLOOR JOIST & ROOF TRUSS DRAWINGS
1	FEB. 22, 2021 PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT, L4K 3P3
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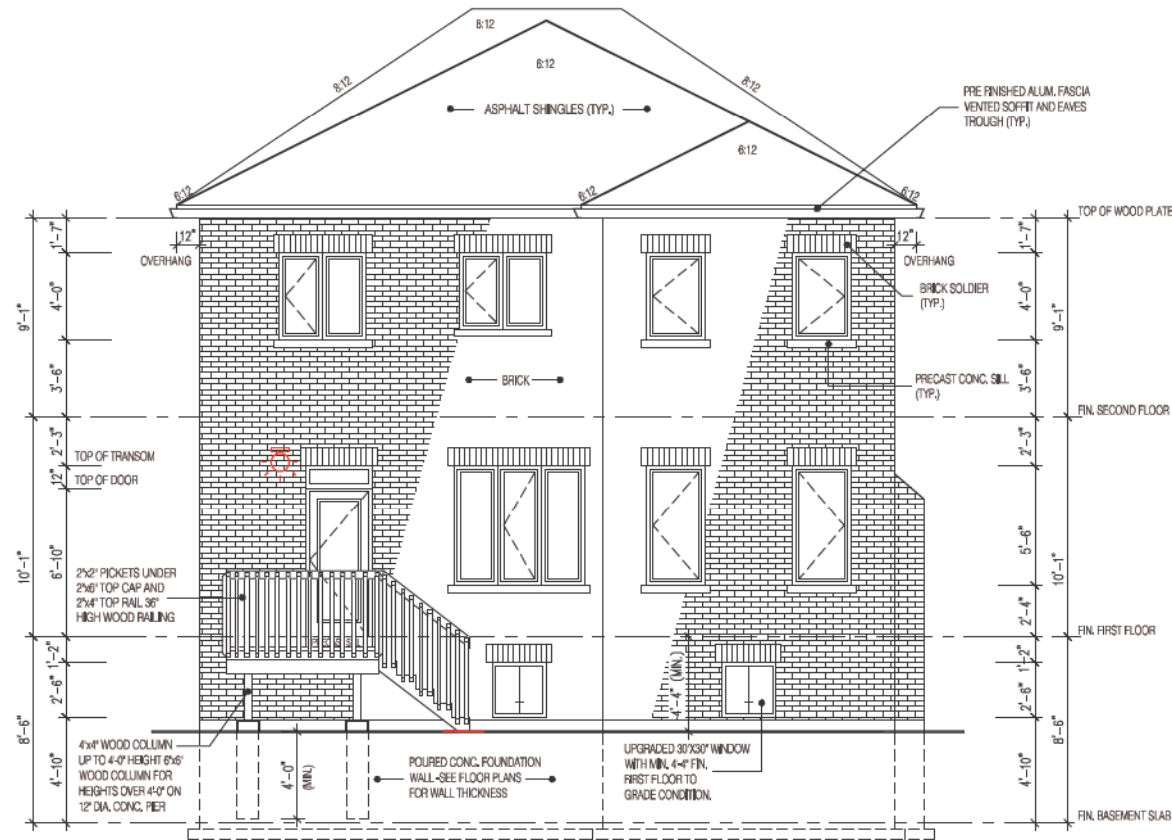
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Walter Botter *[Signature]* 21031
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
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jardin design group inc. 27763
FIRM NAME BCIN

REAR ELEVATION 1

ROUNDEL HOMES INC.
RICHMOND HILL
BAYVIEW & BRIMLEY

MODEL: 1
SCALE: 3/16" = 1'-0"
PROJ. NO.: 20-31
DWG. NO.: 6
RECEIVED
Per: *[Signature]*



REAR ELEVATION 1 DECK CONDITION

FOR ADDITIONAL DECK STRUCTURE
REFER TO PAGE 7 OF THE DETAIL PACKAGE

PINETREE 2 ELEV.-1 DECK CONDITION			
ENERGY EFFICIENCY-A1 PACKAGE			
ELEVATION	WALL FT ²	OPENING FT ²	PERCENTAGE
FRONT	893.18	108.17	15.75 %
LEFT SIDE	1114.28	61.00	5.47 %
RIGHT SIDE	1108.58	0.00	0.00 %
REAR	783.08	149.83	19.51 %
TOTAL	3679.10	319.80	8.69 %

NOTE:
WHEN VENEER CUT IS GREATER THAN
26" A 10" POURED CONC. FOUNDATION
WALL IS REQUIRED.
(FOUNDATION PLAN TO BE REVIEWED
IN CONJUNCTION WITH SITE PLAN)

W Architect Inc.
DESIGN CONTROL REVIEW
APRIL 28, 2022
FINAL
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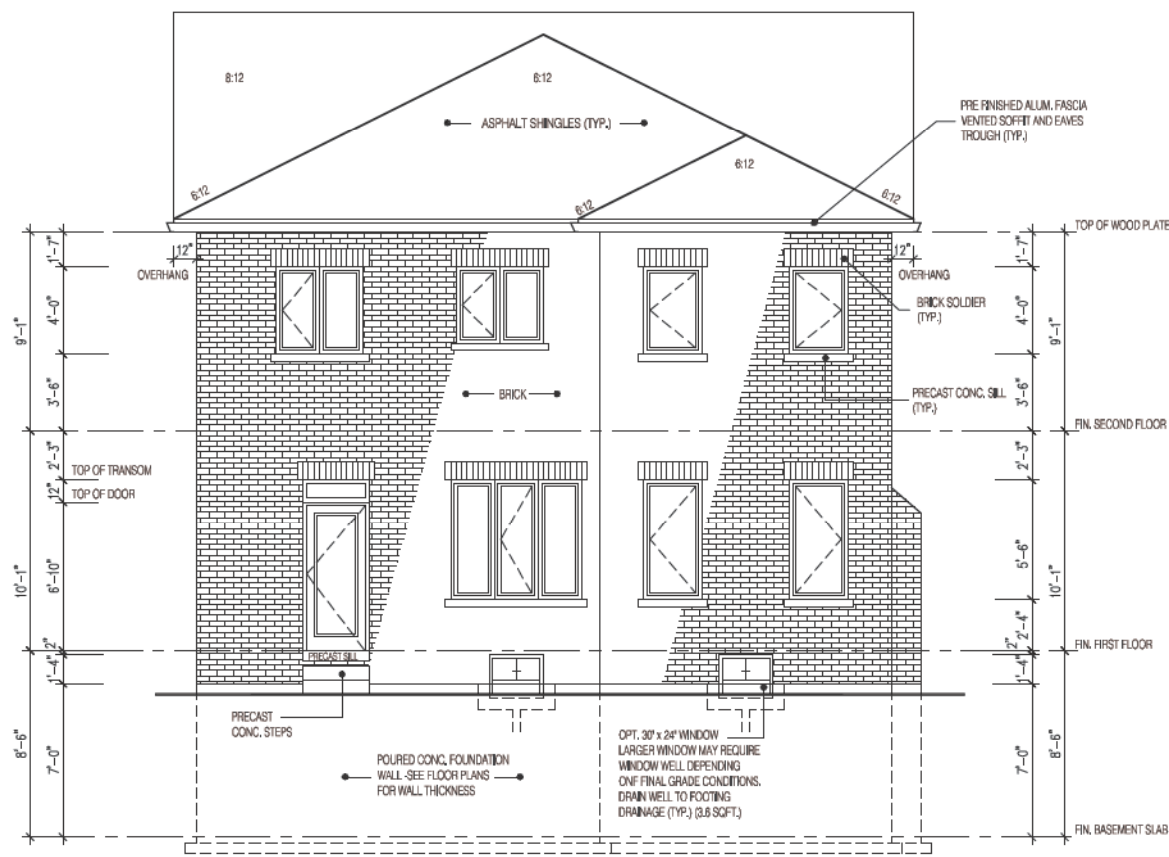
jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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Walter Botter *[Signature]* 21031
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
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3.2.4 of the building code
jardin design group inc. 27763
FIRM NAME BCIN

DECK CONDITION EL-1

BOUNDARY HOMES INC.
RICHMOND HILL
CITY OF RICHMOND HILL
10/21/2022
SCALE: 3/16" = 1'-0"
PROJ. No. 20-31 DWG. No. 6-1
BILD RECEIVED
Per: jordan@bild.com



REAR ELEVATION 2

W Architect Inc.
DESIGN CONTROL REVIEW
APRIL 28, 2022
FINAL RECERT BY: *WAB*
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2581
11.6m LOTS
PINETREE 2(GR)
ELEVATION 2
A1 PACKAGE
O.REG. 332/12

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No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC

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VAUGHAN ONT, L4K 3P3
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Walter Botter

21031

NAME SIGNATURE BCIN

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jardin design group inc. 27763

FIRM NAME BCIN

REAR ELEVATION 2

BOUNDEL HOMES INC.
RICHMOND HILL
BUILDING DIVISION

10/21/2022

SCALE: 3/16" = 1'-0"

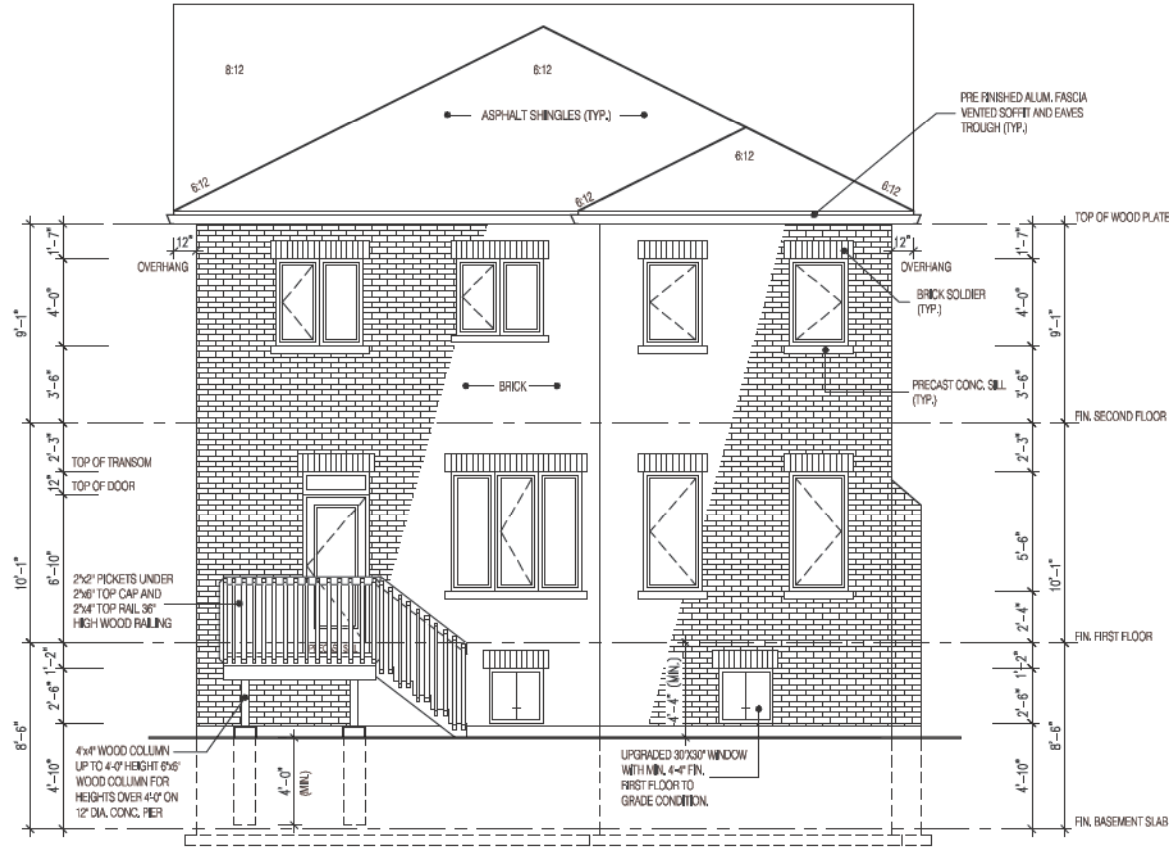
PROJ. No. 20-31

DWG. No. 6A

RECEIVED

Per: jordanm@jardin.ca

2581
11.6m LOTS
PINETREE 2(GR)
ELEVATION 2
A1 PACKAGE
O.REG. 332/12



REAR ELEVATION 2
DECK CONDITION

FOR ADDITIONAL DECK STRUCTURE
REFER TO PAGE 7 OF THE DETAIL PACKAGE

PINETREE 2 ELEV-2 DECK CONDITION			
ENERGY EFFICIENCY-A1 PACKAGE			
ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	893.16	100.63	14.52 %
LEFT SIDE	1114.26	61.00	5.47 %
RIGHT SIDE	1106.58	0.00	0.00 %
REAR	763.08	149.63	19.61 %
TOTAL	3679.10	311.26	8.46 %

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TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

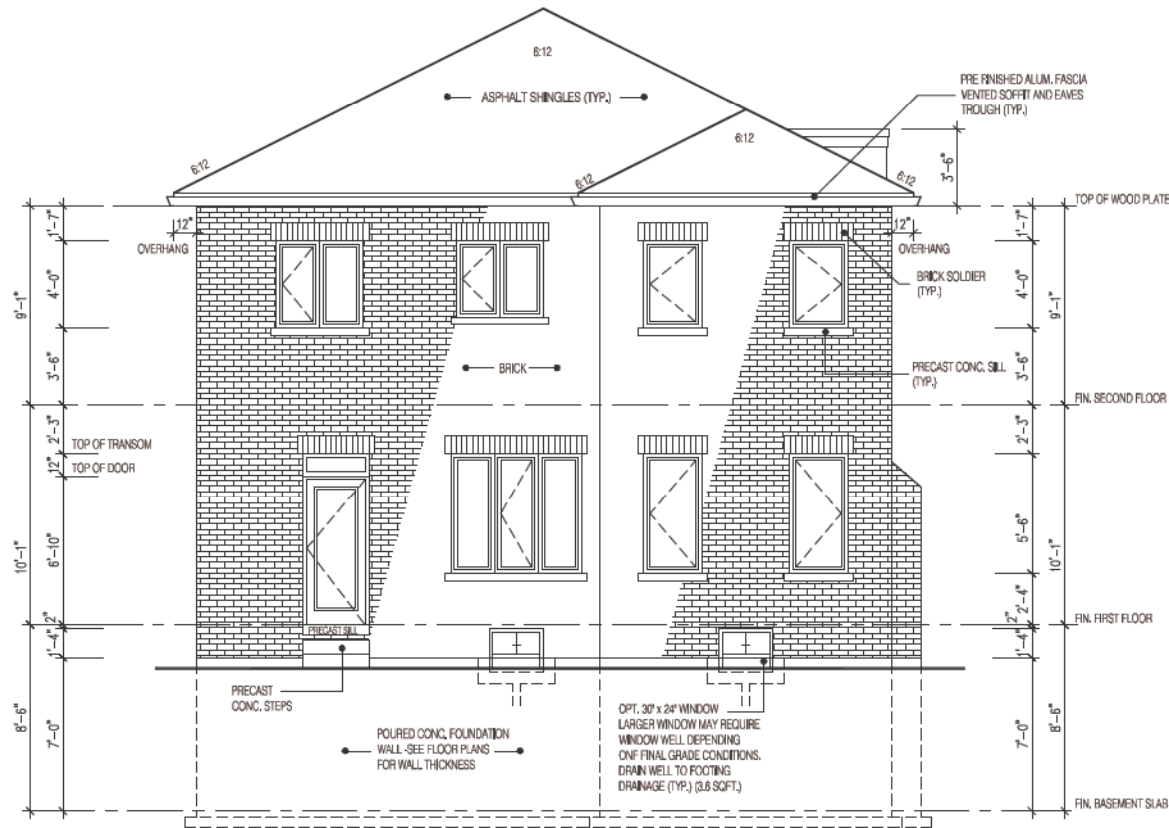
The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.3 of the building code

Walter Botter [Signature] 21031
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.4 of the building code
jardin design group inc. 27763
FIRM NAME BCIN

DECK CONDITION EL-2

ROUNDEL HOMES INC.
RICHMOND HILL
CITY OF RICHMOND HILL

10/21/2022
3/16-1-0"
PROJ. No. 20-31 DWG. No. 6A-1
BILD RECEIVED
Per: [Signature]



REAR ELEVATION 3

W Architect Inc.
DESIGN CONTROL REVIEW
APRIL 28, 2022
FINAL
RECEIVED BY: *WAB*
This stamp is only for the purposes of design control and carries no other professional obligations.

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of RICHMOND HILL.

2581
11.6m LOTS
PINETREE 2(GR)
ELEVATION 3
A1 PACKAGE
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DIMENSIONS SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF DIMENSIONS OR INFORMATION PROVIDED ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFLECT TO THE APPROPRIATE LOCAL AND UNPAID FOR OR PROCEEDING WITH WORK AS CONSTRUCTED INADVISABLE MUST BE VERIFIED PRIOR TO POURING FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK ACCORDING WITH THE CONTRACT DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE, IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

7	
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4	MAY 17, 2021 ISSUED FOR BUILDING PERMIT
3	MAY 12, 2021 COORDINATED ENGINEER & CLIENT COMMENTS
2	MAY 11, 2021 COORDINATED AS PER FLOOR JOIST & ROOF TRUSS DRAWINGS
1	FEB. 22, 2021 PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 1.2.1 of the building code.

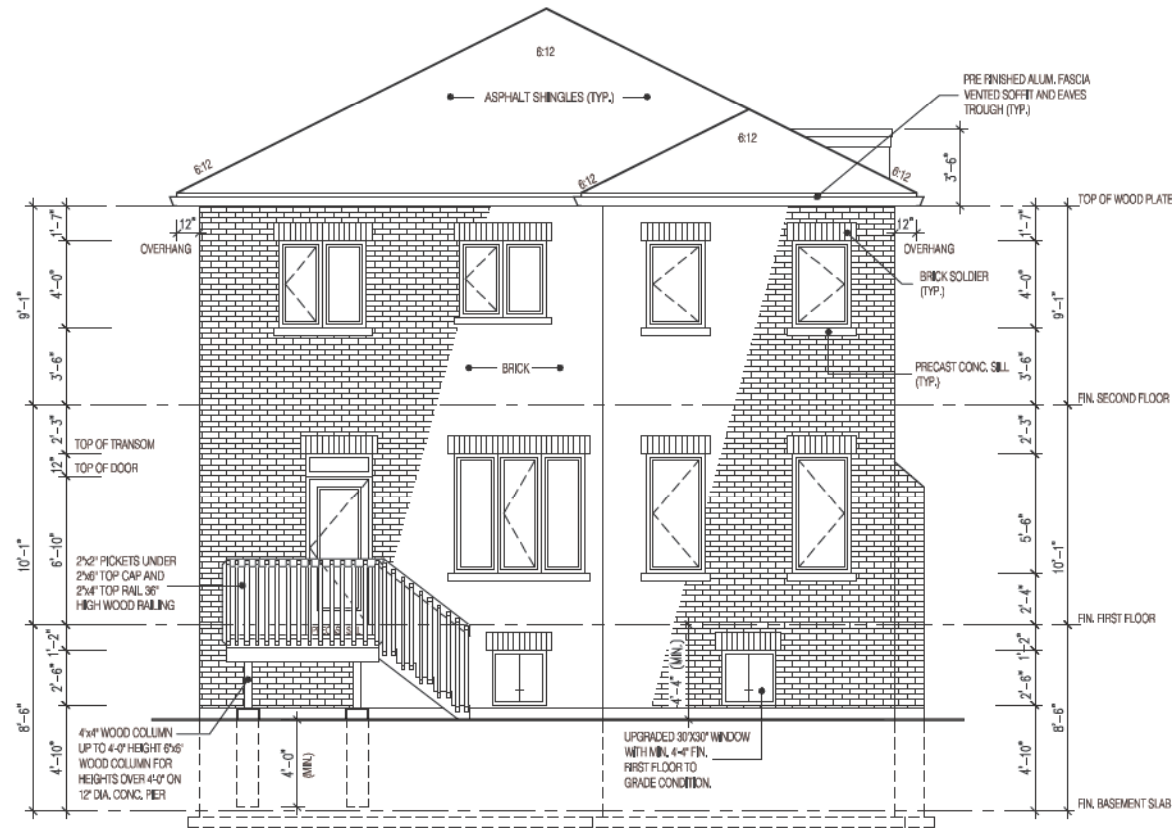
Walter Botter *WAB* 21031
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 1.2.4 of the building code.
jardin design group inc. 27763
FIRM NAME BCIN

REAR ELEVATION 3

BOUNDEL HOMES INC.
RICHMOND HILL
BIRCHMOUNT HILL

MODEL: 10/21/2022
SCALE: 3/16" = 1'-0"
PROJ. No. 20-31 DWG. No. 6B
BILD RECEIVED
Per: jordanm@bld.com

2581
11.6m LOTS
PINETREE 2(GR)
ELEVATION 3
A1 PACKAGE
O.REG. 332/12



REAR ELEVATION 3 DECK CONDITION

FOR ADDITIONAL DECK STRUCTURE
REFER TO PAGE 7 OF THE DETAIL PACKAGE

PINETREE 2 ELEV-3 DECK CONDITION			
ENERGY EFFICIENCY-A1 PACKAGE			
ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	885.42	94.00	13.71 %
LEFT SIDE	1132.54	61.00	5.39 %
RIGHT SIDE	1124.83	0.00	0.00 %
REAR	783.08	149.83	19.61 %
TOTAL	3705.97	304.83	8.22 %

NOTE:
WHEN VENEER CUT IS GREATER THAN
26" A 10" POURED CONC. FOUNDATION
WALL IS REQUIRED.
(FOUNDATION PLAN TO BE REVIEWED
IN CONJUNCTION WITH SITE PLAN)

W Architect Inc.
DESIGN CONTROL REVIEW
APRIL 28, 2022
FINAL
RECEIVED BY: *[Signature]*
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and all applicable regulations and requirements
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Architect is not responsible in any way for
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Guidelines approved by the Town of
RICHMOND HILL.

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ISSUANCE OF A BUILDING PERMIT. REFLECT TO THE APPROPRIATE
LOCAL AND UNPAID FOR, PROCEEDING WITH WORK
AS CONSTRUCTED INWARDS MUST BE VERIFIED PRIOR TO POURING
FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT
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1	FEB. 22, 2021 PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

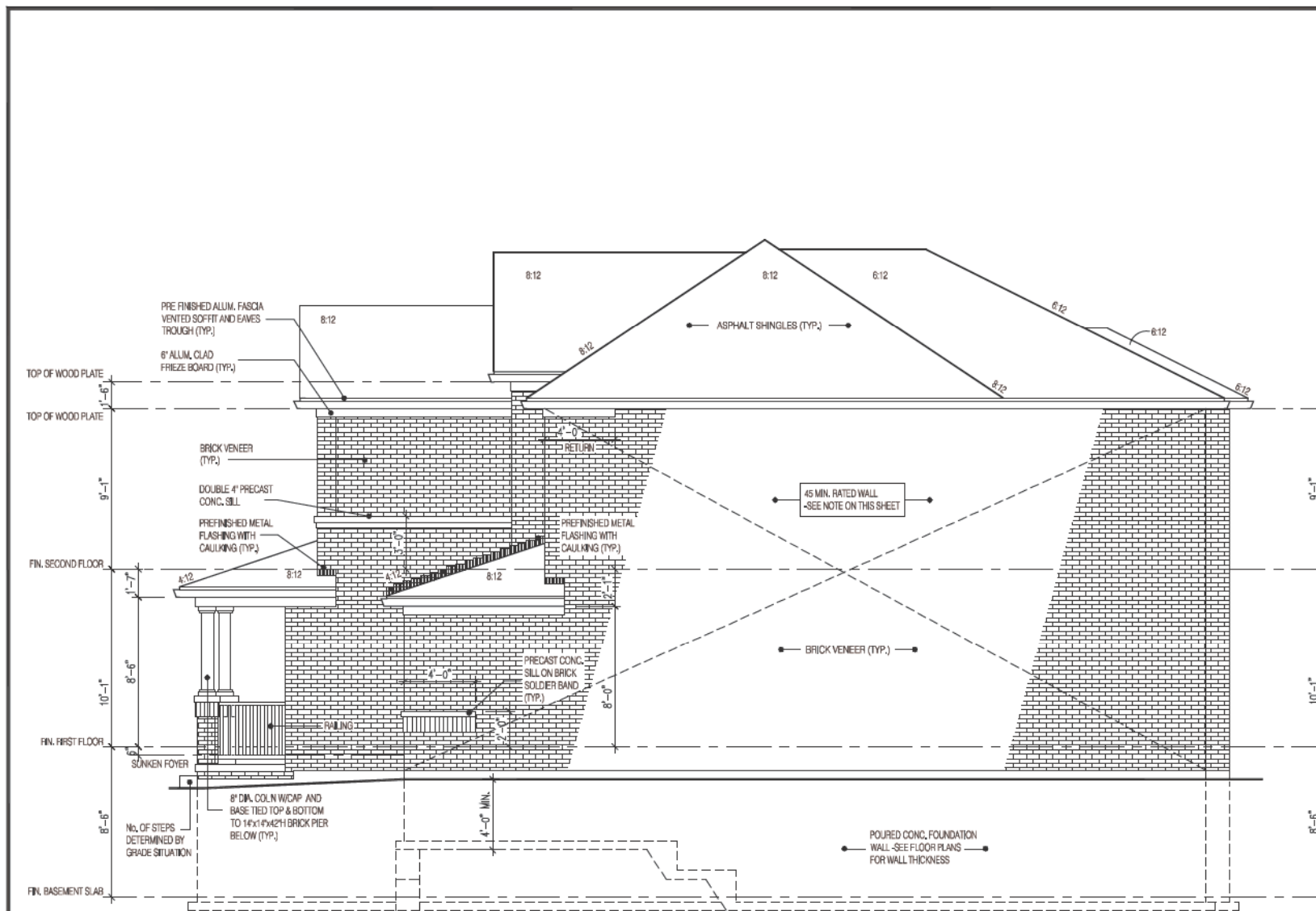
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requirements set out in the Ontario Building Code to be
a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.3 of the building code

Walter Botter *[Signature]* 21031
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.4 of the building code
jardin design group inc. 27763
FIRM NAME BCIN

DECK CONDITION EL-3

ROUNDEL HOMES INC.
RICHMOND HILL
CITY OF RICHMOND HILL
10/21/2022
3/16-1-0"
PROJ. No. 20-31 DWG. No. 6B-1
BILD RECEIVED
Per: jordanm@roundel.com



RIGHT SIDE ELEVATION 1

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED AT HEADER

PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE FIN JOIST WHEN FLOOR JOISTS ARE PARALLEL TO FIN JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

(REFER TO SUPPLEMENTARY STANDARD SB-2 2.3.

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/50cm² AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS

(REFER TO SUPPLEMENTARY STANDARD SB-2 2.3.5.(2)

W Architect Inc.
DESIGN CONTROL REVIEW
APRIL 28, 2022

FINAL
RECEIVED BY: *W*
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2581

11.6m LOTS

PINETREE 2(GR)
ELEVATION 1

A1 PACKAGE

O.REG. 332/12

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7	
6	
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4	MAY 17, 2021 ISSUED FOR BUILDING PERMIT
3	MAY 12, 2021 COORDINATED ENGINEER & CLIENT COMMENTS
2	MAY 11, 2021 COORDINATED AS PER FLOOR JOIST & ROOF TRUSS DRAWINGS
1	FEB. 22, 2021 PREPARED TO PRECOORDINATION STAGE & ISSUED TO CLIENT

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC

64 JARDIN DR. SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Section 3.2.1 of the building code.

Walter Botter *W* 21031
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Section 3.2.4 of the building code.
jardin design group inc. 27763
FIRM NAME BCIN

SIDE ELEVATION 1

BOUNDARY HOMES INC.
RICHMOND HILL
BIRCHMOUNT HILL

10/21/2022
3/16-1-0
BILD RECEIVED 7
20-31

O.REG. 332/12

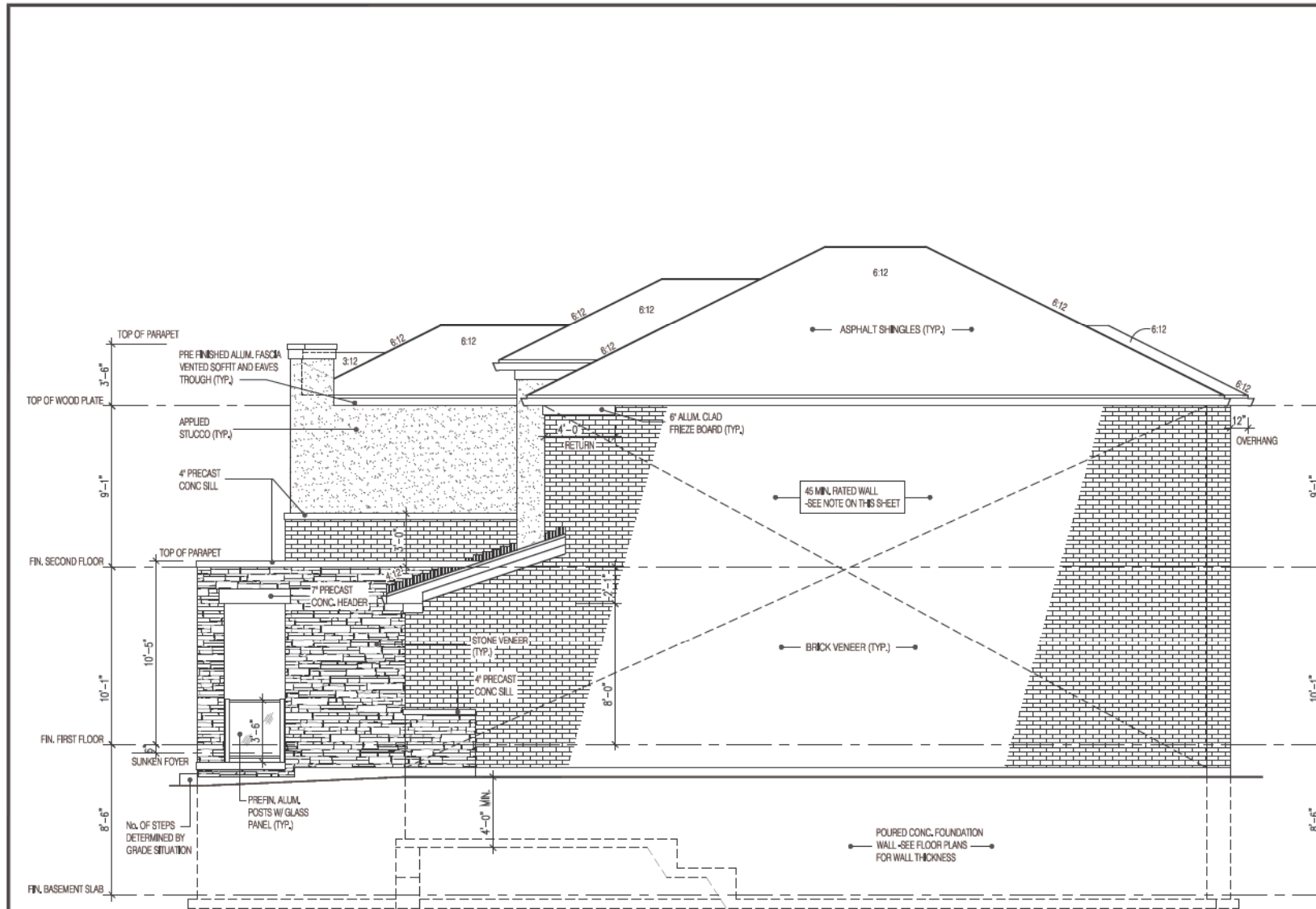
SIDE ELEVATION 2
 ROUND EL HOMES INC.
 RICHMOND HILL
 CIVIL ENGINEERING AND HILL
 BUILDING DIVISION
 09/22/2022
 MODEL: T
 SCALE: 3/16" = 1'-0"
 PROJ. No. 20-31
 DWG. No. 7A
 BILD
 RECEIVED
 Per: jacobus@bilde.com



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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DRAWN BY: _____ DRAWING NAME: _____



RIGHT SIDE ELEVATION 3

W Architect Inc.
DESIGN CONTROL REVIEW
APRIL 28, 2022
FINAL
RECEIVED BY: *[Signature]*
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HEADER/RIM JOIST LEVEL
(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)
45 MINUTE FIRE RATED AT HEADER

PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

(REFER TO SUPPLEMENTARY STANDARD SB-2 2.3.

BRICK VENEER CONSTRUCTION
(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)
45 MINUTE FIRE RATED WALL

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(REFER TO SUPPLEMENTARY STANDARD SB-2 2.3.5.2)

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2581
11.6m LOTS
PINETREE 2(GR)
ELEVATION 3
A1 PACKAGE
O.REG. 332/12

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7	
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5	APRIL 20, 2022 REVISED ROOF ON ELEV 43
4	MAY 17, 2021 RE-ISSUED TO CLIENT
3	MAY 12, 2021 ISSUED FOR BUILDING PERMIT
2	MAY 11, 2021 COORDINATED ENGINEER & CLIENT COMMENTS
1	MAY 11, 2021 COORDINATED AS PER FLOOR JOIST & ROOF TRUSS DRAWINGS
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No: DATE: WORK DESCRIPTION:

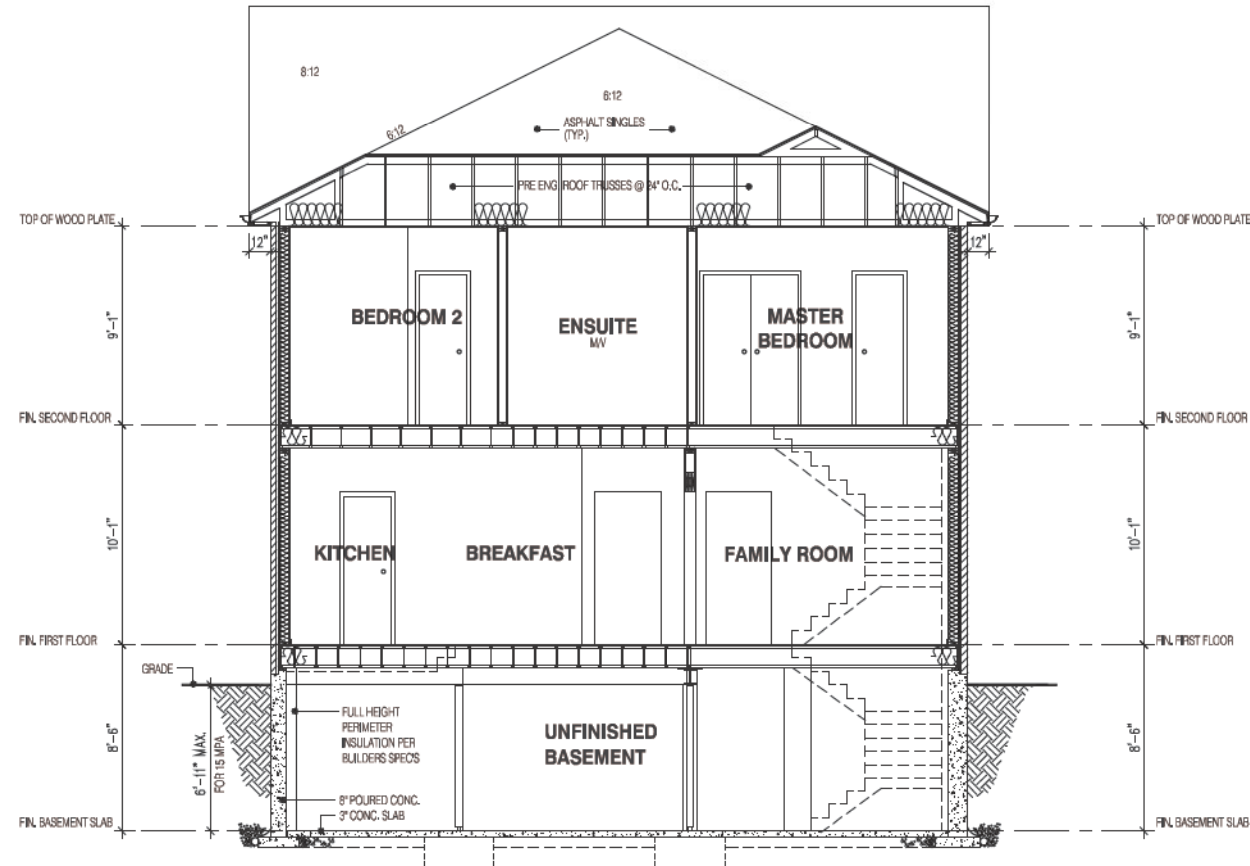
jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.3 of the building code

Walter Botter *[Signature]* 21031
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code
jardin design group inc. 27763
FIRM NAME BCIN

SIDE ELEVATION 3
BOUNDARY HOMES INC.
CITY OF RICHMOND HILL
RICHMOND HILL
10/12/2022
3/16 - 1'-0"
DWG. No. 7B
Per: jordanm@rdh.ca



SECTION A-A
ELEVATION 2

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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2581

11.6m LOTS

PINETREE 2(GR)
ELEVATION 2

A1 PACKAGE

O.REG. 332/12

STRUDET INC
FOR STRUCTURAL ONLY



May 18/2021

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Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
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jardin design group inc. 27763
FIRM NAME BCIN

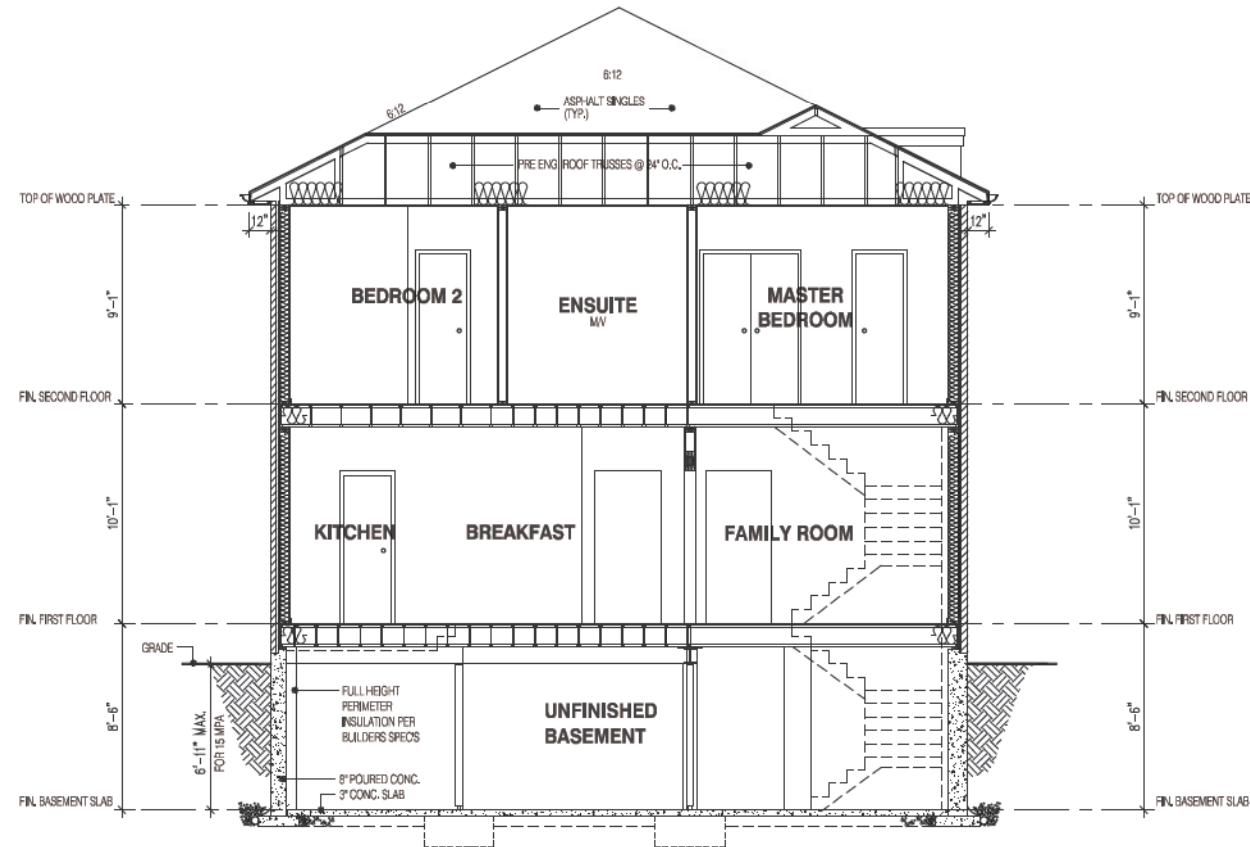
SECTION ELEV-2

ROUNDEL HOMES INC.
RICHMOND HILL
BAYVIEW & HILL
RICHMOND HILL, ONTARIO

MODEL: 10/21/2022
SCALE: 3/16" = 1'-0"

PROJ. NO. 20-31 DWG. NO. 8A
BILD RECEIVED 20-31

Per: jordan@jardindesign.ca



SECTION A-A
ELEVATION 3

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2581

11.6m LOTS

PINETREE 2(GR)
ELEVATION 3

A1 PACKAGE

O.REG. 332/12

STRUDET INC
FOR STRUCTURAL ONLY



May 18/2021

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No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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QUALIFICATION INFORMATION
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Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

SECTION ELEV-3

ROUNDEL HOMES INC.
RICHMOND HILL
BAYVIEW & HILL
RICHMOND HILL, ONTARIO

MODEL: 10/21/2022
SCALE: 3/16" = 1'-0"

PROJ. NO. 20-31 DWG. NO. 8B
BILD RECEIVED 20-31

Per: jordan@roundelhomes.com