

STRIP FOOTINGS

FOR SINGLES & SEMIS UP TO 2 STOREY

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW PARTY WALLS.

(REFER TO FOOTING DETAILS ON ENGINEERED FILL)

ASSUME THE LARGER FOOTING SIZE
WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 psf) SOIL BEARING CAPACITY OR 90 KPa
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE, with soil engineer report

PAD FOOTINGS

120 KPa NATIVE SOIL

FI = 42"x42"x24" CONCRETE PAD FI = 48"x48"x24" CONCRETE PAD
F2 = 36"x36"x18" CONCRETE PAD F2 = 40"x40"x20" CONCRETE PAD
F3 = 30"x30"x15" CONCRETE PAD F3 = 34"x34"x17" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x14" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

BRICK VENEER LINTELS

WL1 = 3-1/2"x3-1/2"x1/4" (100x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4"x3-1/2"x5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5"x3-1/2"x5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6"x3-1/2"x3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6"x4"x3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5"x3-1/2"x5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5"x3-1/2"x5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
WL8 = 5"x3-1/2"x5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2
WL9 = 6"x4"x3/8" (150x100x10.0L) + 3-2"x12" SPR. No.2

LINTELS AND BEAMS

WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)
WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)
WB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)
WB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)
WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)
WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)
WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)
WB8 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)
WB9 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)
LVL10 = 2-1 3/4" x 18" (2-45x456)

LVL BEAMS SHALL BE VERSA-LAM 2.0E (Fb=2800psi MIN) OR
EQUIVALENT.

LOOSE STEEL LINTELS

L1 = 3-1/2"x3-1/2"x1/4" (100x90x6.0L)
L2 = 4"x3-1/2"x5/16" (100x90x8.0L)
L3 = 5"x3-1/2"x5/16" (125x90x8.0L)
L4 = 6"x3-1/2"x3/8" (150x90x10.0L)
L5 = 6"x4"x3/8" (150x100x10.0L)
L6 = 7"x4"x3/8" (175x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-0" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

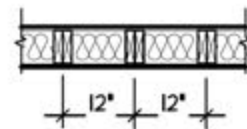
SPACE CONVENTIONAL FLOOR JOISTS @ 12"
O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF
5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR
ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER
TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS
FOR ENGINEERED FRAMING LAYOUTS

2-2"x6" STUD WALL NAILED TOGETHER AND
SPACED @ 12" O.C. FULL HT C/M SOLID
BLOCKING 4'-0" O.C. VERTICAL AND 7/16"
EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL
FOR THIS DETAIL IS 18'-0"

TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 15E
STUD WALL GLUED AND NAILED TOGETHER
AND SPACED MAX. @ 10" O.C. FULL HT C/M
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL
AND 7/16" EXT. OSB SHEATHING.



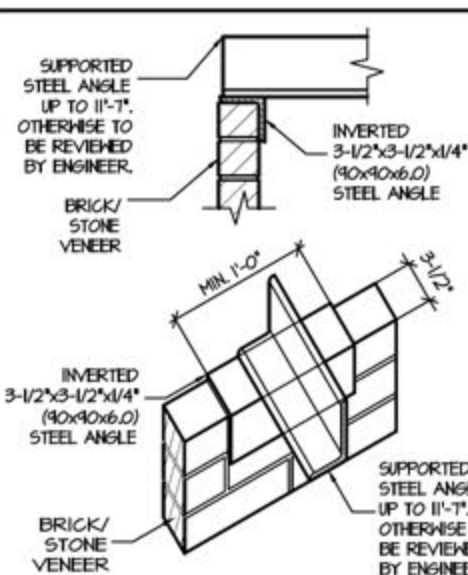
NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 20'-2" AND MAXIMUM WIDTH
IS 40'-0"

TWO STORY HEIGHT WALL DETAIL

THE MINIMUM THERMAL PERFORMANCE OF BUILDING
ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE
FOLLOWING

COMPLIANCE PACKAGE "A1"

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.51 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSE FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	3.87 (R22)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY RATING = 25, MAX. U=0.28
SPACE HEATING EQUIPMENT MINIMUM AFUE	96%
HVAC MINIMUM EFFICIENCY	75%
HOT WATER TANK	MIN. EF 0.80



INVERTED STEEL ANGLE DETAIL

AREA CALCULATIONS ELEV. 2

GROUND FLOOR AREA	=	1440	Sq. Ft.
SECOND FLOOR AREA	=	1835	Sq. Ft.
TOTAL FLOOR AREA	=	3275	Sq. Ft.
	=	304.26	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	6	Sq. Ft.
ADD TOTAL OPEN AREAS	=	6	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	3281	Sq. Ft.
	=	304.82	Sq. M.
GROUND FLOOR COVERAGE	=	1440	Sq. Ft.
GARAGE COVERAGE / AREA	=	391	Sq. Ft.
PORCH COVERAGE / AREA	=	62	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1893	Sq. Ft.
	=	175.87	Sq. m.
TOTAL COVERAGE W/O PORCH	=	1831	Sq. Ft.
	=	170.11	Sq. m.

AREA CALCULATIONS ELEV. 3

GROUND FLOOR AREA	=	1440	Sq. Ft.
SECOND FLOOR AREA	=	1831	Sq. Ft.
TOTAL FLOOR AREA	=	3271	Sq. Ft.
	=	303.84	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	6	Sq. Ft.
ADD TOTAL OPEN AREAS	=	6	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	3277	Sq. Ft.
	=	304.44	Sq. M.
GROUND FLOOR COVERAGE	=	1440	Sq. Ft.
GARAGE COVERAGE / AREA	=	391	Sq. Ft.
PORCH COVERAGE / AREA	=	65	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1896	Sq. Ft.
	=	176.14	Sq. m.
TOTAL COVERAGE W/O PORCH	=	1831	Sq. Ft.
	=	170.11	Sq. m.

AREA CALCULATIONS		ELEV. 1	
GROUND FLOOR AREA	=	1440	Sq. Ft.
SECOND FLOOR AREA	=	1824	Sq. Ft.
TOTAL FLOOR AREA	=	3264	Sq. Ft.
	=	303.24	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	6	Sq. Ft.
ADD TOTAL OPEN AREAS	=	6	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	3270	Sq. Ft.
	=	303.79	Sq. M.
GROUND FLOOR COVERAGE	=	1440	Sq. Ft.
GARAGE COVERAGE / AREA	=	391	Sq. Ft.
PORCH COVERAGE / AREA	=	62	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1893	Sq. Ft.
	=	175.87	Sq. m.
TOTAL COVERAGE W/O PORCH	=	1831	Sq. Ft.
	=	170.11	Sq. m.

TERRACOTTA 1		ELEV.1		COMPLIANCE PACKAGE "A1"	
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	185.50	12.98	114.55	10.64	14.58 %
LEFT SIDE	1120.00	104.05	81.61	7.59	7.29 %
RIGHT SIDE	1120.00	104.05	55.50	5.16	4.96 %
REAR	712.61	66.20	158.95	14.71	22.31 %
TOTAL	3138.11	341.28	410.61	38.15	10.99 %

TERRACOTTA 1		ELEV.2		COMPLIANCE PACKAGE "A1"	
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	802.26	74.53	128.12	11.90	15.97 %
LEFT SIDE	1120.00	104.05	81.61	7.59	7.29 %
RIGHT SIDE	1120.00	104.05	55.50	5.16	4.96 %
REAR	712.61	66.20	158.95	14.71	22.31 %
TOTAL	3154.87	348.84	424.24	39.41	11.30 %

TERRACOTTA 1		ELEV.3		COMPLIANCE PACKAGE "A1"	
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	742.00	73.58	142.33	13.22	17.97 %
LEFT SIDE	1120.00	104.05	81.61	7.59	7.29 %
RIGHT SIDE	1120.00	104.05	55.50	5.16	4.96 %
REAR	712.61	66.20	158.95	14.71	22.31 %
TOTAL	3144.61	341.84	438.45	40.73	11.71 %

W Architect Inc.
DESIGN CONTROL REVIEW
APRIL 13, 2022
FINAL BY: *W Architect Inc.*
This stamp is only for the purposes of design
control and carries no other professional obligations.

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
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Architect is not responsible in any way for
examining or approving site (lotting) plans or
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building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the City of
HAMILTON.

STRUDET INC.



FOR STRUCTURE ONLY

CITY OF RICHMOND HILL
BUILDING DIVISION

09/22/2022

RECEIVED

Per: joshua.nabua

TERRACOTTA 1
COMPLIANCE PACKAGE "A1"

Greenpark.

PROJECT NAME
ROUNDEL HOMES INC.

5.		
4.		
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1.	ISSUED FOR REVIEW	MAR 2021
REVISIONS		

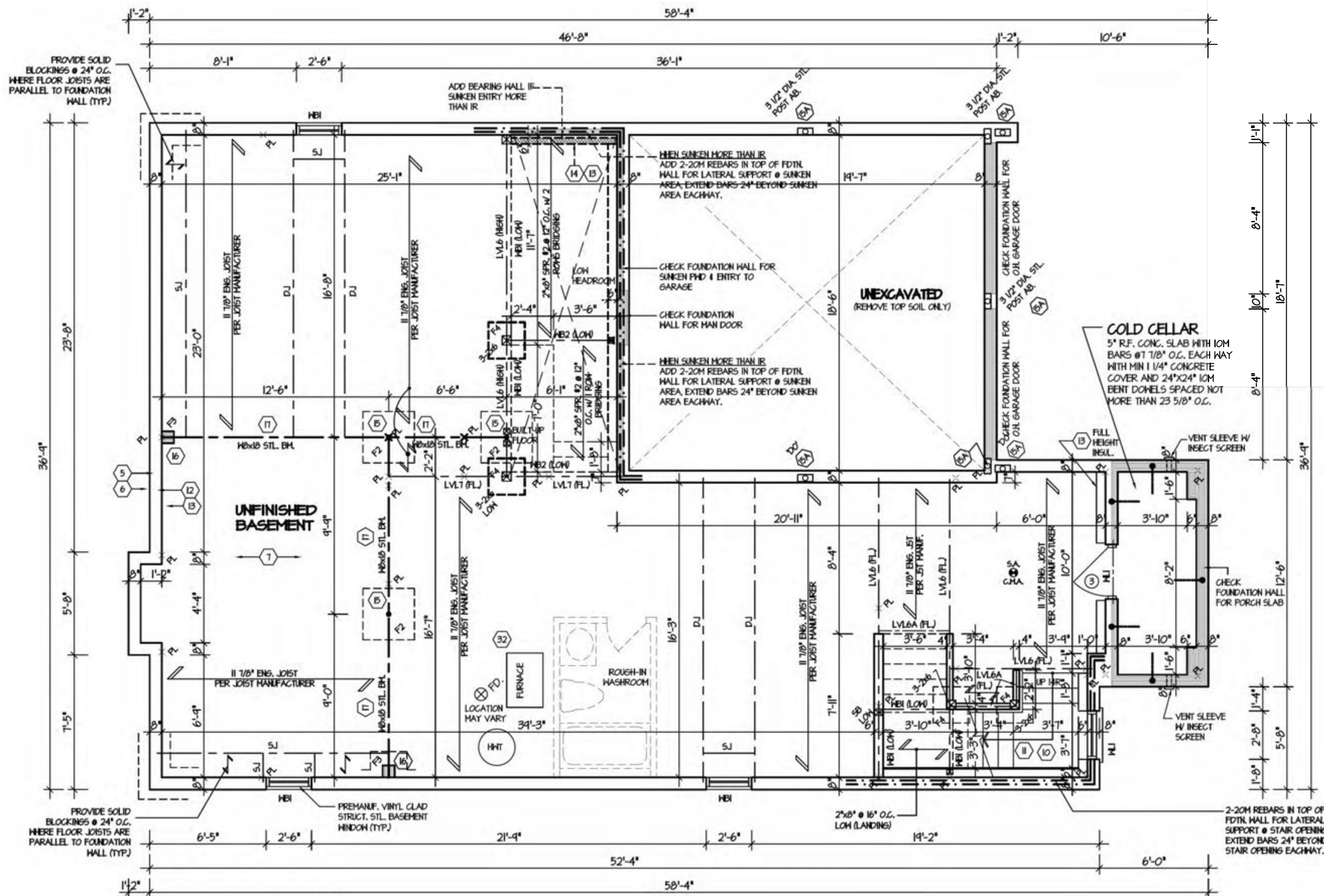
The undersigned has reviewed and takes responsibility for this
design, and has the qualifications and meets the requirements set
out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code
VIKAS GAJJAR
NAME
28770
SIGNATURE
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION
DESIGN
INC.

SHEET TITLE
AREA CHARTS
SCALE
3/16"=1'-0"
DATE
MAR 2021
BY
V.G.
TYPE

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.
AREA
3.270
PAGE No.
0
PROJECT



BASEMENT PLAN - ELEV. 3'

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

For approved engineered floor joist systems, including beams and their support, reference shall be made to the approved engineered floor layout attached to these drawings. Follow the manufacturers specifications and bearing requirements as stated.



TERRACOTTA 1
COMPLIANCE PACKAGE "A1"

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	MAR 2021

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REGION DESIGN INC.

SHEET TITLE
**BASEMENT PLAN
ELEV. 3**

SCALE
3/16"=1'-0"

DATE
MAR 2021

BY
V.G.

TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA
3.270

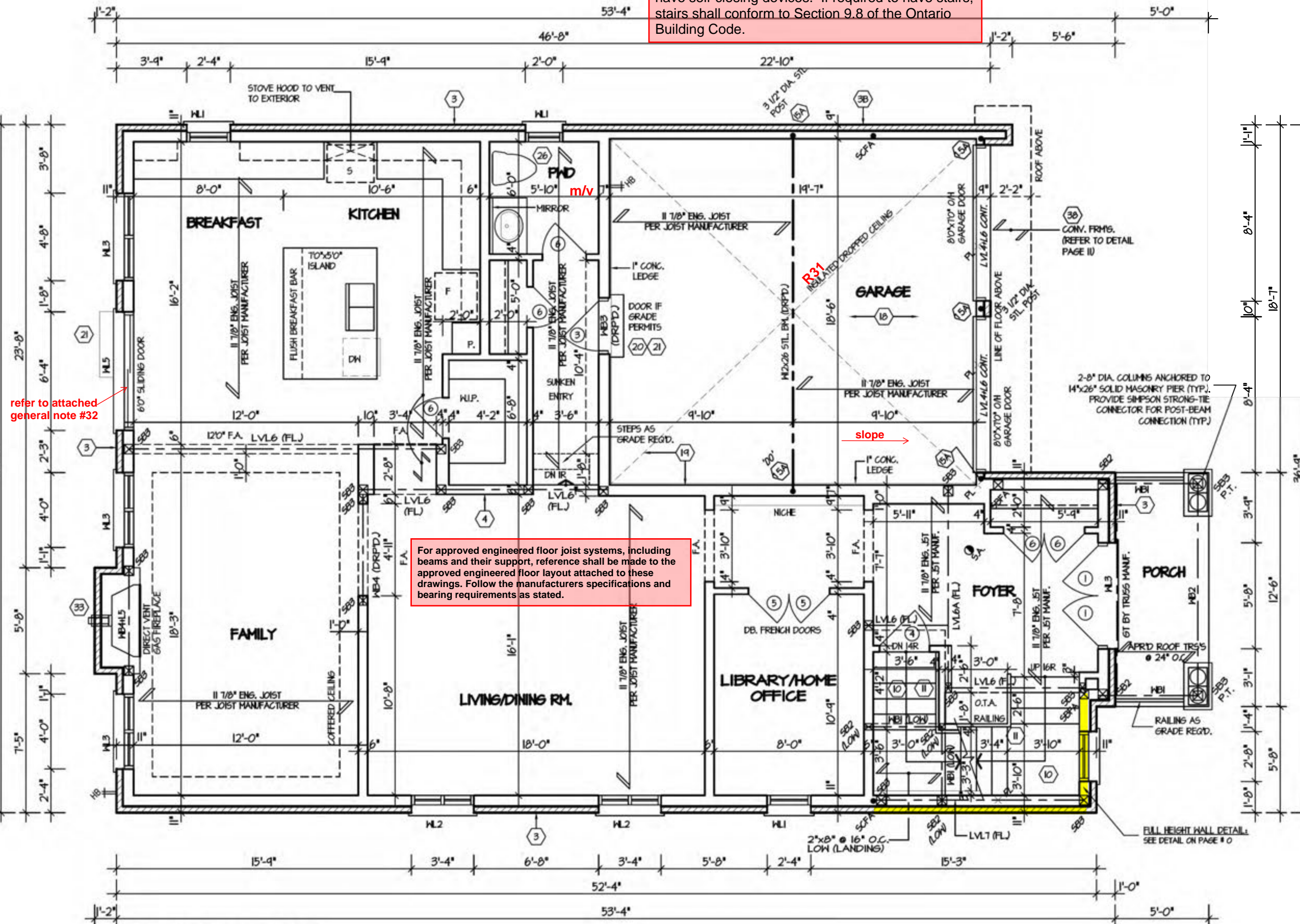
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1-3

PROJECT

Greenpark
CITY OF RICHMOND HILL
BUILDING DIVISION
09/22/2022
PROJECT NAME
ROUNDEL HOMES INC.

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All doors between the garage and living space shall have self-closing devices. If required to have stairs, stairs shall conform to Section 9.8 of the Ontario Building Code.



refer to attached general note #32

For approved engineered floor joist systems, including beams and their support, reference shall be made to the approved engineered floor layout attached to these drawings. Follow the manufacturers specifications and bearing requirements as stated.

GROUND FLOOR PLAN - ELEV. 1'

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGINGS FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 5/8" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

STRUDET INC.



FOR STRUCTURE ONLY

TERRACOTTA 1
COMPLIANCE PACKAGE "A1"

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REGION DESIGN INC.

SHEET TITLE
FIRST FLOOR PLAN
ELEV. 1

SCALE
3/16"=1'-0"

DATE
MAR 2021

BY
V.G.

TYPE

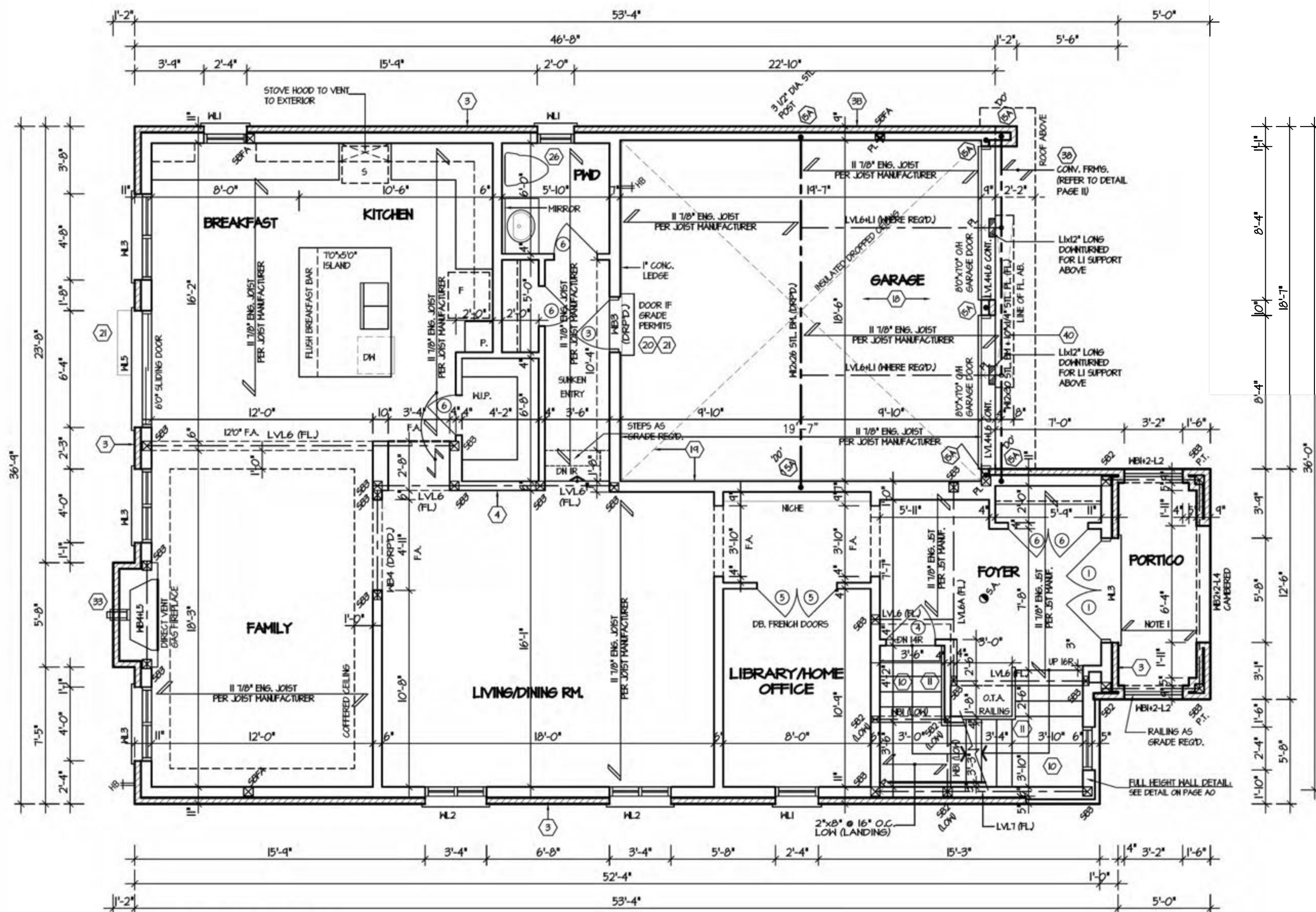
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AREA
3.270

PAGE No.
2

Greenpark
CITY OF RICHMOND HILL
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GROUND FLOOR PLAN - ELEV. '2'

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGINGS FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 5/8" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

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TERRACOTTA 1
COMPLIANCE PACKAGE "A1"



09/22/2022
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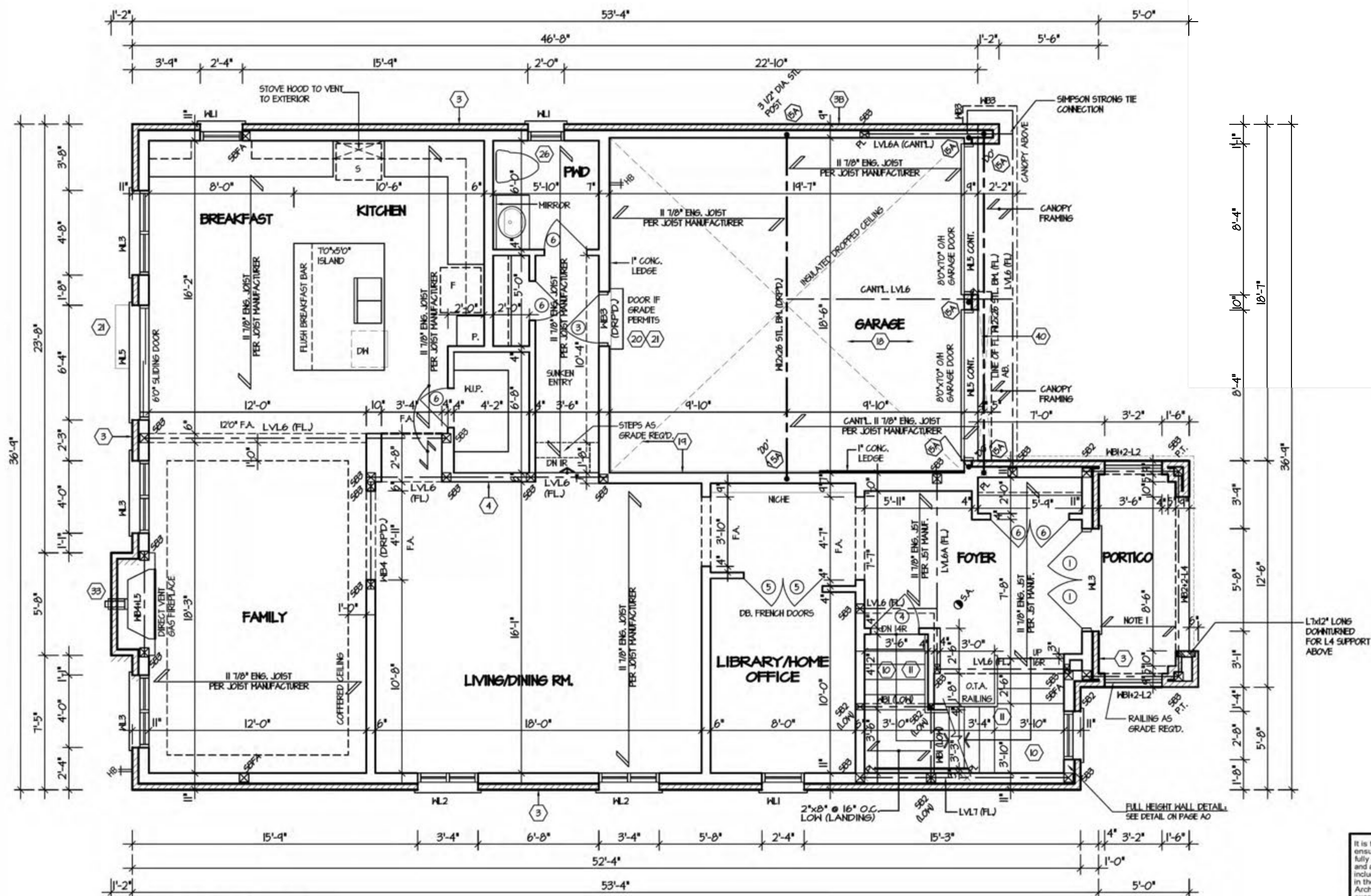
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SHEET TITLE
FIRST FLOOR PLAN
 ELEV. 2
 SCALE 3/16"=1'-0"
 DATE MAR 2021
 BY V.G.
 TYPE

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 AREA 3.270
 PAGE No. 2-2
 PROJECT

PROJECT NAME
ROUNDEL HOMES INC.



GROUND FLOOR PLAN - ELEV. 3'

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

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COMPLIANCE PACKAGE "A1"



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REGION DESIGN INC.

SHEET TITLE
FIRST FLOOR PLAN
ELEV. 3

SCALE
3/16"=1'-0"

DATE
MAR 2021

BY
V.G.

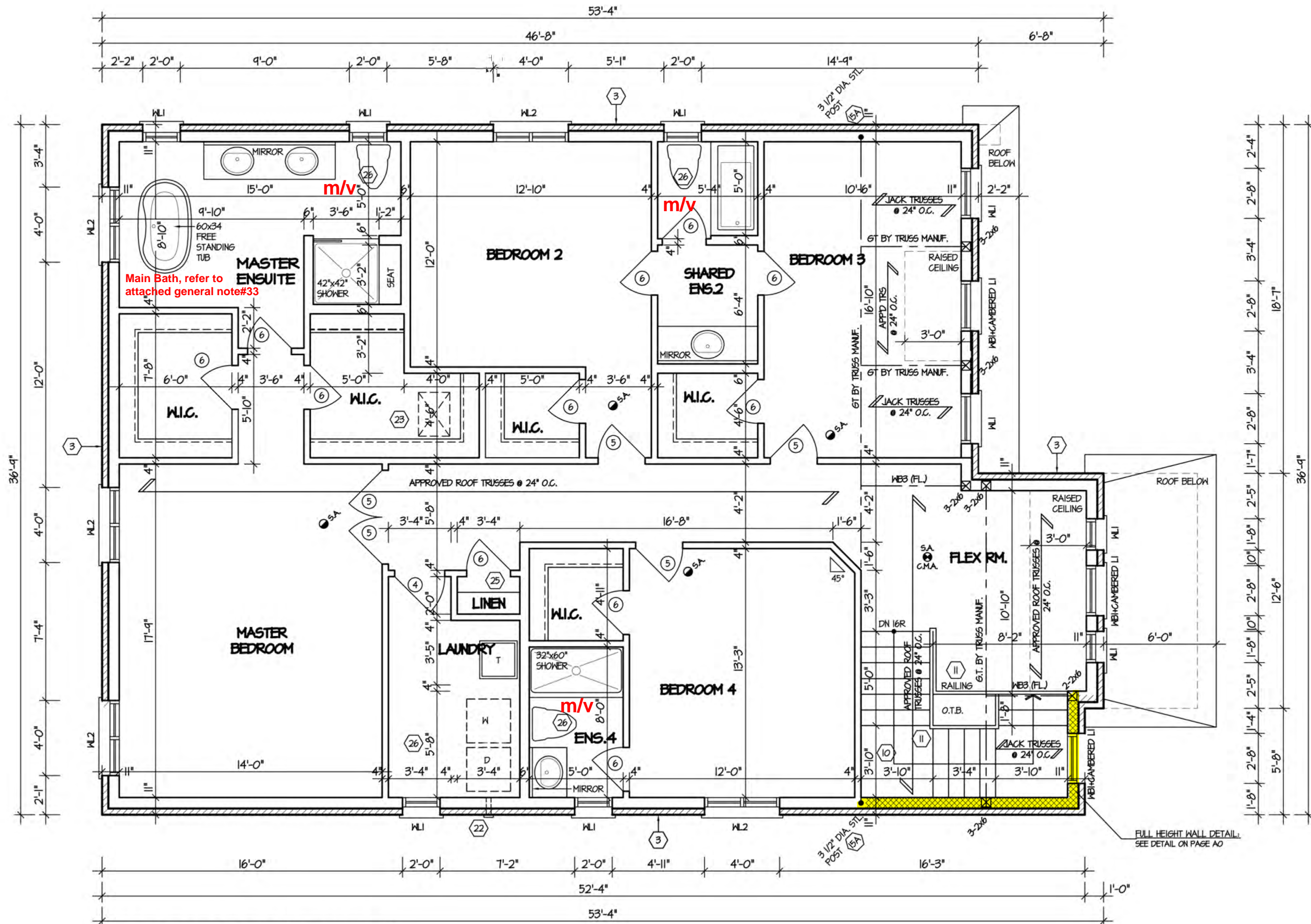
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA
3.270

PAGE No.
2-3

09/22/2022
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Per: joshua.nabua



SECOND FLOOR PLAN - ELEV. "I"

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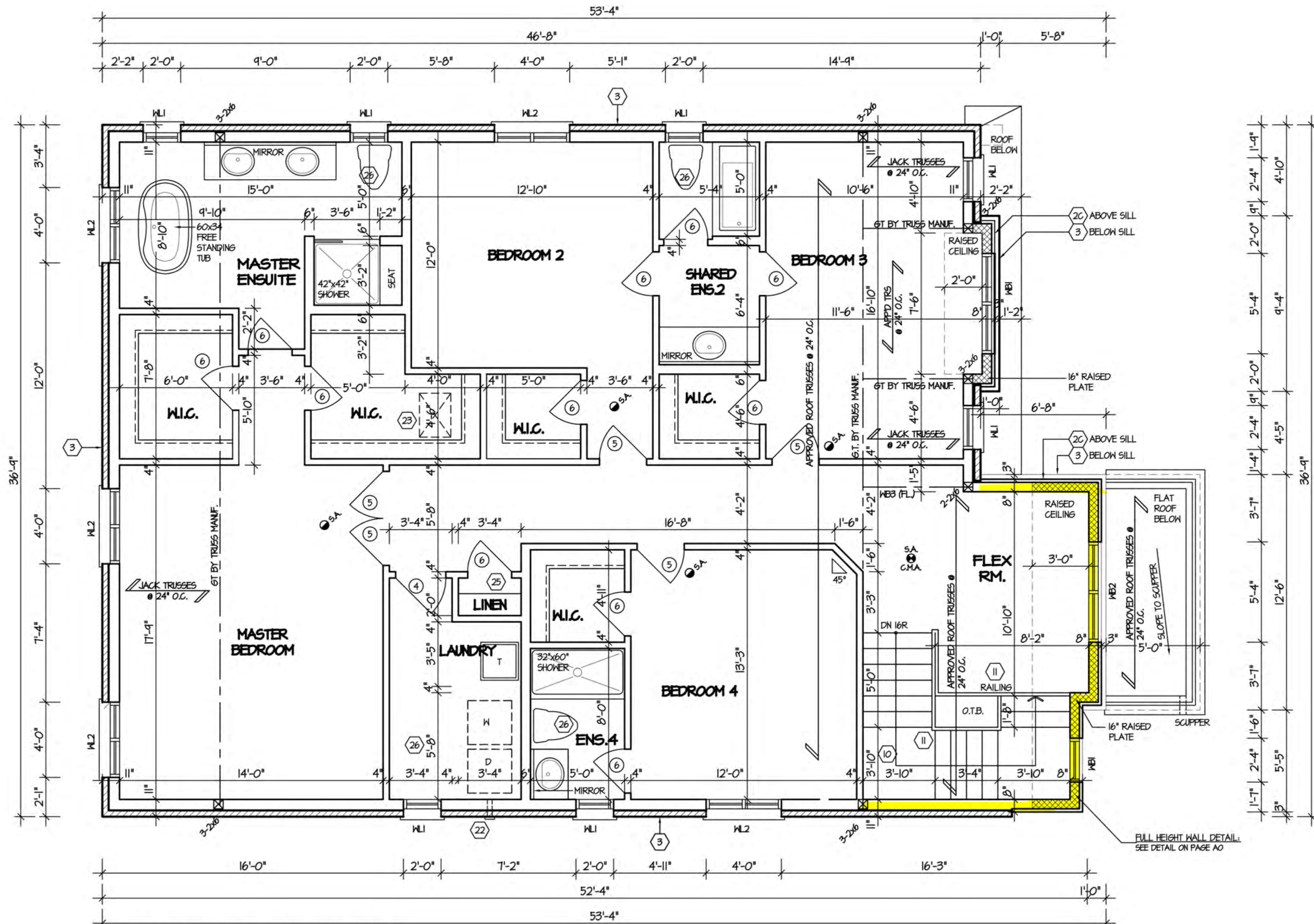
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.



FOR STRUCTURE ONLY

TERRACOTTA 1
COMPLIANCE PACKAGE "A1"

<div> <div>5.</div> <div>4.</div> <div>3.</div> <div>2.</div> <div>1. ISSUED FOR REVIEW</div> </div> <div> <div>REVISIONS</div> <div>MAR 2021</div> </div>	<div> <div>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</div> <div>QUALIFICATION INFORMATION</div> <div>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</div> <div>VIKAS GAJJAR</div> <div>NAME</div> <div>28770</div> <div>SIGNATURE</div> <div>BCIN</div> </div>	<div> <div>REGION DESIGN INC.</div> <div>8700 DUFFERIN ST.</div> <div>CONCORD, ONTARIO</div> <div>L4K 4S6</div> <div>P (416) 736-4096</div> <div>F (905) 660-0746</div> </div>	<div> <div>REGION DESIGN INC.</div> </div>	<div> <div>SHEET TITLE</div> <div>SECOND FLOOR PLAN</div> <div>ELEV. 1</div> <div>SCALE</div> <div>3/16"=1'-0"</div> <div>DATE</div> <div>MAR 2021</div> </div>	<div> <div>CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.</div> <div>AREA</div> <div>3.270</div> <div>PAGE NO.</div> <div>3</div> </div>	<div> <div>PROJECT NAME</div> <div>ROUNDEL HOMES INC.</div> <div>09/22/2022</div> <div>RECEIVED</div> <div>Per: joshua.nabua</div> </div>
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SECOND FLOOR PLAN - ELEV. '2'

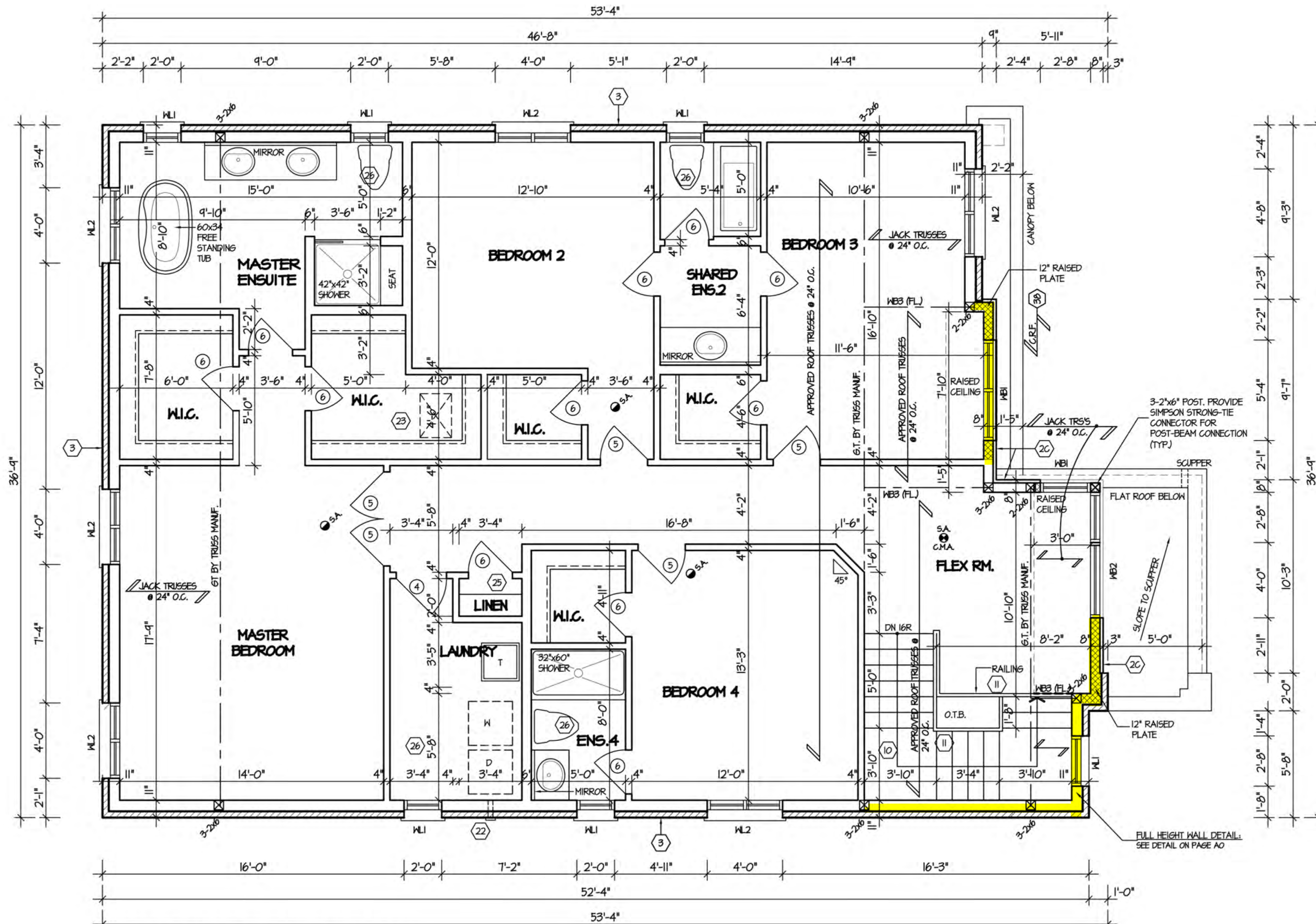
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TERRACOTTA 1
COMPLIANCE PACKAGE "A1"

<p>5. _____</p> <p>4. _____</p> <p>3. _____</p> <p>2. _____</p> <p>1. ISSUED FOR REVIEW MAR 2021</p> <p>REVISIONS</p>	<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION</p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR 28770</p> <p>NAME SIGNATURE BCIN</p>	<p>REGION DESIGN INC.</p> <p>8700 DUFFERIN ST.</p> <p>CONCORD, ONTARIO</p> <p>L4K 4S6</p> <p>P (416) 736-4096</p> <p>F (905) 660-0746</p>	<p>REGION DESIGN INC.</p>	<p>SHEET TITLE</p> <p>SECOND FLOOR PLAN</p> <p>ELEV. 2</p> <p>SCALE 3/16"=1'-0"</p> <p>DATE MAR 2021</p>	<p>CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.</p> <p>AREA 3.270</p> <p>PAGE No. 3-2</p>	<p>Greenpark</p> <p>PROJECT NAME</p> <p>ROUNDEL HOMES INC.</p> <p>09/22/2022</p> <p>RECEIVED</p> <p>Per: joshua.nabua</p>
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SECOND FLOOR PLAN - ELEV. '3'

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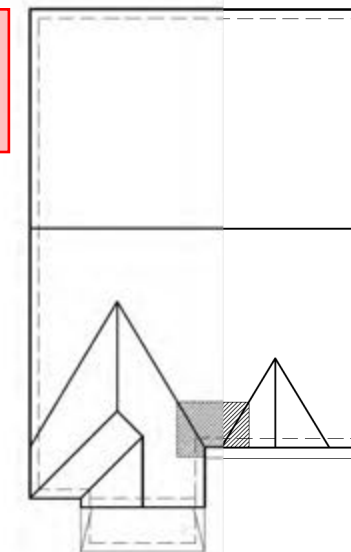


TERRACOTTA 1
COMPLIANCE PACKAGE "A1"

<div> <div>5.</div> <div>4.</div> <div>3.</div> <div>2.</div> <div>1. ISSUED FOR REVIEW</div> </div> <div> <div>REVISIONS</div> <div>MAR 2021</div> </div>	<div> <div>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</div> <div> <div>QUALIFICATION INFORMATION</div> <div>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</div> </div> <div> <div>VIKAS GAJJAR</div> <div>NAME</div> </div> <div> <div>28770</div> <div>BCIN</div> </div> </div>	<div> <div>REGION DESIGN INC.</div> <div>8700 DUFFERIN ST.</div> <div>CONCORD, ONTARIO</div> <div>L4K 4S6</div> <div>P (416) 736-4096</div> <div>F (905) 660-0746</div> </div>	<div> <div>REGION DESIGN INC.</div> </div>	<div> <div>SHEET TITLE</div> <div>SECOND FLOOR PLAN</div> <div>ELEV. 3</div> <div>SCALE</div> <div>3/16"=1'-0"</div> <div>DATE</div> <div>MAR 2021</div> </div>	<div> <div>CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.</div> <div> <div>AREA</div> <div>3.270</div> <div>PAGE NO.</div> <div>3-3</div> </div> </div>	<div> <div>PROJECT NAME</div> <div>ROUNDEL HOMES INC.</div> </div>
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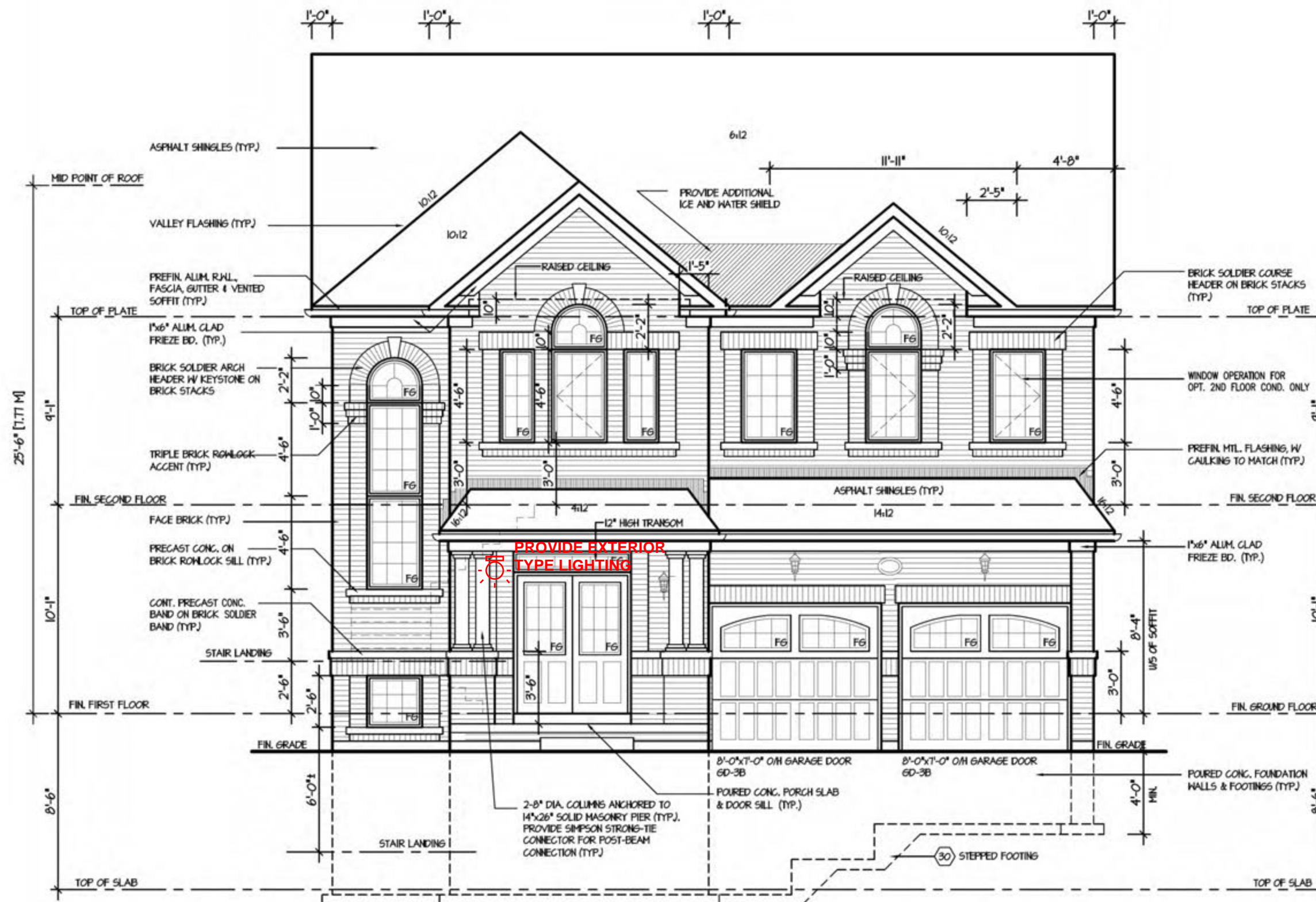
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Per: joshua.nabua

Attic ventilation min. 1 square foot / 300 square foot of ceiling area. Locate 50% of ventilation near ridge.



ROOF PLAN - ELEV. '1'

Refer to approved truss drawings for roof framing layout and specifications for correct bearing, uplift and anchorage.



FRONT ELEVATION - ELEV. '1'

W Architect Inc.
DESIGN CONTROL REVIEW
APRIL 13, 2022
FINAL BY: *W*
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COMPLIANCE PACKAGE "A1"

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4.					SCALE 3/16"=1'-0"	BY V.G.	AREA 3.270	PAGE No. 4
3.					DATE MAR 2021	TYPE	PROJECT	
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1.	ISSUED FOR REVIEW				MAR 2021			
REVISIONS						PROJECT NAME ROUNDEL HOMES INC.		



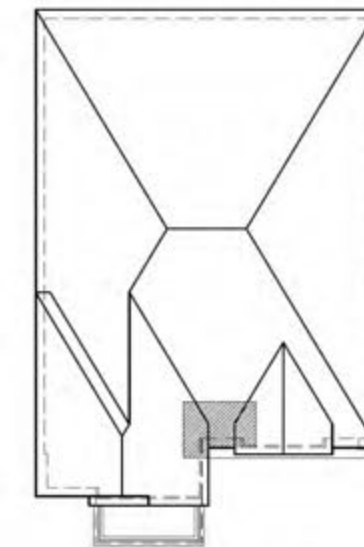
CITY OF RICHMOND HILL
BUILDING DIVISION

09/22/2022

Greenpark
CITY OF RICHMOND HILL
BUILDING DIVISION

09/22/2022

RECEIVED
Per: joshua.nabua



Refer to approved truss drawings for roof framing layout and specifications for correct bearing, uplift and anchorage.



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W Architect Inc.
DESIGN CONTROL REVIEW
APRIL 13, 2022
FINAL BY: *W.A.*
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TERRACOTTA 1
COMPLIANCE PACKAGE "A1"

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2.	FRONT ROOF DRAWN 8:12 BUT LABELED 10:12	APR 2020
1.	ISSUED FOR REVIEW	MAR 2021
REVISIONS		

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

**REGION
DESIGN
INC.**

SHEET TITLE
**FRONT ELEVATION
ELEV. 2**

SCALE
3/16"=1'-0"

DATE
MAR 2021

BY
V.G.

TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

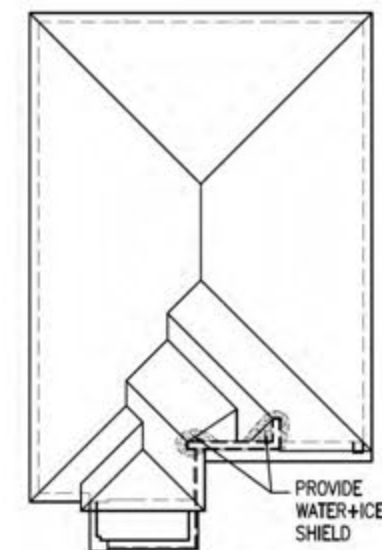
AREA
3.270

PAGE No.
4-2

PROJECT

Greenpark
CITY OF RICHMOND HILL
BUILDING DIVISION
09/22/2022
PROJECT NAME
ROUNDEL HOMES INC.

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Refer to approved truss drawings for roof framing layout and specifications for correct bearing, uplift and anchorage.



PORTICO INTERIOR ELEVATION PI

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W Architect Inc.
DESIGN CONTROL REVIEW
APRIL 13, 2022
FINAL BY: ACE
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TERRACOTTA 1



09/22/2022

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Per: joshua.nabua



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REVISIONS		

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QUALIFICATION INFORMATION

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VIKAS GAJJAR	28770
NAME	SIGNATURE
	BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION
DESIGN
INC.

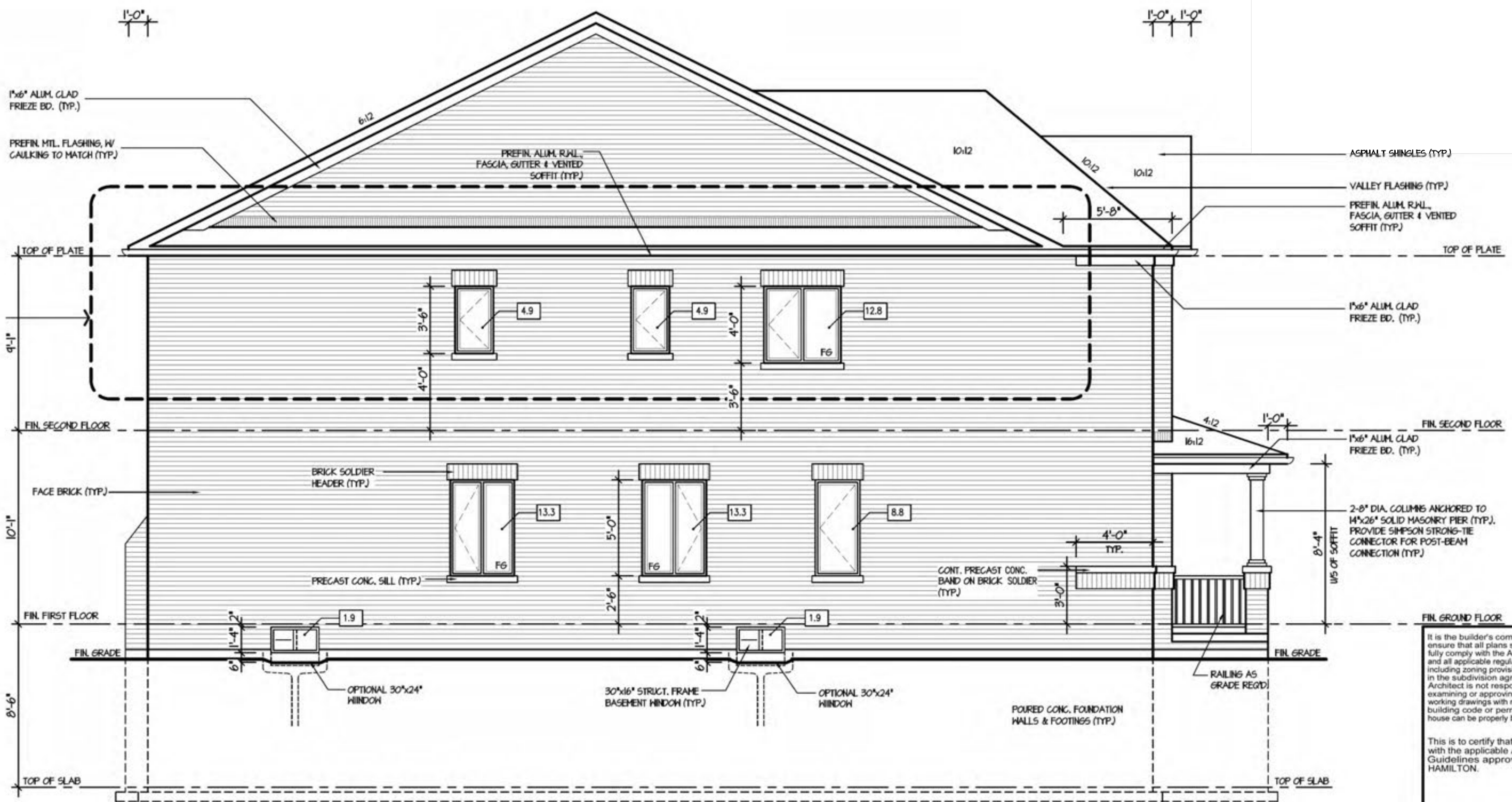
SHEET TITLE	
FRONT ELEVATION ELEV. 3	
SCALE	BY
3/16"=1'-0"	V.G.
DATE	TYPE
MAR 2021	

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER PRINTS ARE NOT TO BE SCALED.	
AREA 3.270	PAGE No. 4-3
PROJECT	

PAGE No.

4-3

PROJECT NAME	09/22/20
ROUNDEL HOMES INC.	



LEFT SIDE ELEVATION - ELEV. '1'

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

ALLOWABLE GLAZING

WALL AREA	1099.00
ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDEYARD)	76.93
ACTUAL WINDOW AREA [5 BED OPTION]	61.8 [70.0]
WITH OPTIONAL 30"x24" BASEMENT WINDOWS ACTUAL OPENING AREA [5 BED OPTION]	64.6 [72.8]



TERRACOTTA 1
COMPLIANCE PACKAGE "A1"

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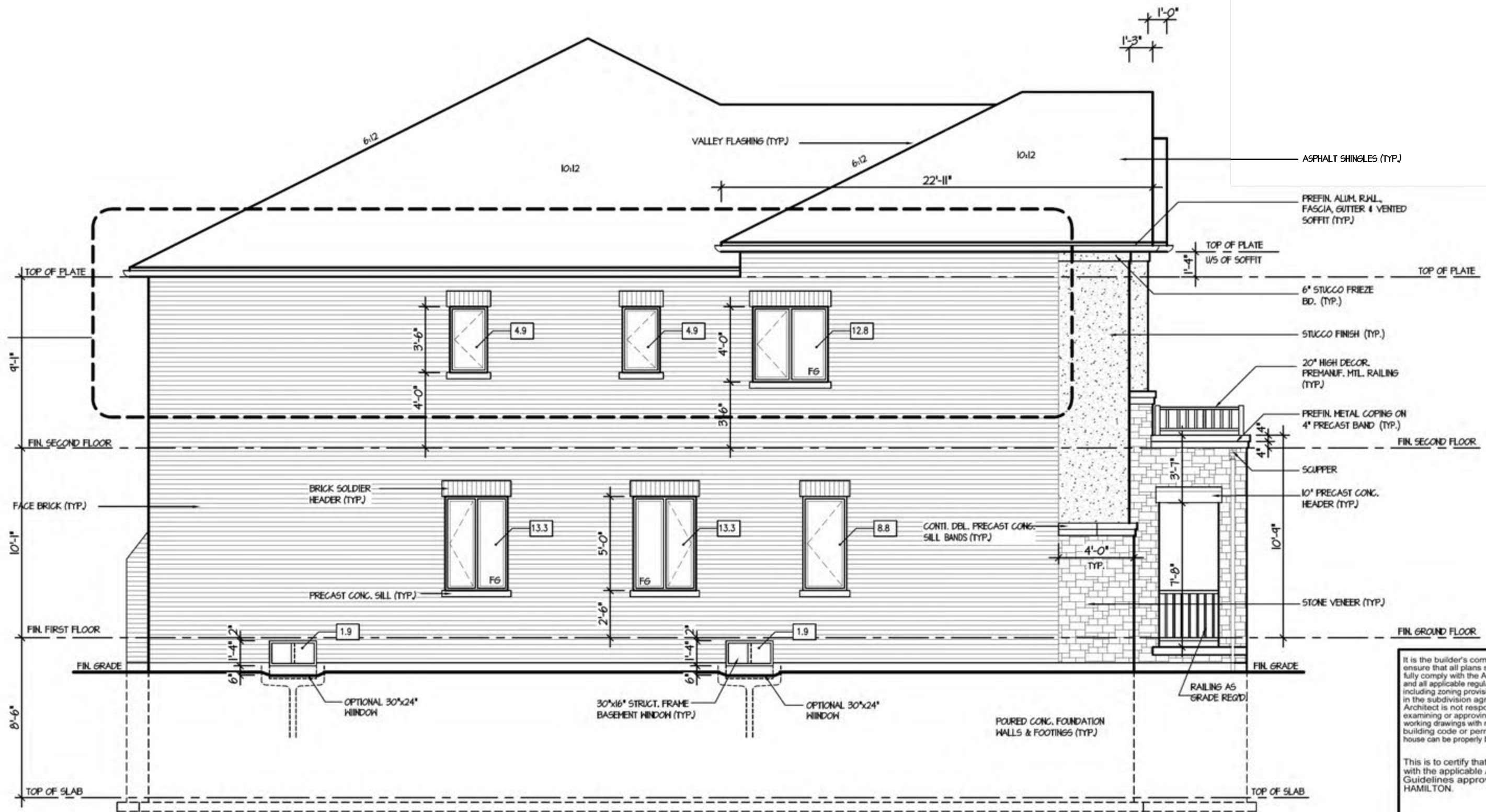
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09/22/2022

RECEIVED
Per: joshua.nabua



LEFT SIDE ELEVATION - ELEV. '2'

ALLOWABLE GLAZING

WALL AREA	1121.00
ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDEYARD)	78.47
ACTUAL WINDOW AREA [5 BED OPTION]	61.8 [70.0]
WITH OPTIONAL 30"x24" BASEMENT WINDOWS ACTUAL OPENING AREA [5 BED OPTION]	64.6 [72.8]

W Architect Inc.
DESIGN CONTROL REVIEW
APRIL 13, 2022
FINAL BY: *[Signature]*
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TERRACOTTA 1
COMPLIANCE PACKAGE "A1"

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REVISIONS		

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QUALIFICATION INFORMATION
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VIKAS GAJJAR
NAME
28770
BCIN

[Signature]
SIGNATURE

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

**REGION
DESIGN
INC.**

SHEET TITLE
**LEFT SIDE ELEVATION
ELEV. 2**

SCALE
3/16"=1'-0"

DATE
MAR 2021

BY
V.G.

TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

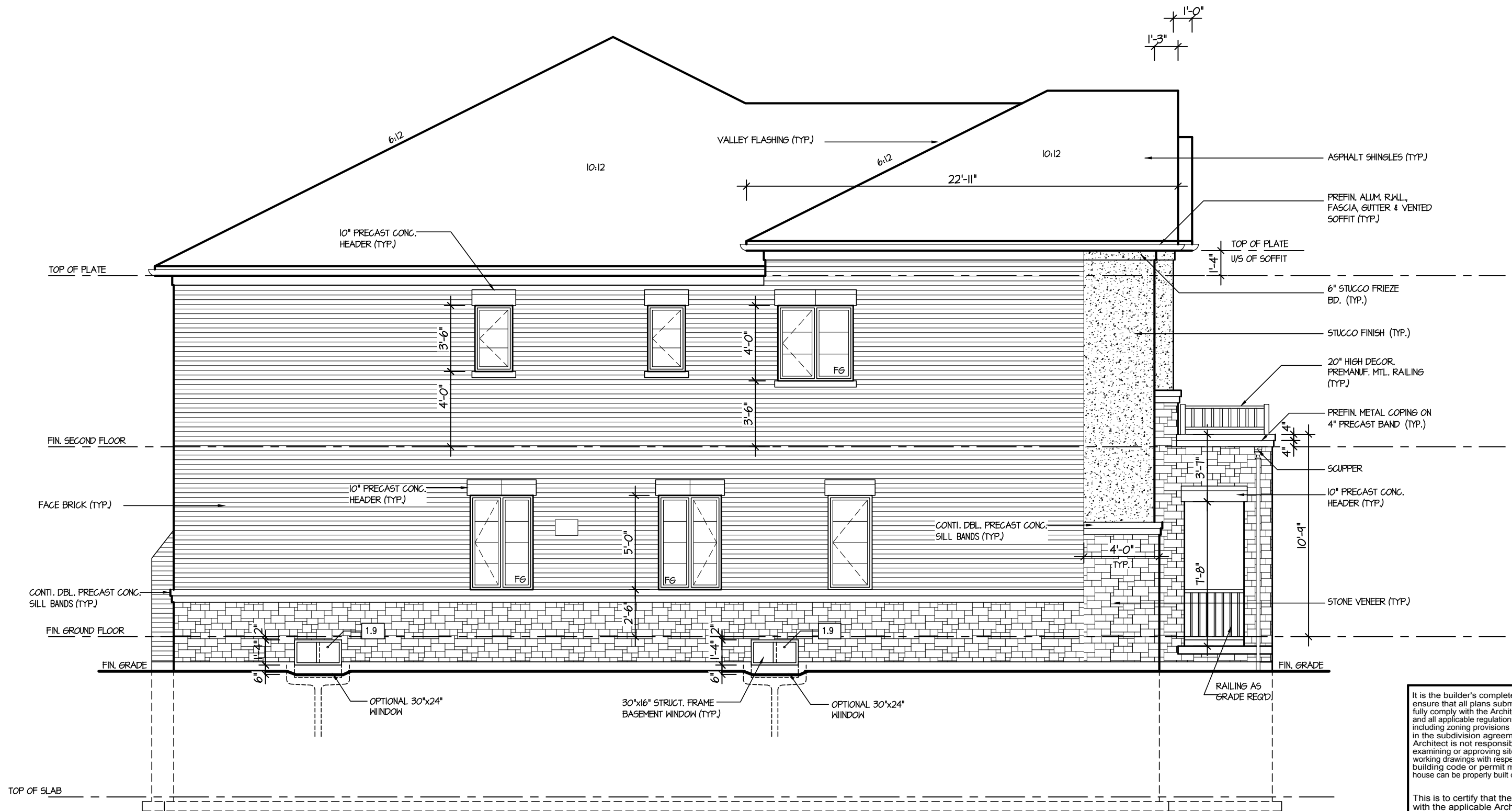
AREA
3.270

PAGE No.
5-2

PROJECT

Greenpark
CITY OF RICHMOND HILL
BUILDING DIVISION
09/22/2022
PROJECT NAME
ROUNDEL HOMES INC.

RECEIVED
Per: joshua.nabua



LEFT SIDE ELEVATION - ELEV. '2'
UPGRADE FOR LOT 171

ALLOWABLE GLAZING

WALL AREA	1121.00
ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDEYARD)	78.47
ACTUAL WINDOW AREA [5 BED OPTION]	61.8 [70.0]
WITH OPTIONAL 30"x24" BASEMENT WINDOWS ACTUAL OPENING AREA [5 BED OPTION]	64.6 [72.8]

ACTUAL GRADE CONDITIONS
MAY VARY WITH FINAL SITING

W Architect Inc.
DESIGN CONTROL REVIEW
APRIL 13, 2022
FINAL BY: *W*
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TERRACOTTA 1
COMPLIANCE PACKAGE "A1"

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NAME
28770
SIGNATURE
BCIN

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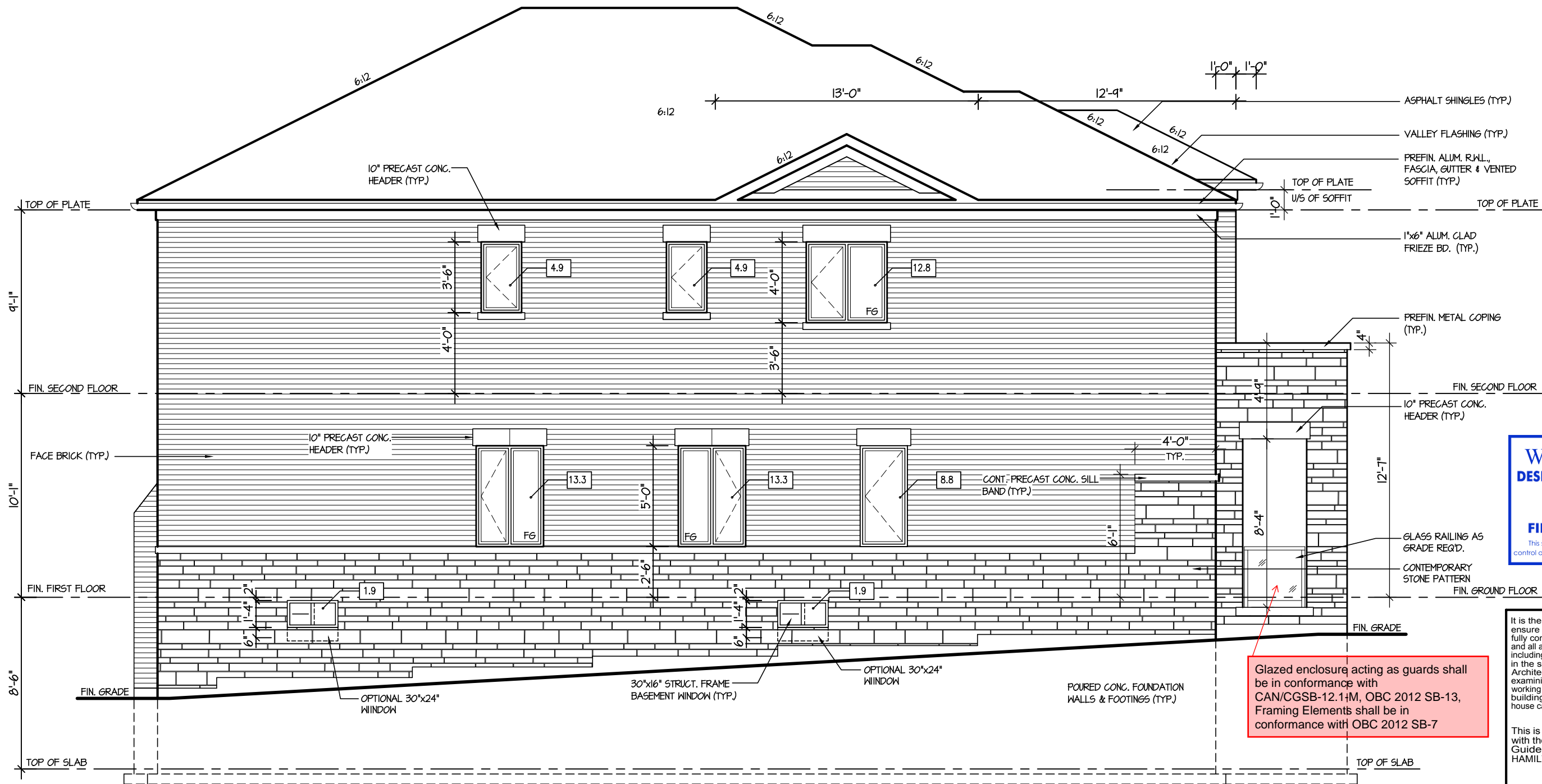


SHEET TITLE LEFT SIDE ELEVATION ELEV. 2	
SCALE 3/16"=1'-0"	BY V.G.
DATE MAR 2021	TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA 3.270	PAGE No. 5-2A
PROJECT	

Greenpark
PROJECT NAME
ROUNDEL HOMES INC.

RECEIVED
Per: joshua.nabua



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APRIL 13, 2022
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LEFT SIDE ELEVATION - ELEV. '3'
UPGRADE FOR LOT 108

ALLOWABLE GLAZING

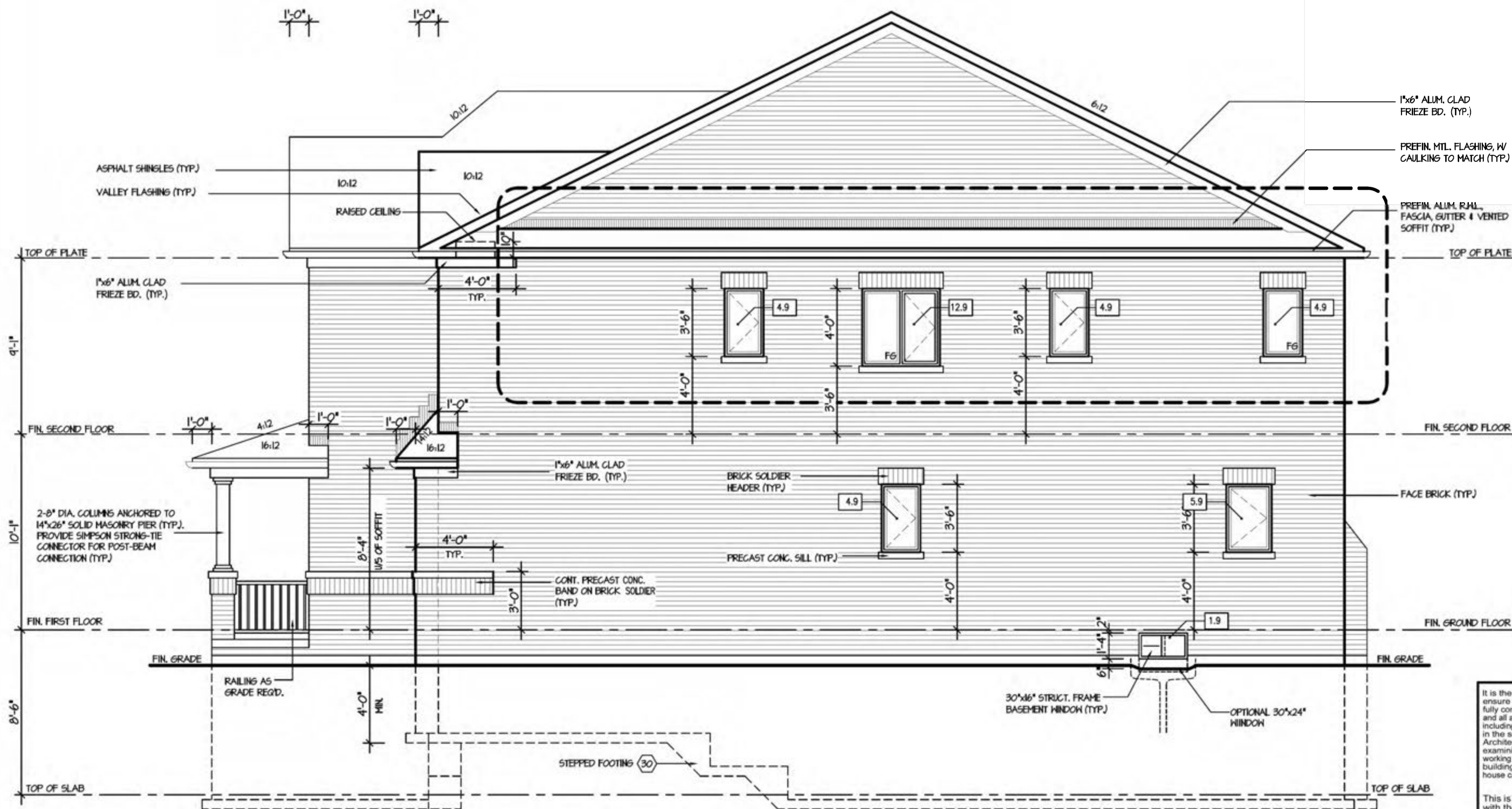
WALL AREA	1099.00
ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDEYARD)	76.93
ACTUAL WINDOW AREA [5 BED OPTION]	61.8 [70.0]
WITH OPTIONAL 30"x24" BASEMENT WINDOWS ACTUAL OPENING AREA [5 BED OPTION]	64.6 [72.8]

ACTUAL GRADE CONDITIONS
MAY VARY WITH FINAL SITING

TERRACOTTA 1
COMPLIANCE PACKAGE "A1"

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4.					SCALE 3/16"=1'-0"	BY V.G.	AREA 3.270	PAGE No. 5-3A	
3.					DATE MAR 2021	TYPE	PROJECT	PROJECT NAME ROUNDEL HOMES INC.	
2.									
1.	ISSUED FOR REVIEW				MAR 2021				
REVISIONS									

10:08:45 AM M:\PROJECTS\ROUNDEL\TERRACOTTA 1\TERRACOTTA 1 MASTER.DWG March 30, 2022



RIGHT SIDE ELEVATION - ELEV. '1'

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

ALLOWABLE GLAZING

WALL AREA	480.00
ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDEYARD)	68.60
ACTUAL WINDOW AREA [5 BED OPTION]	40.3 [25.6]
WITH OPTIONAL 30"x24" BASEMENT WINDOW, ACTUAL OPENING AREA [5 BED OPTION]	41.7 [27.0]

W Architect Inc.
DESIGN CONTROL REVIEW
APRIL 13, 2022
FINAL BY: *Alt*
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TERRACOTTA 1
COMPLIANCE PACKAGE "A1"

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5.		
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1.	ISSUED FOR REVIEW	MAR 2021
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION
DESIGN
INC.

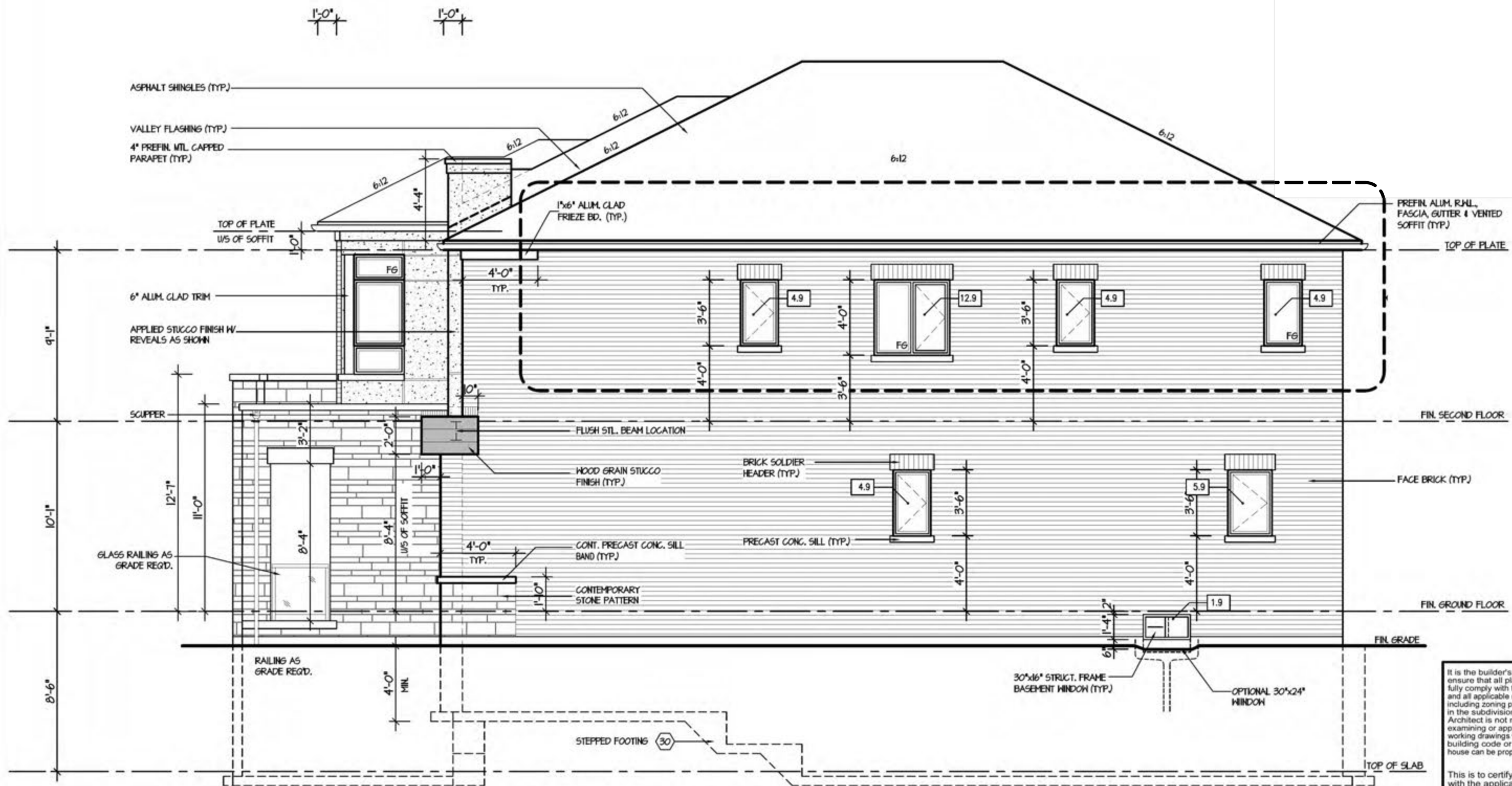
SHEET TITLE
RIGHT SIDE ELEVATION
ELEV. 1
SCALE
3/16"=1'-0"
DATE
MAR 2021
BY
V.G.
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA
3.270
PAGE No.
6
PROJECT

Greenpark
CITY OF RICHMOND HILL
BUILDING DIVISION
09/22/2022
PROJECT NAME
ROUNDEL HOMES INC.

RECEIVED
Per: joshua.nabua



RIGHT SIDE ELEVATION - ELEV. '3'

ALLOWABLE GLAZING

HALL AREA		980.00
ALLOWABLE WINDOW AREA @ 1.00 % (1.2 M SIDEYARD)		68.60
ACTUAL WINDOW AREA [5 BED OPTION]		40.3 [25.6]
WITH OPTIONAL 30"x24" BASEMENT WINDOWS ACTUAL OPENING AREA [5 BED OPTION]		41.1 [21.0]



TERRACOTTA 1
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**REGION
DESIGN
INC.**

SHEET TITLE
**RIGHT SIDE ELEVATION
ELEV. 3**

SCALE
3/16"=1'-0"

DATE
MAR 2021

BY
V.G.

TYPE

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AREA
3.270

PAGE No.
6-3

PROJECT

Greenpark

PROJECT NAME
ROUND EL HOMES INC.

09/22/2022

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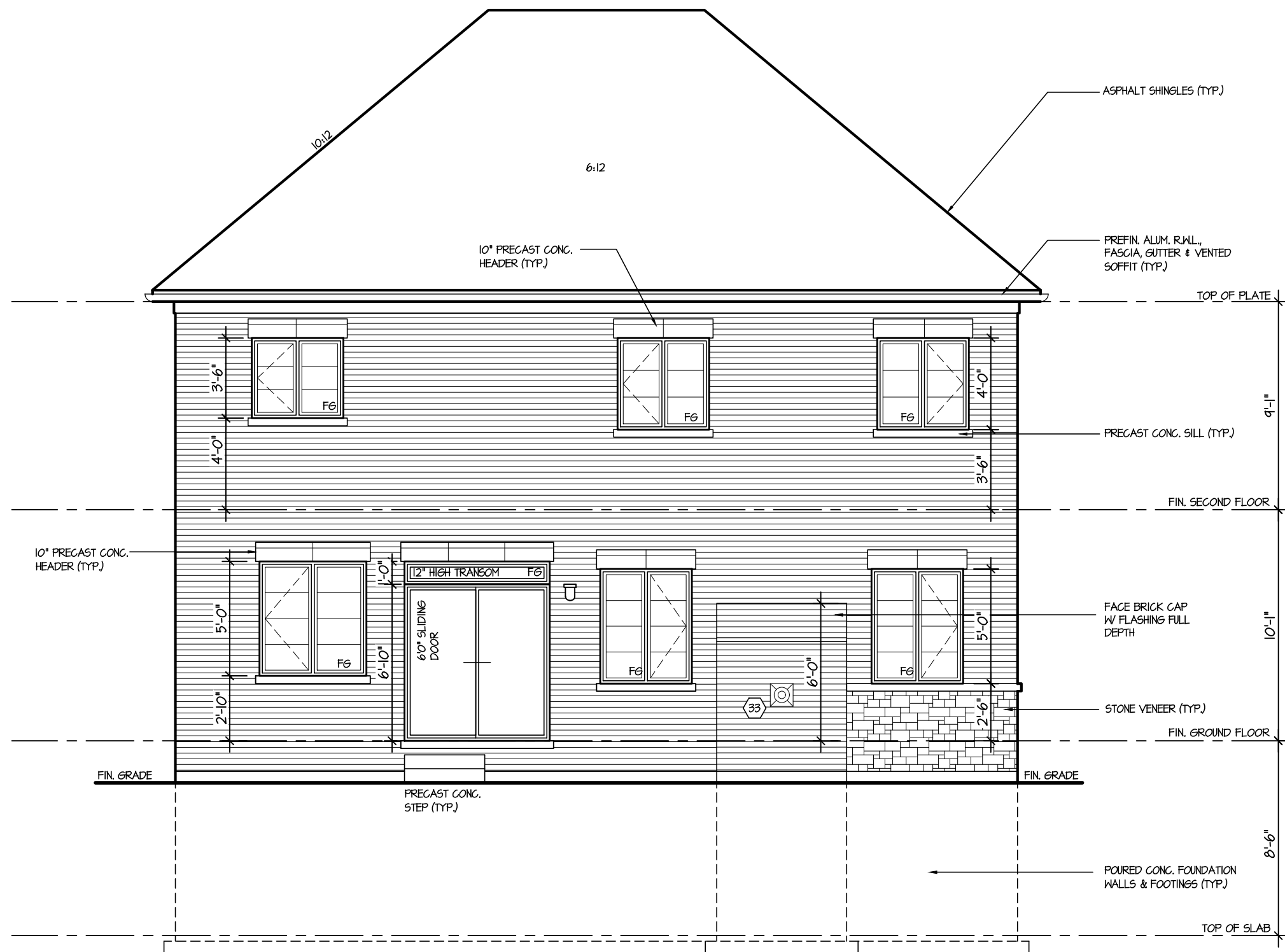
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4.					REAR ELEVATION					7
3.					ELEV., 1, 2 & 3					
2.					SCALE	BY	AREA	PAGE No.		
1.	ISSUED FOR REVIEW				MAR 2021	3/16"=1'-0"	V.G.	3.270		
REVISIONS			DATE	TYPE	PROJECT	PROJECT NAME				
			MAR 2021			ROUNDEL HOMES INC.				

RECEIVED
Per: joshua.nabua



REAR ELEVATION - ELEV. 2
UPGRADE FOR LOT 171

ACTUAL GRADE CONDITIONS
MAY VARY WITH FINAL SITING

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REGION
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INC.

SHEET TITLE
REAR ELEVATION
ELEV. 2

SCALE
3/16"=1'-0"

DATE
MAR 2021

BY
V.G.

TYPE

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AREA
3.270

PROJECT

PAGE No.

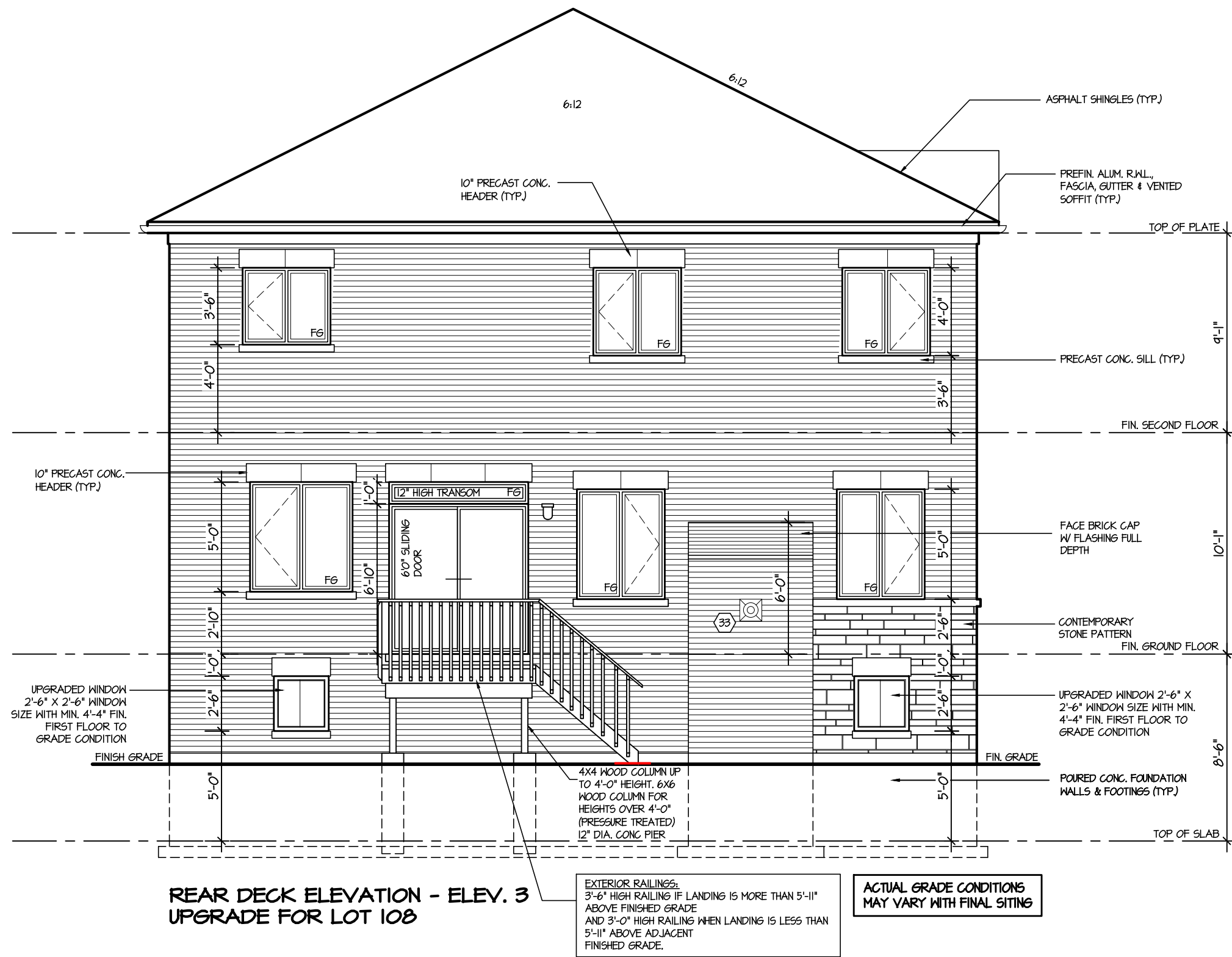
7-2A

Greenpark
BUILDING DIVISION

PROJECT NAME

ROUNDEL HOMES INC.

RECEIVED
Per: joshua.nabua



REAR DECK ELEVATION - ELEV. 3
UPGRADE FOR LOT 108

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE THAN 5'-11"
ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING IS LESS THAN
5'-11" ABOVE ADJACENT
FINISHED GRADE.

ACTUAL GRADE CONDITIONS
MAY VARY WITH FINAL SITING

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REGION
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SHEET TITLE
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ELEV. 3
SCALE
3/16"=1'-0"
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BY
V.G.
TYPE

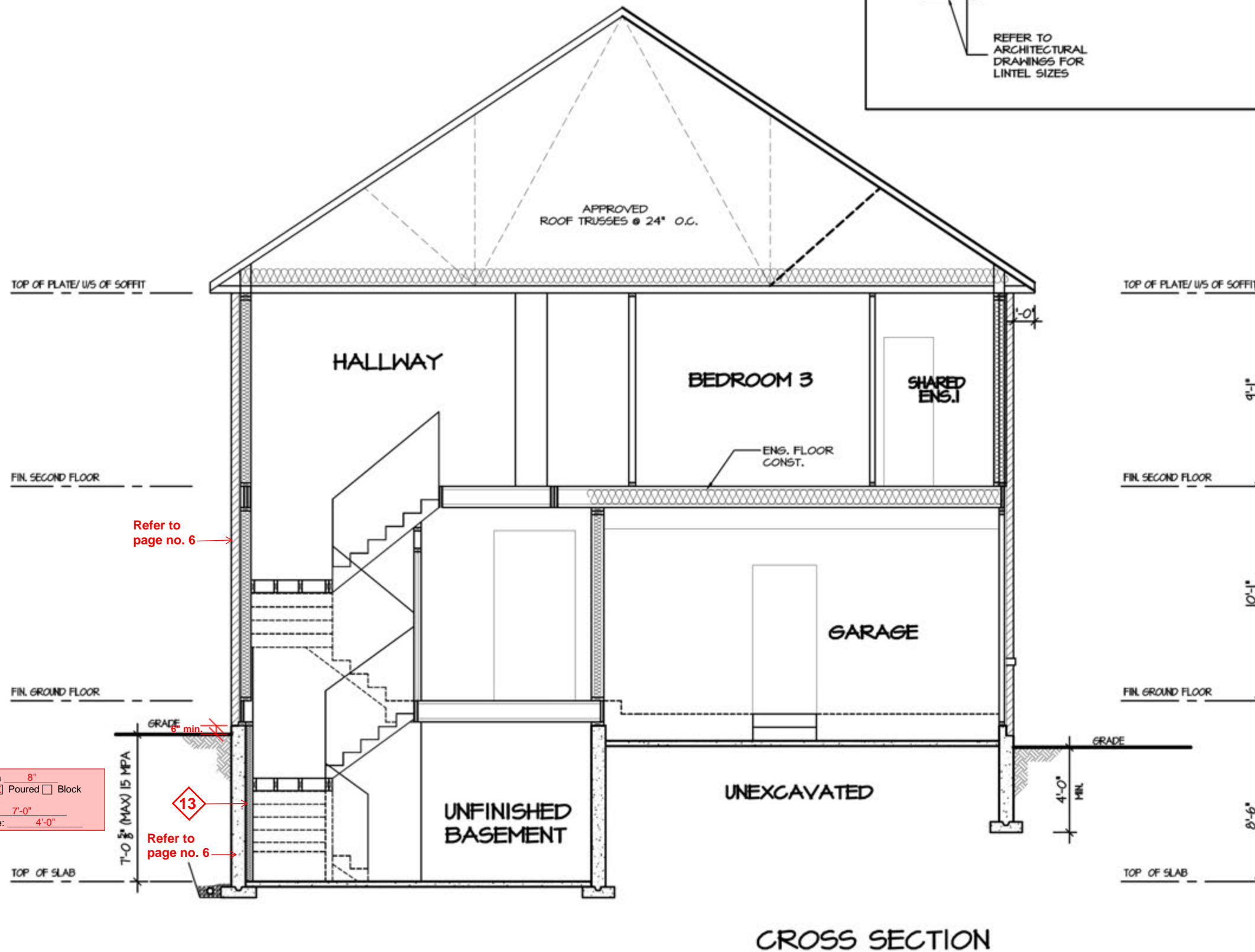
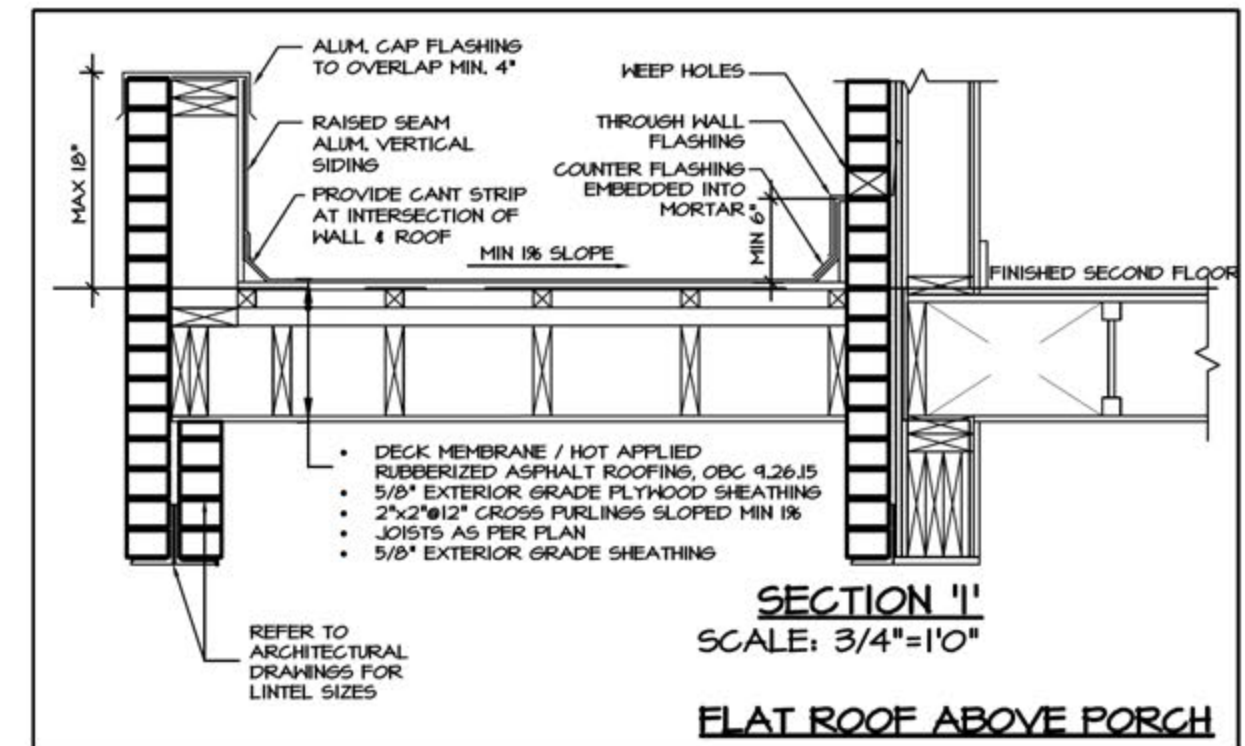
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AREA
3.270
PROJECT

PAGE No.
7-3A

Greenpark
BUILDING DIVISION
PROJECT NAME
ROUNDEL HOMES INC.
09/22/2022

RECEIVED
Per: joshua.nabua



Maximum backfill height for a
☒ 15 MPa ☐ 20 MPa ☒ Poured ☐ Block
 foundation wall
 laterally supported shall be: 7'-0"
 laterally unsupported shall be: 4'-0"

Refer to
page no. 6

Refer to
page no. 6

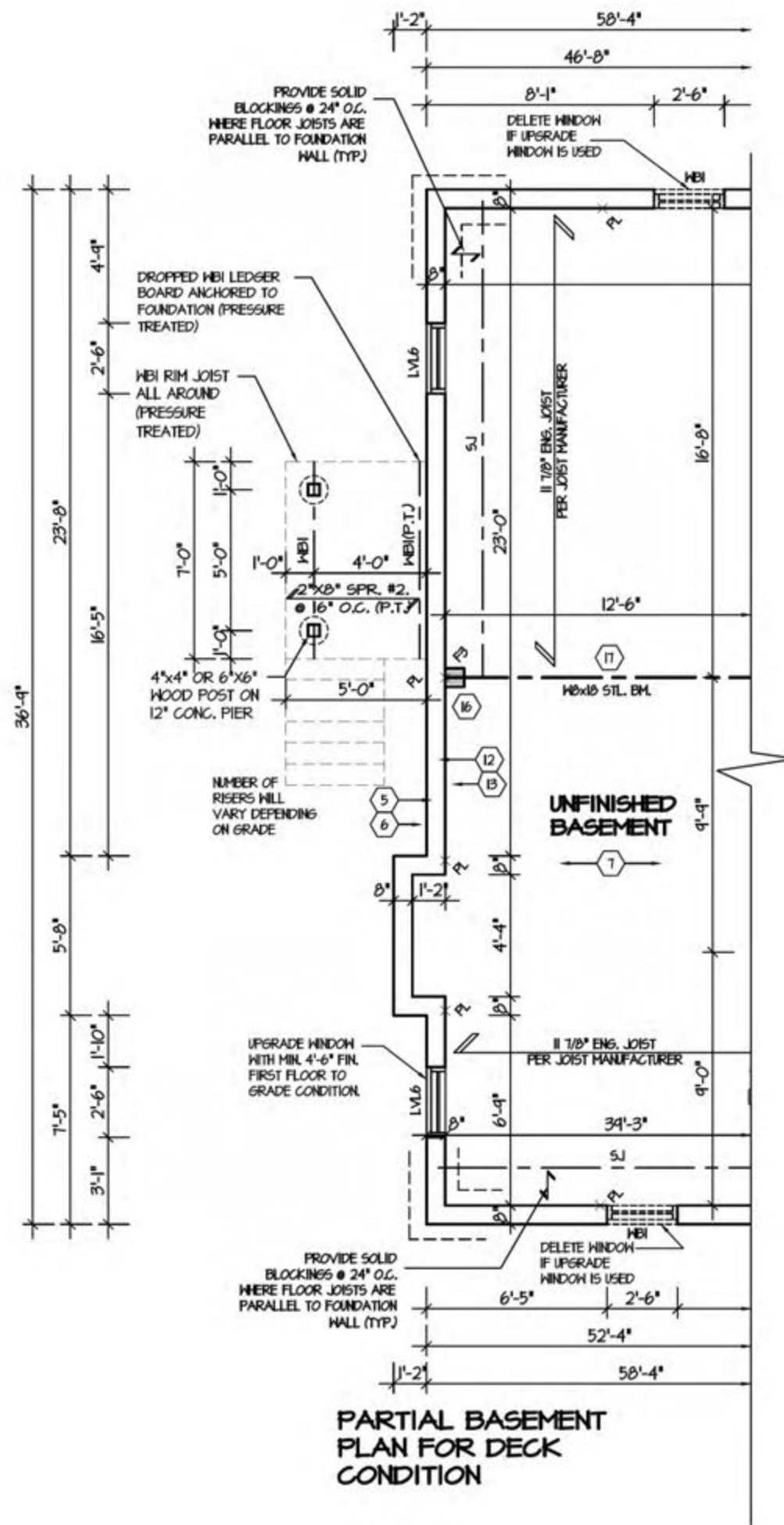


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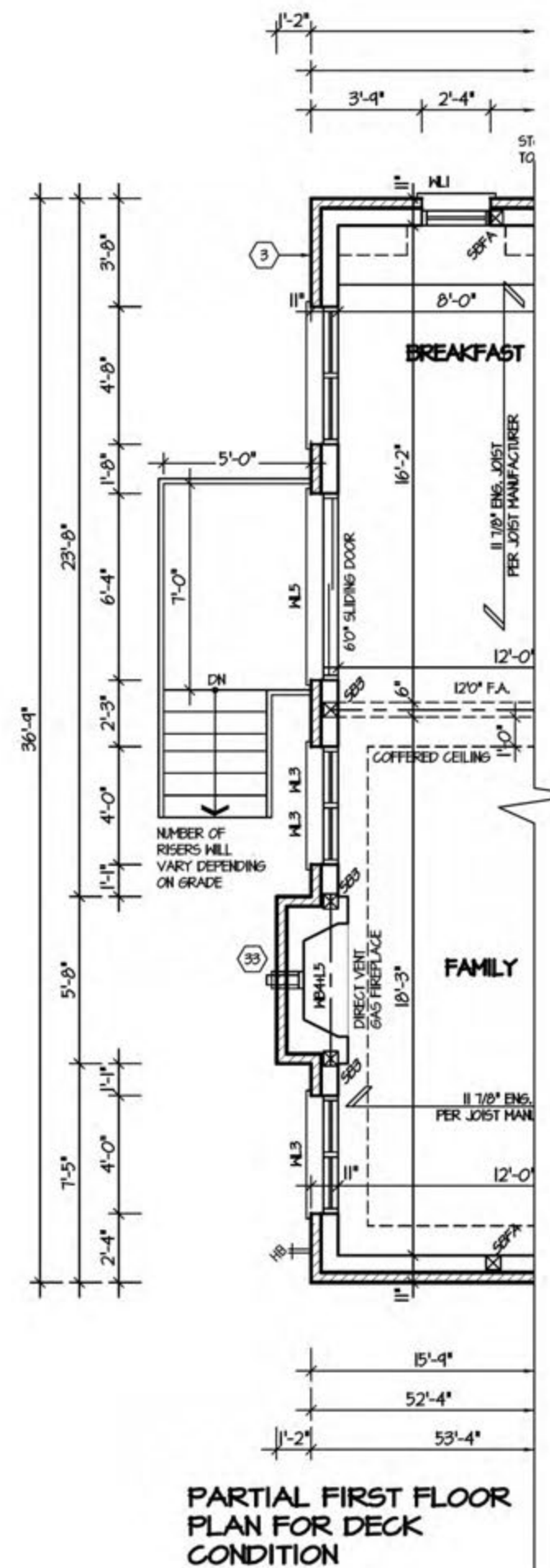
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Deck and guard construction shall comply with attached details.



STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER

B. MARINKOVIC

PROV. OF ONTARIO

EXP. 2024

FOR STRUCTURE ONLY

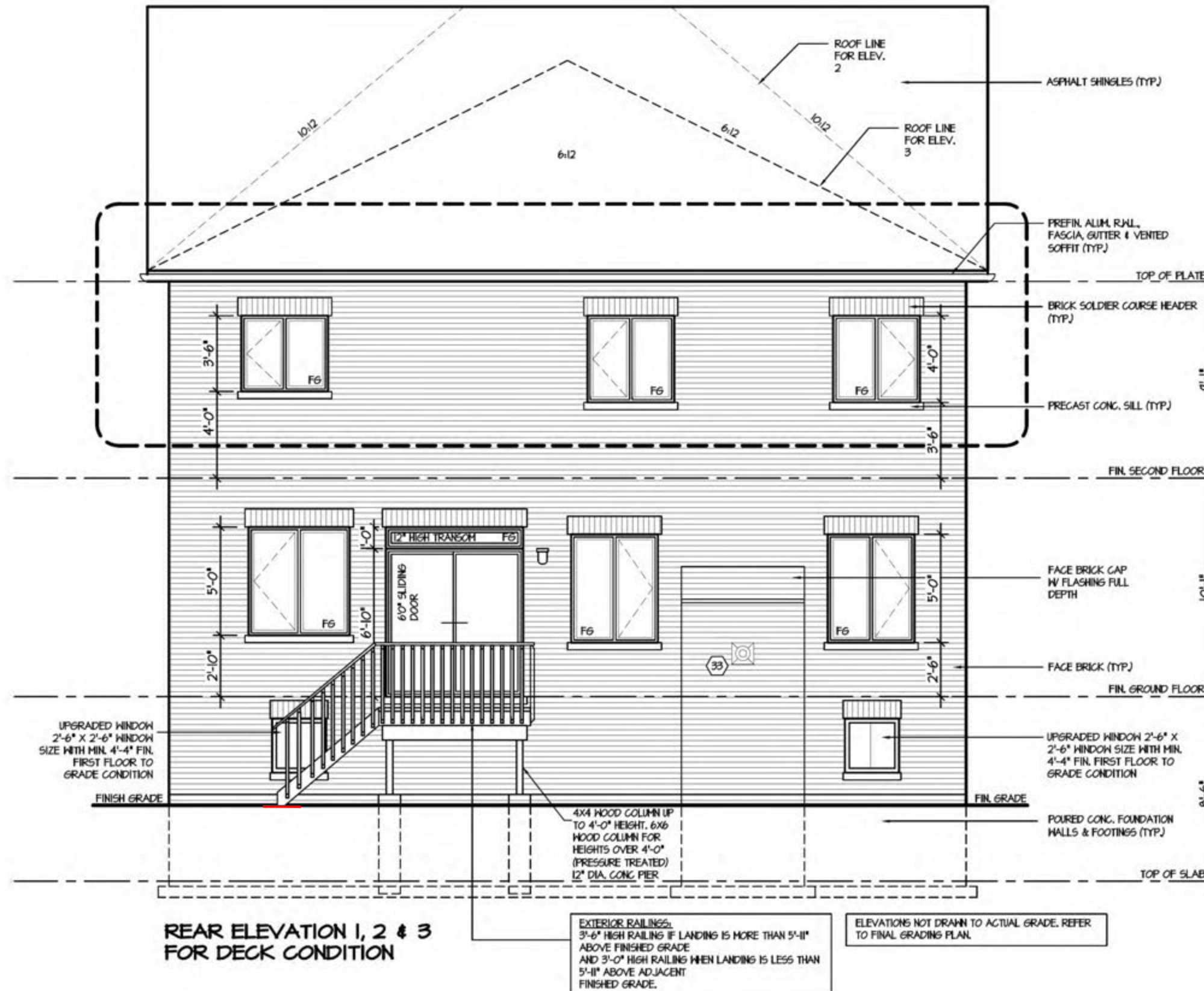
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4.					DECK PLANS					
3.					SCALE 3/16"=1'-0"	BY V.G.	AREA 3.270	PAGE No. 9		
2.					DATE MAR 2021	TYPE	PROJECT			
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5:00:55 PM M:\PROJECTS\ROUNDEL\TERRACOTTA 1\TERRACOTTA 1 MASTER.DWG August 5, 2021