

STRIP FOOTINGS FOR SINGLES AND SEMIS UP TO 2 STOREY

120 KPa NATIVE SOIL

24"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

90 KPa ENGINEERED FILL SOIL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW FOUNDATION WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.

100 KPa NATIVE SOIL

22"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
28"x10" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS
OR
28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS

GENERAL NOTE:

ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL FOOTING DETAIL FOR REINFORCEMENT.

(REFER TO ENG. FILL FOOTING DETAIL)

PAD FOOTING

120 KPa NATIVE SOIL

F1 = 42"x42"x18" CONCRETE PAD
F2 = 36"x36"x18" CONCRETE PAD
F3 = 30"x30"x15" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD

90 KPa ENGINEERED FILL SOIL

F1 = 48"x48"x20" CONCRETE PAD
F2 = 40"x40"x20" CONCRETE PAD
F3 = 34"x34"x17" CONCRETE PAD
F4 = 28"x28"x14" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD

100 KPa NATIVE SOIL

F1 = 46"x46"x23" CONCRETE PAD
F2 = 38"x38"x19" CONCRETE PAD
F3 = 32"x32"x16" CONCRETE PAD
F4 = 26"x26"x12" CONCRETE PAD
F5 = 17"x17"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

NOTE:

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.

NOTE:

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS:

WL1 = 3 1/2" x 3 1/2" x 1 1/4" (90x90x6) - 2-2" x 8" SPR.
WL2 = 4 x 3 1/2" x 5/16" (100x90x6) - 2-2" x 8" SPR.
WL3 = 5 x 3 1/2" x 5/16" (125x90x6) - 2-2" x 10" SPR.
WL4 = 6 x 3 1/2" x 3/8" (150x90x10) - 2-2" x 12" SPR.
WL5 = 6 x 4 x 3/8" (150x100x10) - 2-2" x 12" SPR.
WL6 = 5 x 3 1/2" x 5/16" (125x90x6) - 2-2" x 8" SPR.
WL7 = 5 x 3 1/2" x 5/16" (125x90x6) - 3-2" x 10" SPR.
WL8 = 5 x 3 1/2" x 5/16" (125x90x6) - 3-2" x 12" SPR.
WL9 = 6 x 4 x 3/8" (150x100x10) - 3-2" x 12" SPR.

WOOD LINTELS:

WB1 = 2-2 x 8 SPRUCE BEAM
WB2 = 3-2 x 8 SPRUCE BEAM
WB3 = 2-2 x 10 SPRUCE BEAM
WB4 = 3-2 x 10 SPRUCE BEAM
WB5 = 2-2 x 12 SPRUCE BEAM
WB6 = 3-2 x 12 SPRUCE BEAM
WB7 = 5-2 x 12 SPRUCE BEAM
WB10 = 4-2 x 8 SPRUCE BEAM
WB11 = 4-2 x 10 SPRUCE BEAM

STEEL LINTELS:

L1 = 3 1/2 x 3 1/2 x 1 1/4 (90 x 90 x 6)
L2 = 4 x 3 1/2 x 5/16 (100 x 90 x 8)
L3 = 5 x 3 1/2 x 5/16 (125 x 90 x 8)
L4 = 6 x 3 1/2 x 3/8 (150 x 90 x 10)
L5 = 6 x 4 x 3/8 (150 x 100 x 10)
L6 = 7 x 4 x 3/8 (180 x 100 x 10)

LAMINATED VENEER LUMBER (LVL BEAMS)

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)

Door Schedule

NO.	WIDTH	HEIGHT 8' TO 9' CEILINGS	HEIGHT 10' OR MORE CEILINGS	TYPE
1	2'-10"	6'-8" (865x2033)	8'-0" (865x2439)	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8" (815x2033)	8'-0" (815x2439)	INSULATED FRONT DOORS
2	2'-8"	6'-8" (815x2033)	8'-0" (815x2439)	WOOD & GLASS DOOR
3	2'-8"	6'-8 x 1-3/4" (815x2033x45)	8'-0" x 1-3/4" (815x2439x45)	EXTERIOR SLAB DOOR
4	2'-8"	6'-8" x 1-3/8" (815x2033x35)	8'-0" x 1-3/8" (815x2439x35)	INTERIOR SLAB DOOR
5	2'-6"	6'-8" x 1-3/8" (760x2033x35)	8'-0" x 1-3/8" (760x2439x35)	INTERIOR SLAB DOOR
6	2'-2"	6'-8" x 1-3/8" (660x2033x35)	8'-0" x 1-3/8" (660x2439x35)	INTERIOR SLAB DOOR
7	1'-6"	6'-8" x 1-3/8" (460x2033x35)	8'-0" x 1-3/8" (460x2439x35)	INTERIOR SLAB DOOR
8	3'-0"	6'-8" x 1-3/8" (915x2033x35)	8'-0" x 1-3/8" (915x2439x35)	INTERIOR SLAB DOOR

AREA CALCULATIONS EL-1

FIRST FLOOR AREA	=	1190 Sq. Ft.
SECOND FLOOR AREA	=	1454 Sq. Ft.
TOTAL FLOOR AREA	=	2644 Sq. Ft.
ADD OPEN AREAS	=	38 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2682 Sq. Ft.
GROUND FLOOR COVERAGE	=	1191 Sq. Ft.
GARAGE COVERAGE / AREA	=	377 Sq. Ft.
PORCH COVERAGE / AREA	=	68 Sq. Ft.
COVERAGE W/ PORCH	=	1636 Sq. Ft.
	=	151.99 Sq. m.
COVERAGE W/O PORCH	=	1568 Sq. Ft.
	=	145.67 Sq. m.

AREA CALCULATIONS EL-2

FIRST FLOOR AREA	=	1190 Sq. Ft.
SECOND FLOOR AREA	=	1445 Sq. Ft.
TOTAL FLOOR AREA	=	2635 Sq. Ft.
ADD OPEN AREAS	=	38 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2673 Sq. Ft.
GROUND FLOOR COVERAGE	=	1191 Sq. Ft.
GARAGE COVERAGE / AREA	=	377 Sq. Ft.
PORCH COVERAGE / AREA	=	72 Sq. Ft.
COVERAGE W/ PORCH	=	1640 Sq. Ft.
	=	152.36 Sq. m.
COVERAGE W/O PORCH	=	1568 Sq. Ft.
	=	145.67 Sq. m.

AREA CALCULATIONS EL-3

FIRST FLOOR AREA	=	1190 Sq. Ft.
SECOND FLOOR AREA	=	1458 Sq. Ft.
TOTAL FLOOR AREA	=	2648 Sq. Ft.
ADD OPEN AREAS	=	38 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2686 Sq. Ft.
GROUND FLOOR COVERAGE	=	1191 Sq. Ft.
GARAGE COVERAGE / AREA	=	377 Sq. Ft.
PORCH COVERAGE / AREA	=	68 Sq. Ft.
COVERAGE W/ PORCH	=	1636 Sq. Ft.
	=	151.99 Sq. m.
COVERAGE W/O PORCH	=	1568 Sq. Ft.
	=	145.67 Sq. m.

PINETREE 3 ELEV.-1 ENERGY EFFICIENCY- A1 PACKAGE

ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	675.42	90.22	13.36 %
LEFT SIDE	1115.82	92.67	8.31 %
RIGHT SIDE	1116.00	24.00	2.15 %
REAR	668.50	128.00	19.15 %
TOTAL	3575.74	334.89	9.37 %

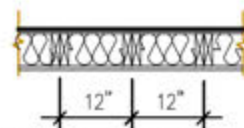
PINETREE 3 ELEV.-2 ENERGY EFFICIENCY- A1 PACKAGE

ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	710.42	118.91	16.74 %
LEFT SIDE	1120.03	92.67	8.27 %
RIGHT SIDE	1116.00	24.00	2.15 %
REAR	668.50	128.00	19.15 %
TOTAL	3614.95	363.58	10.06 %

PINETREE 3 ELEV.-3 ENERGY EFFICIENCY- A1 PACKAGE

ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	705.04	111.22	15.77 %
LEFT SIDE	1120.03	92.67	8.27 %
RIGHT SIDE	1115.00	24.00	2.15 %
REAR	668.50	128.00	19.15 %
TOTAL	3608.57	355.89	9.86 %

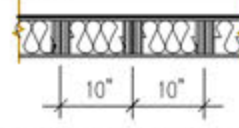
2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @ 12" O.C.
FULL HT C/W SOLID BLOCKING 4'-0" O.C. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0"
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

TWO STOREY HEIGHT WALL DETAIL

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED AND NAILED TOGETHER AND SPACED MAX. @ 10" O.C. FULL HT C/W SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2"
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

TWO STOREY HEIGHT WALL DETAIL

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

City of Richmond Hill Building Division

REVIEWED
By: **KER** Date: **10/31/2022**

Building Permit #: **RM#-2022-00082**

All construction shall comply with the Ontario Building Code and all other applicable statutory regulations. The reviewed documents must be kept on site at all times.
Building inspection line: 905-771-5465 (24 hr)
buildinginspections@richmondhill.ca
Building inquiry line: 905-771-8810
building@richmondhill.ca

Refer to attached general notes and drawings.

These drawings have been reviewed under Compliance Option: **A1** of the OBC 2012, SB-12.

Windows, sliding glass doors and skylights shall comply with OBC 2012, SB-12, 3.1.1.9 for maximum U-Value.

City of Richmond Hill Building Division

INSPECTION NOTICES - HOUSING
You are required to notify the Inspection Section of the readiness to inspect at the following construction stages:

- Footings (prior to concrete placement)
- Building sewers (laterals)
- Water service pipe (lateral)
- Foundation (prior to backfill)
- Building drains (under slab)
- Plumbing rough-in
- HVAC rough-in
- Air barrier (prior to exterior cladding)
- Structural Framing (exterior cladding completed)
- Insulation (include vapour barrier)
- Solid fuel burning appliances
- Occupancy Permit

Please contact the Inspection Section by one of the following methods:

- E-mail: buildinginspections@richmondhill.ca
- Inspection fax line: 905-771-2528
- Inspection Request Line: 905-771-5465

A minimum of 2 business days is required. An inspection may be refused if permit documents and a copy of the permit are not present on site. Please refer to other inspection information on the reverse of the permit card.

This review does not exempt the owner, designer and the builder from complying with all applicable regulations and by-laws of the City of Richmond Hill and the Ontario Building Code.

2682

11.6m LOTS

PINETREE 3(GR)
ELEVATION 1,2 & 3

A1 PACKAGE

O.REG. 332/12

W Architect Inc.
DESIGN CONTROL REVIEW
FEBRUARY 24, 2022

FINAL BY: **GGE**

This stamp is only for the purposes of design control and carries no other professional obligations.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS ON SITE PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

7		
6		
5		
4	MAY 17, 2021	ISSUED FOR BUILDING PERMIT
3	MAY 12, 2021	COORDINATED ENGINEER & CLIENT COMMENTS
2	MAY 11, 2021	COORDINATED AS PER FLOOR JOIST & ROOF TRUSS DRAWINGS
1	FEB. 22, 2021	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

Walter Botter **WBe** 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

Jardin design group inc. 27763
FIRM NAME BCIN

TITLE SHEET

ROUNDEL HOMES INC.
CH. OF RICHMOND HILL
BUILDING DIVISION

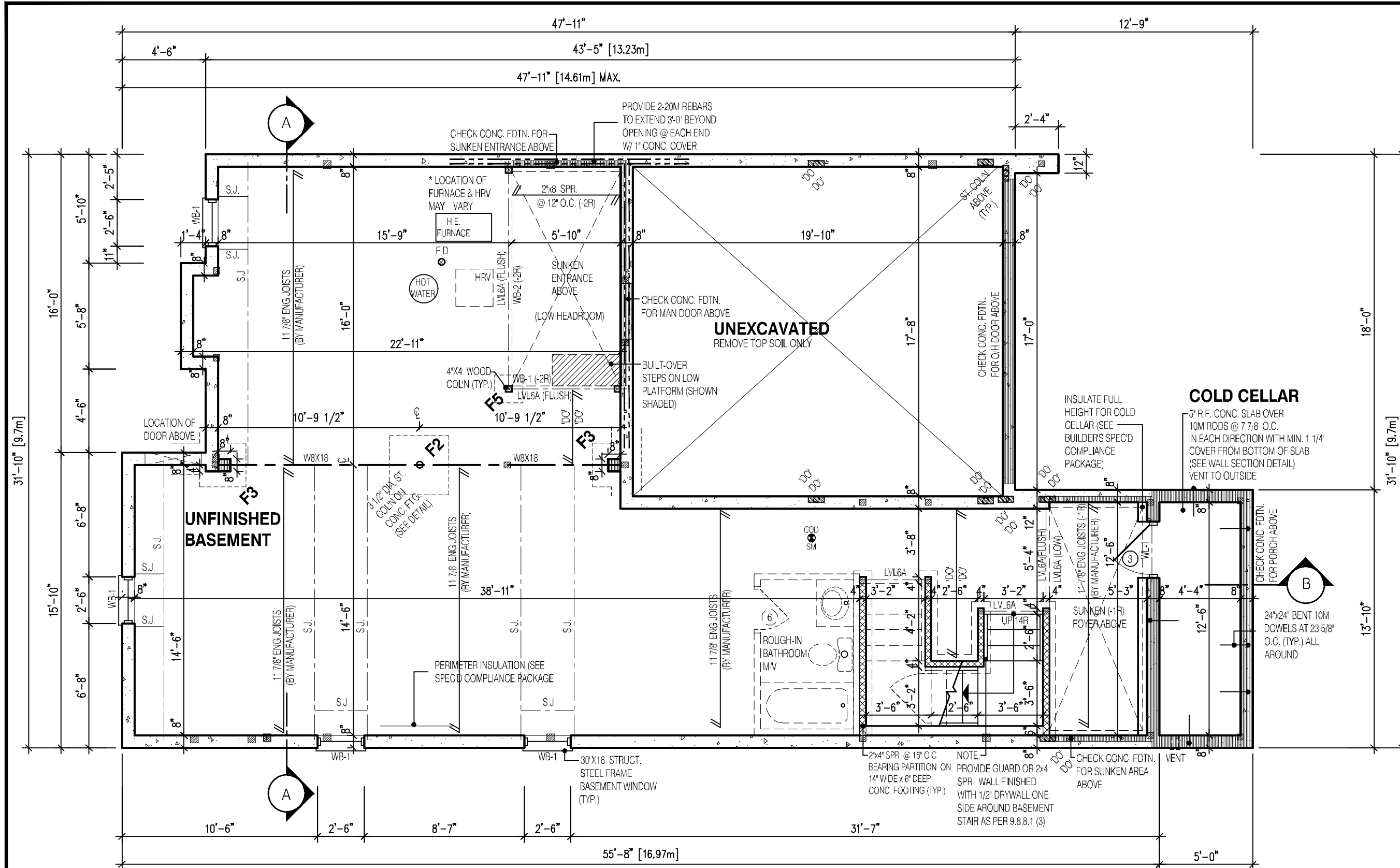
MODEL: **T**
SCALE: **3/16"=1'-0"**

PROJ. No. **2031** DWG. No. **0**

Per: **joelua.nakua**



DRAWN BY:	DRAWING NAME: --
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BASEMENT PLAN EL-2

NOTE: REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE
NOTE: SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7"; 2 ROWS FOR SPANS GREATER THAN 7'
NOTE: THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE: SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL
--

LEGEND:
BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
STL. PLATE FOR STEEL COLN ABOVE
LVL LAMINATED VENEER LUMBER
S.J. SINGLE JOIST
D.J. DOUBLE JOIST
T.J. TRIPLE JOIST
REPEAT NOTE
SHOWER WEEPERS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of RICHMOND HILL.

2682
11.6m LOTS
PINETREE 3(GR)
ELEVATION 2
A1 PACKAGE
O.REG. 332/12

STRUDET INC
FOR STRUCTURAL ONLY



MAY 19/2021

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. WHEN IN CONFLICT WITH ANY LEGISLATING DRAWINGS OR OTHER DOCUMENTS, THE CONTRACTOR SHALL FOLLOW THE MOST RECENT DOCUMENT.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT OR PERFORM REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
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jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter 21031
NAME SIGNATURE BCIN

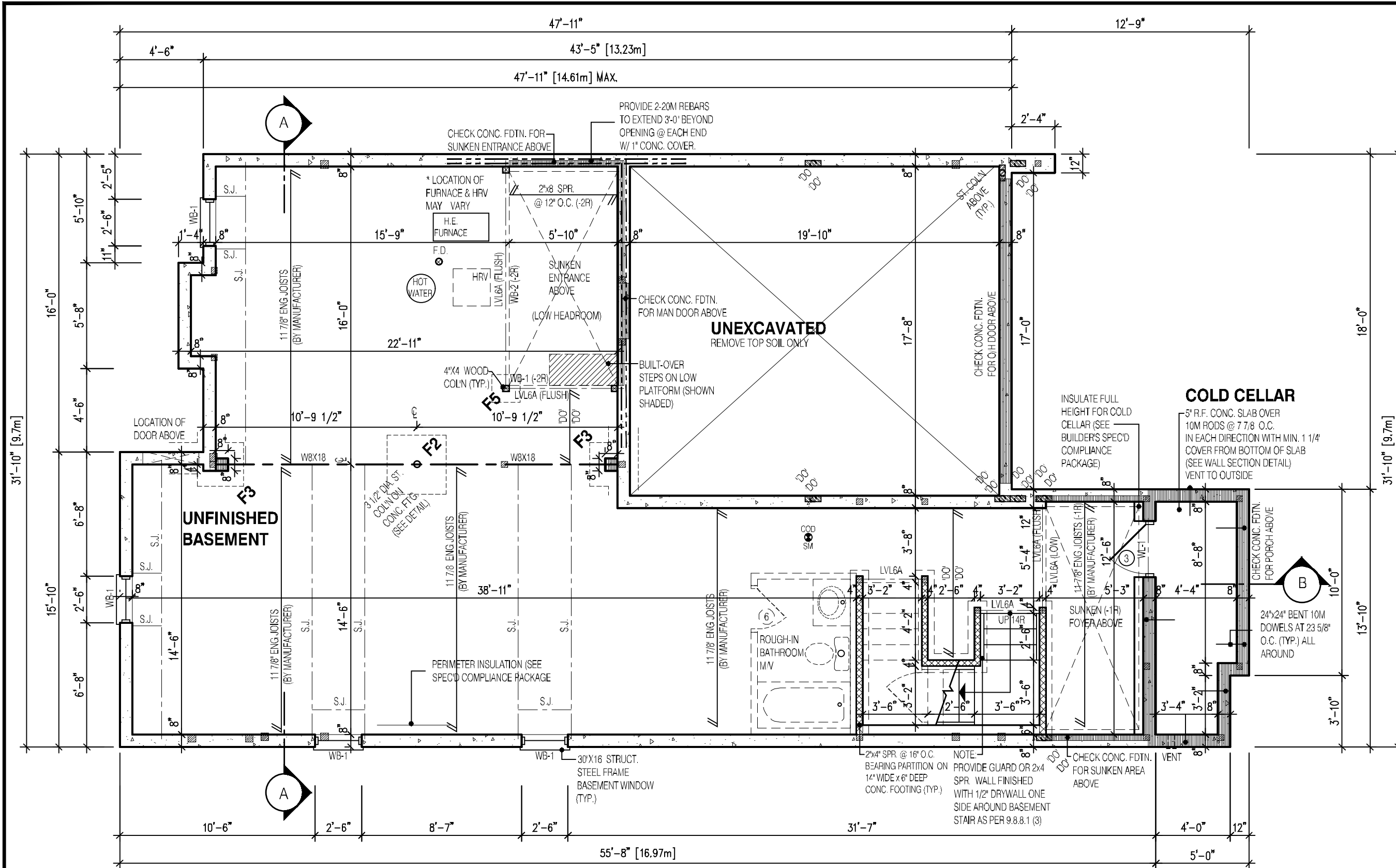
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

Jardin design group inc. 27763
FIRM NAME BCIN

BASEMENT PLAN EL-2

ROUND HILL HOMES INC.
RICHMOND HILL
BUILDING DIVISION

09/22/2022
BILD
Per: jesus.nolas
PROJ. No. 20-8 DWG. No. 1A



BASEMENT PLAN EL-3

2682
11.6m LOTS
PINETREE 3(GR)
ELEVATION 3
A1 PACKAGE
O.REG. 332/12

STRUDET INC
FOR STRUCTURAL ONLY



MAY 19/2021

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AS CONSULTED ENGINEER'S MUST BE ADVISED PRIOR TO POURING FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT OR FINAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
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jardin
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64 JARDIN DR. SUITE 3A
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TEL: 905 660-3377 FAX: 905 660-3713
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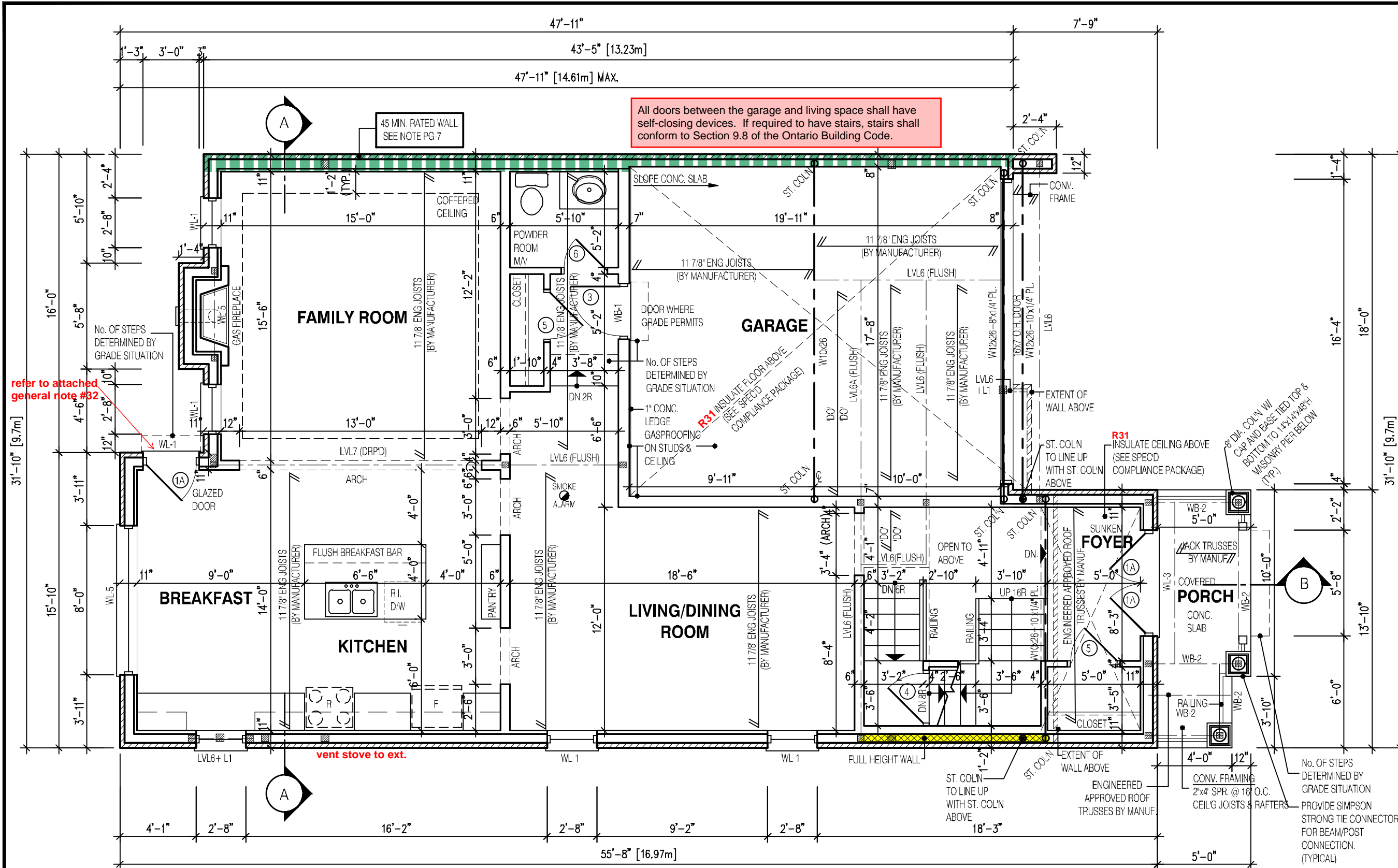
Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
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jardin design group inc. 27763
FIRM NAME BCIN

BASEMENT PLAN EL-3

ROUNDEL HOMES INC.
RICHMOND HILL
SALMON DIVISION

09/22/2022
BILD
Per: jesus.nolas



FIRST FLOOR PLAN EL-1

For approved engineered floor joist systems, including beams and their support, reference shall be made to the approved engineered floor layout attached to these drawings. Follow the manufacturers specifications and bearing requirements as stated.

NOTE: THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.	NOTE: SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'
NOTE: REFER TO SHEET NO. 0-1 FOR UNTEL, BEAMS AND DOOR SIZE	NOTE: THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE: SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL	LEGEND: BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D) INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE STL. PLATE FOR STEEL COLN ABOVE LVL LAMINATED VENEER LUMBER S.J. SINGLE JOIST D.J. DOUBLE JOIST T.J. TRIPLE JOIST REPEAT NOTE SHOWER WEEPERS
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Richmond Hill.

2682
11.6m LOTS
PINETREE 3(GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12

STRUDET INC
FOR STRUCTURAL ONLY

LICENSED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
MAY 19/2021

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4	MAY 17, 2021	ISSUED FOR BUILDING PERMIT
3	MAY 12, 2021	COORDINATED ENGINEER & CLIENT COMMENTS
2	MAY 11, 2021	COORDINATED AS PER FLOOR JOIST & ROOF TRUSS DRAWINGS
1	FEB. 22, 2021	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
No.	DATE:	WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

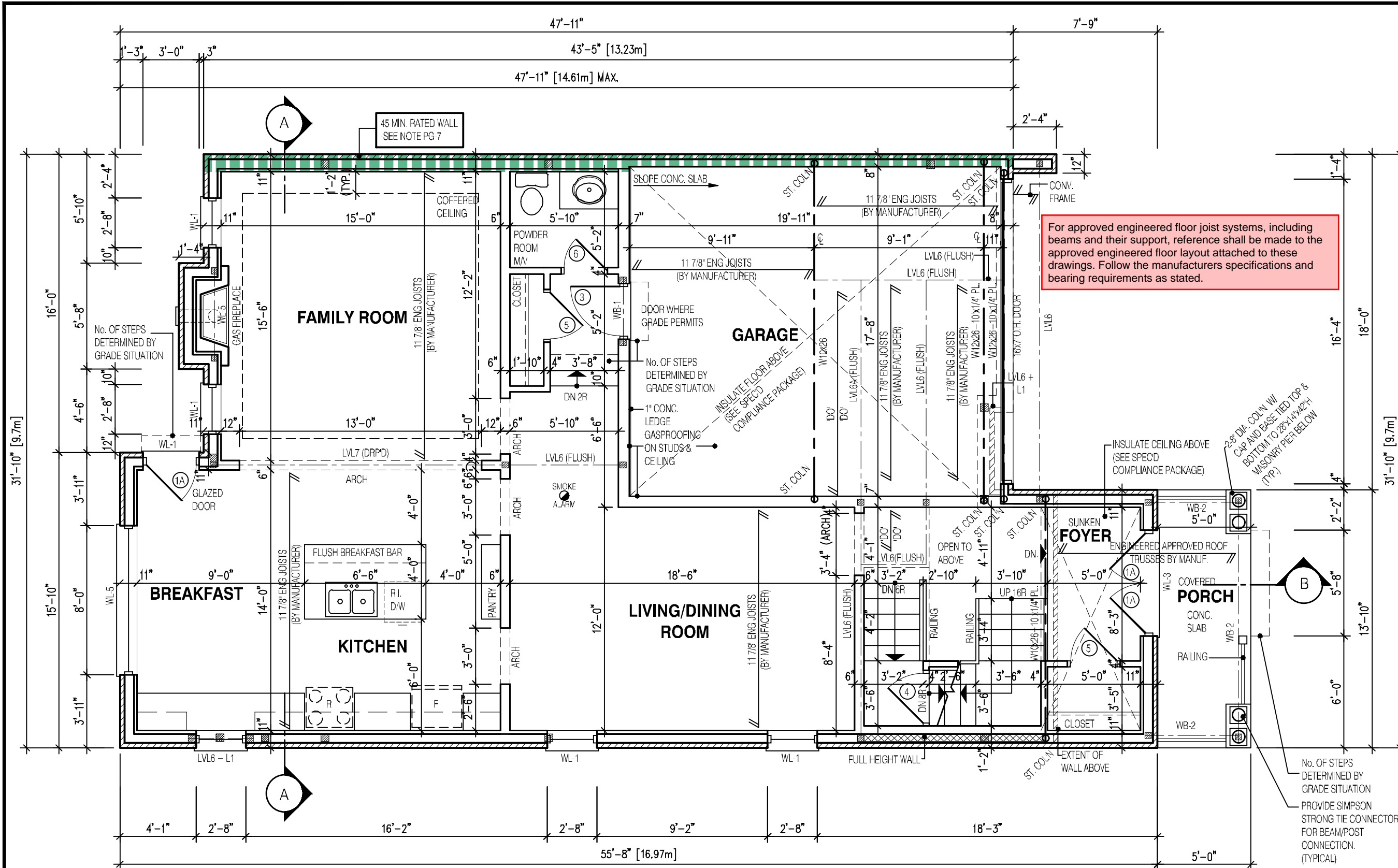
Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
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Jardin design group inc. 27763
FIRM NAME BCIN

FIRST FLOOR PLAN EL-1

ROUND HILL HOMES INC.
RICHMOND HILL
BUILDING DIVISION
09/22/2022
BILD
Per: jesus.nolas



FIRST FLOOR PLAN EL-2

2682
11.6m LOTS
PINETREE 3(GR)
ELEVATION 2
A1 PACKAGE
O.REG. 332/12

STRUDET INC
FOR STRUCTURAL ONLY



MAY 19/2021

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FIRM NAME BCIN

FIRST FLOOR PLAN EL-2

ROUND HILL HOMES INC.
RICHMOND HILL
BUILDING DIVISION
09/22/2022
BILD
Per: jesus.nolas

NOTE:
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NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7"; 2 ROWS FOR SPANS GREATER THAN 7'

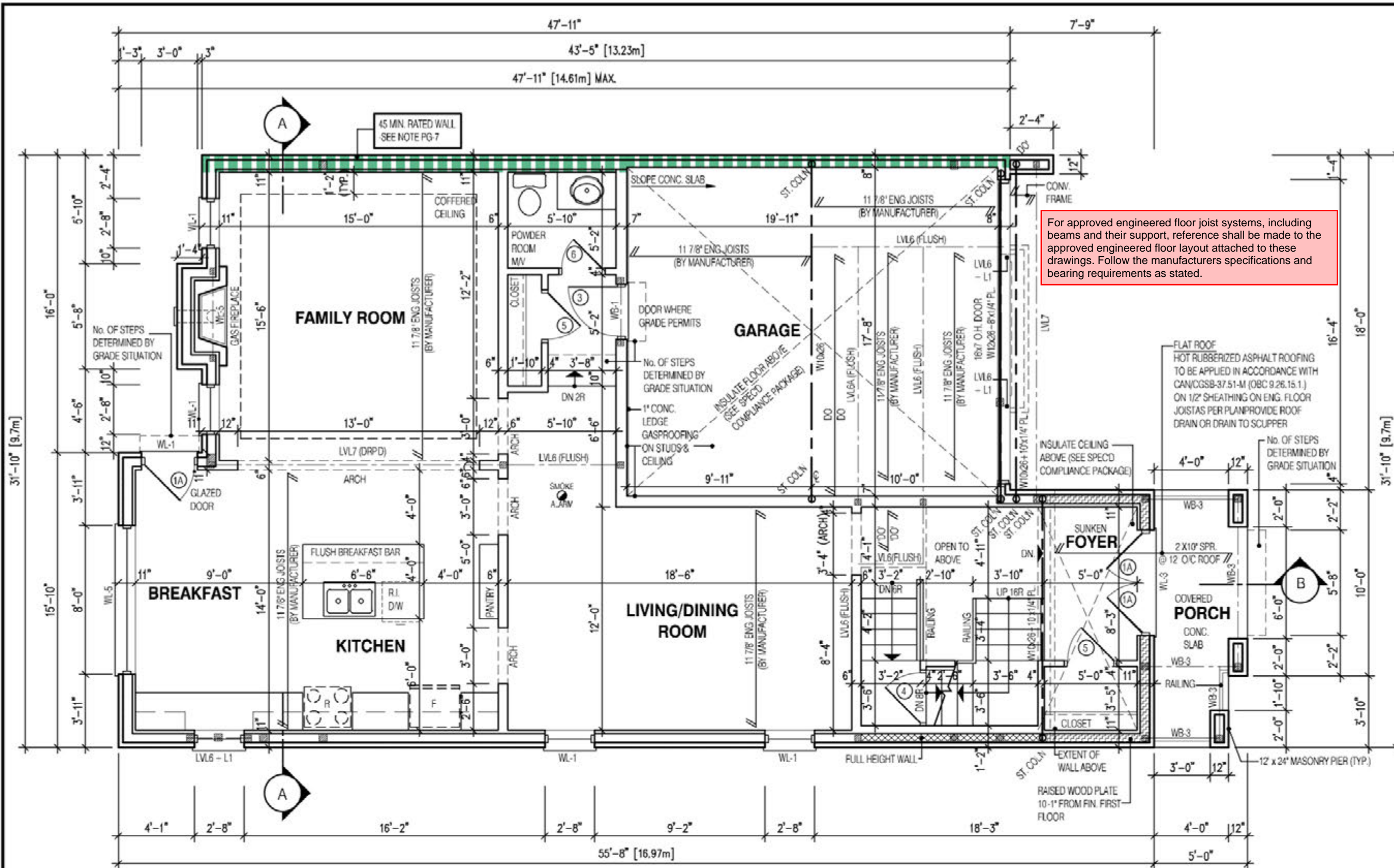
NOTE:
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NOTE:
SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

LEGEND:
BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
STL. PLATE FOR STEEL COLN ABOVE
LAMINATED VENEER LUMBER
S.J. SINGLE JOIST
D.J. DOUBLE JOIST
T.J. TRIPLE JOIST
REPEAT NOTE
SHOWER WEEPERS

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FIRST FLOOR PLAN EL-3

NOTE: THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.	NOTE: SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7', 2 ROWS FOR SPANS GREATER THAN 7'
NOTE: REFER TO SHEET NO. 0-1 FOR LINTEL BEAMS AND DOOR SIZE	NOTE: THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE: SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL	LEGEND: <div style="display: flex; align-items: center;"> <div style="width: 10px; height: 10px; background-color: #008000; border: 1px solid black; margin-right: 5px;"></div> BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D) <div style="display: flex; align-items: center;"> <div style="width: 10px; height: 10px; background-color: #808080; border: 1px solid black; margin-right: 5px;"></div> INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE <div style="display: flex; align-items: center;"> <div style="width: 10px; height: 10px; background-color: #000000; border: 1px solid black; margin-right: 5px;"></div> STL. PLATE FOR STEEL COLN ABOVE <div style="display: flex; align-items: center;"> <div style="width: 10px; height: 10px; background-color: #000000; border: 1px solid black; margin-right: 5px;"></div> LAMINATED VENEER LUMBER <div style="display: flex; align-items: center;"> <div style="width: 10px; height: 10px; background-color: #000000; border: 1px solid black; margin-right: 5px;"></div> S.J. SINGLE JOIST <div style="display: flex; align-items: center;"> <div style="width: 10px; height: 10px; background-color: #000000; border: 1px solid black; margin-right: 5px;"></div> D.J. DOUBLE JOIST <div style="display: flex; align-items: center;"> <div style="width: 10px; height: 10px; background-color: #000000; border: 1px solid black; margin-right: 5px;"></div> T.J. TRIPLE JOIST <div style="display: flex; align-items: center;"> <div style="width: 10px; height: 10px; background-color: #000000; border: 1px solid black; margin-right: 5px;"></div> REPEAT NOTE <div style="display: flex; align-items: center;"> <div style="width: 10px; height: 10px; background-color: #000000; border: 1px solid black; margin-right: 5px;"></div> SHOWER WEEPERS </div> </div> </div> </div> </div> </div> </div></div></div>
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Richmond Hill.

2682
11.6m LOTS
PINETREE 3(GR)
ELEVATION 3
A1 PACKAGE
O.REG. 332/12

STRUDET INC
FOR STRUCTURAL ONLY

B. MARINKOVIC
PROVINCE OF ONTARIO

May 18/2021

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No: _____ DATE: _____ WORK DESCRIPTION: _____

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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QUALIFICATION INFORMATION
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Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

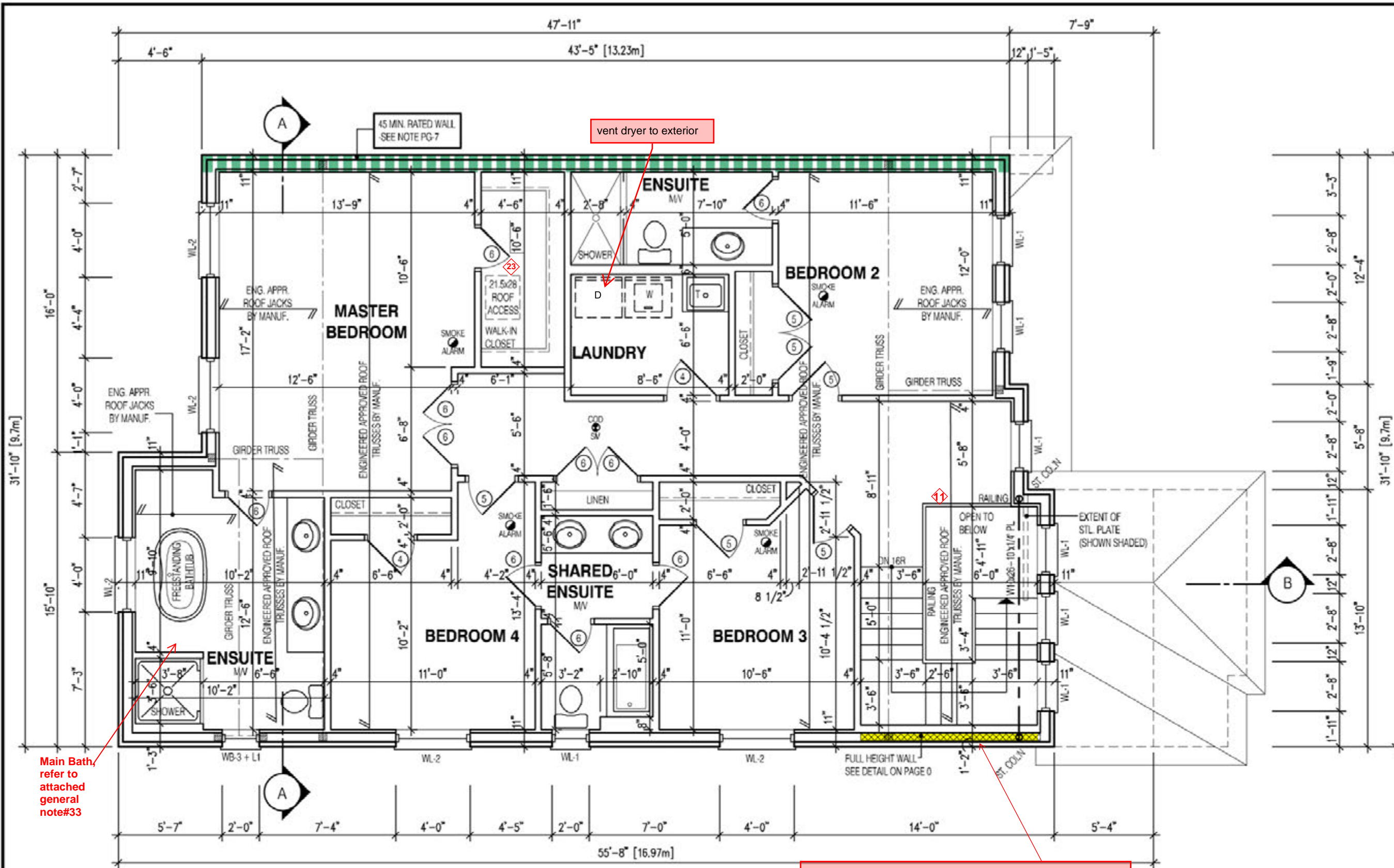
jardin design group inc. 27763
FIRM NAME BCIN

FIRST FLOOR PLAN EL-3
ROUNDEL HOMES INC.
RICHMOND HILL

OFFICE OF RICHMOND HILL
BUILDING DIVISION

09/22/2022
SCALE: 3/16" = 1'-0"
PROJ. NO. 20-31
2B

RECEIVED
Per: joshua.nabua



SECOND FLOOR PLAN EL-1

Typical Two Storey Wall Construction:
Provide 2-2"x6" full height studs at 12" O.C with blocking at quarter height vertically. Install additional full height studs on both sides of opening as noted.

2682

11.6m LOTS

PINETREE 3(GR)

ELEVATION 1

A1 PACKAGE

O.REG. 332/12

STRUDET INC

FOR STRUCTURAL ONLY

MAY 19/2021

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JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO VERIFY OR CORRECT ANY OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO OBTAIN THE NECESSARY PERMITS IN ACCORDANCE WITH THE CONSTRUCTION ACT AND REGULATIONS.

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No. DATE: WORK DESCRIPTION:

DESIGN GROUP INC

64 JARDIN DR. SUITE 3A

VAUGHAN ONT. L4K 3P3

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Walter Botter

NAME

21031

REGISTRATION INFORMATION

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Jardin design group inc.

27763

FIRM NAME

BCIN

SEC. FLOOR PLAN EL-1

ROUNDEL HOMES INC.

RICHMOND HILL

CITY OF RICHMOND HILL

BUILDING DIVISION

09/22/2022

20-31

3

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RECEIVED
Per: joshua.nabua

2682
11.6m LOTS
PINETREE 3(GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12

STRUDET INC
FOR STRUCTURAL ONLY



MAY 19/2021

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AS CONSULTED ENGINEER'S MUST BE ADVISED PRIOR TO POLISHING FOOTINGS.

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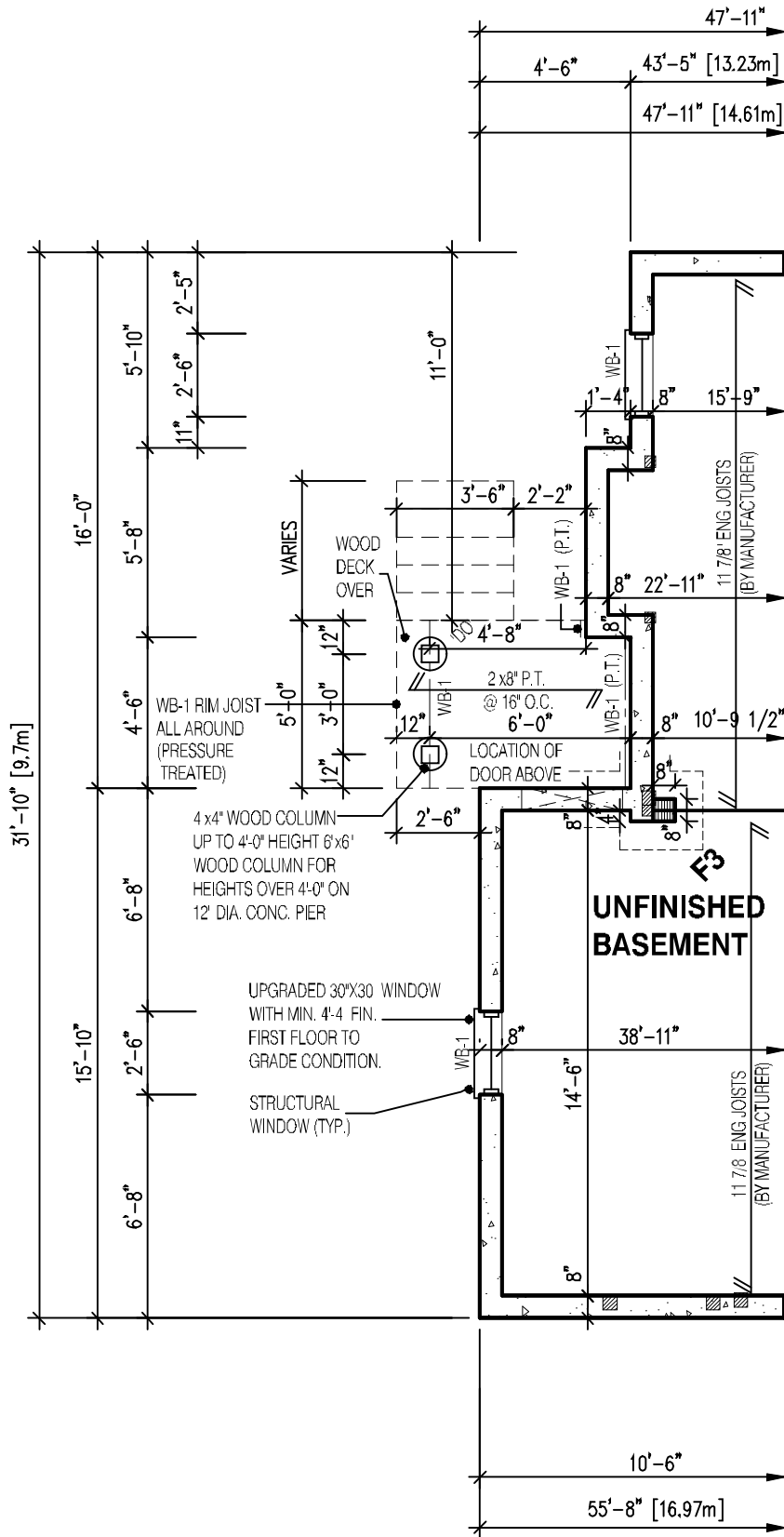
DECK CONDITION EL-1

ROUNDEL HOMES INC.
RICHMOND HILL
SALVAGE DIVISION

MODEL: T
SCALE: 3/16"=1'-0"
PROJ. No. 20-8 DWG. No. 3-1
Per: jesus.nolas

FOR ADDITIONAL DECK STRUCTURE
REFER TO PAGE 7 OF THE DETAIL PACKAGE

Deck and guard construction shall
comply with attached details.



PARTIAL BASEMENT LAYOUT
FOR DECK CONDITION EL-1

NOTE:

SUBFLOOR TO BE
3/4" PLYWOOD ON
THIS LEVEL
ALL FLOORS TO BE
NAILED AND GLUED
ON THIS LEVEL

NOTE:
WHEN VENEER CUT IS GREATER THAN
26" A 10" POURED CONC. FOUNDATION
WALL IS REQUIRED. (FOUNDATION PLAN
TO BE REVIEWED IN CONJUNCTION WITH
SITE PLAN)

NOTE:

REFER TO SHEET NO. 0 - FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:

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ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:

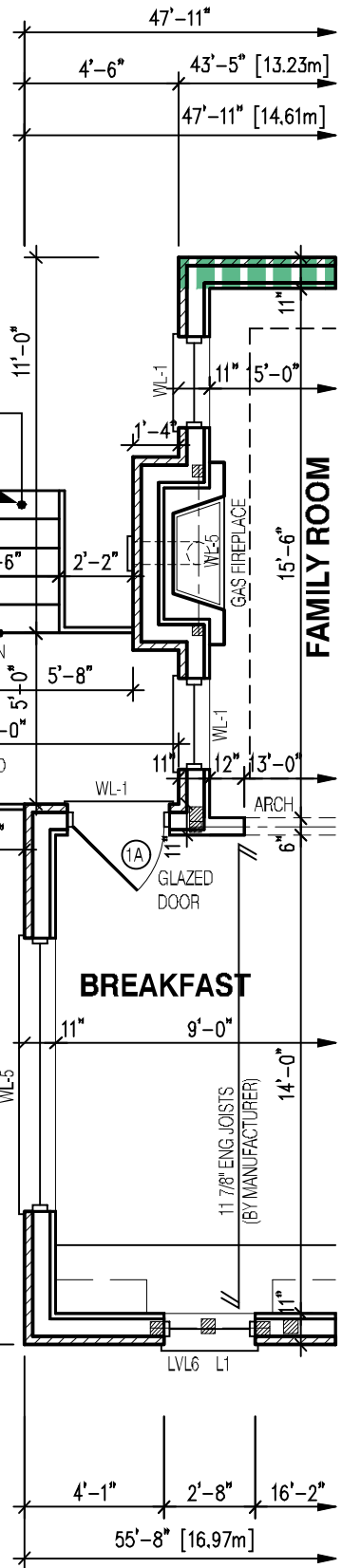
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PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:

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FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:

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3/4" PLYWOOD ON
THIS LEVEL
ALL FLOORS TO BE
NAILED AND GLUED
ON THIS LEVEL



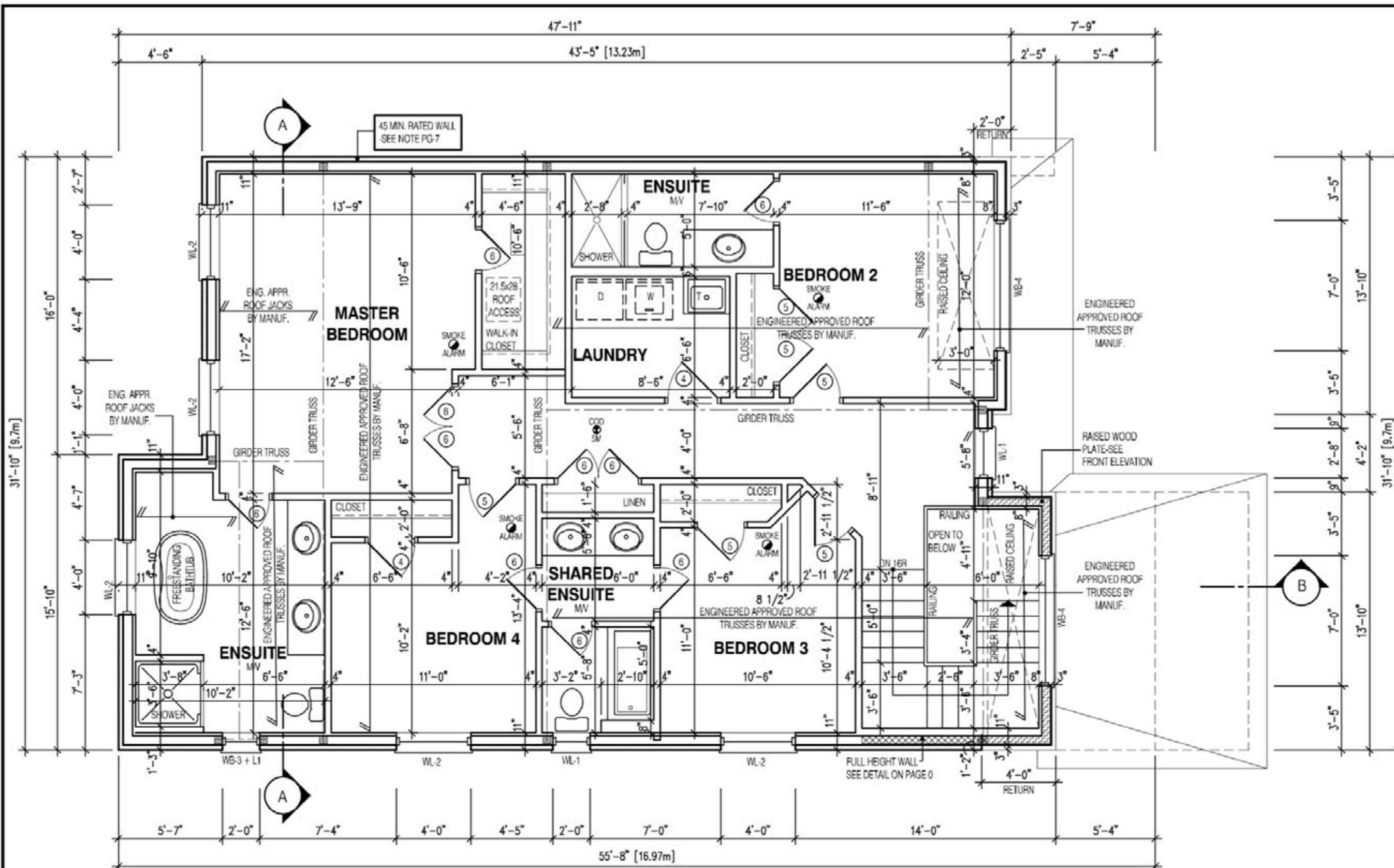
PARTIAL FIRST FLOOR LAYOUT
FOR DECK CONDITION EL-1

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m)
(45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED
OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COL'N ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

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SECOND FLOOR PLAN EL-2

2682
11.6m LOTS
PINETREE 3(GR)
ELEVATION 2
A1 PACKAGE
O.REG. 332/12

STRUDET INC
FOR STRUCTURAL ONLY

MAY 19/2021

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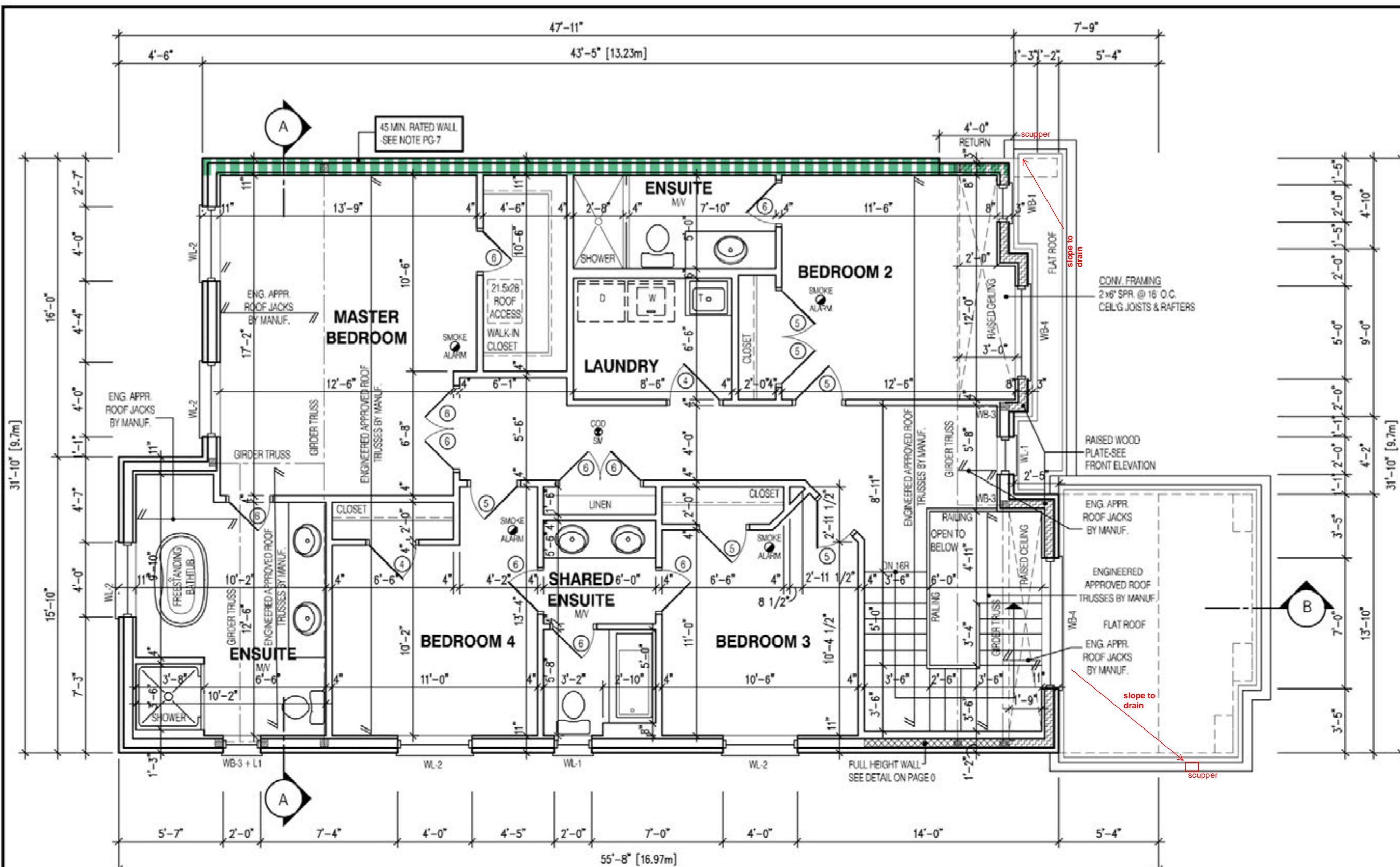
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NAME SIGNATURE BCIN 21031
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Jardin design group inc. 27763
FIRM NAME BCIN

SEC. FLOOR PLAN EL-2
ROUNDEL HOMES INC.
RICHMOND HILL
CITY OF RICHMOND HILL
BUILDING DIVISION
SCALE: 3/16" = 1'-0"
PHOTO: 2022
20-31 3A
RECEIVED
Per: joshua.nabua

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SECOND FLOOR PLAN EL-3

2682
11.6m LOTS
PINETREE 3(GR)
ELEVATION 3
A1 PACKAGE
O.REG. 332/12

STRUDET INC
FOR STRUCTURAL ONLY



MAY 19/2021

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Walter Botter *UBC* 21031
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
 FIRM NAME BCIN

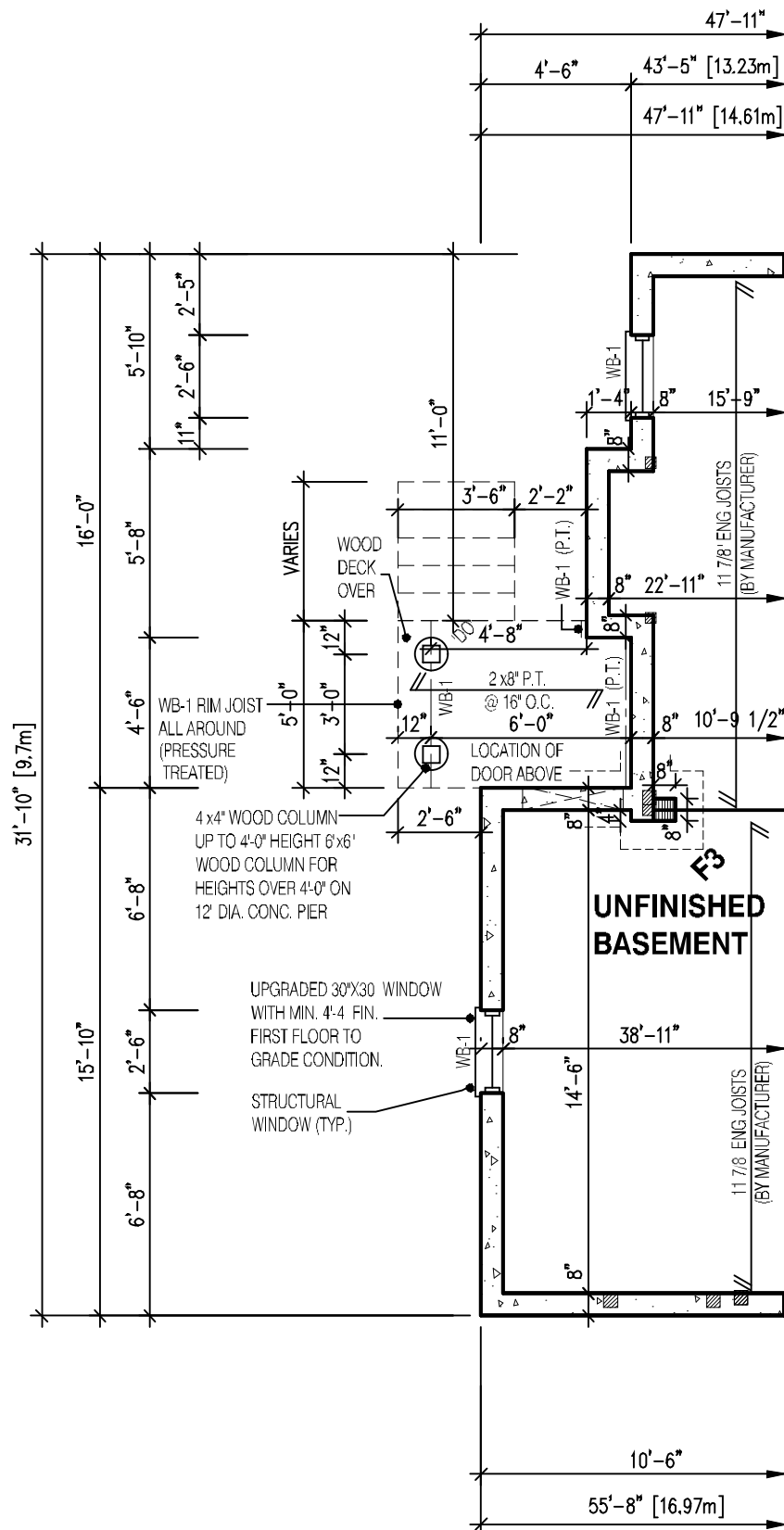
SEC. FLOOR PLAN EL-3
ROUNDEL HOMES INC.
RICHMOND HILL

CITY OF RICHMOND HILL
BUILDING DIVISION
 SCALE: 3/16" = 1'-0"
 PHO: 905-709-2200
 20-31 3B

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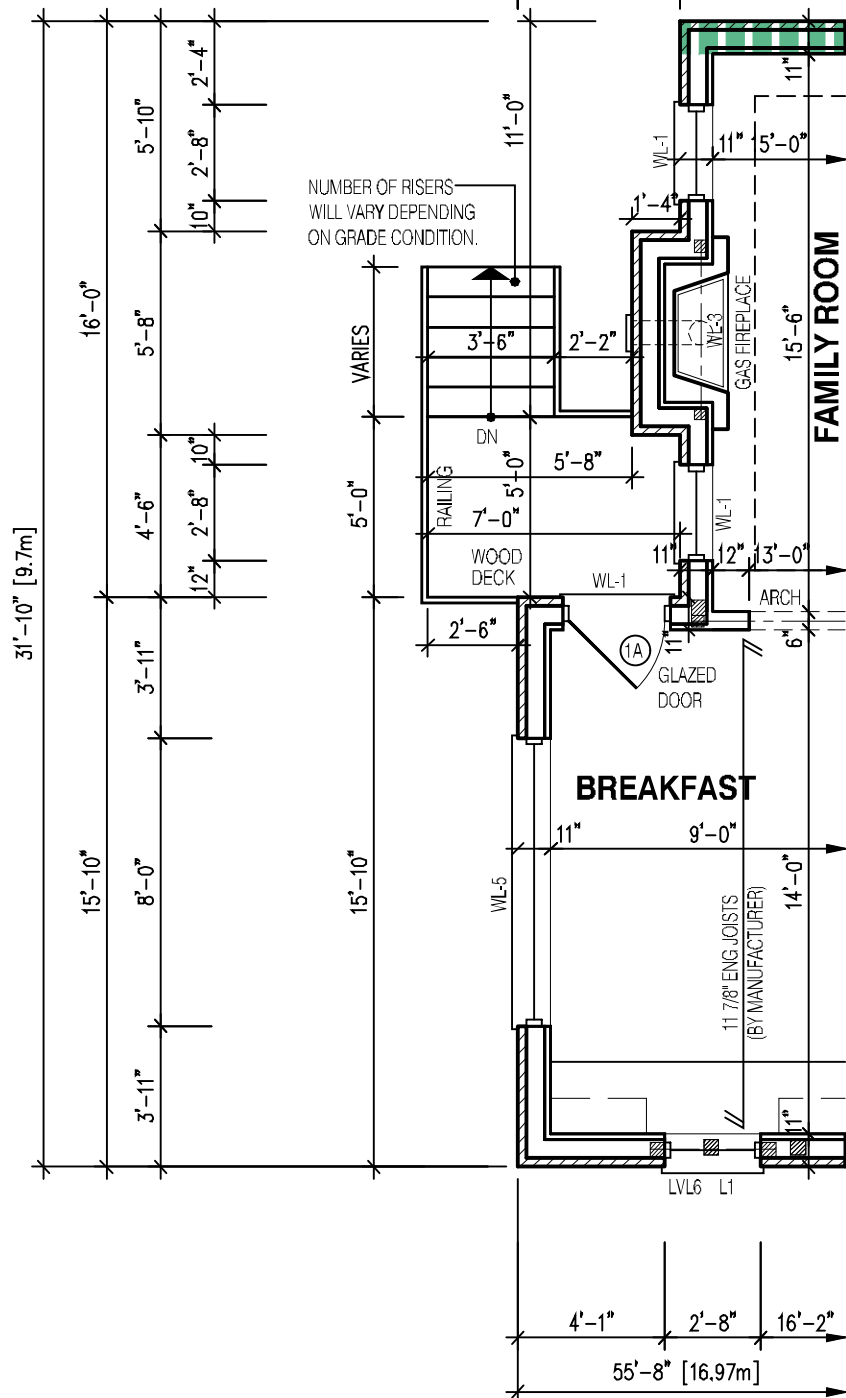
RECEIVED
 Per: joshua.nabua



PARTIAL BASEMENT LAYOUT
FOR DECK CONDITION EL-2

NOTE:
SUBFLOOR TO BE
3/4" PLYWOOD ON
THIS LEVEL
ALL FLOORS TO BE
NAILED AND GLUED
ON THIS LEVEL

FOR ADDITIONAL DECK STRUCTURE
REFER TO PAGE 7 OF THE DETAIL PACKAGE



PARTIAL FIRST FLOOR LAYOUT
FOR DECK CONDITION EL-2

NOTE:
SUBFLOOR TO BE
3/4" PLYWOOD ON
THIS LEVEL
ALL FLOORS TO BE
NAILED AND GLUED
ON THIS LEVEL

LEGEND:	
	BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
	INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
	STL. PLATE FOR STEEL COLN ABOVE
LVL	LAMINATED VENEER LUMBER
S.J.	SINGLE JOIST
D.J.	DOUBLE JOIST
T.J.	TRIPLE JOIST
	REPEAT NOTE
	SHOWER WEEPERS

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2682
11.6m LOTS
PINETREE 3(GR)
ELEVATION 3
A1 PACKAGE
O.REG. 332/12

STRUDET INC
FOR STRUCTURAL ONLY



MAY 19/2021

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

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7		
6		
5		
4	MAY 17, 2021	ISSUED FOR BUILDING PERMIT
3	MAY 12, 2021	COORDINATED ENGINEER & CLIENT COMMENTS
2	MAY 11, 2021	COORDINATED AS PER FLOOR JOIST & ROOF TRUSS DRAWINGS
1	FEB. 22, 2021	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
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Walter Botter 21031
NAME SIGNATURE BCIN

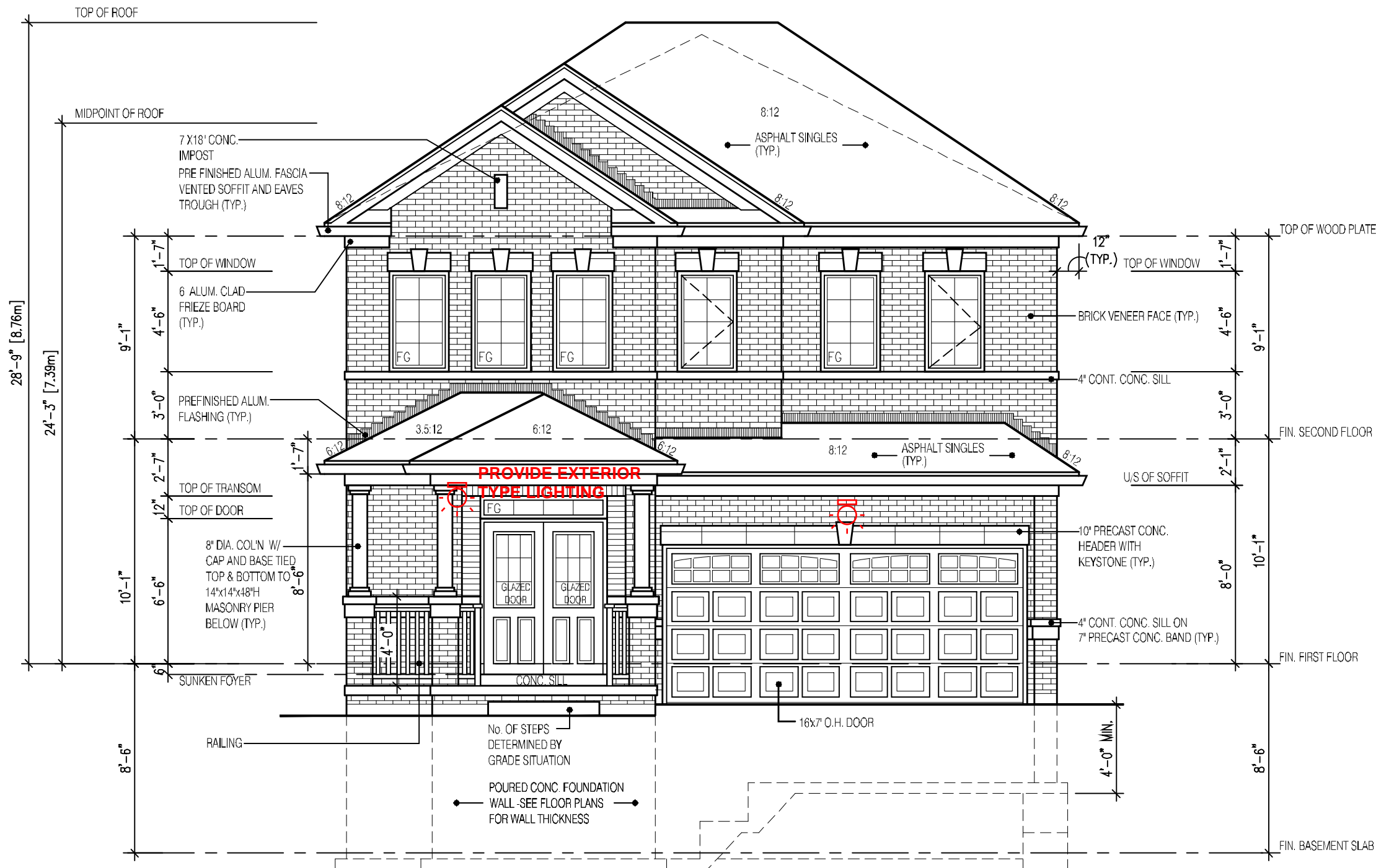
REGISTRATION INFORMATION
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Jardin design group inc. 27763
FIRM NAME BCIN

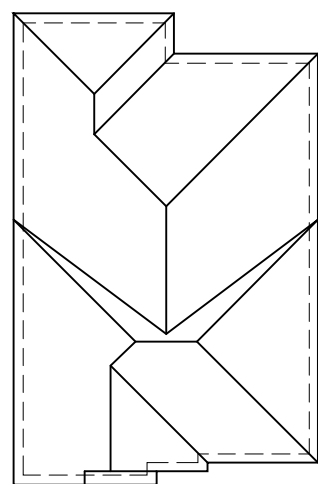
DECK CONDITION EL-3

ROUND HILL HOMES INC.
RICHMOND HILL
BUILDING DIVISION

09/22/2022
BILD
Per: jesus.nobus



FRONT ELEVATION 1



ROOF PLAN

Attic ventilation min. 1 square foot / 300 square foot of ceiling area. Locate 50% of ventilation near ridge.

Refer to approved truss drawings for roof framing layout and specifications for correct bearing, uplift and anchorage.

2682
11.6m LOTS
PINETREE 3(GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12

W Architect Inc.
DESIGN CONTROL REVIEW
FEBRUARY 24, 2022

FINAL BY: GGE

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jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

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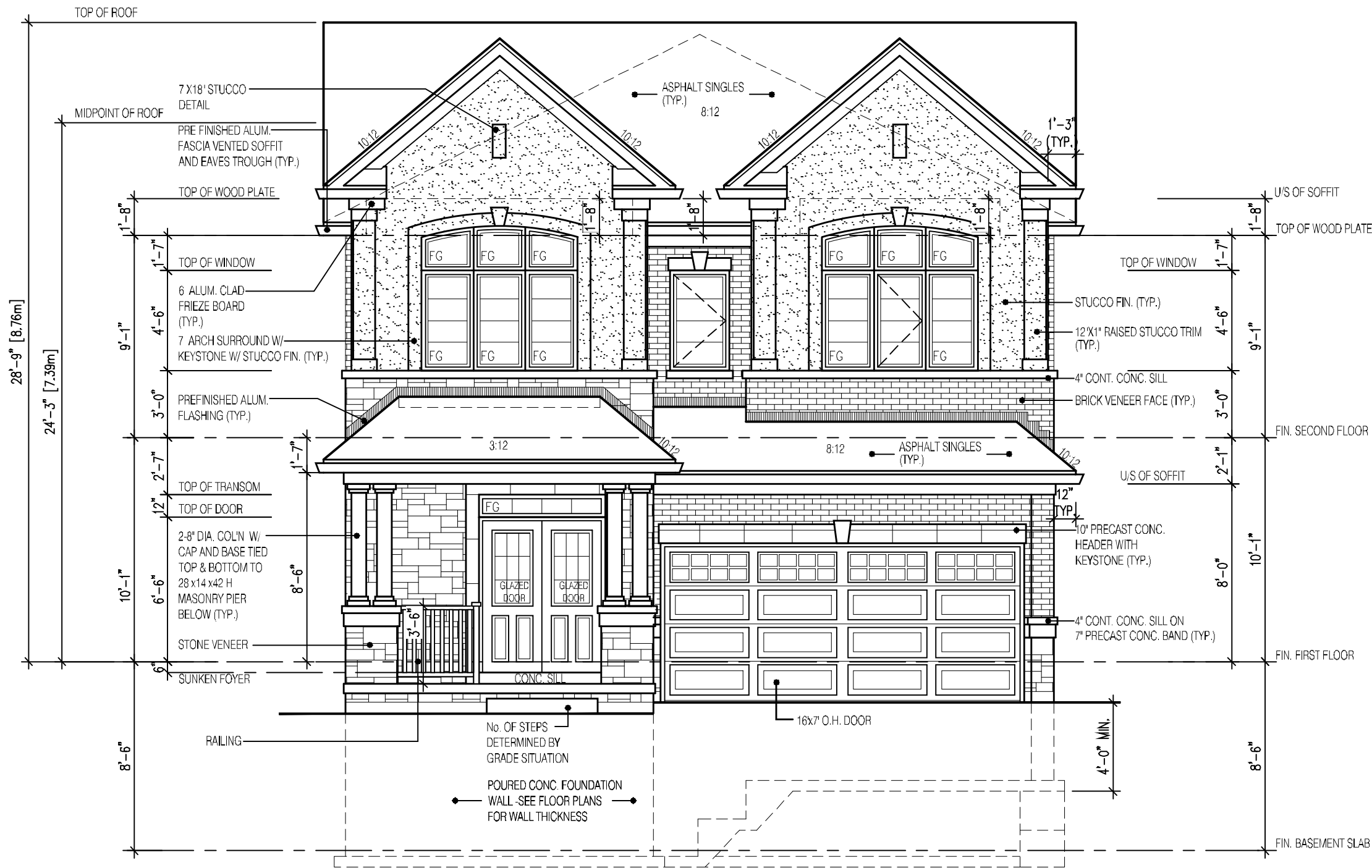
FRONT ELEVATION-1

ROUNDEL HOMES INC.
RICHMOND HILL
BUILT FOR DIVISION

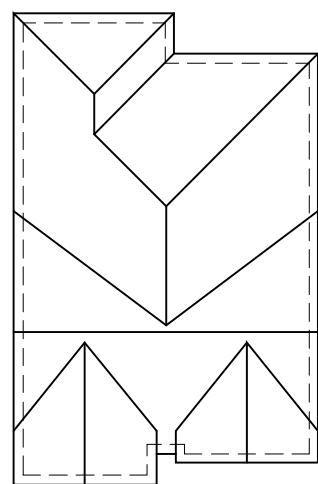
09/22/2022
3/16"=1'-0"
PROJ. No. DWG. No.
20-81 4
Per: jesus.nolas

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FRONT ELEVATION 2



ROOF PLAN

Refer to approved truss drawings for roof framing layout and specifications for correct bearing, uplift and anchorage.

2682
11.6m LOTS
PINETREE 3(GR)
ELEVATION 2
A1 PACKAGE
O.REG. 332/12

W Architect Inc.
DESIGN CONTROL REVIEW
FEBRUARY 24, 2022

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No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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Walter Botter 21031
NAME SIGNATURE BCIN

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jardin design group inc. 27763
FIRM NAME BCIN

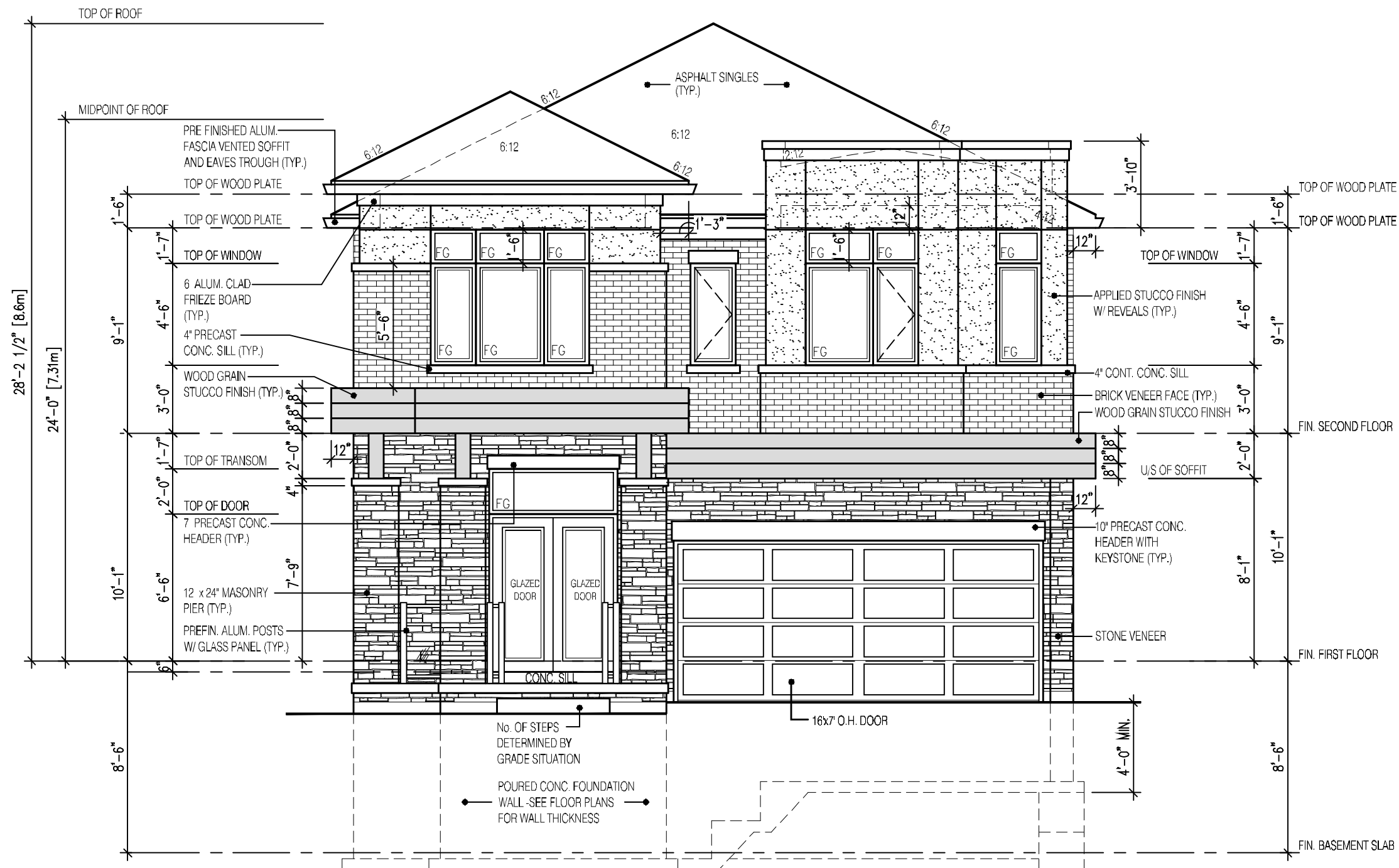
FRONT ELEVATION-2

ROUNDEL HOMES INC.
RICHMOND HILL
BUILDING DIVISION

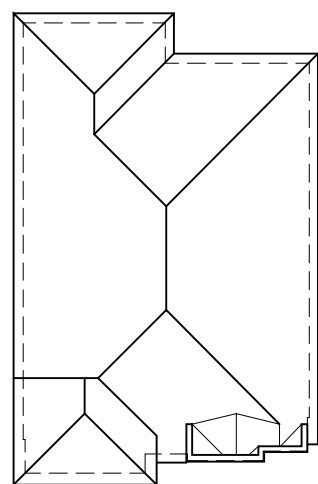
09/22/2022
3/16"=1'-0"
PROJ. No. DWG. No.
20-31 4A
Per: joanna.nabala

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FRONT ELEVATION 3



ROOF PLAN

Refer to approved truss drawings for roof framing layout and specifications for correct bearing, uplift and anchorage.

2682
11.6m LOTS
PINETREE 3(GR)
ELEVATION 3
A1 PACKAGE
O.REG. 332/12

W Architect Inc.
DESIGN CONTROL REVIEW
FEBRUARY 24, 2022
FINAL BY: GGE
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jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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Walter Botter 21031
NAME SIGNATURE BCIN

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jardin design group inc. 27763
FIRM NAME BCIN

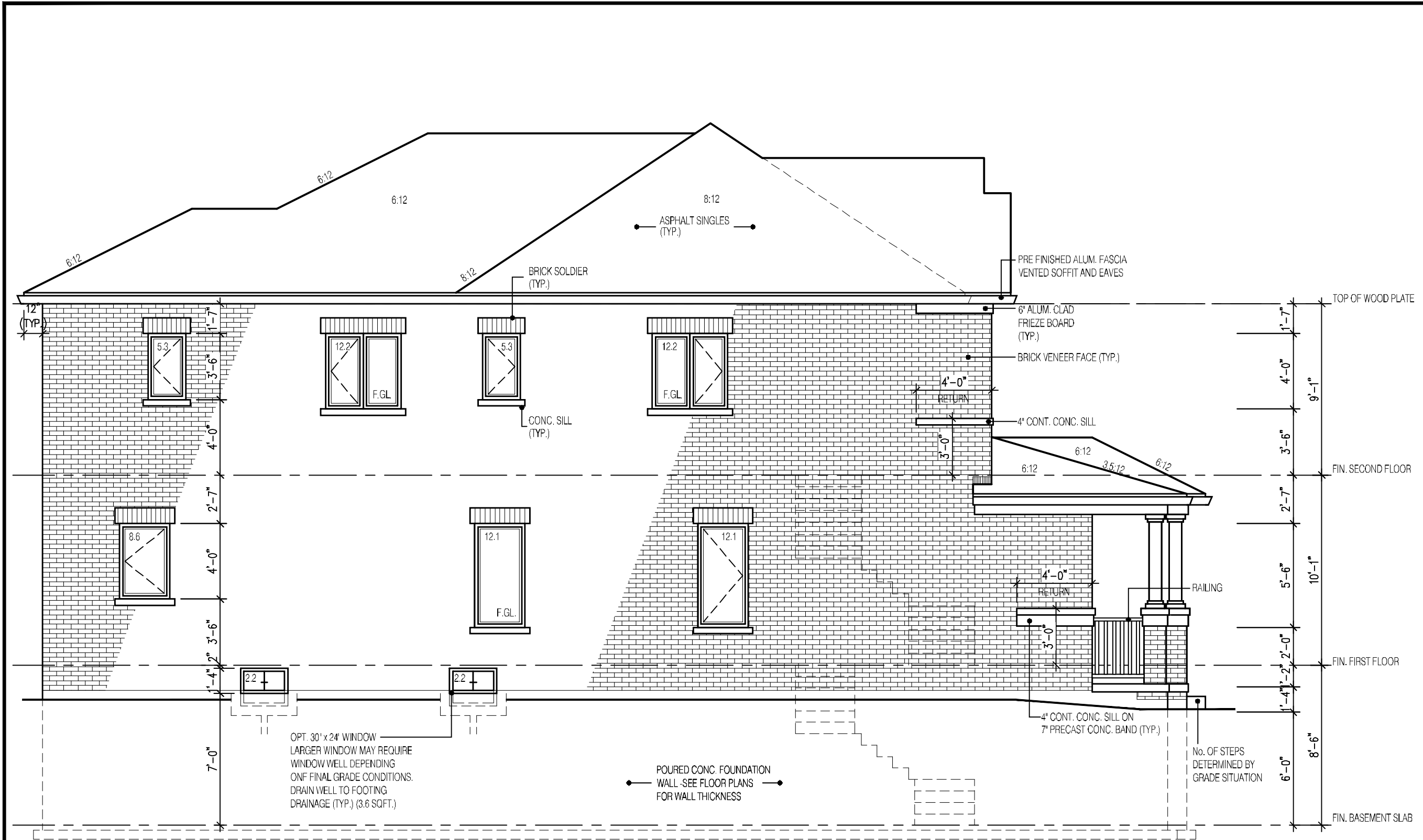
FRONT ELEVATION-3

ROUNDEL HOMES INC.
RICHMOND HILL
BUILDING DIVISION

09/22/2022
3/16"=1'-0"
PROJ. No. DWG. No.
20-81 4B
Per: jesus.nolas

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LEFT SIDE ELEVATION 1

UNPROTECTED OPENINGS

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

WALL AREA	1116	⌘
ALLOWABLE GLAZED AREA @ 7.0%(1.2m SIDEYARD)	78.12	⌘
ACTUAL GLAZED AREA	72.20	⌘
WITH OPTIONAL 30"x24" BASEMENT WINDOWS		
ACTUAL GLASS AREA	75.0	⌘

2682

11.6m LOTS

PINETREE 3(GR)

ELEVATION 1

A1 PACKAGE

O.REG. 332/12

W Architect Inc.

DESIGN CONTROL REVIEW

FEBRUARY 24, 2022

FINAL BY: GGE

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jardin

DESIGN GROUP INC

64 JARDIN DR. SUITE 3A

VAUGHAN ONT. L4K 3P3

TEL: 905 660-3377 FAX: 905 660-3713

EMAIL: info@jardindesign.ca

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Walter Botter

21031

NAME

SIGNATURE

BCIN

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jardin design group inc. 27763

FIRM NAME

BCIN

SIDE ELEVATION-1

ROUNDEL HOMES INC.

RICHMOND HILL

CHURCHILL CREEK AND HILL

109/22/2022

09/22/2022

3/16"=1'-0"

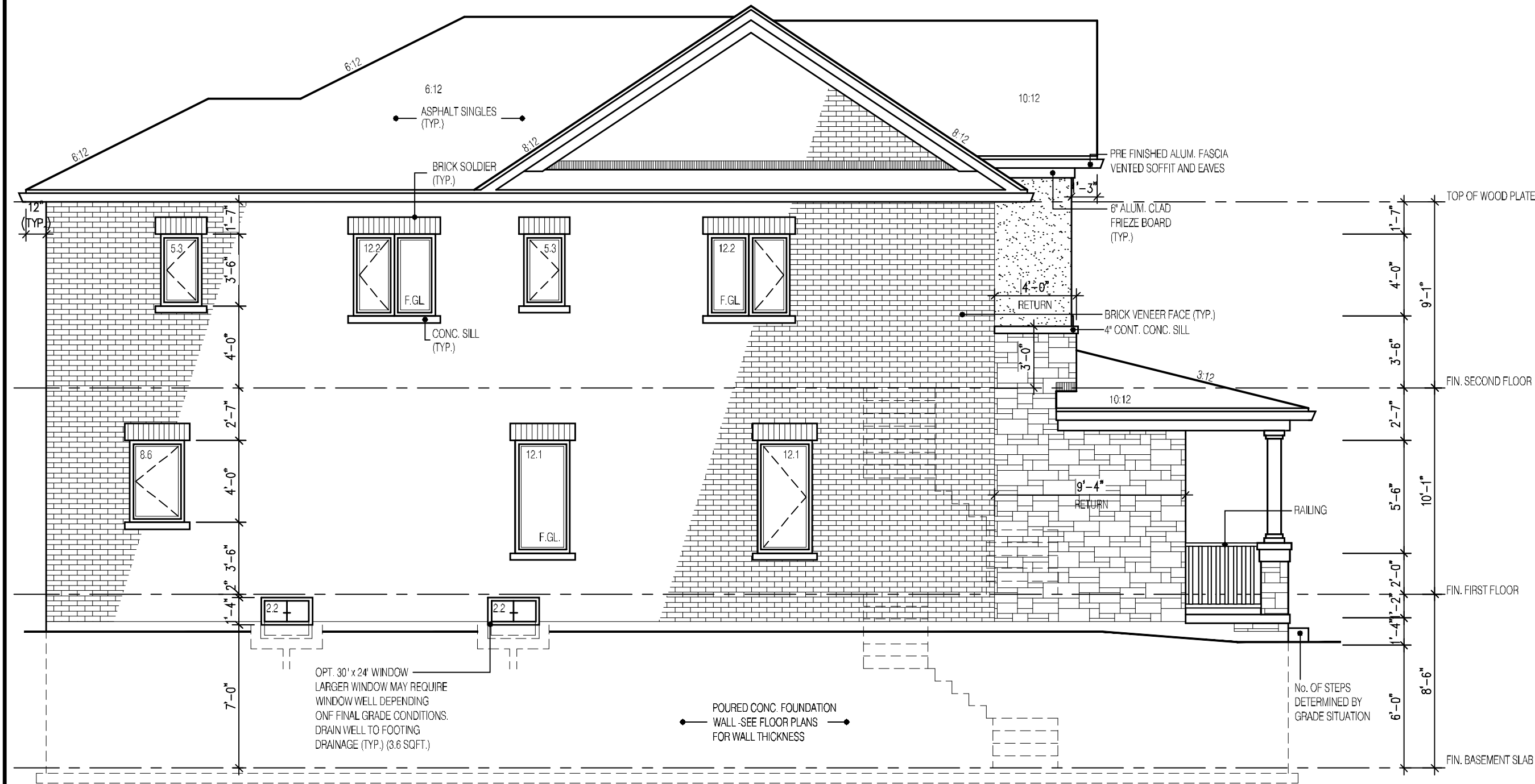
PROJ. No. 20-31

DWG. No. 5

Per: joshua.nelson

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LEFT SIDE ELEVATION 2

UNPROTECTED OPENINGS

WALL AREA	1120	⌘
ALLOWABLE GLAZED AREA @ 7.0%(1.2m SIDEYARD)	78.40	⌘
ACTUAL GLAZED AREA	72.20	⌘
WITH OPTIONAL 30"x24" BASEMENT WINDOWS		
ACTUAL GLASS AREA	75.0	⌘

2682
11.6m LOTS
PINETREE 3(GR)
ELEVATION 2
A1 PACKAGE
O.REG. 332/12

W Architect Inc.
DESIGN CONTROL REVIEW
FEBRUARY 24, 2022
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jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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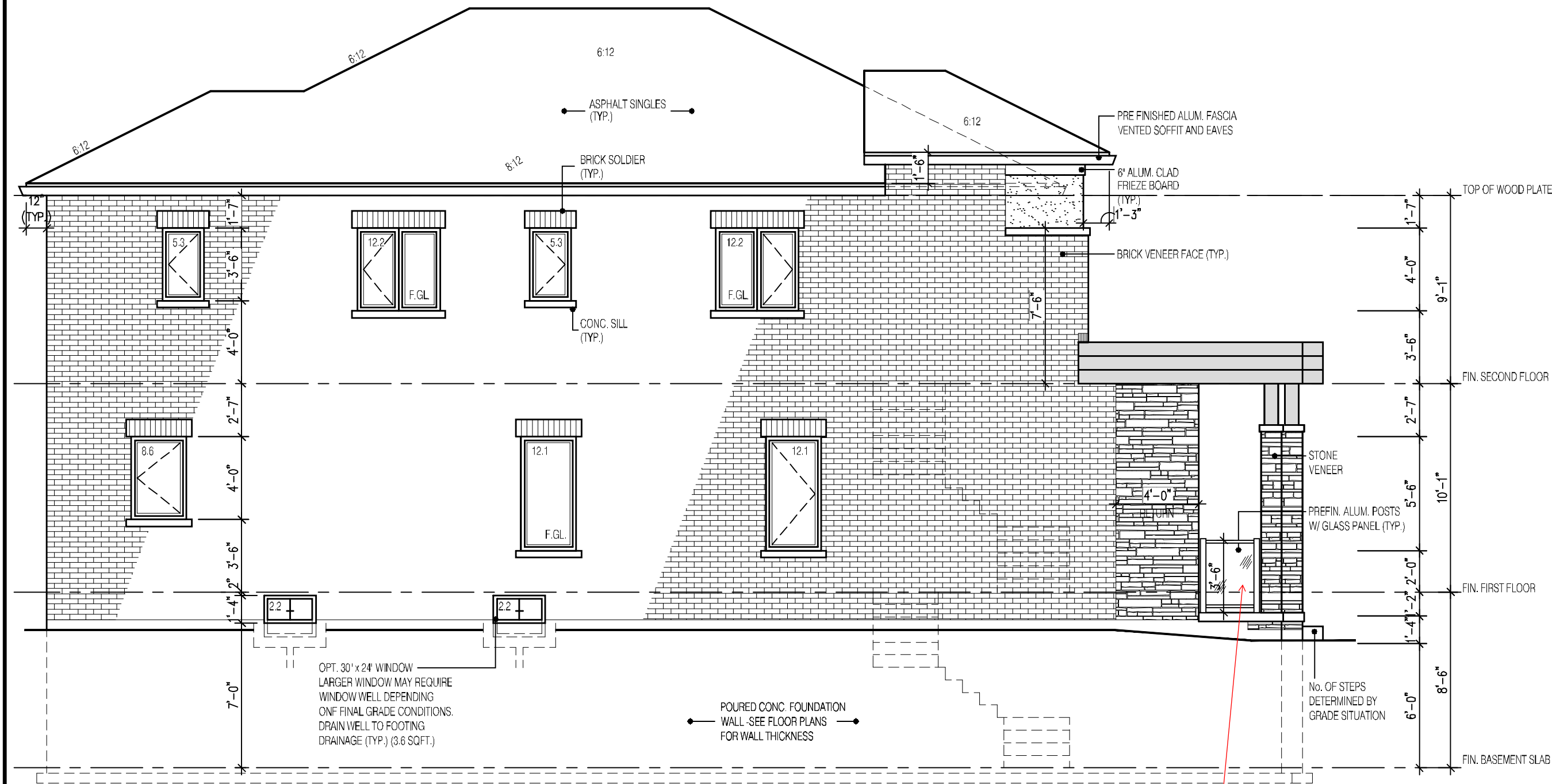
SIDE ELEVATION-2

ROUNDEL HOMES INC.
RICHMOND HILL
CITY OF RICHMOND HILL
BUILDING DIVISION

09/22/2022
BILD
Per: jesus.nolas
PROJ. No. 20-31 DWG. No. 5A
SCALE: 3/16"=1'-0"

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LEFT SIDE ELEVATION 3

UNPROTECTED OPENINGS

WALL AREA	1118	⌘
ALLOWABLE GLAZED AREA @ 7.0%(1.2m SIDEYARD)	78.26	⌘
ACTUAL GLAZED AREA	72.20	⌘
WITH OPTIONAL 30"x24" BASEMENT WINDOWS		
ACTUAL GLASS AREA	75.0	⌘

2682
11.6m LOTS
PINETREE 3(GR)
ELEVATION 3
A1 PACKAGE
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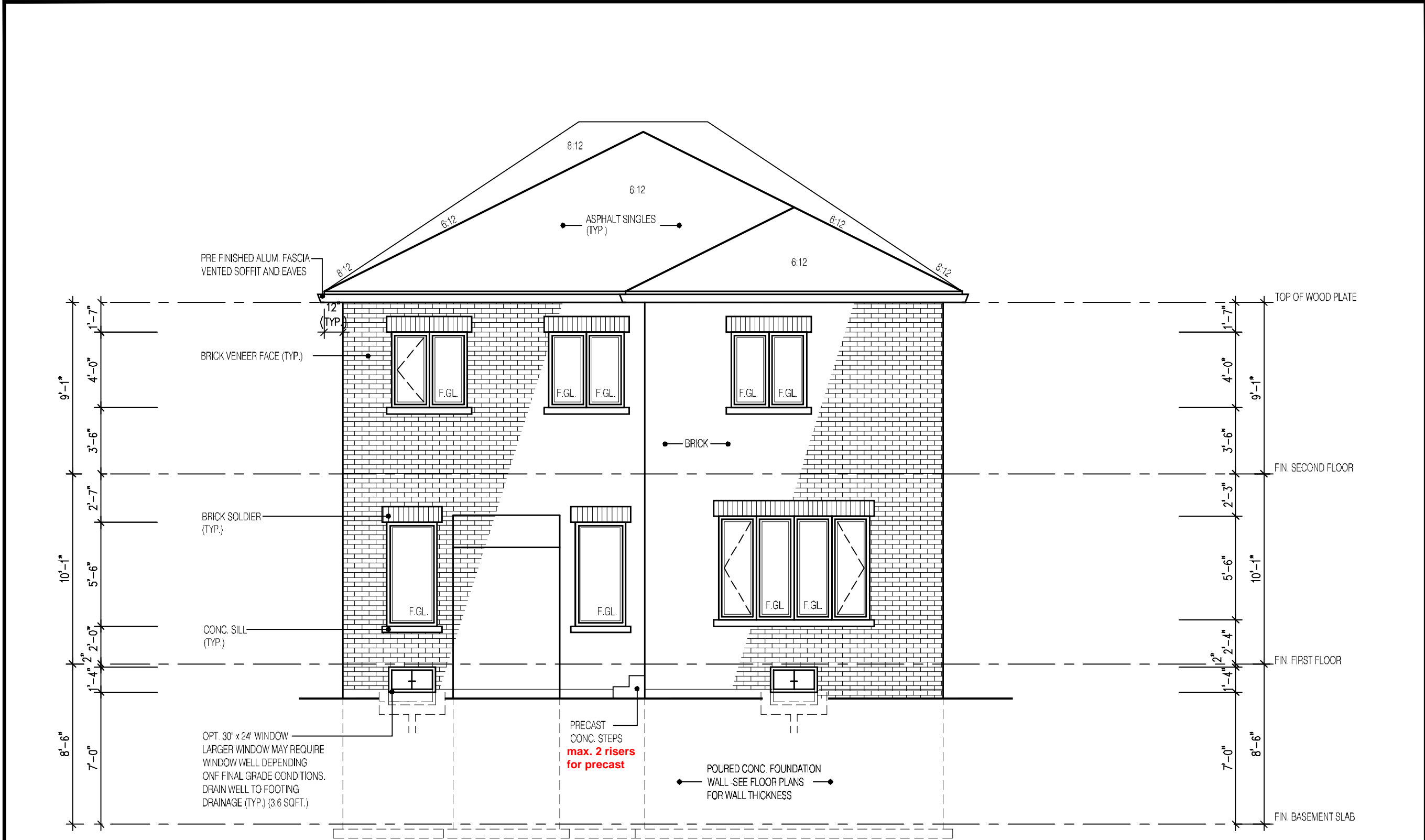
jardin
DESIGN GROUP INC
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VAUGHAN ONT. L4K 3P3
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Walter Botter 21031
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.
jardin design group inc. 27763
FIRM NAME BCIN

SIDE ELEVATION-3
ROUNDEL HOMES INC.
RICHMOND HILL
CHURCHILL CREEK
09/22/2022
3/16"=1'-0"
PROJ. No. DWG. No.
20-31 5B
Per: jesus.nolas

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REAR ELEVATION 1

2682
11.6m LOTS
PINETREE 3(GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12

W Architect Inc.
DESIGN CONTROL REVIEW
FEBRUARY 24, 2022
FINAL BY: GGE
This stamp is only for the purposes of design control and carries no other professional obligations.

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JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFERENCE TO THE ARCHITECT'S ENGINEERING DRAWINGS SHALL BE MADE PRIOR TO ANY WORK.
AS CONSTRUCTION PROCEEDS, BE ADVISED PRIOR TO POURING FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT OR REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
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7		
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4	MAY 17, 2021	ISSUED FOR BUILDING PERMIT
3	MAY 12, 2021	COORDINATED ENGINEER & CLIENT COMMENTS
2	MAY 11, 2021	COORDINATED AS PER FLOOR JOIST & ROOF TRUSS DRAWINGS
1	FEB. 22, 2021	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

REAR ELEVATION-1
ROUNDEL HOMES INC.
CHURCHILL CREEK HILL
RICHMOND HILL
BUILDING DIVISION

09/22/2022
SCALE: 3/16"=1'-0"
PROJ. No. 20-31 DWG. No. 6
Per: joeluis.nolas

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REAR ELEVATION 1
DECK CONDITION

FOR ADDITIONAL DECK STRUCTURE
REFER TO PAGE 7 OF THE DETAIL PACKAGE

PINETREE 3 ELEV.-1 DECK CONDITION			
ENERGY EFFICIENCY- A1 PACKAGE			
ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	675.42	90.22	13.36 %
LEFT SIDE	1115.82	92.67	8.31 %
RIGHT SIDE	1116.00	24.00	2.15 %
REAR	748.08	133.83	17.89 %
TOTAL	3655.32	340.72	9.32 %

NOTE:
WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.
(FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)

2682
11.6m LOTS
PINETREE 3(GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12

W Architect Inc.
DESIGN CONTROL REVIEW
FEBRUARY 24, 2022
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No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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Qualification Information
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Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

DECK CONDITION EL-1

ROUNDEL HOMES INC.
CHURCHILL HILL
RICHMOND HILL
BUILDING DIVISION

MODEL: 109/22/2022
SCALE: 3/16"=1'-0"
PROJ. No. 20-31 DWG. No. 6-1
Per: jesus.nolasco



REAR ELEVATION 2

2682
11.6m LOTS
PINETREE 3(GR)
ELEVATION 2
A1 PACKAGE
O.REG. 332/12

W Architect Inc.
DESIGN CONTROL REVIEW
FEBRUARY 24, 2022
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No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

REAR ELEVATION-2

ROUNDEL HOMES INC.
RICHMOND HILL
BUILT FOR DIVISION

09/22/2022
SCALE: 3/16"=1'-0"
PROJ. No. DWG. No.
20-31 6A
Per: joeluis.nolasco



REAR ELEVATION 2
DECK CONDITION

FOR ADDITIONAL DECK STRUCTURE
REFER TO PAGE 7 OF THE DETAIL PACKAGE

PINETREE 3 ELEV.-2 DECK CONDITION			
ENERGY EFFICIENCY- A1 PACKAGE			
ELEVATION	WALL FT ²	OPENING FT ²	PERCENTAGE
FRONT	710.42	118.91	16.74 %
LEFT SIDE	1120.03	92.67	8.27 %
RIGHT SIDE	1116.00	24.00	2.15 %
REAR	748.08	133.83	17.89 %
TOTAL	3694.53	369.41	10.00 %

2682
11.6m LOTS
PINETREE 3(GR)
ELEVATION 2
A1 PACKAGE
O.REG. 332/12

W Architect Inc.
DESIGN CONTROL REVIEW
FEBRUARY 24, 2022

FINAL BY: GGE

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No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

DECK CONDITION EL-2

ROUNDEL HOMES INC.
CHURCHILL CREEK RD HILL
RICHMOND HILL
L4B 3N1

MODEL: 109/22/2022
SCALE: 3/16"=1'-0"

PROJ. No. 20-31 DWG. No. 6A-1

Per: jesus.nolasco

NOTE:
WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.
(FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)

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REAR ELEVATION 3

2682
11.6m LOTS
PINETREE 3(GR)
ELEVATION 3
A1 PACKAGE
O.REG. 332/12

W Architect Inc.
DESIGN CONTROL REVIEW
FEBRUARY 24, 2022
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No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

REAR ELEVATION-3

ROUNDEL HOMES INC.
RICHMOND HILL
CITY OF RICHMOND HILL
BUILDING DIVISION

09/22/2022
SCALE: 3/16"=1'-0"
PROJ. No. 20-31 DWG. No. 6B
Per: jesus.nolas



REAR ELEVATION 3
DECK CONDITION

FOR ADDITIONAL DECK STRUCTURE
REFER TO PAGE 7 OF THE DETAIL PACKAGE

PINETREE 3 ELEV.-3 DECK CONDITION		ENERGY EFFICIENCY- A1 PACKAGE	
ELEVATION	WALL FT ²	OPENING FT ²	PERCENTAGE
FRONT	705.04	111.22	15.77 %
LEFT SIDE	1120.03	92.67	8.27 %
RIGHT SIDE	1115.00	24.00	2.15 %
REAR	748.08	133.33	17.82 %
TOTAL	3688.15	361.22	9.79 %

NOTE:
WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.
(FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)

2682
11.6m LOTS
PINETREE 3(GR)
ELEVATION 3
A1 PACKAGE
O.REG. 332/12

W Architect Inc.
DESIGN CONTROL REVIEW
FEBRUARY 24, 2022
FINAL BY: GGE
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No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

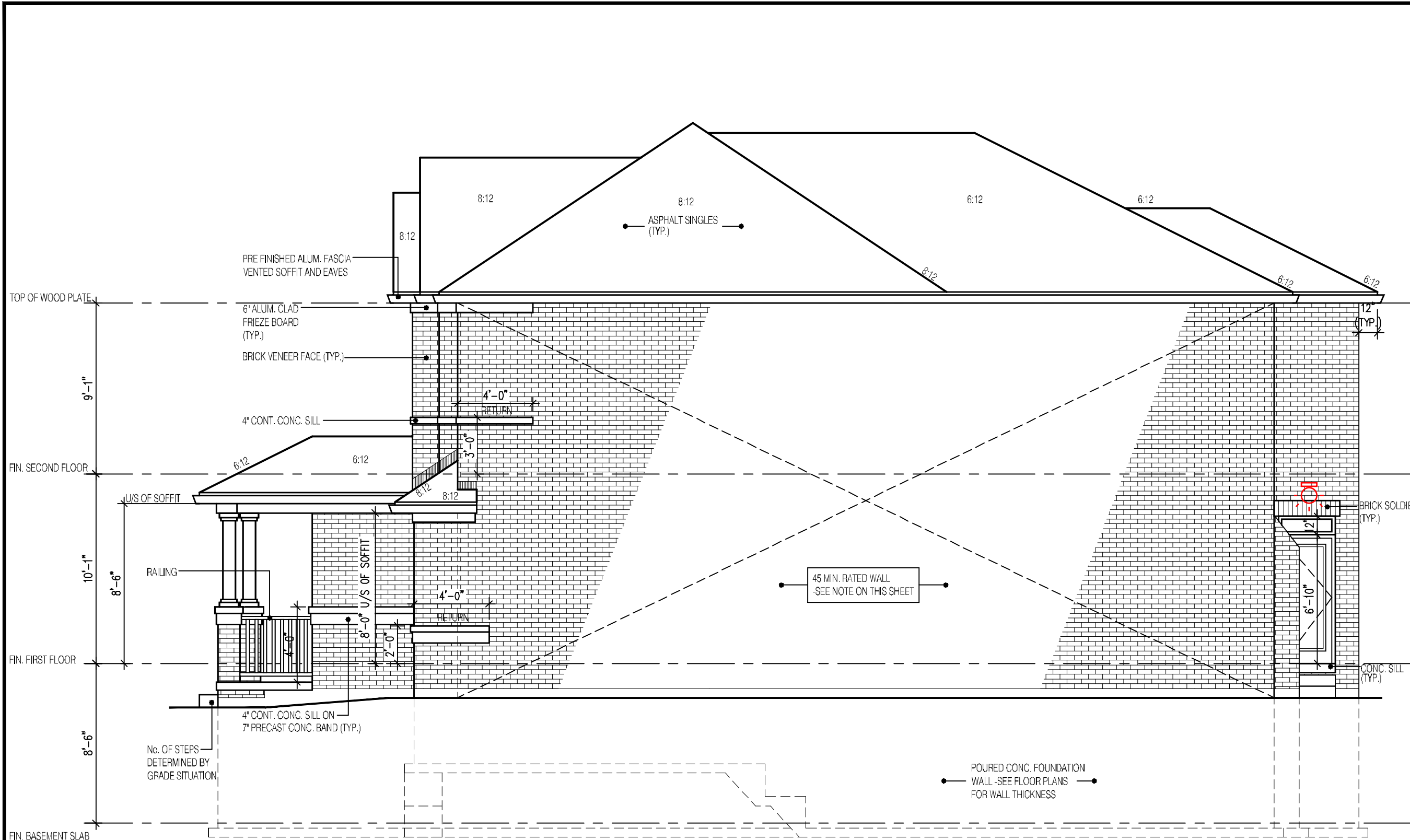
Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

Jardin design group inc. 27763
FIRM NAME BCIN

DECK CONDITION EL-3

ROUNDEL HOMES INC.
CHATELAIN HILL
RICHMOND HILL
BUILDING DIVISION
09/22/2022
BILD
Per: joshua.nakula
MODEL: T
SCALE: 3/16"=1'-0"
PROJ. No. DWG. No.
20-316B-1



RIGHT SIDE ELEVATION 1

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED AT HEADER

PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

(REFER TO SUPPLEMENTARY STANDARD SB-2 2.3.

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ. M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS

(REFER TO SUPPLEMENTARY STANDARD SB-2 2.3.5.(2)

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Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

ROUND HOMES INC.
RICHMOND HILL
BUILDING DIVISION

09/22/2022
SCALE: 3/16"=1'-0"
PROJ. No. 20-8 DWG. No. 7
Per: jesus.nolas

2682
11.6m LOTS
PINETREE 3(GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12

W Architect Inc.
DESIGN CONTROL REVIEW
FEBRUARY 24, 2022
FINAL BY: GGE
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No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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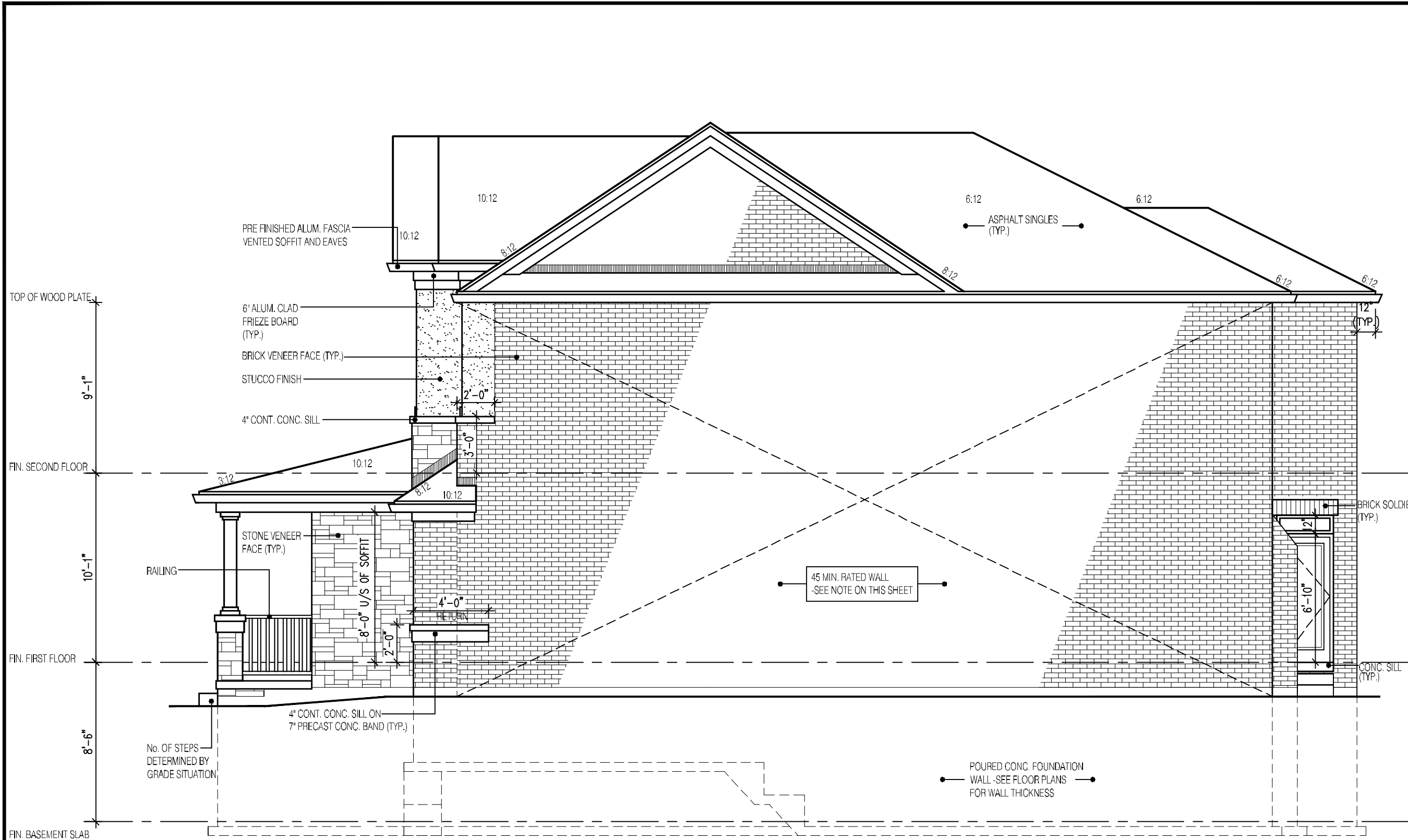
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jardin design group inc. 27763
FIRM NAME BCIN

ROUND HOMES INC.
RICHMOND HILL
BUILDING DIVISION

09/22/2022
SCALE: 3/16"=1'-0"
PROJ. No. 20-8 DWG. No. 7
Per: jesus.nolas



RIGHT SIDE ELEVATION 2

DRAWN BY: DRAWING NAME: ---

HEADER/RIM JOIST LEVEL
(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED AT HEADER

PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

(REFER TO SUPPLEMENTARY STANDARD SB-2 2.3.

BRICK VENEER CONSTRUCTION
(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS

(REFER TO SUPPLEMENTARY STANDARD SB-2 2.3.5.(2)

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2682
11.6m LOTS
PINETREE 3(GR)
ELEVATION 2
A1 PACKAGE
O.REG. 332/12

W Architect Inc.
DESIGN CONTROL REVIEW
FEBRUARY 24, 2022
FINAL BY: GGE
This stamp is only for the purposes of design control and carries no other professional obligations.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFERENCE TO PREVIOUS EDITIONS OF UNBILLING DRAWINGS SHALL BE PROHIBITED WITHIN WORK.

AS CONSULTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT OR FINAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

7		
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4	MAY 17, 2021	ISSUED FOR BUILDING PERMIT
3	MAY 12, 2021	COORDINATED ENGINEER & CLIENT COMMENTS
2	MAY 11, 2021	COORDINATED AS PER FLOOR JOIST & ROOF TRUSS DRAWINGS
1	FEB. 22, 2021	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

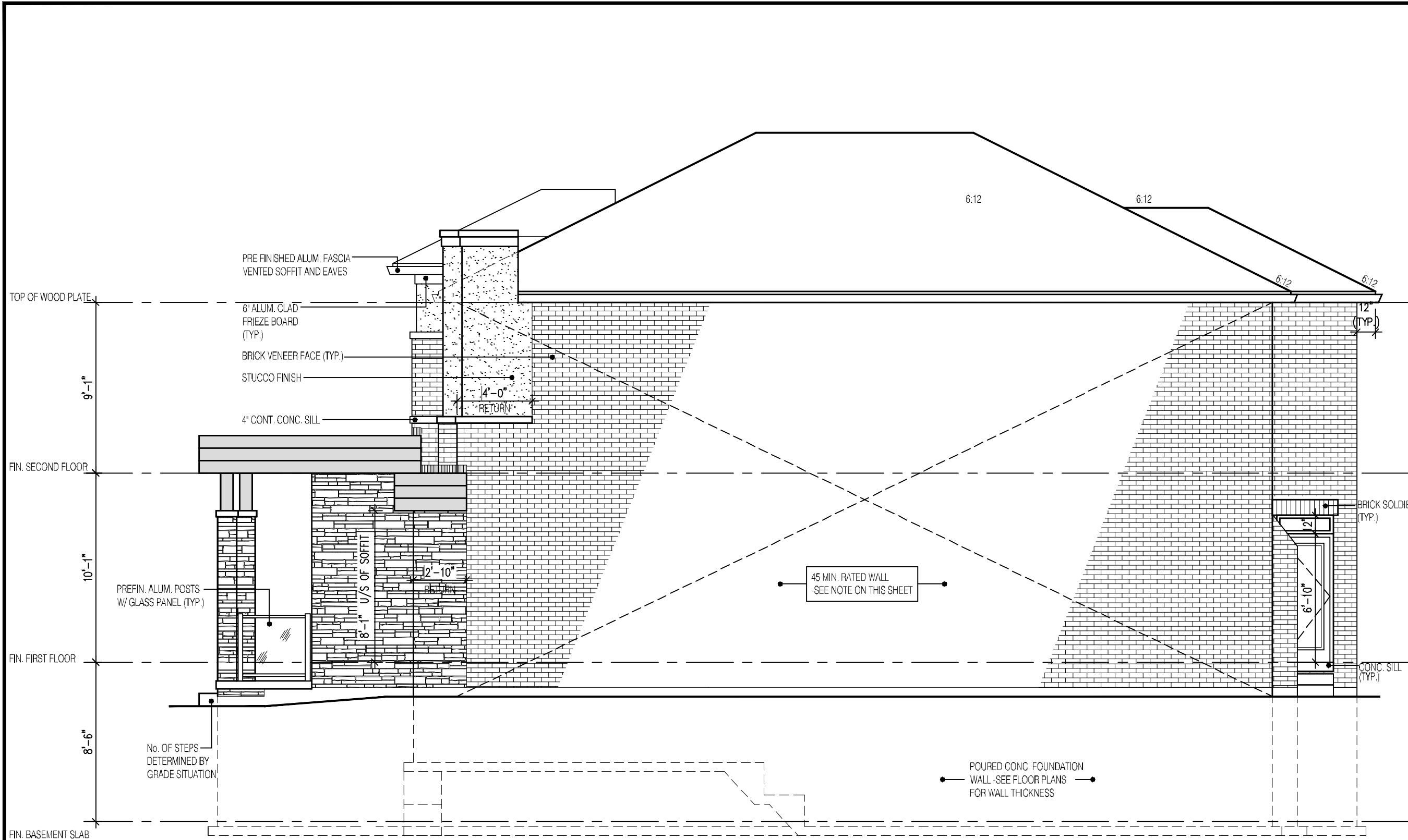
SIDE ELEVATION-2

ROUNDEL HOMES INC.
RICHMOND HILL
BUILDING DIVISION

09/22/2022
SCALE: 3/16"=1'-0"

PROJ. No. DWG. No.
20-81 7A

Per: jesus.nolas



RIGHT SIDE ELEVATION 3

DRAWN BY: DRAWING NAME: ---

HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED AT HEADER

PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

(REFER TO SUPPLEMENTARY STANDARD SB-2 2.3.

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED WALL

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2682
11.6m LOTS
PINETREE 3(GR)
ELEVATION 3
A1 PACKAGE
O.REG. 332/12

W Architect Inc.
DESIGN CONTROL REVIEW
FEBRUARY 24, 2022

FINAL BY: GGE

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No: DATE: WORK DESCRIPTION:

jardin
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64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter 21031
NAME SIGNATURE BCIN

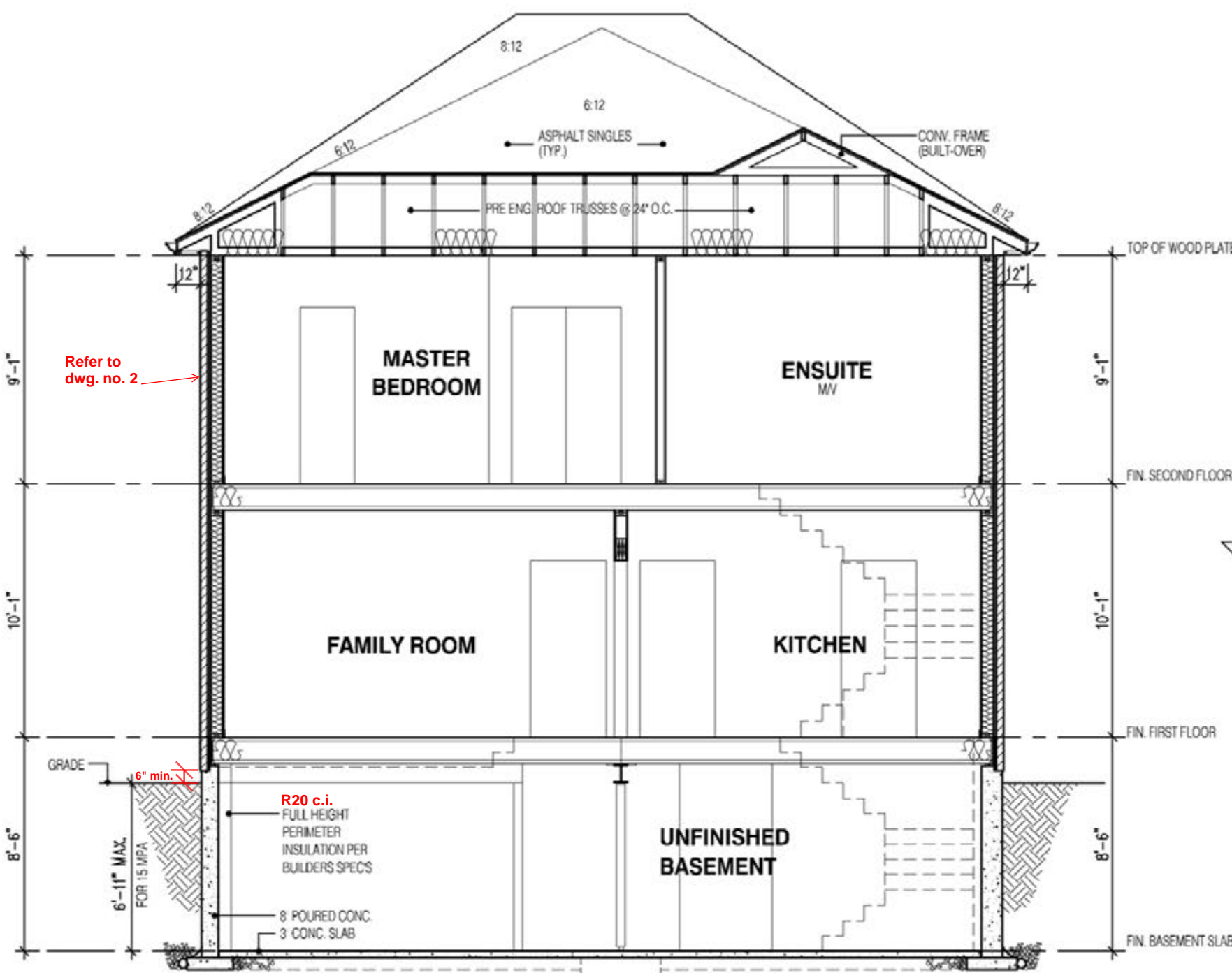
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

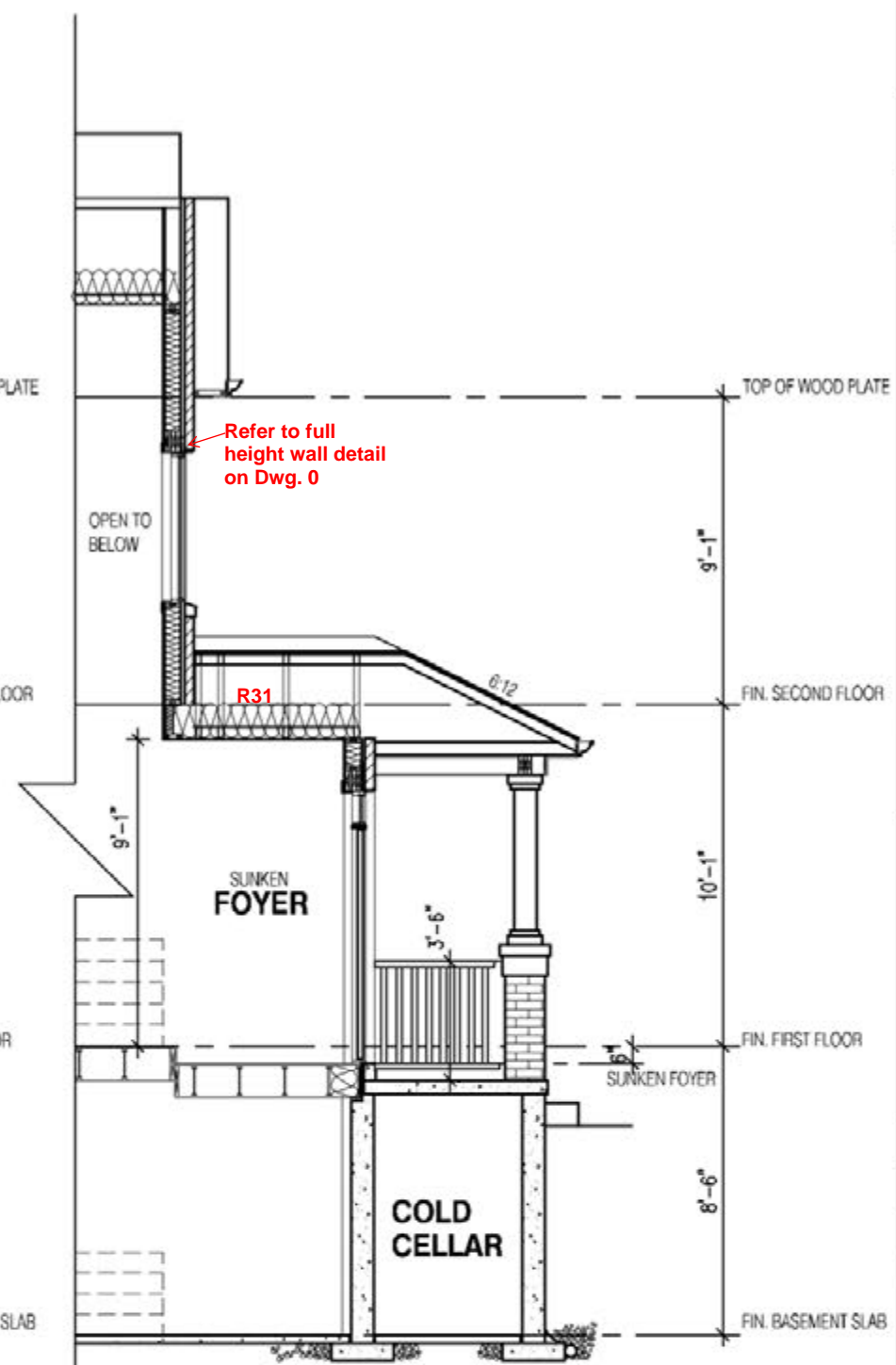
SIDE ELEVATION-3

ROUNDEL HOMES INC.
RICHMOND HILL
CITY OF RICHMOND HILL
BUILDING DIVISION

09/22/2022
SCALE: 3/16"=1'-0"
PROJ. No. DWG. No.
20-31 7B
Per: jesus.nolas



**SECTION A-A
ELEVATION 1**



SECTION B

Maximum backfill height for a
☒ 15 MPa ☐ 20 MPa ☒ Poured ☐ Block
 foundation wall
 laterally supported shall be: 7'-0"
 laterally unsupported shall be: 4'-0"

2682

11.6m LOTS

**PINETREE 3(GR)
ELEVATION 1**

A1 PACKAGE

O.REG. 332/12

STRUDET INC
FOR STRUCTURAL ONLY



May 18/2021

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 JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, SETBACKS, OR OTHER INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFERENCE TO THE ARCHITECT'S UNDERLYING DRAWINGS OR CH. PROCEEDING WITH WORK AS CONSTRUCTED INVENTS MUST BE WITHIN 3 DAYS PRIOR TO POURING FOOTINGS.
 JARDIN DESIGN GROUP INC. HAS NOT BEEN REFERRED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
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No: DATE: WORK DESCRIPTION:

jardin
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 64 JARDIN DR. SUITE 3A
 VAUGHAN ONT. L4K 3P3
 TEL: 905 660-3377 FAX: 905 660-3713
 EMAIL: info@jardindesign.ca

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QUALIFICATION INFORMATION
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Walter Botter 21031
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
 FIRM NAME BCIN

SECTION ELEVATION-1

ROUNDEL HOMES INC.
 RICHMOND HILL

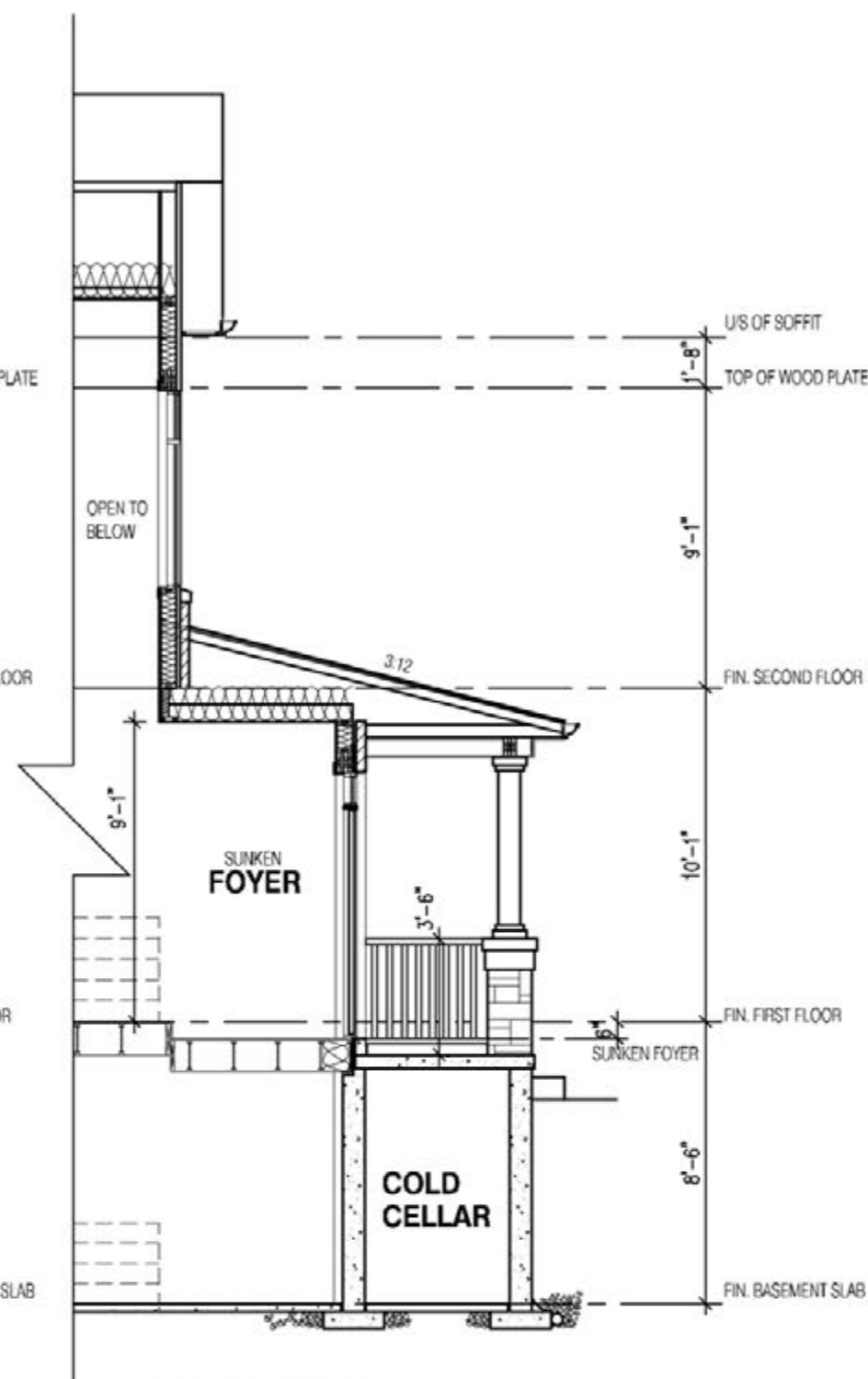
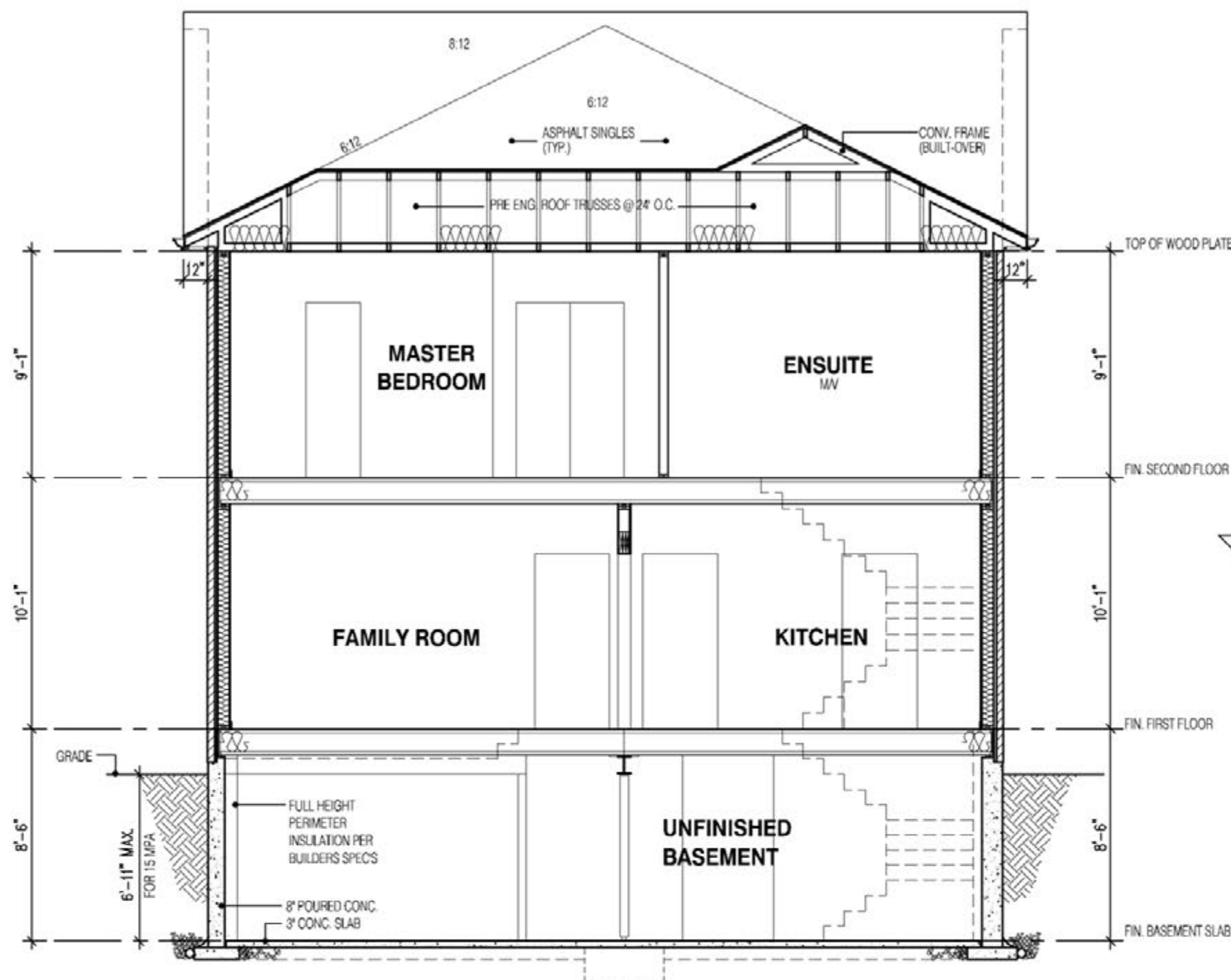
OFFICE OF RICHMOND HILL
 BUILDING DIVISION

SCALE: 3/16" = 1'-0"
 PROJ. NO. 20-31
 DRAWING NO. 8

RECEIVED
 Per: joshua.nabua

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2682

**PINETREE 3(GR)
ELEVATION 2**

O.REG. 332/12



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[illegible]

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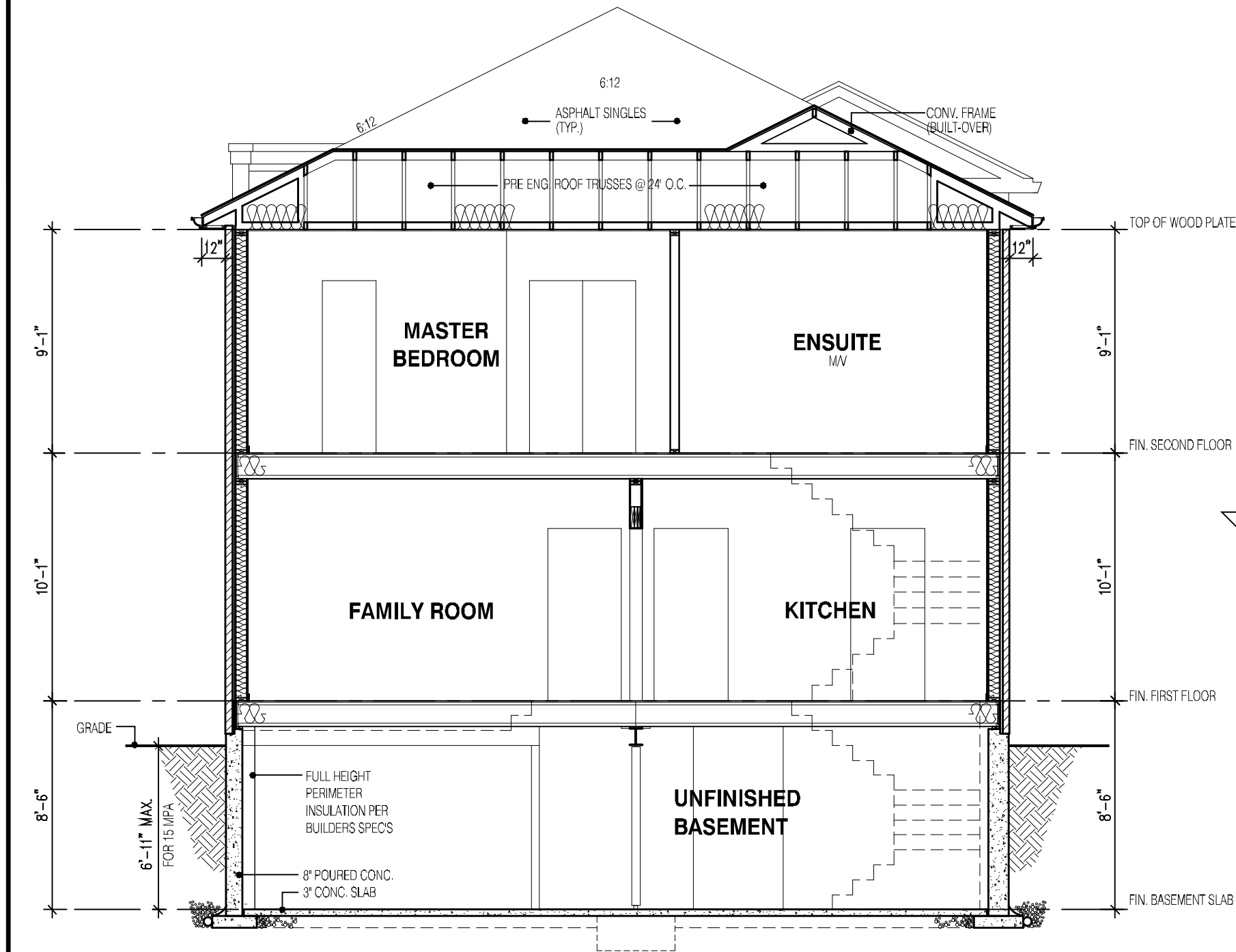
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SECTION ELEVATION-2

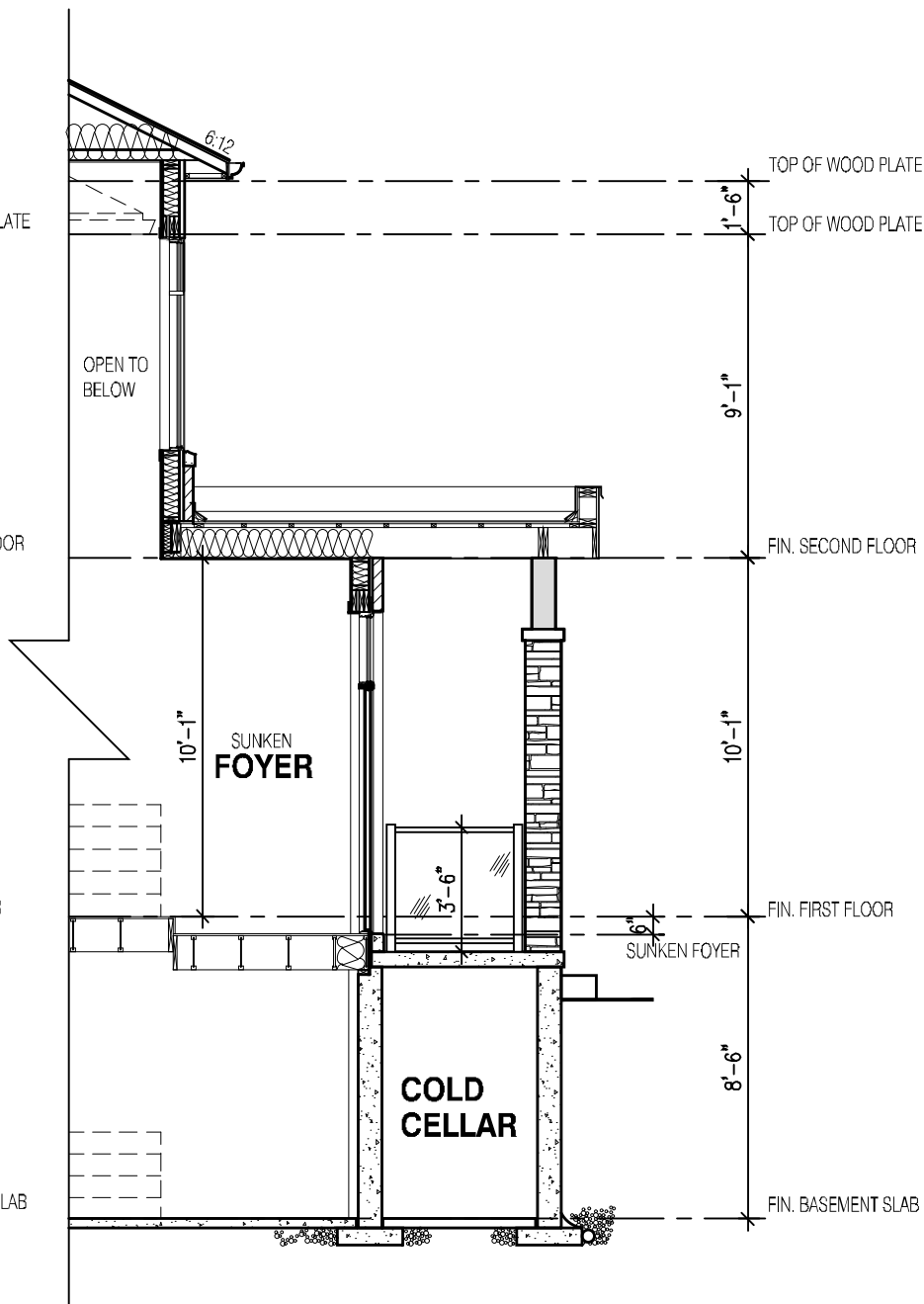
CITY OF RICHMOND
BUILDING DEPARTMENT

BILD

Per:____joshua.r



SECTION A-A
ELEVATION 3



SECTION B

2682
11.6m LOTS
PINETREE 3(GR)
ELEVATION 3
A1 PACKAGE
O.REG. 332/12

STRUDET INC
FOR STRUCTURAL ONLY



MAY 19/2021

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Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

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jardin design group inc. 27763
FIRM NAME BCIN

SECTION ELEVATION-3

ROUNDEL HOMES INC.
RICHMOND HILL
BUILT FOR DIVISION

09/22/2022
SCALE: 3/16"=1'-0"
PROJ. No. 20-31 DWG. No. 8B
Per: joanusa.nabua