

STRIP FOOTINGS FOR SINGLES AND SEMIS UP TO 2 STOREY

120 KPa NATIVE SOIL 20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS 24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS	90 KPa ENGINEERED FILL SOIL 24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW FOUNDATION WALLS 30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS
100 KPa NATIVE SOIL 22"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS 28"x10" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS OR 28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS	GENERAL NOTE: ASSUMED 125/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa FOR ENGINEERED FILL. TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL FOOTING DETAIL FOR REINFORCEMENT. (REFER TO ENG. FILL FOOTING DETAIL)

PAD FOOTING

120 KPa NATIVE SOIL F1 = 42"x42"x24" CONCRETE PAD F2 = 36"x36"x8" CONCRETE PAD F3 = 30"x30"x5" CONCRETE PAD F4 = 24"x24"x12" CONCRETE PAD F5 = 16"x16"x8" CONCRETE PAD	90 KPa ENGINEERED FILL SOIL F1 = 48"x48"x24" CONCRETE PAD F2 = 40"x40"x20" CONCRETE PAD F3 = 34"x34"x17" CONCRETE PAD F4 = 28"x28"x14" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD	100 KPa NATIVE SOIL F1 = 48"x48"x30" CONCRETE PAD F2 = 38"x38"x19" CONCRETE PAD F3 = 32"x32"x16" CONCRETE PAD F4 = 26"x26"x12" CONCRETE PAD F5 = 17"x17"x8" CONCRETE PAD
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(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

NOTE:

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.

NOTE:

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS:

WL1 = 3'1 1/2" x 3'1 1/2" x 1 1/4" (90x90x6) + 2-2" x 8" SPR.	WL6 = 5' x 3'1 1/2" x 5'16" (125x90x8) + 2-2" x 12" SPR.
WL2 = 4' x 3'1 1/2" x 5'16" (100x90x8) + 2-2" x 8" SPR.	WL7 = 5' x 3'1 1/2" x 5'16" (125x90x8) + 3-2" x 10" SPR.
WL3 = 5' x 3'1 1/2" x 5'16" (125x90x8) + 2-2" x 10" SPR.	WL8 = 5' x 3'1 1/2" x 5'16" (125x90x8) + 3-2" x 12" SPR.
WL4 = 6' x 3'1 1/2" x 3'8" (150x90x10) + 2-2" x 12" SPR.	WL9 = 6' x 4' x 3'8" (150x100x10) + 3-2" x 12" SPR.
WL5 = 6' x 4' x 3'8" (150x100x10) + 2-2" x 12" SPR.	

WOOD LINTELS:

WB1 = 2-2" x 8" SPRUCE BEAM	WB6 = 3-2" x 12" SPRUCE BEAM
WB2 = 3-2" x 8" SPRUCE BEAM	WB7 = 5-2" x 12" SPRUCE BEAM
WB3 = 2-2" x 10" SPRUCE BEAM	WB10 = 4-2" x 8" SPRUCE BEAM
WB4 = 3-2" x 10" SPRUCE BEAM	WB11 = 4-2" x 10" SPRUCE BEAM
WB5 = 2-2" x 12" SPRUCE BEAM	

STEEL LINTELS:

L1 = 3'1 1/2" x 3'1 1/2" x 1 1/4" (90 x 90 x 6)	L4 = 6' x 3'1 1/2" x 3'8" (150 x 90 x 10)
L2 = 4' x 3'1 1/2" x 5'16" (100 x 90 x 8)	L5 = 6' x 4' x 3'8" (150 x 100 x 10)
L3 = 5' x 3'1 1/2" x 5'16" (125 x 90 x 8)	L6 = 7' x 4' x 3'8" (180 x 100 x 10)

LAMINATED VENEER LUMBER (LVL BEAMS)

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)

Door Schedule

NO.	WIDTH	HEIGHT 8' TO 9' CEILINGS	HEIGHT 10' OR MORE CEILINGS	TYPE
1	2'-10"	6'-8" (865x2033)	8'-0" (865x2439)	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8" (815x2033)	8'-0" (815x2439)	INSULATED FRONT DOORS
2	2'-8"	6'-8" (815x2033)	8'-0" (815x2439)	WOOD & GLASS DOOR
3	2'-8"	6'-8" x 1-3/4" (815x2033x45)	8'-0" x 1-3/4" (815x2439x45)	EXTERIOR SLAB DOOR
4	2'-8"	6'-8" x 1-3/8" (815x2033x35)	8'-0" x 1-3/8" (815x2439x35)	INTERIOR SLAB DOOR
5	2'-6"	6'-8" x 1-3/8" (760x2033x35)	8'-0" x 1-3/8" (760x2439x35)	INTERIOR SLAB DOOR
6	2'-2"	6'-8" x 1-3/8" (660x2033x35)	8'-0" x 1-3/8" (660x2439x35)	INTERIOR SLAB DOOR
7	1'-6"	6'-8" x 1-3/8" (460x2033x35)	8'-0" x 1-3/8" (460x2439x35)	INTERIOR SLAB DOOR
8	3'-0"	6'-8" x 1-3/8" (915x2033x35)	8'-0" x 1-3/8" (915x2439x35)	INTERIOR SLAB DOOR

AREA CALCULATIONS EL-1

FIRST FLOOR AREA	=	1061 Sq. Ft.
SECOND FLOOR AREA	=	1284 Sq. Ft.
TOTAL FLOOR AREA	=	2365 Sq. Ft.
ADD OPEN AREAS	=	0 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2365 Sq. Ft.
GROUND FLOOR COVERAGE	=	1081 Sq. Ft.
GARAGE COVERAGE / AREA	=	377 Sq. Ft.
PORCH COVERAGE / AREA	=	48 Sq. Ft.
COVERAGE W/ PORCH	=	1506 Sq. Ft.
	=	139.91 Sq. m.
COVERAGE W/O PORCH	=	1458 Sq. Ft.
	=	135.45 Sq. m.

AREA CALCULATIONS EL-2

FIRST FLOOR AREA	=	1061 Sq. Ft.
SECOND FLOOR AREA	=	1284 Sq. Ft.
TOTAL FLOOR AREA	=	2365 Sq. Ft.
ADD OPEN AREAS	=	0 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2365 Sq. Ft.
GROUND FLOOR COVERAGE	=	1081 Sq. Ft.
GARAGE COVERAGE / AREA	=	377 Sq. Ft.
PORCH COVERAGE / AREA	=	48 Sq. Ft.
COVERAGE W/ PORCH	=	1526 Sq. Ft.
	=	141.77 Sq. m.
COVERAGE W/O PORCH	=	1458 Sq. Ft.
	=	135.45 Sq. m.

AREA CALCULATIONS EL-3

FIRST FLOOR AREA	=	1077 Sq. Ft.
SECOND FLOOR AREA	=	1283 Sq. Ft.
TOTAL FLOOR AREA	=	2360 Sq. Ft.
ADD OPEN AREAS	=	0 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2360 Sq. Ft.
GROUND FLOOR COVERAGE	=	1077 Sq. Ft.
GARAGE COVERAGE / AREA	=	379 Sq. Ft.
PORCH COVERAGE / AREA	=	73 Sq. Ft.
COVERAGE W/ PORCH	=	1529 Sq. Ft.
	=	142.06 Sq. m.
COVERAGE W/O PORCH	=	1456 Sq. Ft.
	=	135.27 Sq. m.

PINETREE 1 ELEV.-1 ENERGY EFFICIENCY- A1 PACKAGE

ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	705.18	101.43	14.38 %
LEFT SIDE	994.26	70.67	7.11 %
RIGHT SIDE	979.13	0.00	0.00 %
REAR	673.81	145.83	21.64 %
TOTAL	3352.38	317.93	9.48 %

PINETREE 1 ELEV.-2 ENERGY EFFICIENCY- A1 PACKAGE

ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	699.61	85.67	12.25 %
LEFT SIDE	989.05	70.67	7.29 %
RIGHT SIDE	976.17	0.00	0.00 %
REAR	673.81	145.83	21.64 %
TOTAL	3338.64	302.17	9.11 %

PINETREE 1 ELEV.-3 ENERGY EFFICIENCY- A1 PACKAGE

ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	699.25	107.43	15.36 %
LEFT SIDE	952.43	70.67	7.42 %
RIGHT SIDE	952.55	0.00	0.00 %
REAR	673.81	145.83	21.64 %
TOTAL	3278.04	323.93	9.88 %

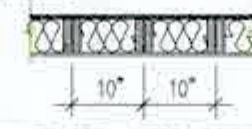
2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @12" O.C.
FULL HT C/W SOLID BLOCKING 4'-0" O.C. VERTICAL AND 7'-10"
EXT. PLYWOOD SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

TWO STOREY HEIGHT WALL DETAIL

2-1 1/2" x 5 1/2" TIMBERSTRAND (LVL) 1.5E STUD WALL GLUED
AND NAILED TOGETHER AND SPACED MAX. @10" O.C. FULL HT
C/W SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL AND 7'-10" EXT.
OSB SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

TWO STOREY HEIGHT WALL DETAIL

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7". 2 ROWS FOR SPANS GREATER THAN 7'.

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

City of Richmond Hill Building Division

REVIEWED

By: **KER** Date: **10/31/2022**

Building Permit #: **RM#-2022-00080**

All construction shall comply with the Ontario
Building Code and all other applicable
statutory regulations. The reviewed
documents must be kept on site at all times.
Building inspection line: 905-771-5465 (24 hr)
buildinginspections@richmondhill.ca
Building inquiry line: 905-771-8810
building@richmondhill.ca

Refer to attached general notes and
drawings.

These drawings have been reviewed under
Compliance Option: **A1**
of the OBC 2012, SB-12.

Windows, sliding glass doors and
skylights shall comply with OBC 2012,
SB-12, 3.1.1.9 for maximum U-Value.

City of Richmond Hill Building Division

INSPECTION NOTICES - HOUSING

You are required to notify the Inspection Section of the
readiness to inspect at the following construction stages:
- Footings (prior to concrete placement)
- Building sewers (laterals)
- Water service pipe (lateral)
- Foundation (prior to backfill)
- Building drains (under slab)
- Plumbing rough-in
- HVAC rough-in
- Air barrier (prior to exterior cladding)
- Structural Framing (exterior cladding completed)
- Insulation (include vapour barrier)
- Solid fuel burning appliances
- Occupancy Permit

Please contact the Inspection Section by one of the
following methods:
- E-mail: buildinginspections@richmondhill.ca
- Inspection fax line: 905-771-2528
- Inspection Request Line: 905-771-5465

A minimum of 2 business days is required.
An inspection may be refused if permit documents and a
copy of the permit are not present on site.
Please refer to other inspection information on the reverse
of the permit card.

This review does not exempt the owner,
designer and the builder from complying
with all applicable regulations and
by-laws of the City of Richmond Hill and
the Ontario Building Code.

2365 11.6m LOTS PINETREE 1 (GR) ELEVATION 1, 2 & 3 A1 PACKAGE O.REG. 332/12



THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND
CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.
ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP
INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY
OF SURVEY, STRUCTURAL OR MECHANICAL INFORMATION SHOWN ON
THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE
ISSUANCE OF A BUILDING PERMIT. PLEASE TO THE APPROPRIATE
ENGINEERING DRAWINGS OR CHARTS PRIOR TO COMMENCEMENT OF WORK.

AS CONSTRUCTING IN ACCORDANCE WITH THE CONTRACT
DOCUMENTS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT
GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY
FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO
CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT
DOCUMENTS.

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THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT
TO BE REPRODUCED.

7		
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4	MAY 17, 2021	ISSUED FOR BUILDING PERMIT
3	MAY 12, 2021	COORDINATED ENGINEER & CLIENT COMMENTS
2	MAY 11, 2021	COORDINATED AS PER FLOOR JOIST & ROOF TRUSS DRAWINGS
1	FEB. 22, 2021	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.5 of the building code.

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

TITLE SHEET
ROUNDLE HOMES INC.
RICHMOND HILL

MODEL: T
SCALE: 3/16"=1'-0"
PROJ. No: 20-31
DWG. No: 0

CITY OF RICHMOND HILL BUILDING DIVISION

09/22/2022

RECEIVED

Per: **joshua.nabua**

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
RICHMOND HILL.

THE ENGINEER OF RECORDED SHALL
PROVIDE THE BUILDING INSPECTOR
WITH A FIELD REVIEW REPORT

2365
11.6m LOTS
PINETREE 1 (GR) ELEVATION 1
A1 PACKAGE
O.REG. 332/12

STRUDET INC
FOR STRUCTURAL ONLY



May 18/2021

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFERENCE TO THE ARCHITECT'S ENGINEERING DRAWINGS BUT CHANGING DURING THE WORK.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING TOSTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

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jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.5 of the building code.


Walter Botter *WBotter* 21031
NAME SIGNATURE BCIN

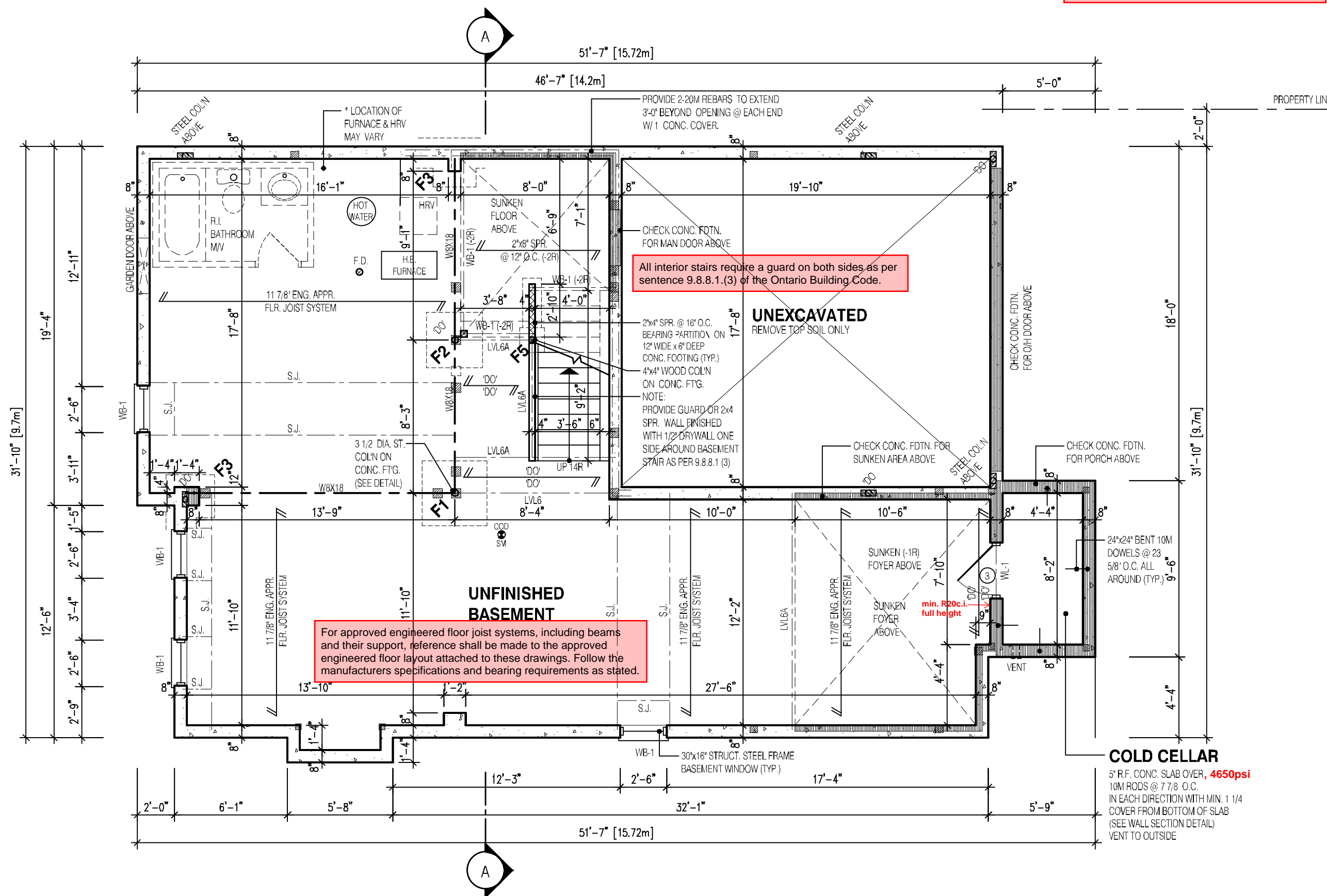
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

<i>jardin design group inc.</i>	27763
FIRM NAME	BCIN

BASEMENT PLAN EL-1

ROUNDEL HOMES INC.
RICHMOND HILL

	MODEL: T	
	SCALE: 3/16" = 1'-0"	
	PROJ. No. 20-31	DWG. No. 1



**CITY OF RICHMOND HILL
BUILDING DIVISION**

09/22/2022

RECEIVED

Per: joshua.nabua

NOTE:

REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7'; 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:






THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER .

NOTE:

SUBFLOOR TO BE
3/4" PLYWOOD ON
THIS LEVEL

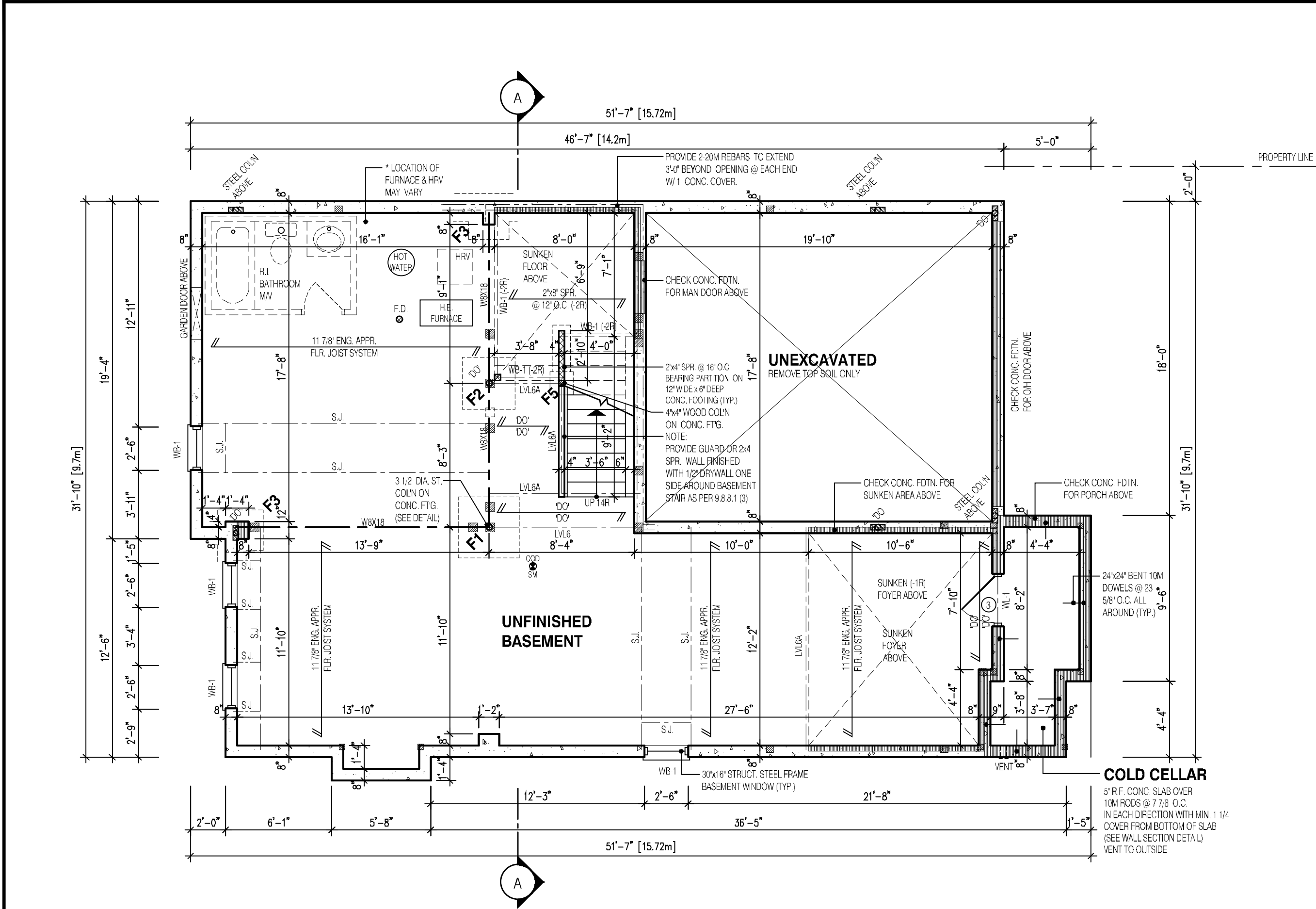
ALL FLOORS TO BE
NAILED AND GLUED
ON THIS LEVEL

LEGEND:

-  BUILDING FACE < THAN 4'-0" (1.2m)
(45 MIN. FIRE RATING REQ'D)
-  INDICATES SOLID BEARING REQUIRED
OR POINT LOAD FROM ABOVE
-  STL. PLATE FOR STEEL COLN ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
-  REPEAT NOTE
-  SHOWER WEEPERS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor/Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning, building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of RICHMOND HILL.



CITY OF RICHMOND HILL
BUILDING DIVISION
09/22/2022
RECEIVED
Per: joshua.nabua

NOTE:
REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7"; 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:
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NOTE:
SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

LEGEND:

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2365

11.6m LOTS

PINETREE 1 (GR)
ELEVATION 2

A1 PACKAGE

O.REG. 332/12

STRUDET INC
FOR STRUCTURAL ONLY

May 18/2021

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JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT OR REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE BUILDING CODE AND ALL APPLICABLE REGULATIONS AND REQUIREMENTS.

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No: DATE: WORK DESCRIPTION:

jardin

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VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

Walter Botter

21031

NAME

SIGNATURE

BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc.

27763

FIRM NAME

BCIN

BASEMENT PLAN EL-2

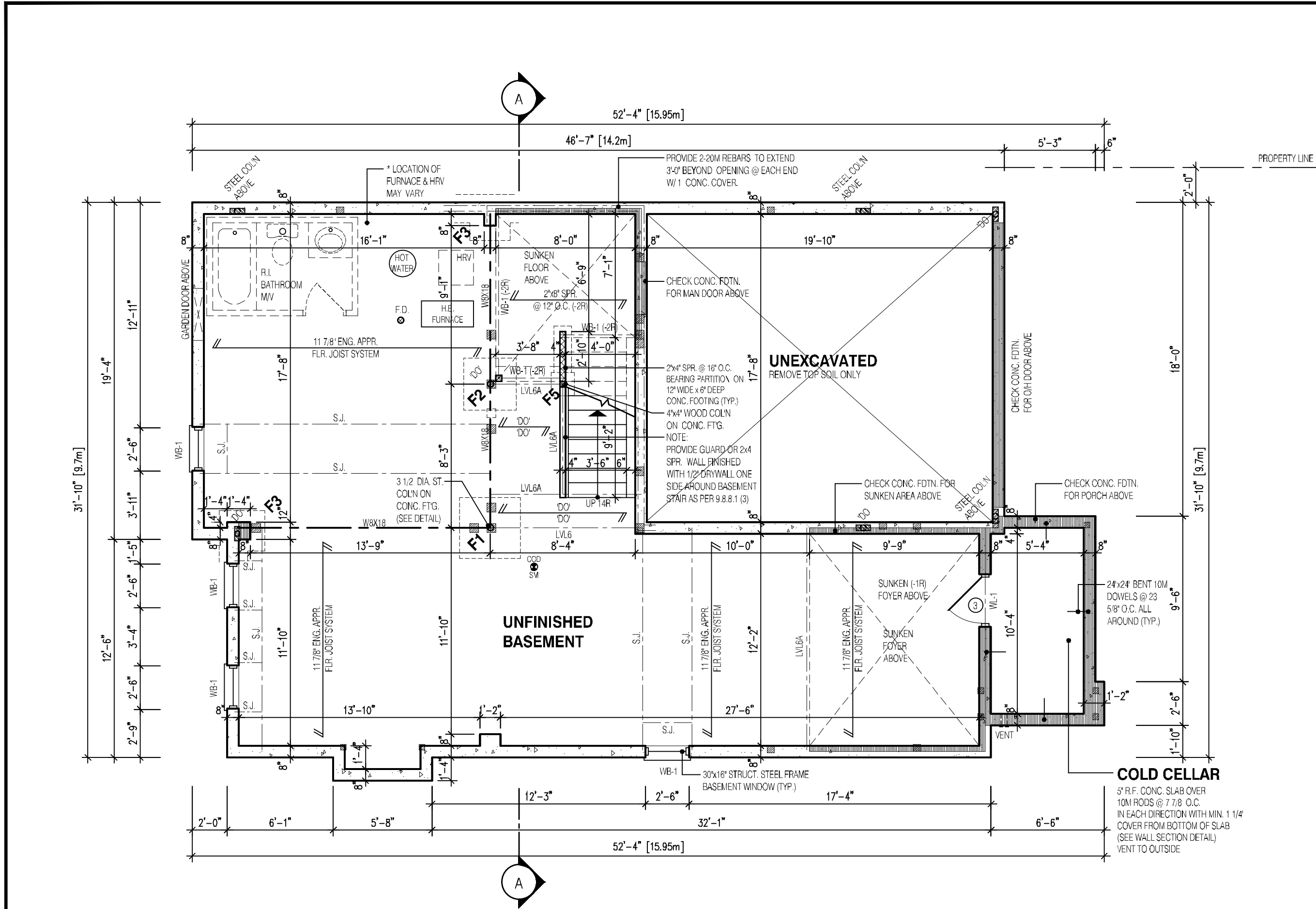
ROUNDEL HOMES INC.
RICHMOND HILL

MODEL:
T

SCALE:
3/16"=1'-0"

PROJ. No.
20-31

DWG. No.
1A



DRAWN BY: _____ DRAWING NAME: _____

NOTE: REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE
NOTE: SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7"; 2 ROWS FOR SPANS GREATER THAN 7'
NOTE: THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE: SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL
NOTE: ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

LEGEND:
BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
STL. PLATE FOR STEEL COLN ABOVE
LVL LAMINATED VENEER LUMBER
S.J. SINGLE JOIST
D.J. DOUBLE JOIST
T.J. TRIPLE JOIST
REPEAT NOTE
SHOWER WEEPERS

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Richmond Hill.

2365

11.6m LOTS

PINETREE 1 (GR)

ELEVATION 3

A1 PACKAGE

O.REG. 332/12

STRUDET INC
FOR STRUCTURAL ONLY

May 18/2021

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. WHEN A TOWN OF RICHMOND HILL BUILDING DRAWING IS OBTAINED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE INFORMATION PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT OR FINAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

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7		
6		
5		
4	MAY 17, 2021	ISSUED FOR BUILDING PERMIT
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2	MAY 11, 2021	COORDINATED AS PER FLOOR JOIST & ROOF TRUSS DRAWINGS
1	FEB. 22, 2021	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT

No: _____ DATE: _____ WORK DESCRIPTION: _____

jardin

DESIGN GROUP INC

64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3

TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

Walter Botter

21031

NAME

SIGNATURE

BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc.

27763

FIRM NAME

BCIN

BASEMENT PLAN EL-3

ROUNDEL HOMES INC.

CHURCHILL CREEK RD HILL

RICHMOND HILL

ON L4B 1N1

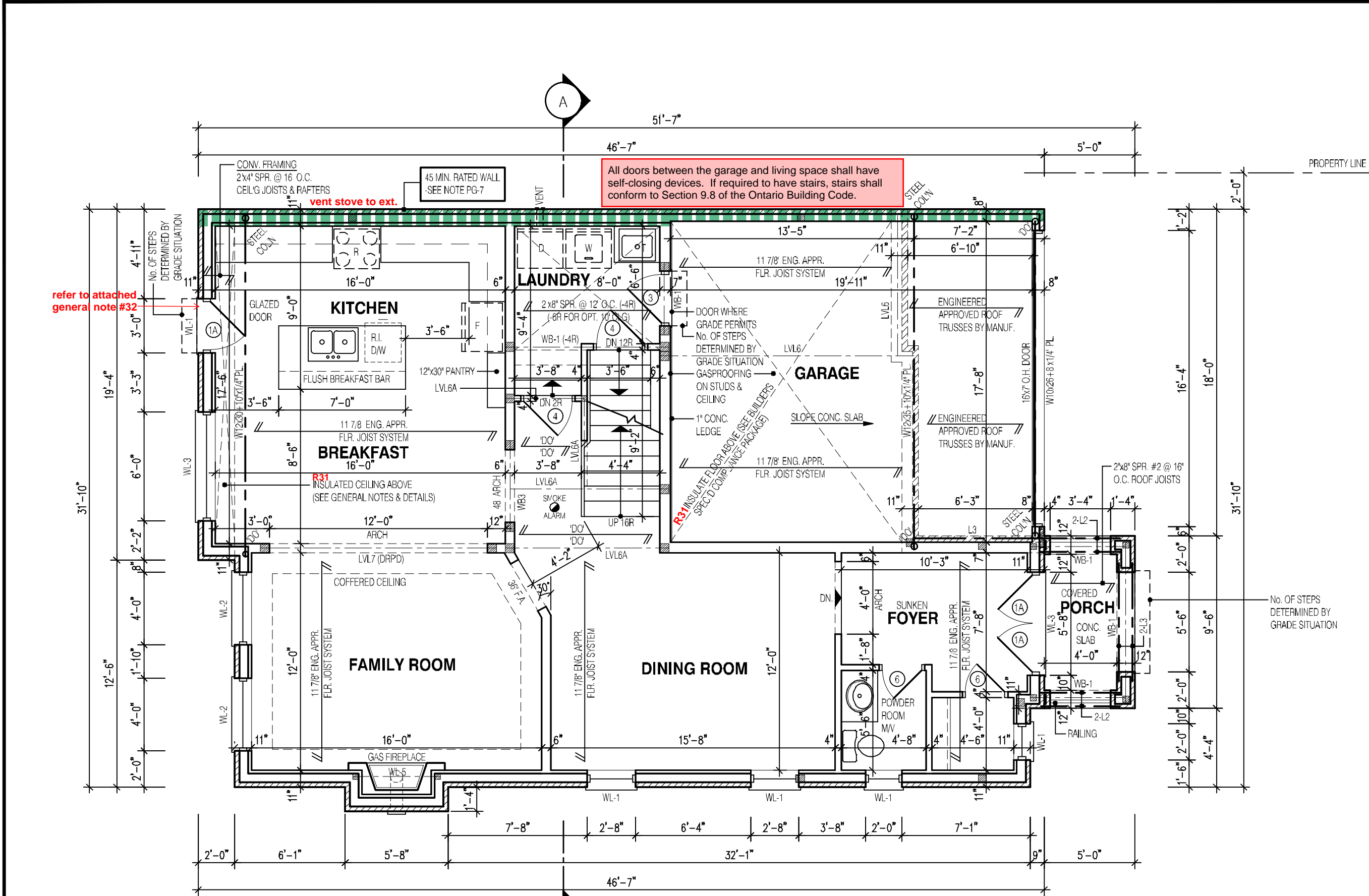
09/22/2022

SCALE: 3/16"=1'-0"

PROJ. No. 20-31

DWG. No. 1B

Per: jordan.nakula



For approved engineered floor joist systems, including beams and their support, reference shall be made to the approved engineered floor layout attached to these drawings. Follow the manufacturers specifications and bearing requirements as stated.

CITY OF RICHMOND HILL
BUILDING DIVISION
09/22/2022
RECEIVED
Per: joshua.nabua

NOTE: THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.	NOTE: SPACE CONVENTIONAL FLOOR JOISTS @ 12 O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7"; 2 ROWS FOR SPANS GREATER THAN 7'.
NOTE: REFER TO SHEET NO. 0-1 FOR LINTEL BEAMS AND DOOR SIZE	NOTE: THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE: SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL	LEGEND: BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D) INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE STL. PLATE FOR STEEL COLN ABOVE LAMINATED VENEER LUMBER S.J. SINGLE JOIST D.J. DOUBLE JOIST T.J. TRIPLE JOIST REPEAT NOTE SHOWER WEEPERS
--	--

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2365
11.6m LOTS
PINETREE 1 (GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12

STRUDET INC
FOR STRUCTURAL ONLY



May 18/2021

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AS CONSULTING ENGINEER'S MUST BE ADVISED PRIOR TO ANY WORKING.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT OR REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
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6		
5		
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1	FEB. 22, 2021	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

FIRST FLOOR PLAN EL-1

ROUNDEL HOMES INC.
RICHMOND HILL

	MODEL:	T
	SCALE:	3/16"=1'-0"
	PROJ. No.	20-31
	DWG. No.	2

2365
11.6m LOTS
PINETREE 1 (GR)
ELEVATION 2
A1 PACKAGE
O.REG. 332/12

STRUDET INC
FOR STRUCTURAL ONLY



May 18/2021

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JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT OR PERFORM REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

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NAME SIGNATURE BCIN

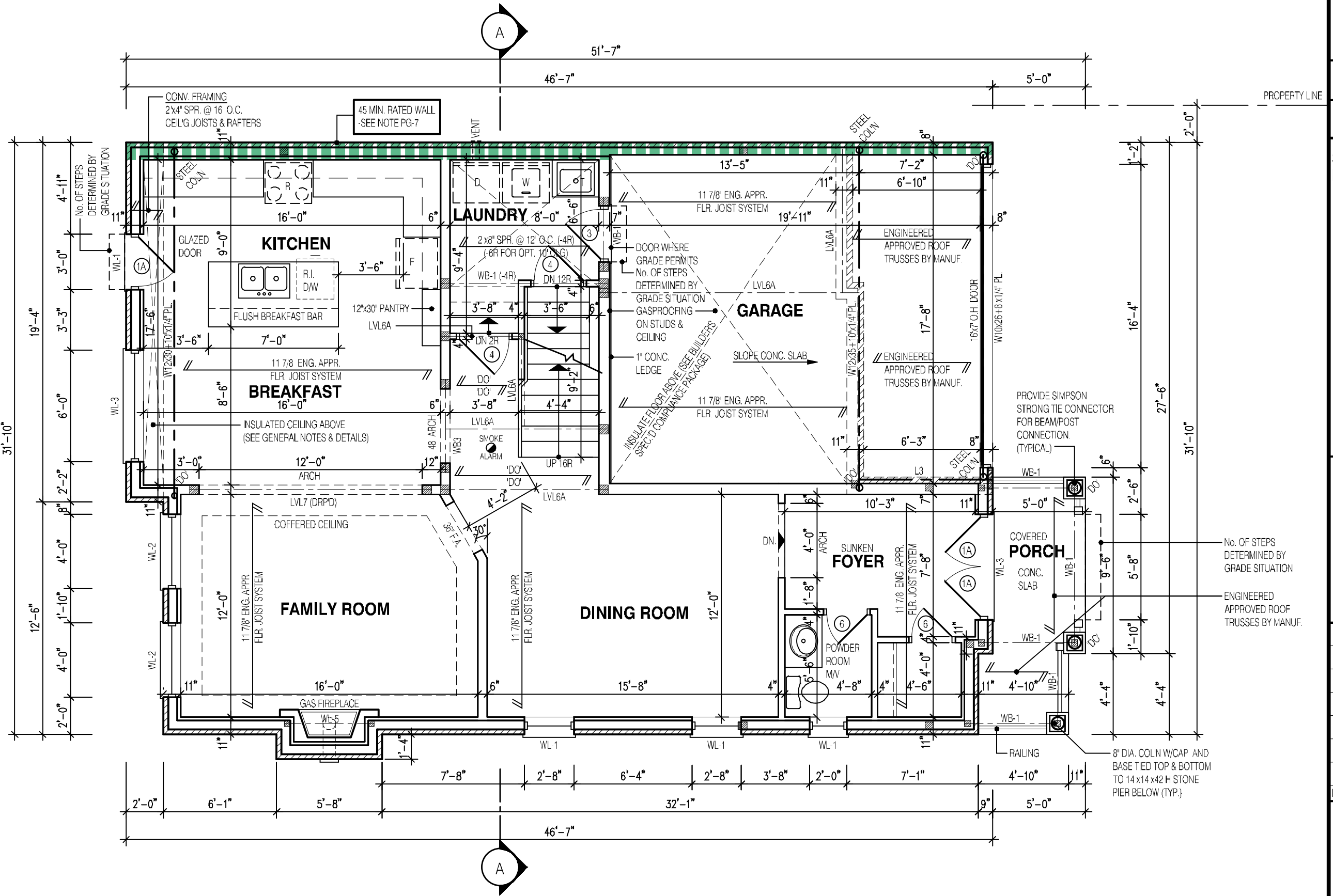
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

FIRST FLOOR PLAN EL-2

ROUND HOMES INC.
RICHMOND HILL
BUILDING DIVISION

MODEL: T
SCALE: 3/16" = 1'-0"
PROJ. No. 20-8 DWG. No. 2A
Per: jordan.nakula



NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:
REFER TO SHEET NO. 0-1 FOR LINTEL BEAMS AND DOOR SIZE

NOTE:
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BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
STL. PLATE FOR STEEL COLN ABOVE
LAMINATED VENEER LUMBER
S.J. SINGLE JOIST
D.J. DOUBLE JOIST
T.J. TRIPLE JOIST
REPEAT NOTE
SHOWER WEEPERS

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2365
11.6m LOTS
PINETREE 1 (GR)
ELEVATION 3
A1 PACKAGE
O.REG. 332/12

STRUDET INC
FOR STRUCTURAL ONLY



May 18/2021

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AS CONSULTED ENGINEER, I HEREBY CERTIFY THAT I HAVE REVIEWED THESE DRAWINGS AND AM NOT PROVIDING ANY OTHER PROFESSIONAL SERVICES IN CONNECTION WITH THIS PROJECT.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT OR PERFORM REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

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No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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Walter Botter 21031
NAME SIGNATURE BCIN

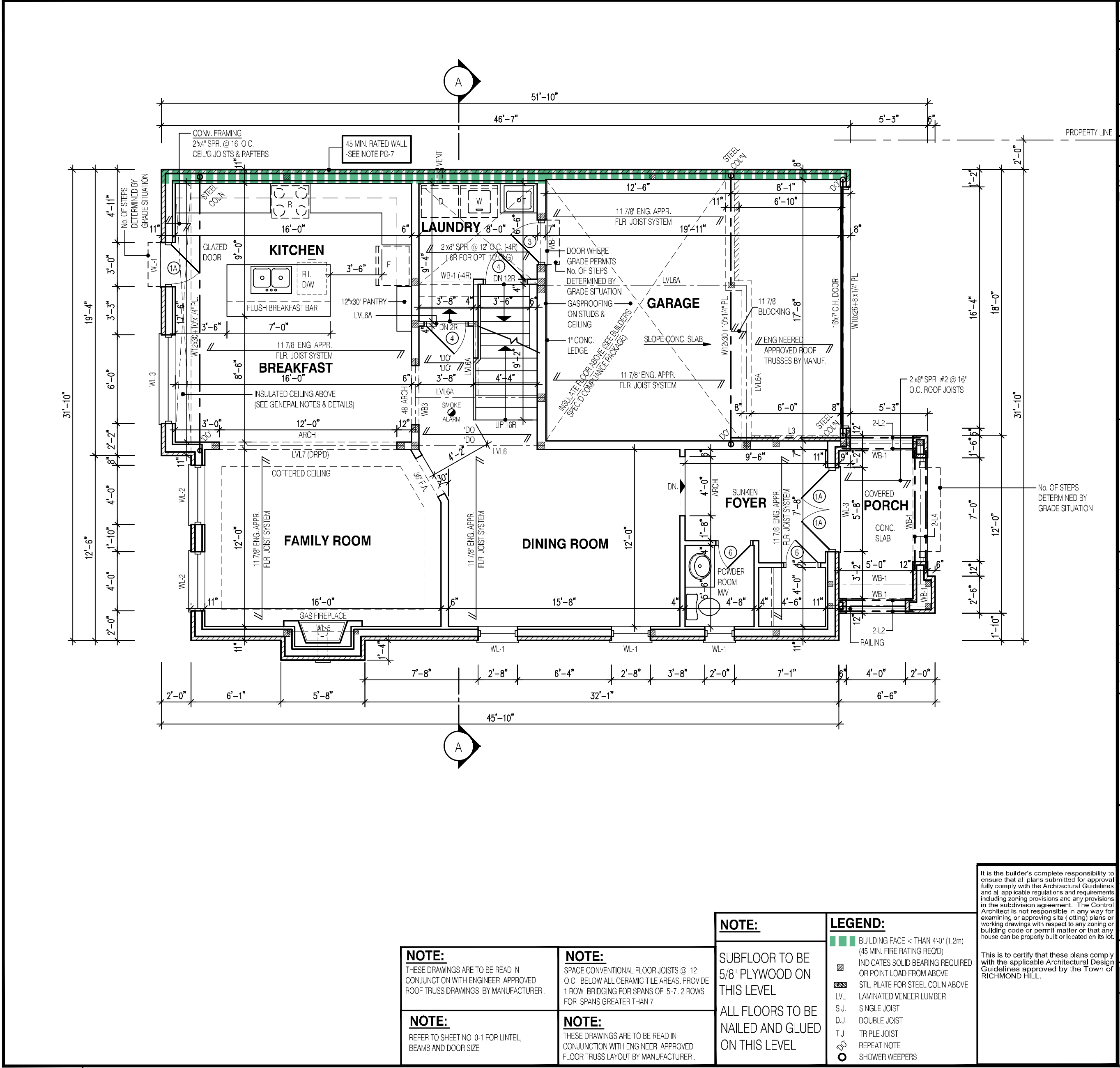
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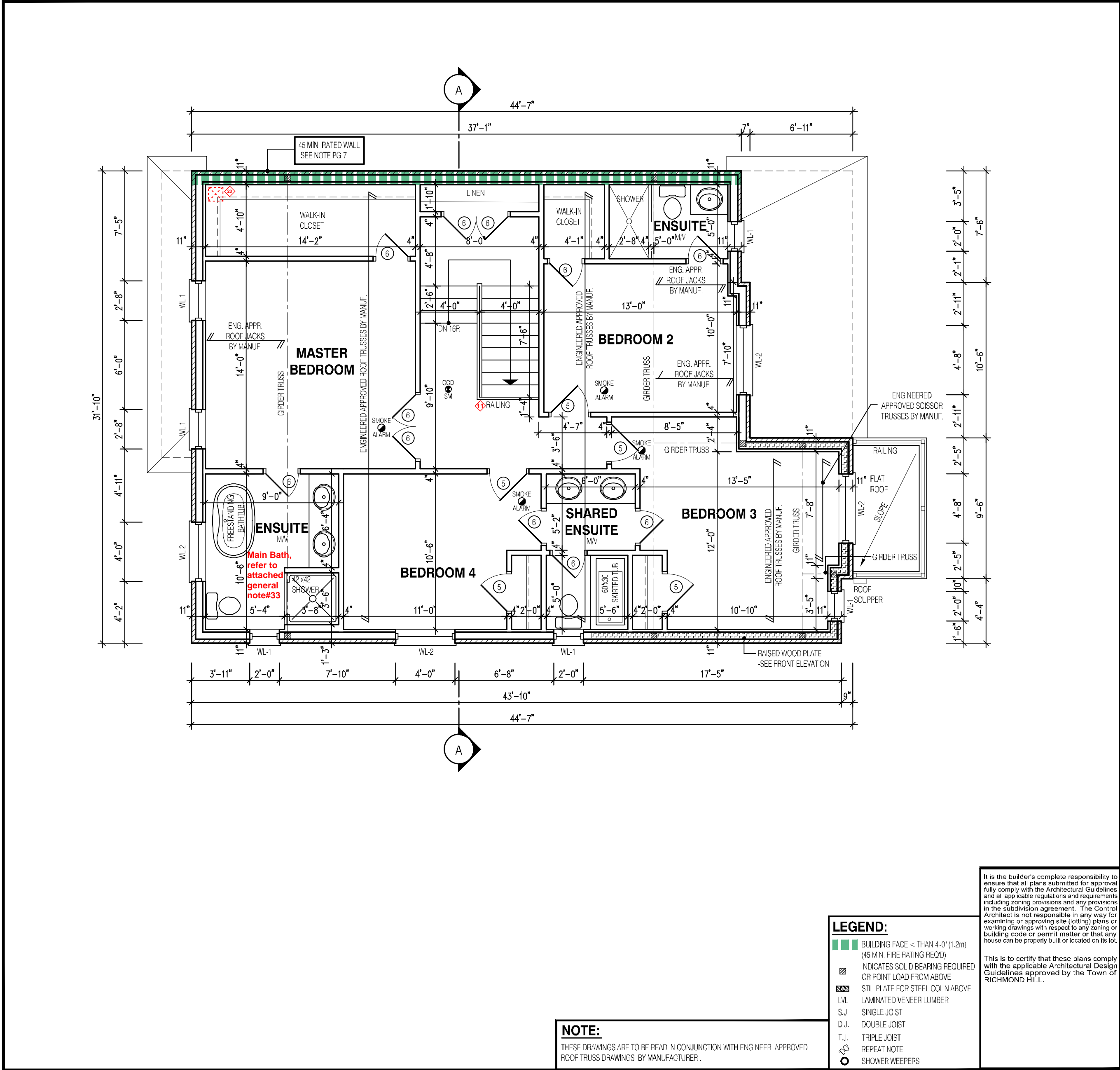
Jardin design group inc. 27763
FIRM NAME BCIN

FIRST FLOOR PLAN EL-3

ROUNDEL HOMES INC.
1000 RICHMOND HILL
RICHMOND HILL
L4B 1N1

MODEL: T
SCALE: 3/16" = 1'-0"
PROJ. No. 20-8 DWG. No. 2B
Per: jesus.nolas





2365

11.6m LOTS


PINETREE 1 (GR)

ELEVATION 1

A1 PACKAGE

O.REG. 332/12

STRUDET INC
FOR STRUCTURAL ONLY



May 18/2021

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JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT OR REVIEW ANY OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

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No: DATE: WORK DESCRIPTION:

jardin

DESIGN GROUP INC

64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter

21031

NAME

SIGNATURE

BCIN

REGISTRATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc.

27763

FIRM NAME

BCIN

SEC. FLOOR PLAN EL-1

ROUNDEL HOMES INC.

RICHMOND HILL

1000 SHEPPARD AVE. E. UNIT 10

SCHEPPEL DIVISION

09/22/2022

MODEL: T

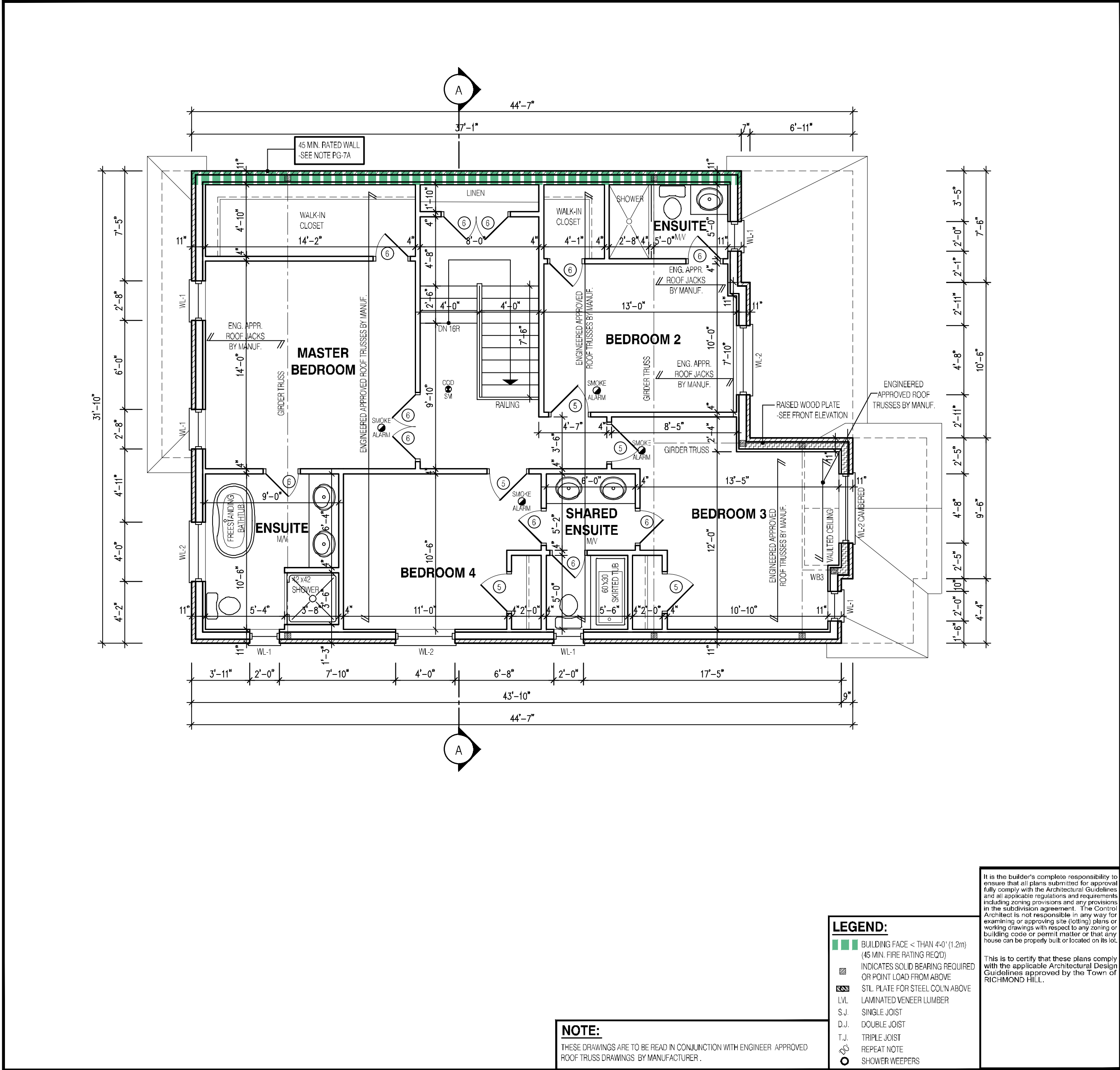
SCALE: 3/16"=1'-0"

PROJ. No. 20-31

DWG. No. 3

Per: jesus.nolas

DRAWN BY: DRAWING NAME: ---



2365

11.6m LOTS


PINETREE 1 (GR)

ELEVATION 2

A1 PACKAGE

O.REG. 332/12

STRUDET INC
FOR STRUCTURAL ONLY



May 18/2021

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Walter Botter

21031

NAME

SIGNATURE

BCIN

REGISTRATION INFORMATION

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jardin design group inc.

27763

FIRM NAME

BCIN

SEC. FLOOR PLAN EL-2

ROUNDEL HOMES INC.

RICHMOND HILL

1000 SHEPPARD AVE. E. UNIT 10

MODEL: T

SCALE: 3/16"=1'-0"

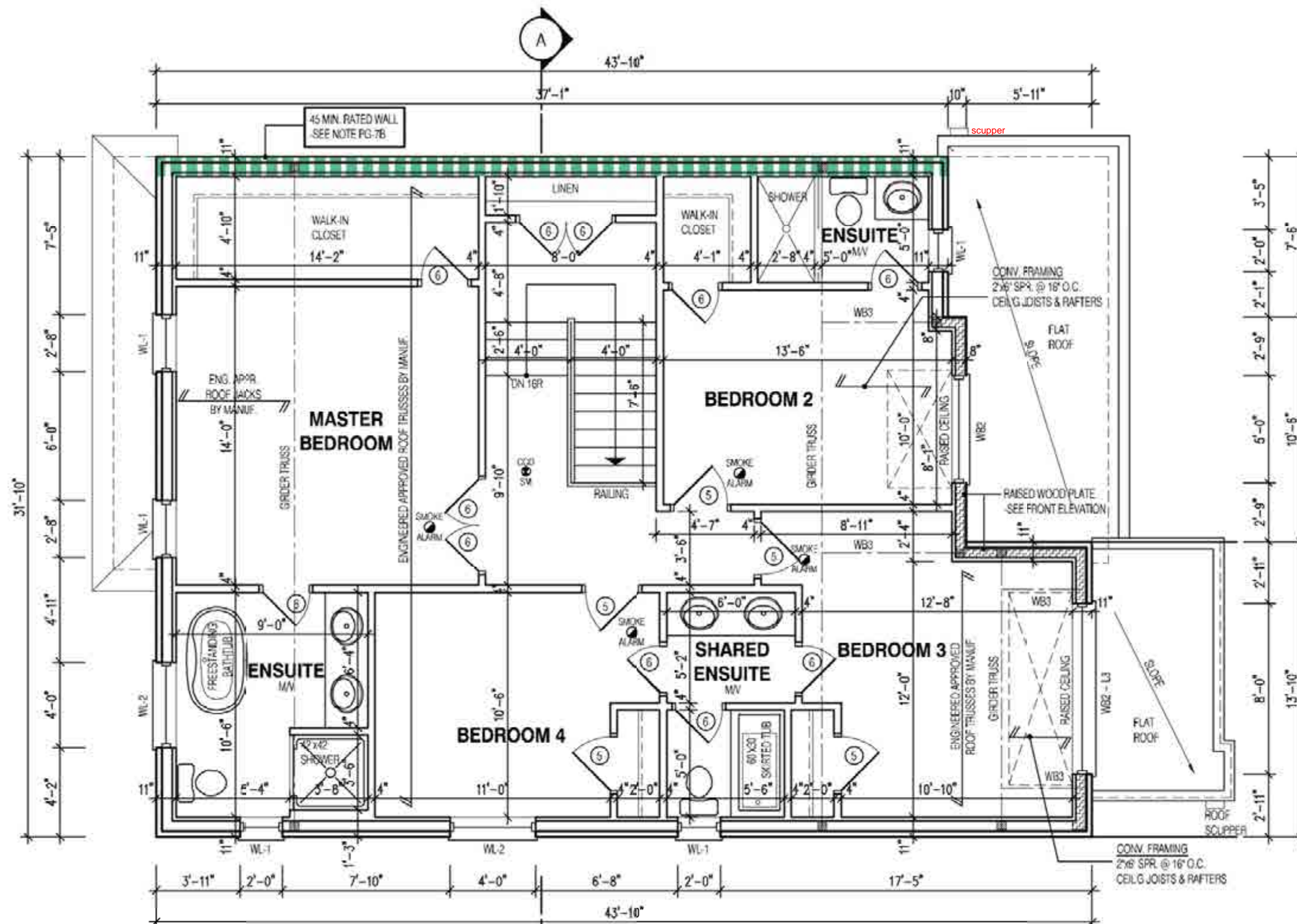
PROJ. No. 20-31

DWG. No. 3A

Per: jordan.nakula

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LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COL'N ABOVE
- L.V. LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

NOTE:

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2365

11.6m LOTS

PINETREE 1 (GR)
ELEVATION 3

A1 PACKAGE

O.REG. 332/12

STRUDET INC
FOR STRUCTURAL ONLY



May 18/2021

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jardin
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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 8.2.5 of the building code.

Walter Botter 21031
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 8.2.4 of the building code.
Jardin design group inc. 27763
FIRM NAME BCIN

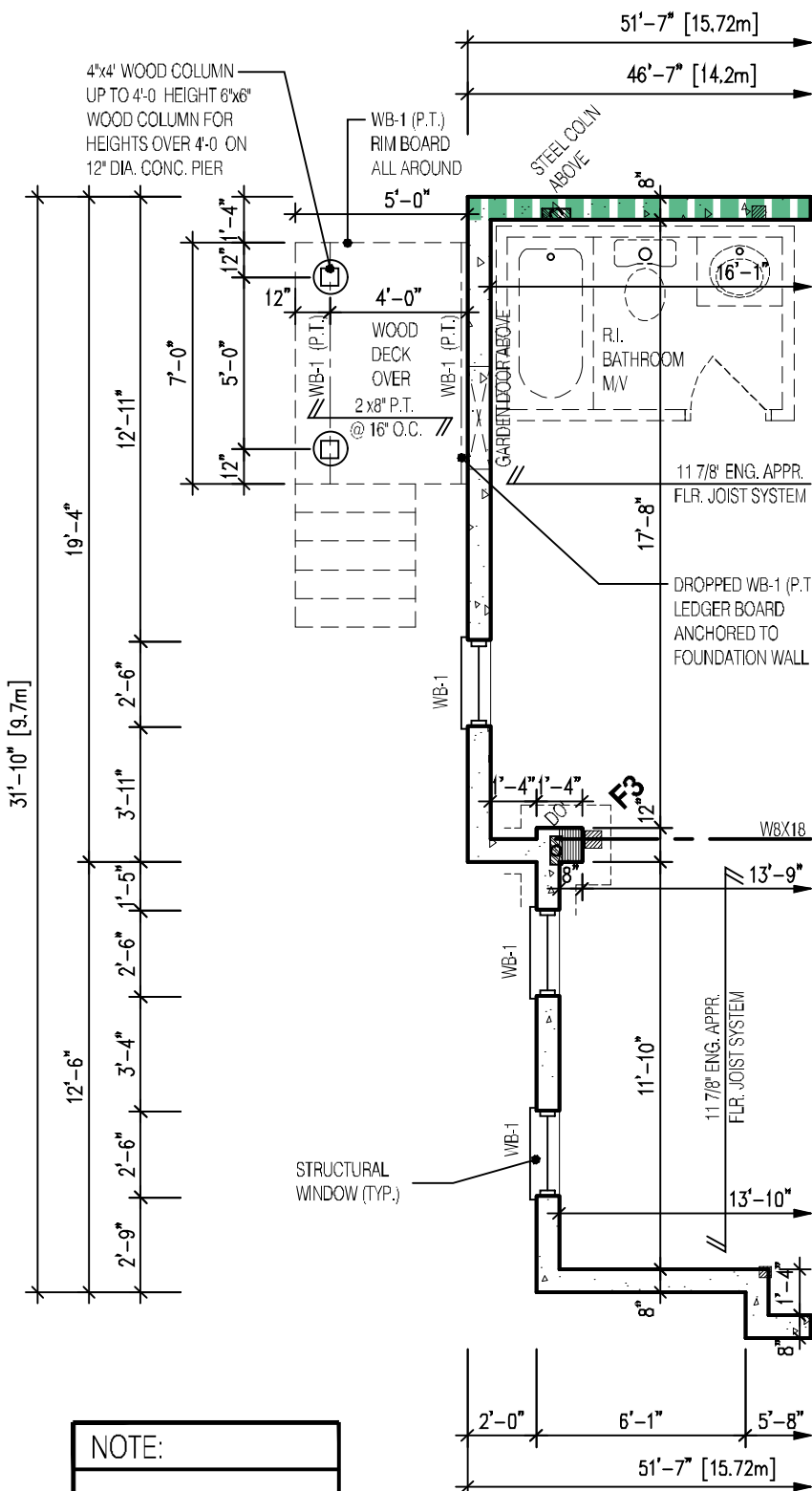
SEC. FLOOR PLAN EL-3

ROUNDEL HOMES INC.
RICHMOND HILL

MAYOR OF RICHMOND HILL
BUILDING DIVISION

SCALE: 3/16" = 1'-0"
PROJ. NO. 20-31
DATE: 09/22/2022
3B

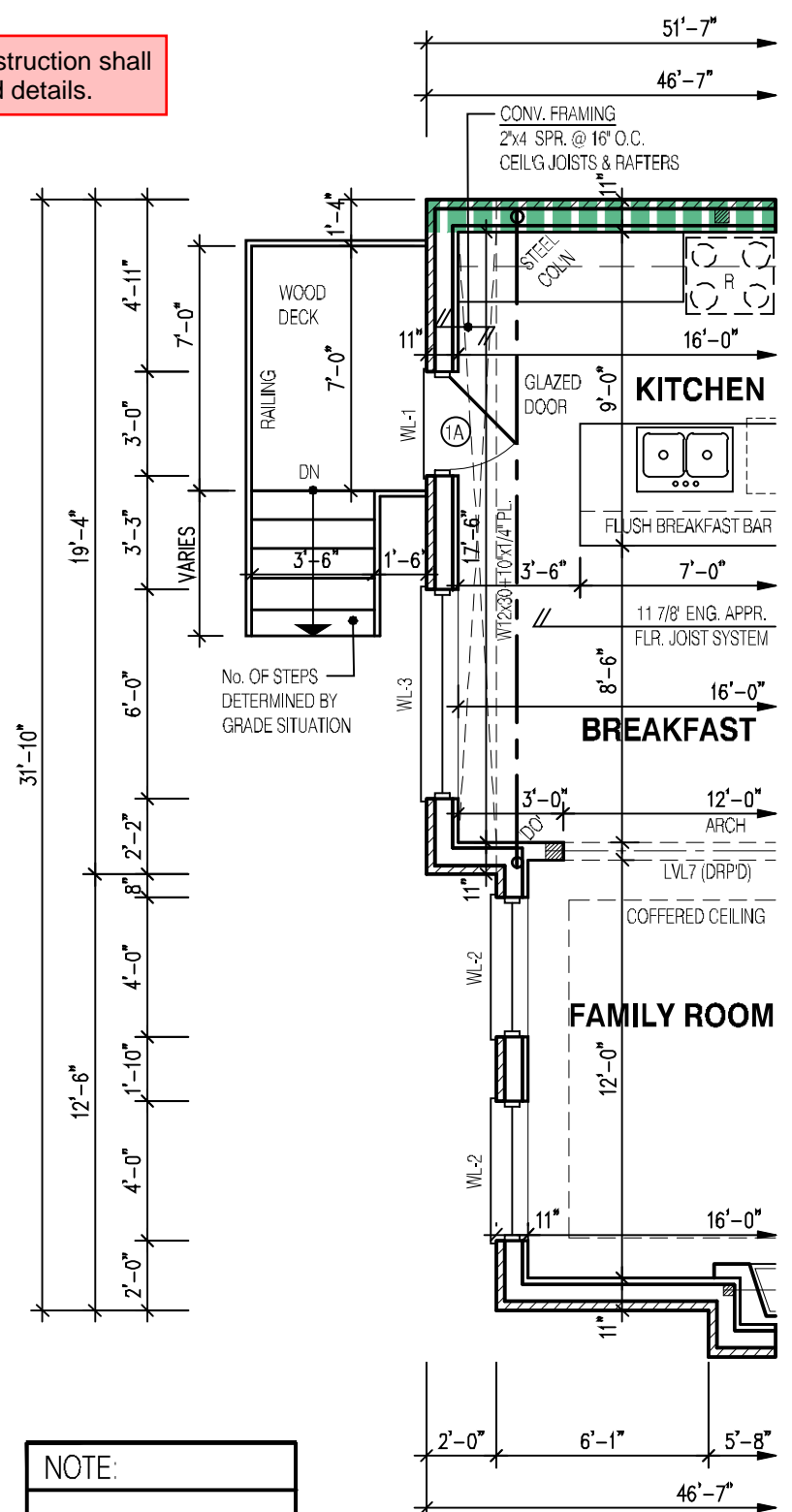
RECEIVED
Per: joshua.nabua



NOTE:
SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

PARTIAL BASEMENT LAYOUT FOR DECK CONDITION EL-1

Deck and guard construction shall comply with attached details.



NOTE:
SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

PARTIAL FIRST FLOOR LAYOUT FOR DECK CONDITION EL-1

LEGEND:	
	BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
	INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
	STL. PLATE FOR STEEL COLN ABOVE
	LAMINATED VENEER LUMBER
	SINGLE JOIST
	DOUBLE JOIST
	TRIPLE JOIST
	REPEAT NOTE
	SHOWER WEEPERS

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Richmond Hill.

2365

11.6m LOTS

PINETREE 1 (GR)

ELEVATION 1

A1 PACKAGE

O.REG. 332/12

STRUDET INC
FOR STRUCTURAL ONLY

May 18/2021

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. WHEN IT COMES TO THE DESIGN OF ANY BUILDING, THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE BUILDING, INCLUDING THE DESIGN OF THE FOUNDATION, AS WELL AS THE DESIGN OF THE STRUCTURE, INCLUDING THE DESIGN OF THE ROOF, FLOOR, WALL, AND CEILING.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT OR REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

7		
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4	MAY 17, 2021	ISSUED FOR BUILDING PERMIT
3	MAY 12, 2021	COORDINATED ENGINEER & CLIENT COMMENTS
2	MAY 11, 2021	COORDINATED AS PER FLOOR JOIST & ROOF TRUSS DRAWINGS
1	FEB. 22, 2021	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT

No: DATE: WORK DESCRIPTION:

jardin

DESIGN GROUP INC

64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

DECK CONDITION EL-1

ROUND HOMES INC.

CHURCHILL CREEK RD HILL
RICHMOND HILL
ONTARIO

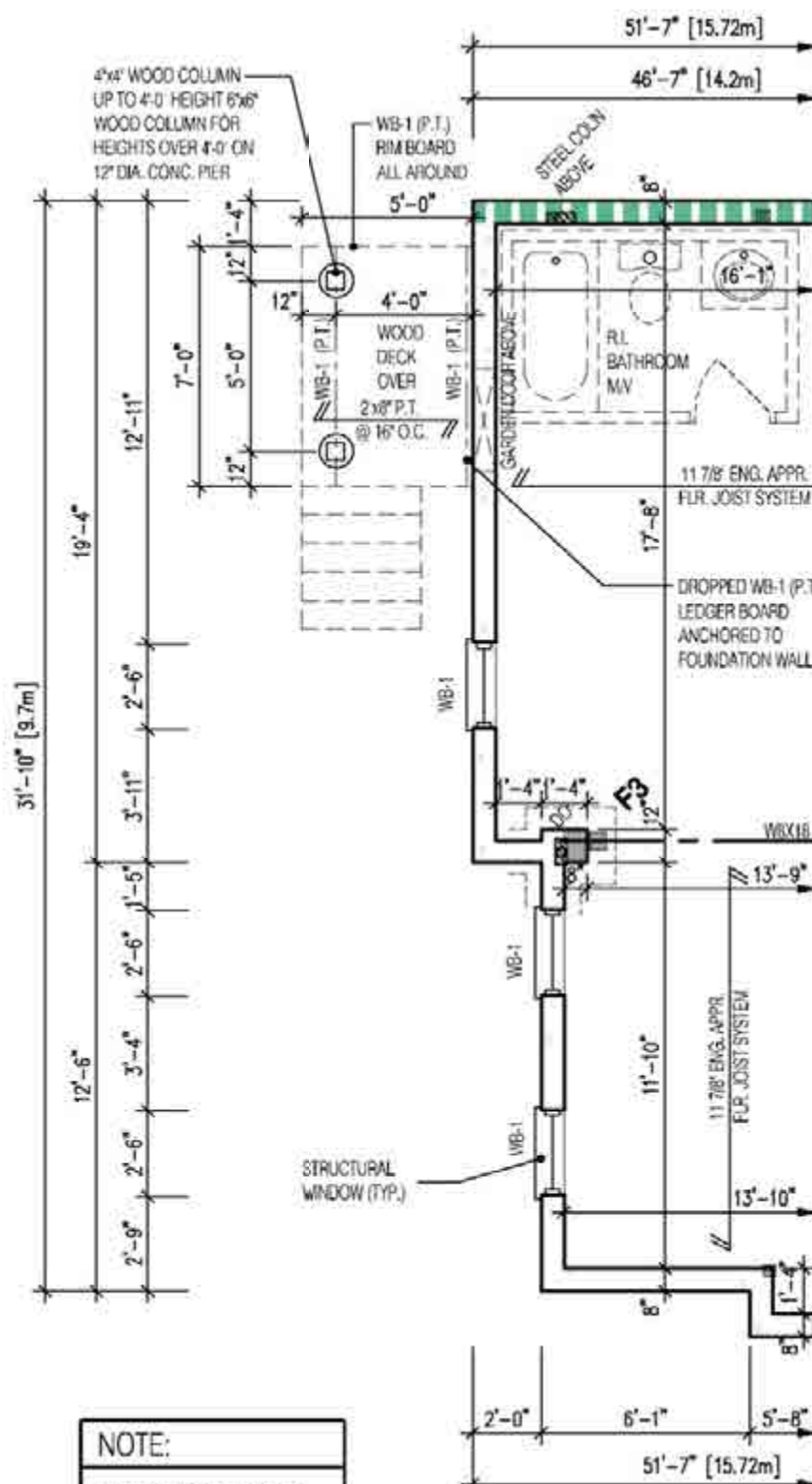
09/22/2022

SCALE: 3/16"=1'-0"

PROJ. No. 20-8

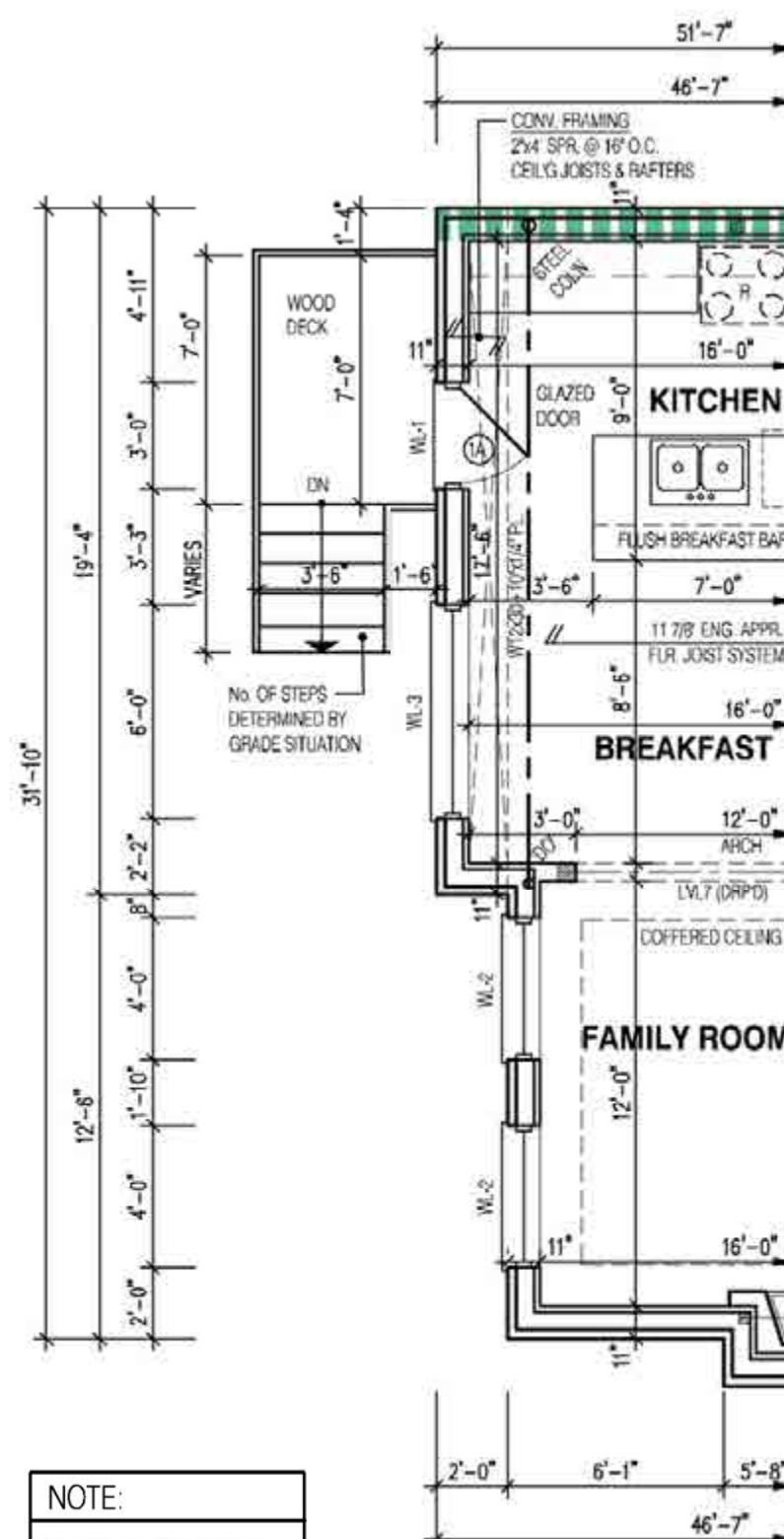
DWG. No. 3-1

Per: jesus.nabua



NOTE:
SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

PARTIAL BASEMENT LAYOUT FOR DECK CONDITION EL-2



NOTE:
SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

PARTIAL FIRST FLOOR LAYOUT FOR DECK CONDITION EL-2

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

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2365

11.6m LOTS

PINETREE 1 (GR)
ELEVATION 2

A1 PACKAGE

O.REG. 332/12

STRUDET INC
FOR STRUCTURAL ONLY

May 18/2021

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JARDIN DESIGN GROUP INC. HAS NOT BEEN REFERRED TO CARRY OUT INSPECTION OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE BUILDING CODE.

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7		
6		
5		
4	MAY 17, 2021	ISSUED FOR BUILDING PERMIT
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1	FEB. 22, 2021	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT

No. DATE: WORK DESCRIPTION:

jardin

DESIGN GROUP INC

64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION:
Required unless design is exempt under Division C, Subsection 8.2.5 of the building code.

Walter Botter

21031

NAME SIGNATURE BCIN

REGISTRATION INFORMATION:
Required unless design is exempt under Division C, Subsection 8.2.4 of the building code.

jardin design group inc.

27763

FIRM NAME BCIN

DECK CONDITION EL-2

ROUNDEL HOMES INC.

RICHMOND HILL

09/22/2022

3A-1

NOTE:
WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED. (FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)

NOTE:
REFER TO SHEET NO. 0 - FOR LINTEL, BEAMS AND DOOR SIZE

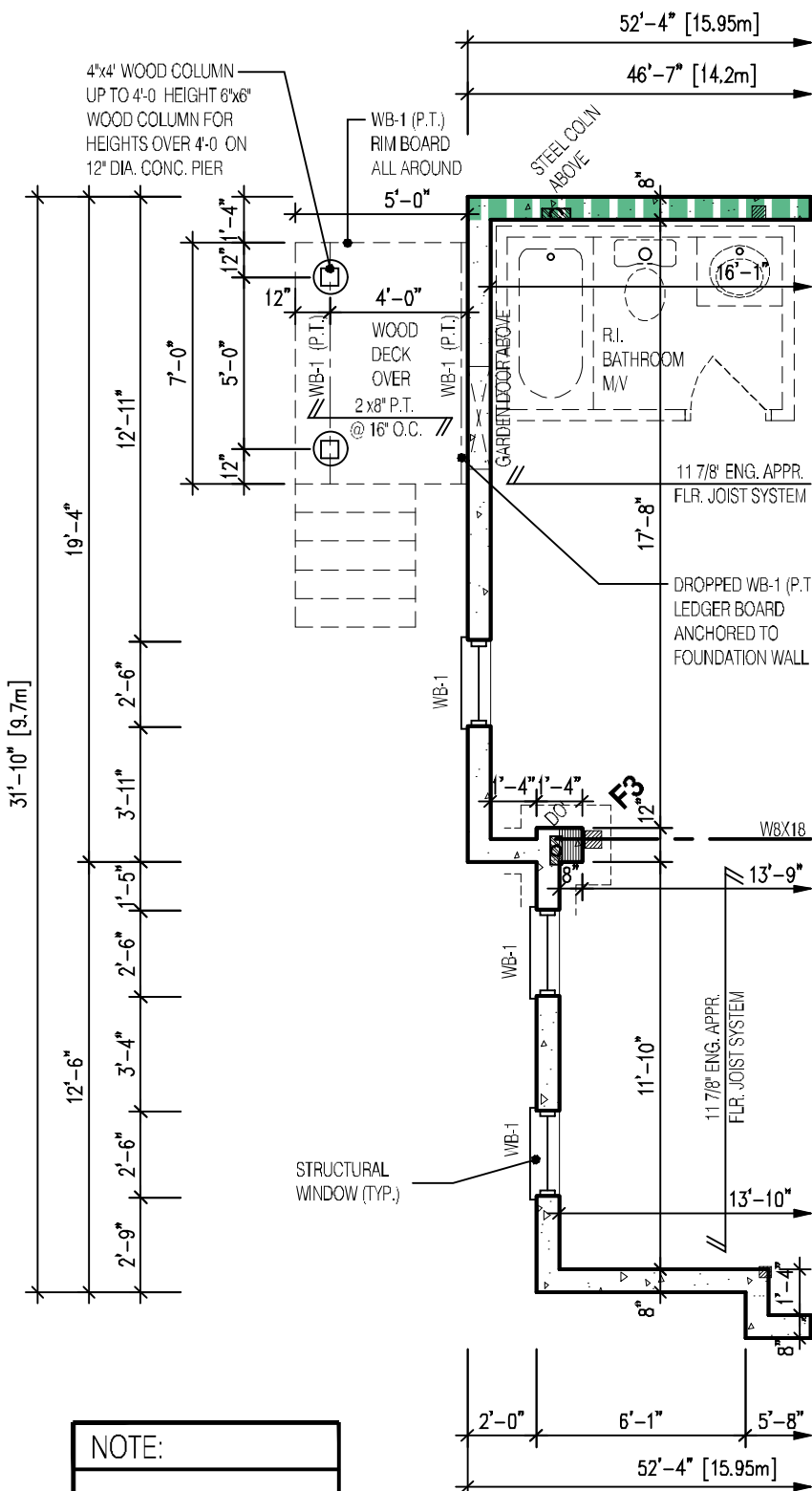
NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

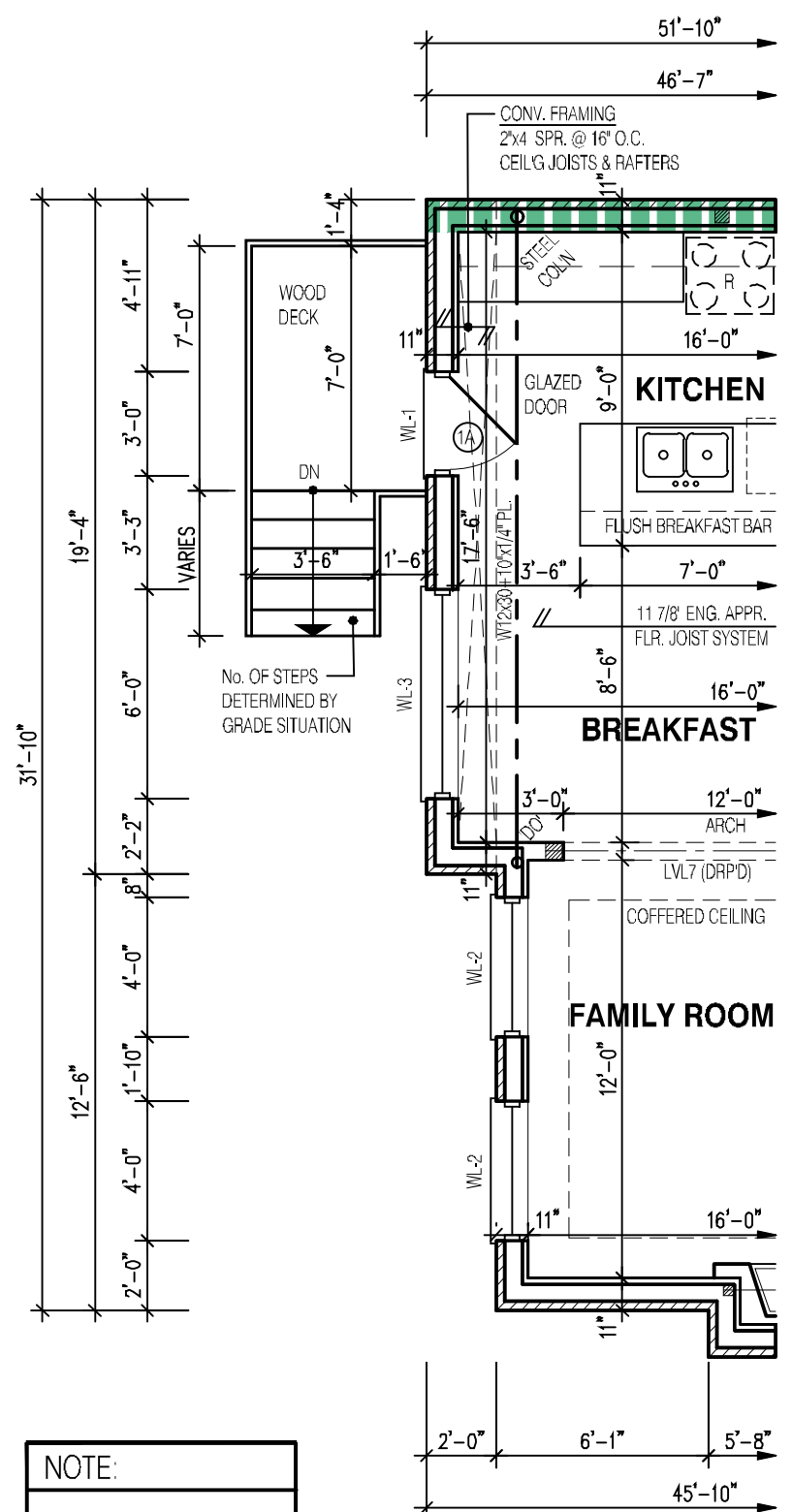
DRAWING NO. DRAWING NAME:

RECEIVED
Per: joshua.nabua



NOTE:
SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

PARTIAL BASEMENT LAYOUT FOR DECK CONDITION EL-3



NOTE:
SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

PARTIAL FIRST FLOOR LAYOUT FOR DECK CONDITION EL-3

LEGEND:	
	BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
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	SINGLE JOIST
	DOUBLE JOIST
	TRIPLE JOIST
	REPEAT NOTE
	SHOWER WEEPERS

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2365

11.6m LOTS

ELEVATION 3

A1 PACKAGE

O.REG. 332/12

STRUDET INC
FOR STRUCTURAL ONLY

May 18/2021

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AS CONSULTED ENGINEER'S MUST BE ADVISED PRIOR TO ANY WORK.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT OR REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

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1	FEB. 22, 2021	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT

No: DATE: WORK DESCRIPTION:

jardin

DESIGN GROUP INC

64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter

21031

NAME

SIGNATURE

BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc.

27763

FIRM NAME

BCIN

DECK CONDITION EL-3

ROUNDEL HOMES INC.

RICHMOND HILL

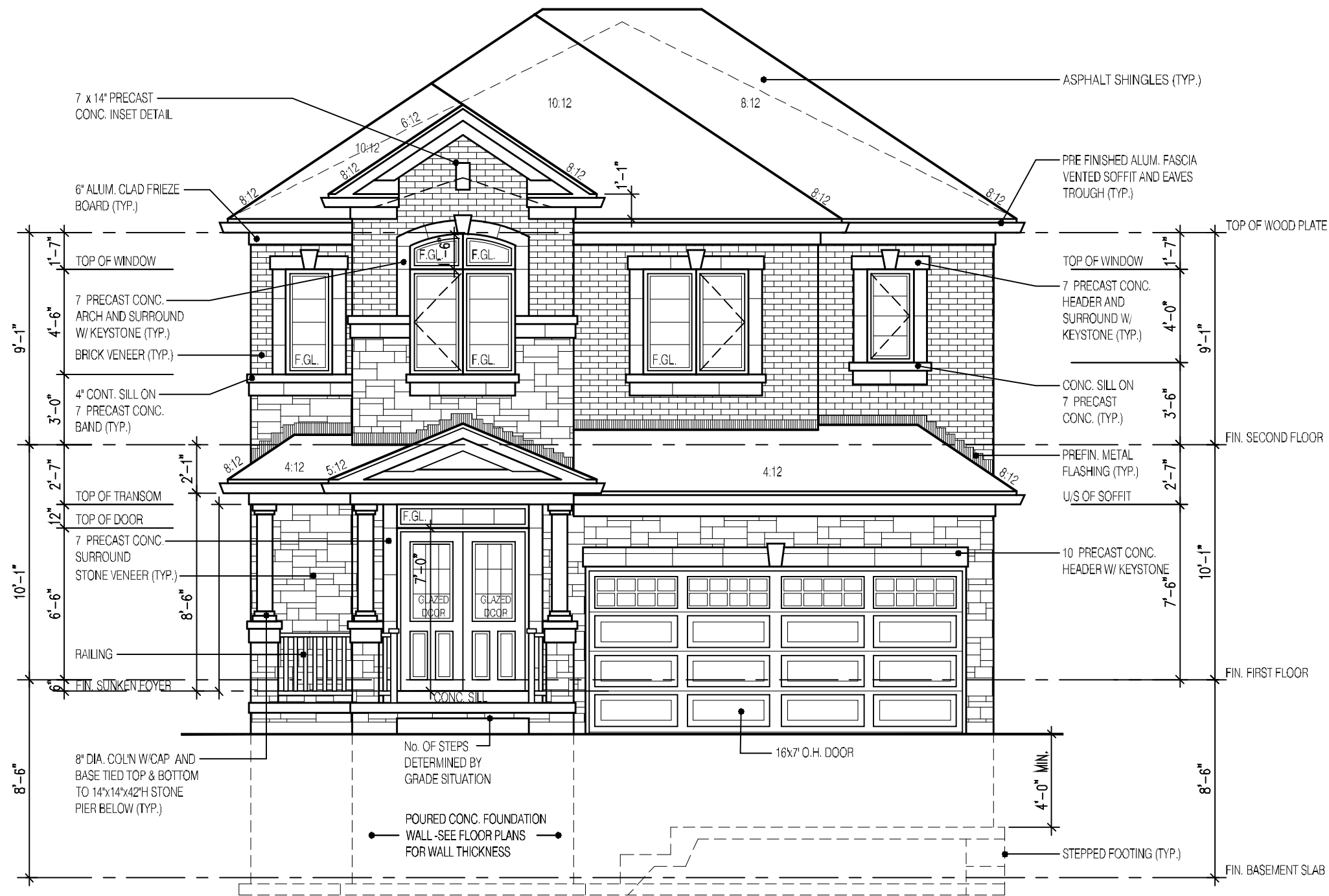
10/22/2022

3/16"=1'-0"

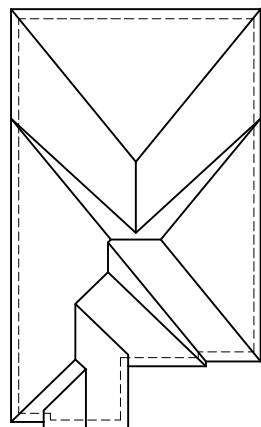
PROJ. No. DWG. No.

20-318B-1

Per: jesus.nolas



FRONT ELEVATION 2



ROOF PLAN EL-2
N.T.S.

2365
11.6m LOTS
PINETREE 1 (GR)
ELEVATION 2
A1 PACKAGE
O.REG. 332/12

W Architect Inc.
DESIGN CONTROL REVIEW
FEBRUARY 24, 2022
FINAL BY: GGE
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No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

FRONT ELEVATION 2

ROUNDEL HOMES INC.
RICHMOND HILL
CITY OF RICHMOND HILL
BUILDING DIVISION

09/22/2022
BILD
Per: joshua.nakula
PROJ. No. 20-81 DWG. No. 4A
SCALE: 3/16"=1'-0"

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2365
11.6m LOTS
PINETREE 1 (GR)
ELEVATION 3
A1 PACKAGE
O.REG. 332/12

W Architect Inc.
DESIGN CONTROL REVIEW
FEBRUARY 24, 2022
FINAL BY: GGE
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No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
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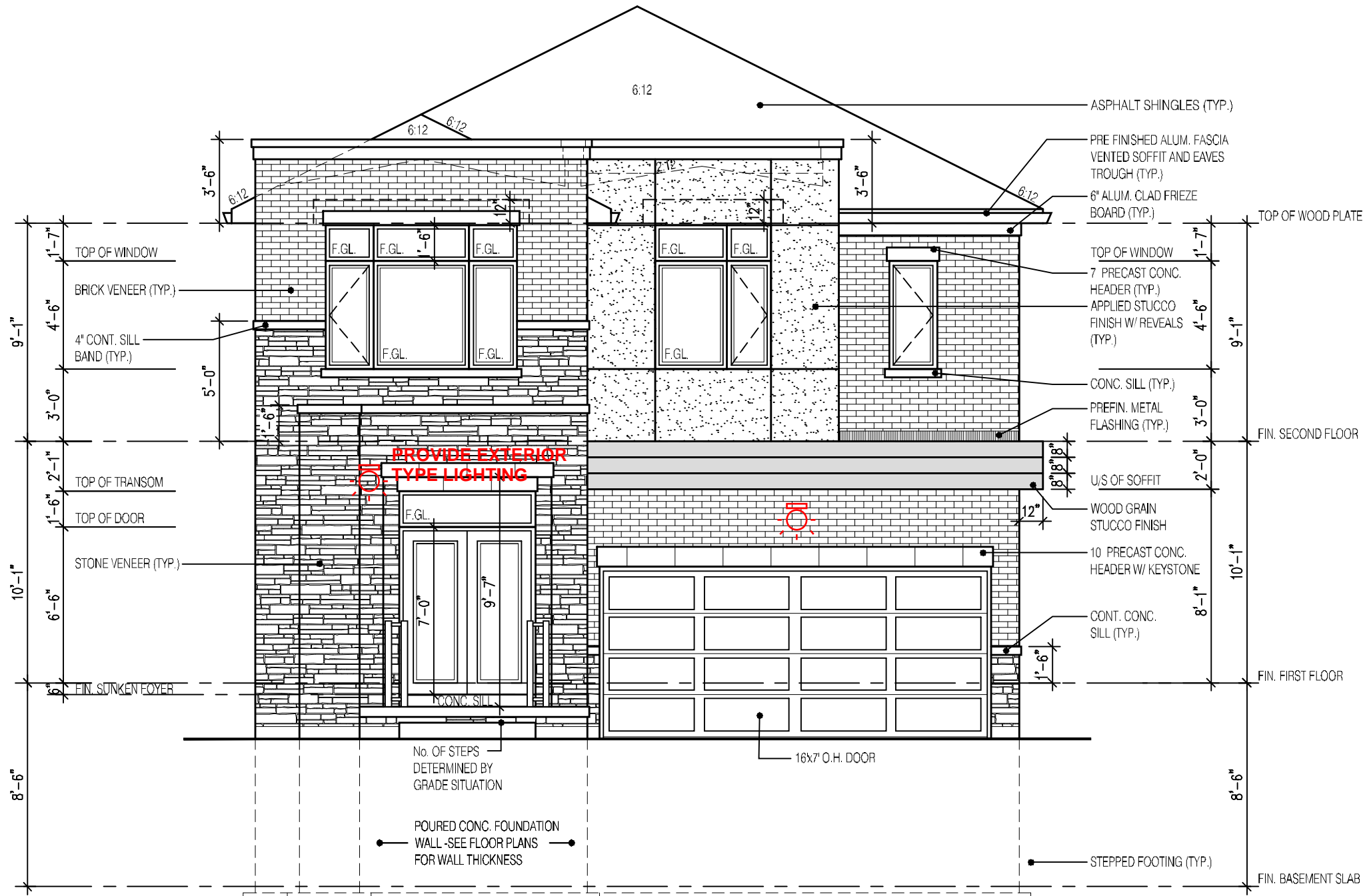
Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

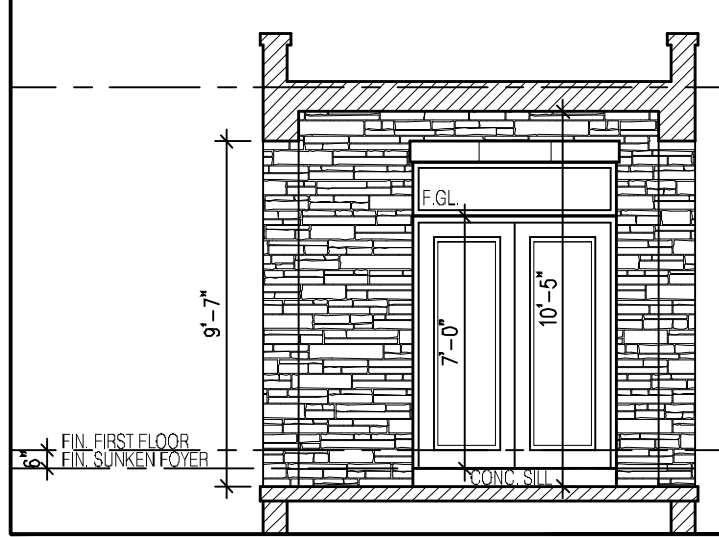
jardin design group inc. 27763
FIRM NAME BCIN

FRONT ELEVATION 3
ROUNDEL HOMES INC.
RICHMOND HILL

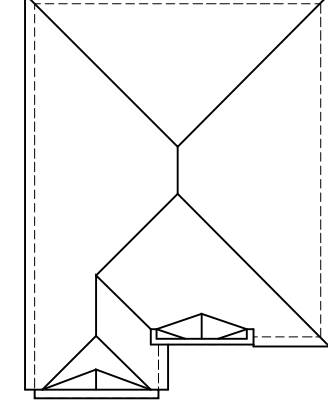
MODEL: T
SCALE: 3/16"=1'-0"
PROJ. No. 20-31 DWG. No. 4B



FRONT ELEVATION 3



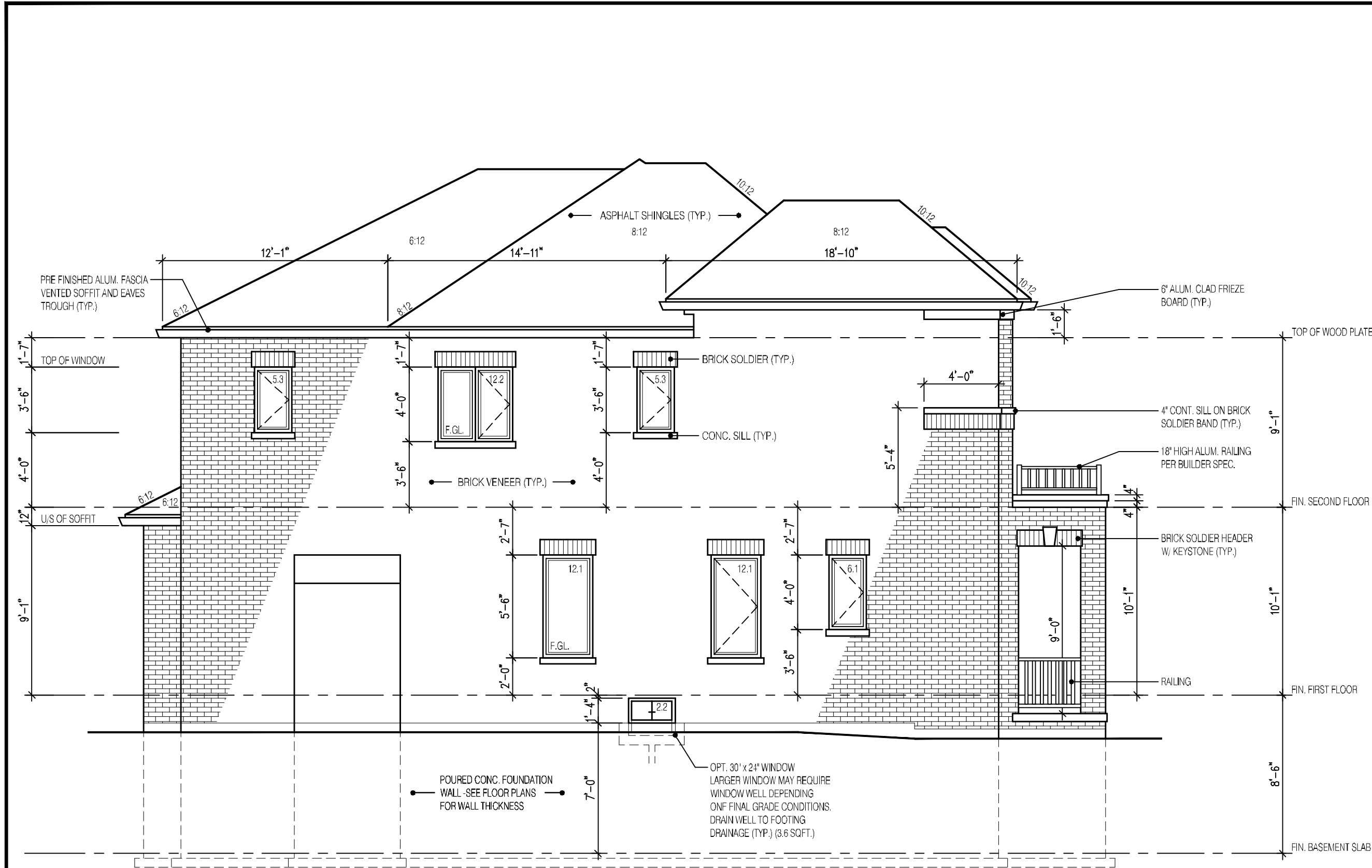
PORTICO INTERIOR
ELEVATION 3



CITY OF RICHMOND HILL
BUILDING DIVISION
09/22/2022
RECEIVED
Per: joshua.nabua

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LEFT SIDE ELEVATION 1

STANDARD 9'-0" CEILING

UNPROTECTED OPENINGS

WALL AREA	972	⌘
ALLOWABLE WINDOW AREA @ 7.0% (1.2m SIDEYARD)	68.04	⌘
ACTUAL GLAZED AREA	55.3	⌘

WITH OPTIONAL 30"x24" BASEMENT WINDOWS

ACTUAL GLASS AREA	56.7	⌘
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No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

2365
11.6m LOTS
PINETREE 1 (GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12

W Architect Inc.
DESIGN CONTROL REVIEW
FEBRUARY 24, 2022

FINAL BY: GGE

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No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

SIDE ELEVATION 1

ROUNDEL HOMES INC.
RICHMOND HILL
CITY OF RICHMOND HILL
BUILDING DIVISION

09/22/2022
SCALE: 3/16"=1'-0"
PROJ. No. 20-31 DWG. No. 5
Per: joshua.nakula

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2365

11.6m LOTS

PINETREE 1 (GR)
ELEVATION 1

A1 PACKAGE

O.REG. 332/12

W Architect Inc.
DESIGN CONTROL REVIEW
MARCH 11, 2022
FINAL BY: GGE
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AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
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7		
6		
5	MAR. 10, 2022	ADDED TO SET LOT 23 UPGRADE; ISSUED TO CLIENT
4	MAY 17, 2021	ISSUED FOR BUILDING PERMIT
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jardin
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64 JARDIN DR. SUITE 3A
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Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
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jardin design group inc. 27763
FIRM NAME BCIN

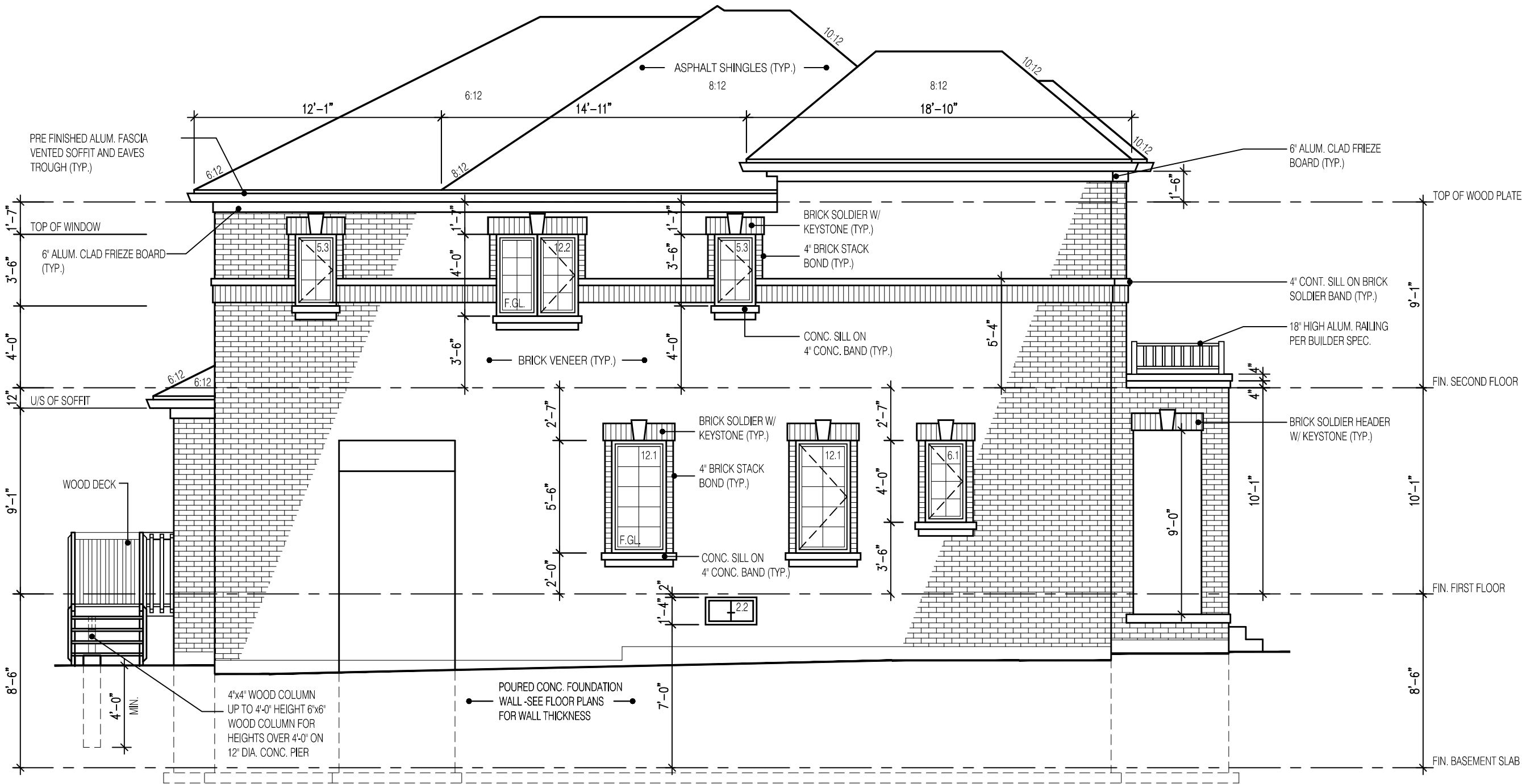
SIDE ELEVATION 1

ROUNDEL HOMES INC.
RICHMOND HILL

CITY OF RICHMOND HILL
BUILDING DIVISION
3/16" = 1'-0"
PROJ. No. 09/22/2022
20-31 DWG. No. 5-1

RECEIVED

Per: joshua.nabua



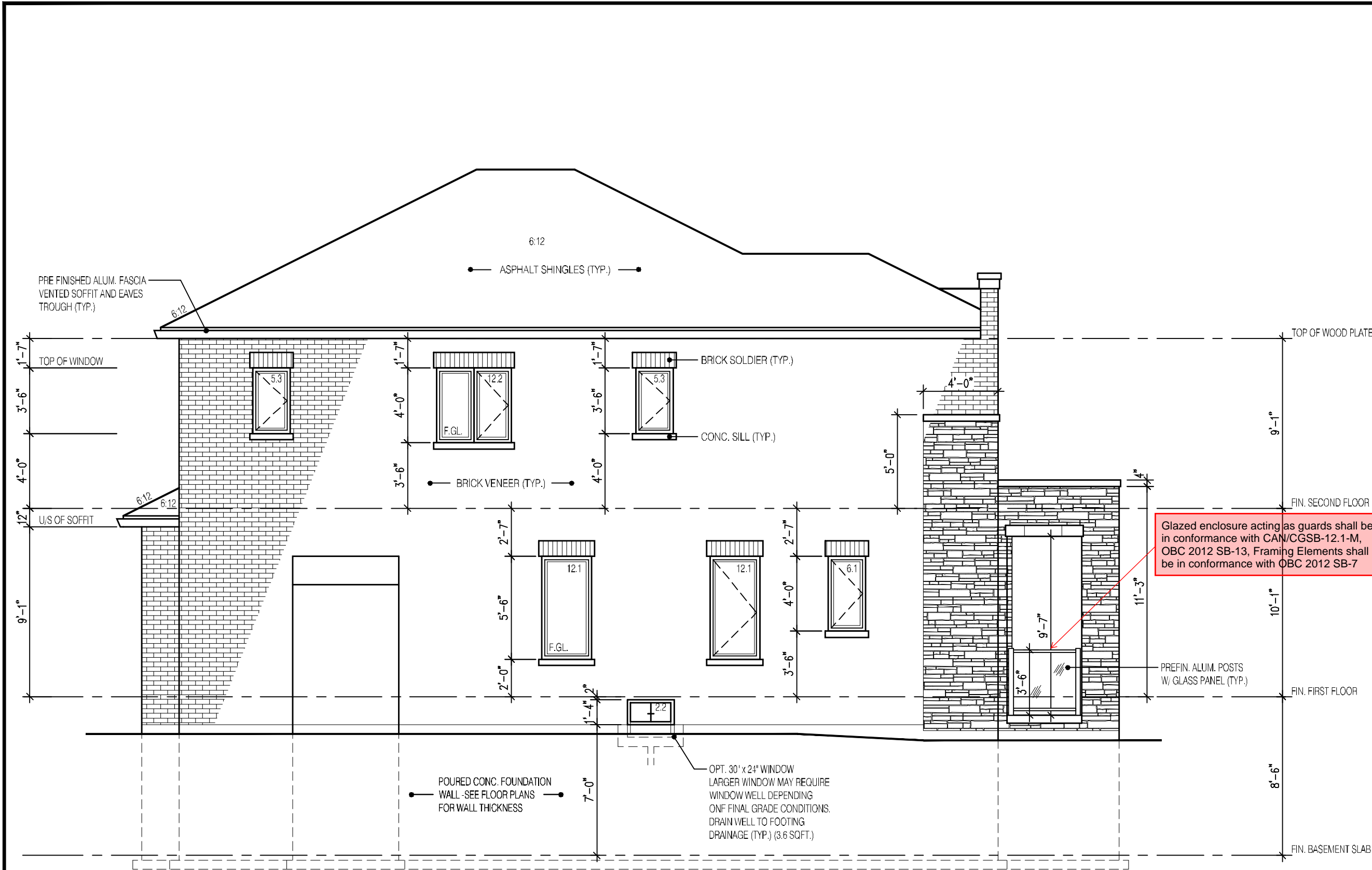
PINETREE 1 FOR LOT 23 (REVERSE)
LEFT SIDE UPGRADE ELEVATION 1

STANDARD 9'-0" CEILING
UNPROTECTED OPENINGS

WALL AREA	994	Φ
ALLOWABLE WINDOW AREA @ 7.0% (1.2m SIDEYARD)	69.58	Φ
ACTUAL GLAZED AREA	55.3	Φ

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LEFT SIDE ELEVATION 3

STANDARD 9'-0" CEILING
UNPROTECTED OPENINGS

WALL AREA	930	⌘
ALLOWABLE WINDOW AREA @ 7.0% (1.2m SIDEYARD)	65.1	⌘
ACTUAL GLAZED AREA	55.3	⌘

WITH OPTIONAL 30"x24" BASEMENT WINDOWS		
ACTUAL GLASS AREA	56.7	⌘

CITY OF RICHMOND HILL
BUILDING DIVISION
09/22/2022
RECEIVED
Per: joshua.nabua

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2365
11.6m LOTS
PINETREE 1 (GR)
ELEVATION 3
A1 PACKAGE
O.REG. 332/12

W Architect Inc.
DESIGN CONTROL REVIEW
FEBRUARY 24, 2022
FINAL BY: GGE
This stamp is only for the purposes of design control and carries no other professional obligations.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFERENCE TO THE ARCHITECT'S ENGINEERING DRAWINGS SHALL BE MADE PRIOR TO ANY WORK.
AS CONSULTED INVERTS MUST BE 1/2" BELOW PRIOR TO POURING FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT OR REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

7		
6		
5		
4	MAY 17, 2021	ISSUED FOR BUILDING PERMIT
3	MAY 12, 2021	COORDINATED ENGINEER & CLIENT COMMENTS
2	MAY 11, 2021	COORDINATED AS PER FLOOR JOIST & ROOF TRUSS DRAWINGS
1	FEB. 22, 2021	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

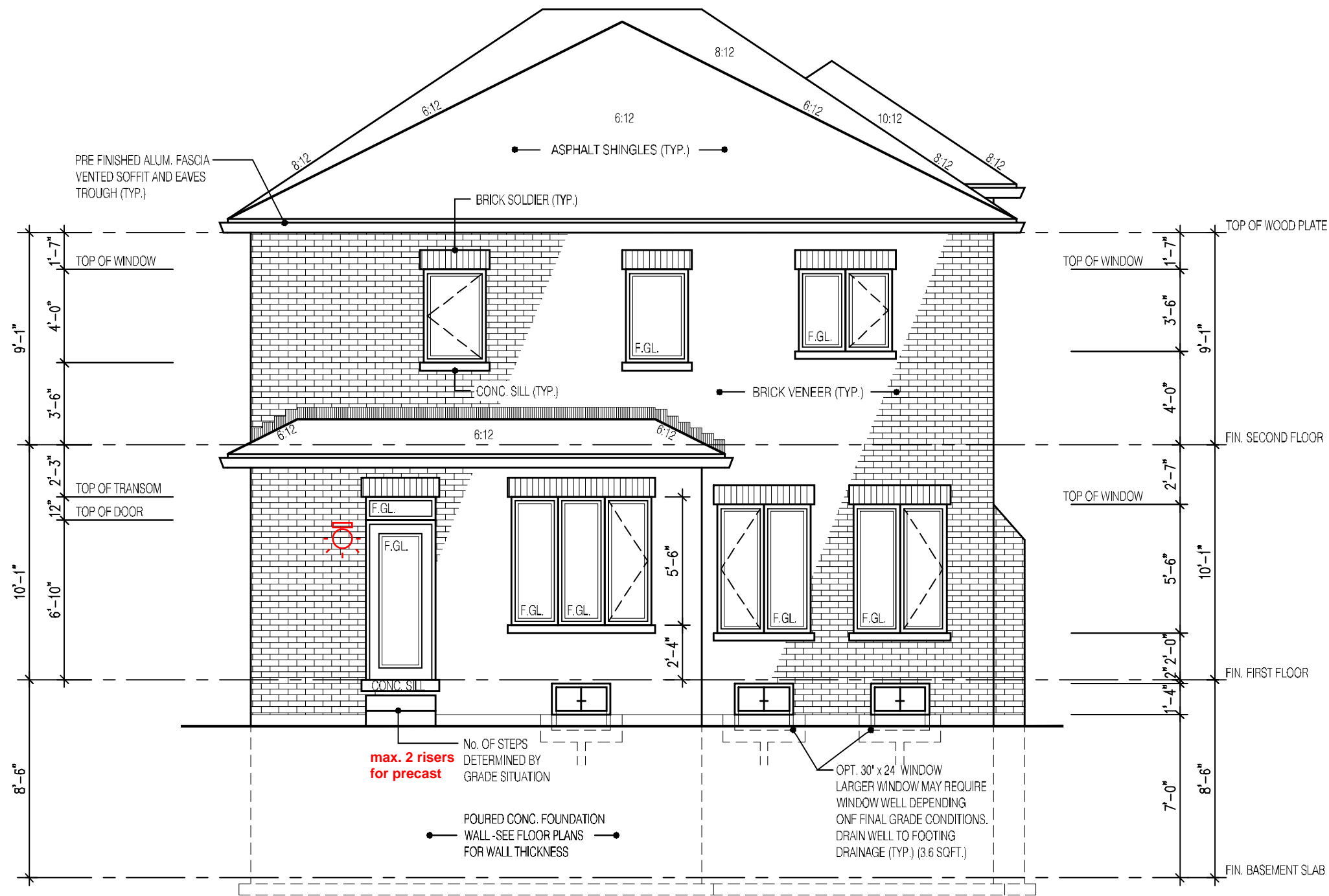
Walter Botter
NAME SIGNATURE
21031 BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

SIDE ELEVATION 3
ROUNDEL HOMES INC.
RICHMOND HILL

BILD	MODEL:	T
	SCALE:	3/16"=1'-0"
	PROJ. No.	20-31
	DWG. No.	5B



REAR ELEVATION 1

2365
11.6m LOTS
PINETREE 1 (GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12

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FEBRUARY 24, 2022
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7		
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3	MAY 12, 2021	COORDINATED ENGINEER & CLIENT COMMENTS
2	MAY 11, 2021	COORDINATED AS PER FLOOR JOIST & ROOF TRUSS DRAWINGS
1	FEB. 22, 2021	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
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jardin design group inc. 27763
FIRM NAME BCIN

REAR ELEVATION 1

ROUNDEL HOMES INC.
RICHMOND HILL
CITY OF RICHMOND HILL
BUILDING DIVISION

09/22/2022
BILD
Per: joanna.nakula
PROJ. No. 20-31 DWG. No. 6
SCALE: 3/16"=1'-0"

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2365
11.6m LOTS
PINETREE 1 (GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12

W Architect Inc.
DESIGN CONTROL REVIEW
MARCH 11, 2022
FINAL BY: GGE
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AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
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7		
6		
5	MAR. 10, 2022	ADDED TO SET LOT 23 UPGRADE; ISSUED TO CLIENT
4	MAY 17, 2021	ISSUED FOR BUILDING PERMIT
3	MAY 12, 2021	COORDINATED ENGINEER & CLIENT COMMENTS
2	MAY 11, 2021	COORDINATED AS PER FLOOR JOIST & ROOF TRUSS DRAWINGS
1	FEB. 22, 2021	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

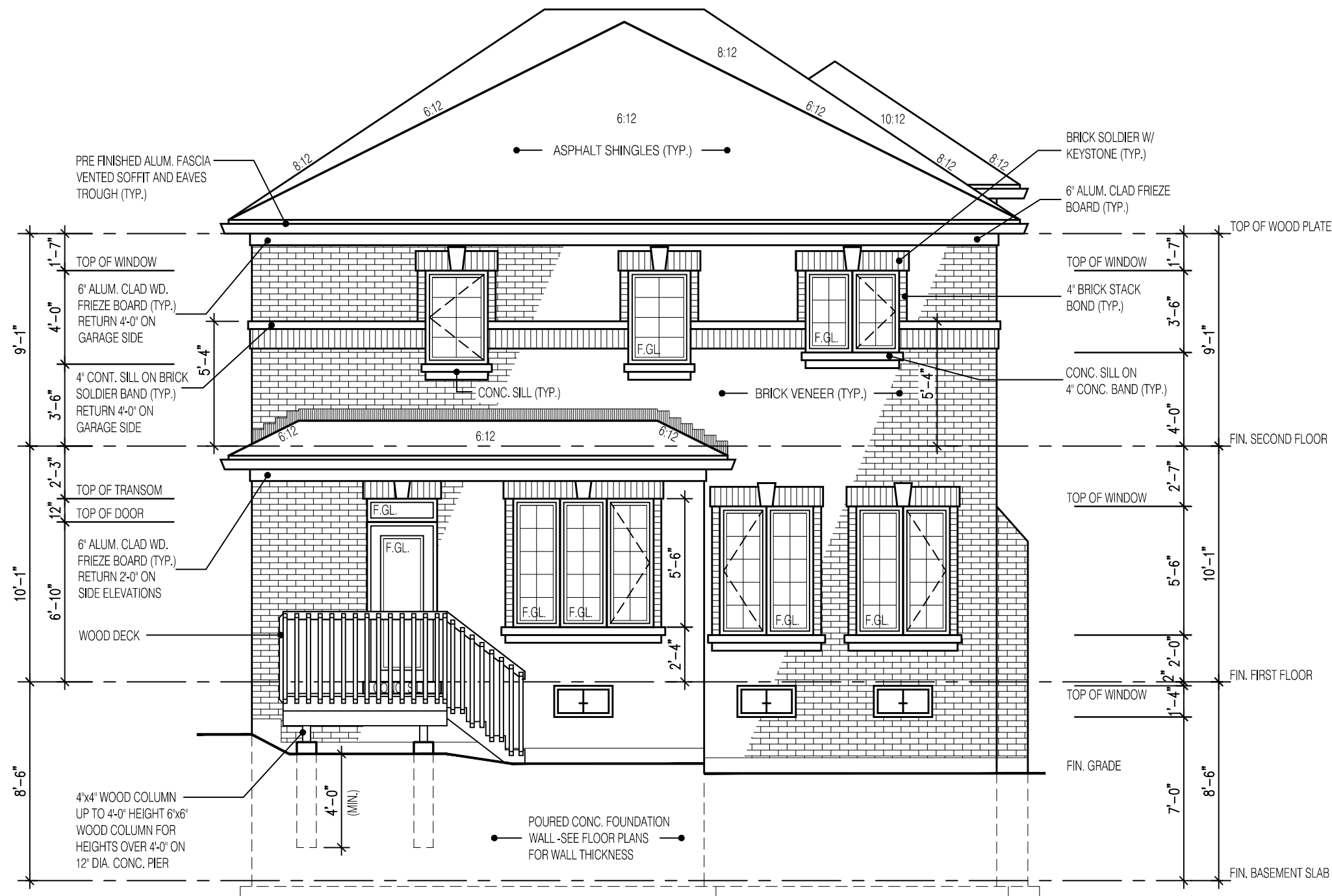
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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code
jardin design group inc. 27763
FIRM NAME BCIN

REAR ELEVATION 1
ROUNDEL HOMES INC.
RICHMOND HILL

CITY OF RICHMOND HILL
BUILDING DIVISION
3/16" = 1'-0"
PROJ. No. 20-31 DWG. No. 6-3
09/22/2022

RECEIVED
Per: joshua.nabua



PINETREE 1 FOR LOT 23 (REVERSE) REAR UPGRADE ELEVATION 1

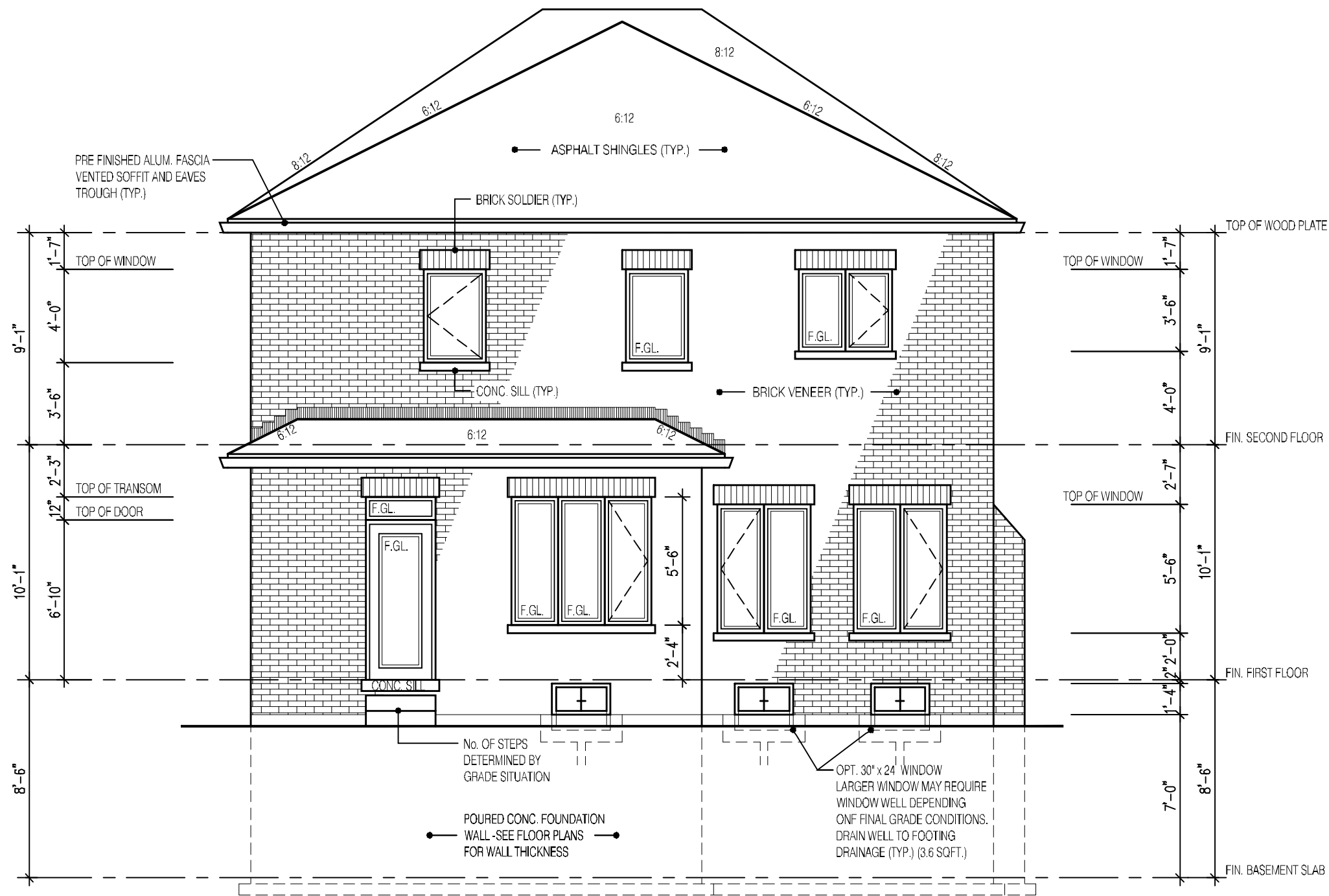
FOR ADDITIONAL DECK STRUCTURE
REFER TO PAGE 7 OF THE DETAIL PACKAGE

NOTE:
WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.
(FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)

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PINETREE 1 FOR LOT 23 ELEV.-1		ENERGY EFFICIENCY- A1 PACKAGE	
ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	705.18	101.43	14.38 %
LEFT SIDE	1061.78	70.67	6.66 %
RIGHT SIDE	979.13	0.00	0.00 %
REAR	722.06	145.83	20.20 %
TOTAL	3468.15	317.93	9.17 %



REAR ELEVATION 2

2365
11.6m LOTS
ELEVATION 2
A1 PACKAGE
O.REG. 332/12

W Architect Inc.
DESIGN CONTROL REVIEW
FEBRUARY 24, 2022
FINAL BY: GGE
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7		
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4	MAY 17, 2021	ISSUED FOR BUILDING PERMIT
3	MAY 12, 2021	COORDINATED ENGINEER & CLIENT COMMENTS
2	MAY 11, 2021	COORDINATED AS PER FLOOR JOIST & ROOF TRUSS DRAWINGS
1	FEB. 22, 2021	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.
jardin design group inc. 27763
FIRM NAME BCIN

REAR ELEVATION 2
ROUNDEL HOMES INC.
RICHMOND HILL
CHURCHILL RD. RICHMOND HILL
L4B 3N1
09/22/2022
3/16"=1'-0"
PROJ. No. 20-31 DWG. No. 6A
Per: joanna.nakula

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W Architect Inc.
DESIGN CONTROL REVIEW
FEBRUARY 24, 2022

FINAL BY: GGE

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jardin
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64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
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EMAIL: info@jardindesign.ca

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Walter Botter 21031
NAME SIGNATURE BCIN

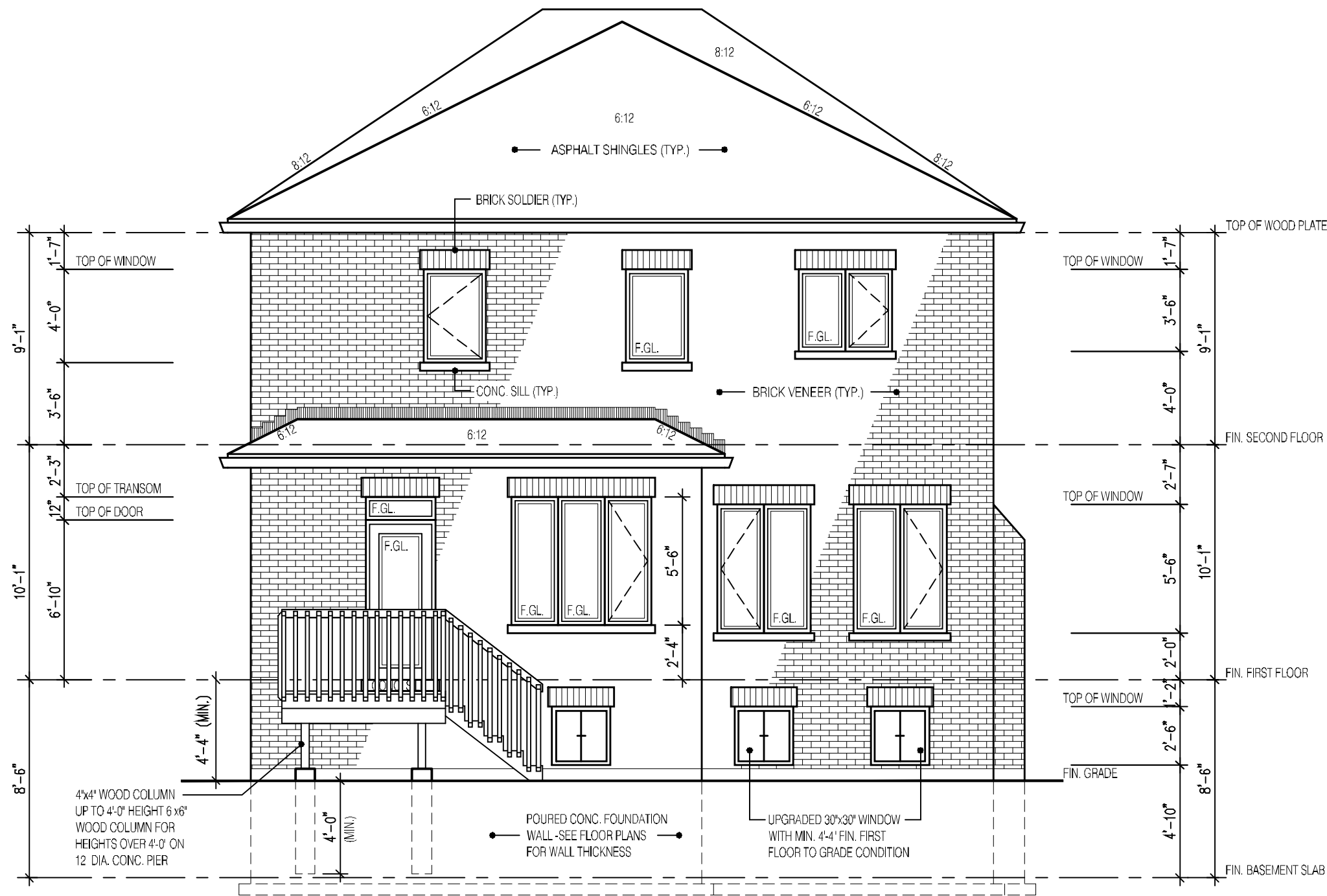
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

DECK CONDITION EL-2

ROUNDEL HOMES INC.
CHURCHILL HILL
RICHMOND HILL
ON L4B 1N1

09/22/2022
SCALE: 3/16"=1'-0"
PROJ. No. 20-31 DWG. No. 6A-1
Per: jesus.nolas



REAR ELEVATION 2 DECK CONDITION

FOR ADDITIONAL DECK STRUCTURE
REFER TO PAGE 7 OF THE DETAIL PACKAGE

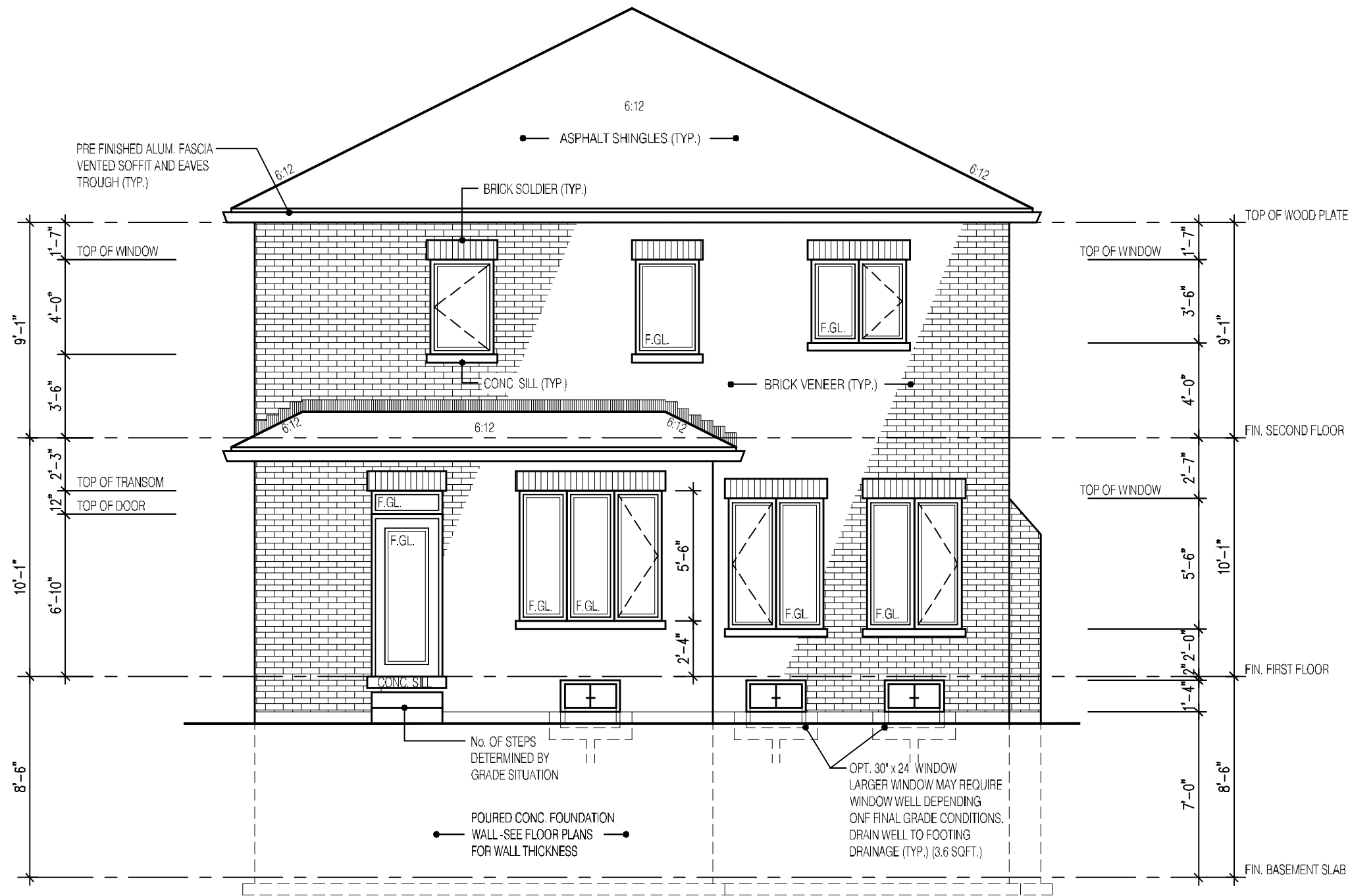
PINETREE 1 ELEV.-2 DECK CONDITION		ENERGY EFFICIENCY- A1 PACKAGE	
ELEVATION	WALL FT ²	OPENING FT ²	PERCENTAGE
FRONT	699.61	85.67	12.25 %
LEFT SIDE	969.05	70.67	7.29 %
RIGHT SIDE	976.17	0.00	0.00 %
REAR	748.08	154.58	20.66 %
TOTAL	3392.91	310.92	9.16 %

NOTE:

WHEN VENEER CUT IS GREATER THAN
26" A 10" POURED CONC. FOUNDATION
WALL IS REQUIRED.
(FOUNDATION PLAN TO BE REVIEWED
IN CONJUNCTION WITH SITE PLAN)

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REAR ELEVATION 3

2365
11.6m LOTS
PINETREE 1 (GR)
ELEVATION 3
A1 PACKAGE
O.REG. 332/12

W Architect Inc.
DESIGN CONTROL REVIEW
FEBRUARY 24, 2022
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1	FEB. 22, 2021	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
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jardin design group inc. 27763
FIRM NAME BCIN

REAR ELEVATION 3

ROUNDEL HOMES INC.
RICHMOND HILL
CHURCHILL RD. RICHMOND HILL
L4B 1N1

09/22/2022
SCALE: 3/16"=1'-0"
PROJ. No. 20-31 DWG. No. 6B
Per: joanna.nakula

W Architect Inc.
DESIGN CONTROL REVIEW
FEBRUARY 24, 2022
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jardin
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VAUGHAN ONT. L4K 3P3
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Walter Botter 21031
NAME SIGNATURE BCIN

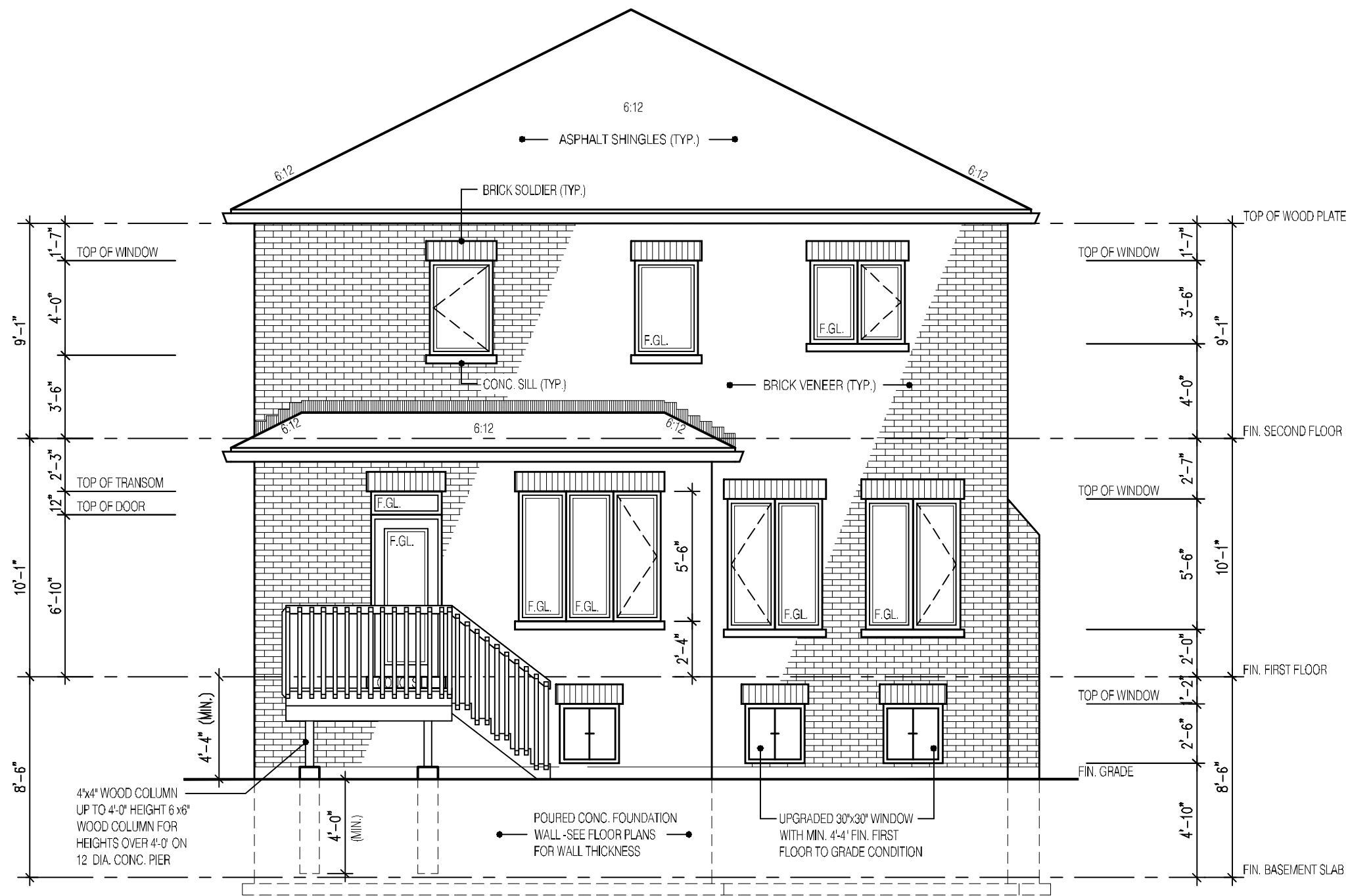
REGISTRATION INFORMATION
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jardin design group inc. 27763
FIRM NAME BCIN

DECK CONDITION EL-3

ROUNDEL HOMES INC.
CHURCHILL HILL
RICHMOND HILL
BUILDING DIVISION

09/22/2022
SCALE: 3/16"=1'-0"
PROJ. No. DWG. No.
20-31-16B-1
Per: joanna.nakula



REAR ELEVATION 3 DECK CONDITION

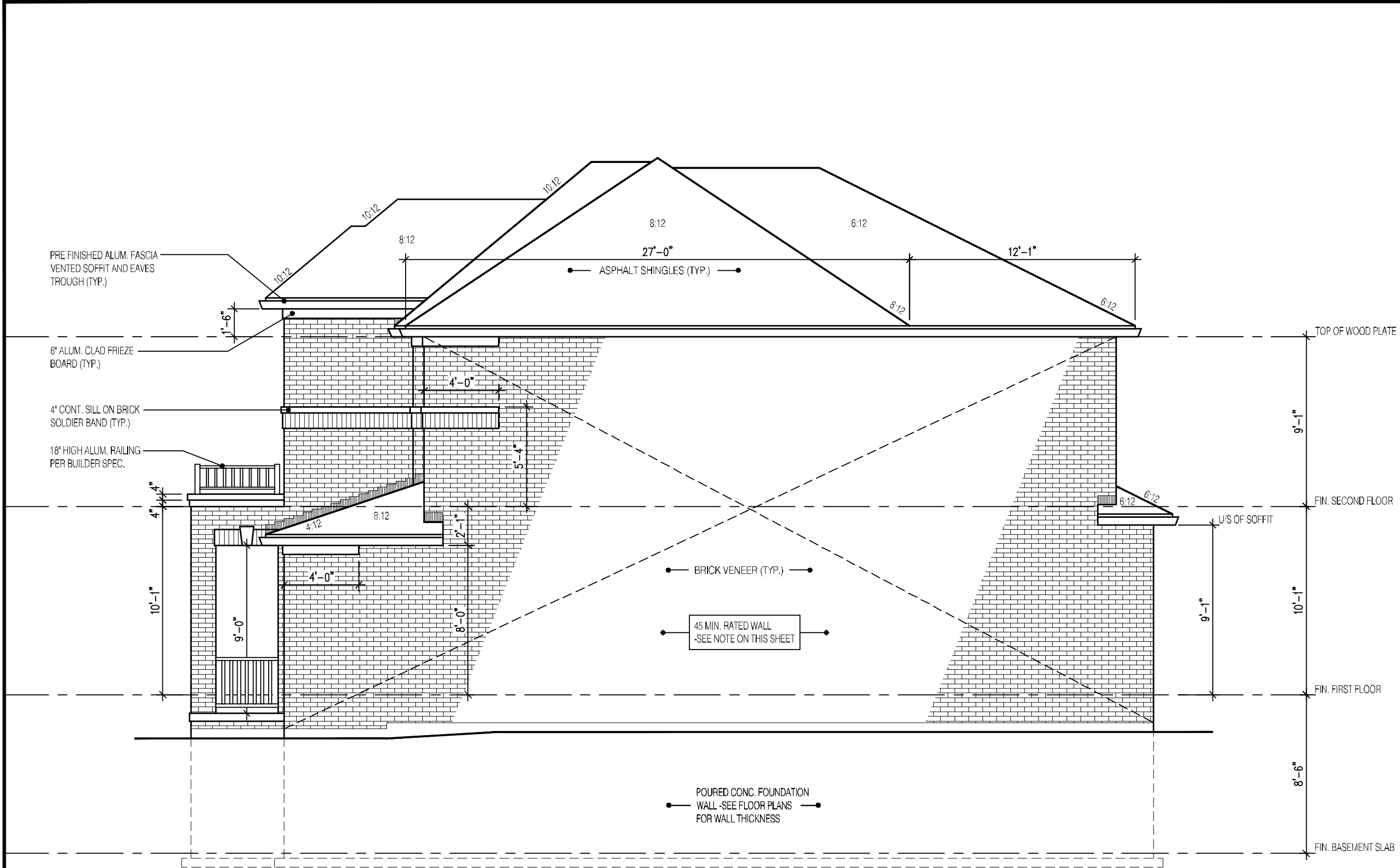
FOR ADDITIONAL DECK STRUCTURE
REFER TO PAGE 7 OF THE DETAIL PACKAGE

PINETREE 1 ELEV.-3 DECK CONDITION		ENERGY EFFICIENCY- A1 PACKAGE	
ELEVATION	WALL FT ²	OPENING FT ²	PERCENTAGE
FRONT	699.25	107.43	15.36 %
LEFT SIDE	952.43	70.67	7.42 %
RIGHT SIDE	952.55	0.00	0.00 %
REAR	673.81	154.58	22.94 %
TOTAL	3278.04	332.68	10.15 %

NOTE:
WHEN VENEER CUT IS GREATER THAN
26" A 10" POURED CONC. FOUNDATION
WALL IS REQUIRED.
(FOUNDATION PLAN TO BE REVIEWED
IN CONJUNCTION WITH SITE PLAN)

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RIGHT SIDE ELEVATION 1

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED AT HEADER

PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

(REFER TO SUPPLEMENTARY STANDARD SB-2 2.3.

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS

(REFER TO SUPPLEMENTARY STANDARD SB-2 2.3.5.(2)

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2365
11.6m LOTS
PINETREE 1 (GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12

W Architect Inc.
DESIGN CONTROL REVIEW
FEBRUARY 24, 2022

FINAL BY: GGE
This stamp is only for the purposes of design control and carries no other professional obligations.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

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7		
6		
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3	MAY 12, 2021	COORDINATED ENGINEER & CLIENT COMMENTS
2	MAY 11, 2021	COORDINATED AS PER FLOOR JOIST & ROOF TRUSS DRAWINGS
1	FEB. 22, 2021	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

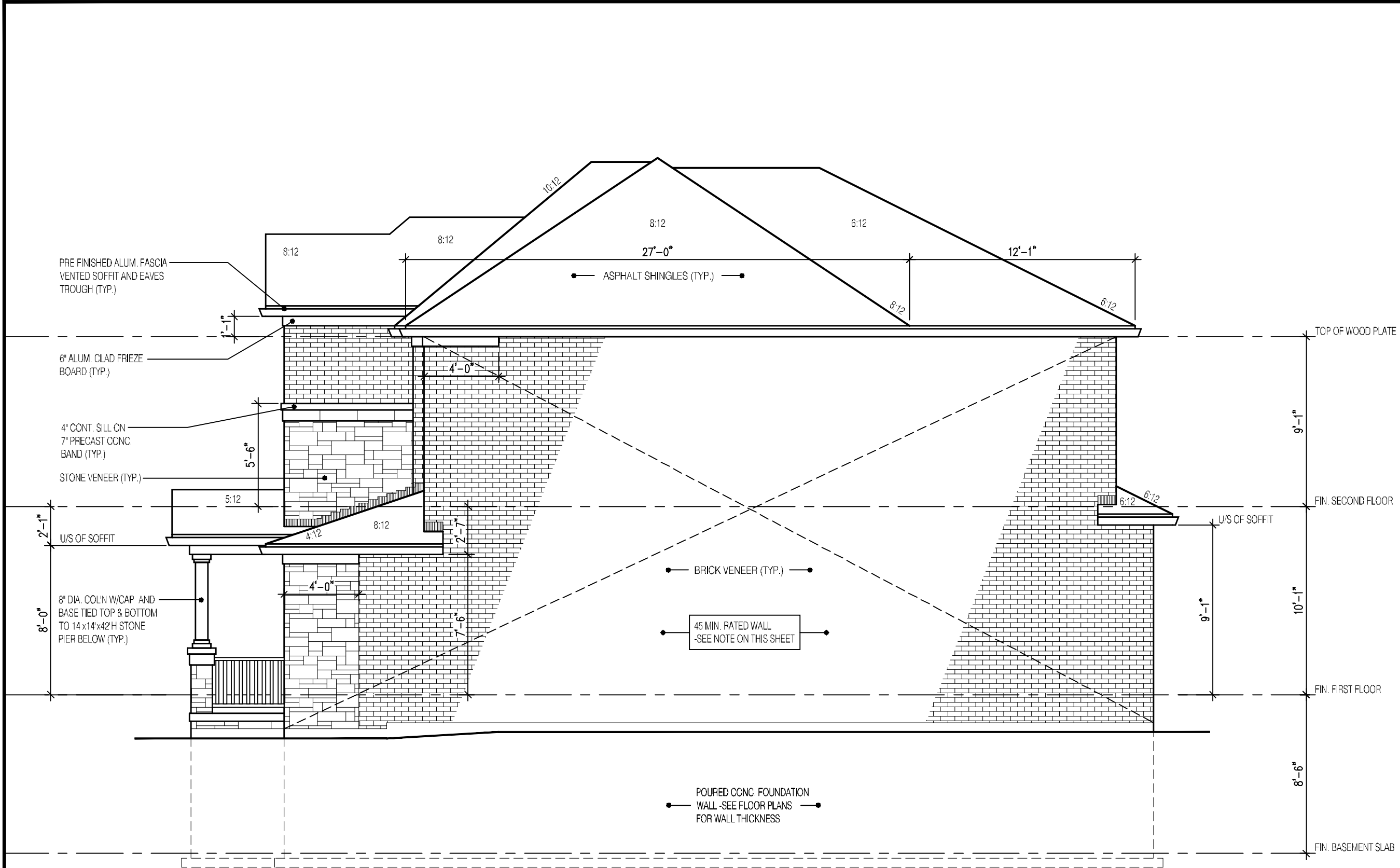
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

SIDE ELEVATION 1

ROUNDEL HOMES INC.
RICHMOND HILL
CITY OF RICHMOND HILL
BUILDING DIVISION

MODEL: T
SCALE: 3/16" = 1'-0"
PROJ. No. 20-31 DWG. No. 7
Per: jesus.nolas



RIGHT SIDE ELEVATION 2

HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED AT HEADER

PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

(REFER TO SUPPLEMENTARY STANDARD SB-2 2.3.

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED WALL

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(REFER TO SUPPLEMENTARY STANDARD SB-2 2.3.5.(2)

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2365
11.6m LOTS
PINETREE 1 (GR)
ELEVATION 2
A1 PACKAGE
O.REG. 332/12

W Architect Inc.
DESIGN CONTROL REVIEW
FEBRUARY 24, 2022

FINAL BY: GGE
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1	FEB. 22, 2021	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

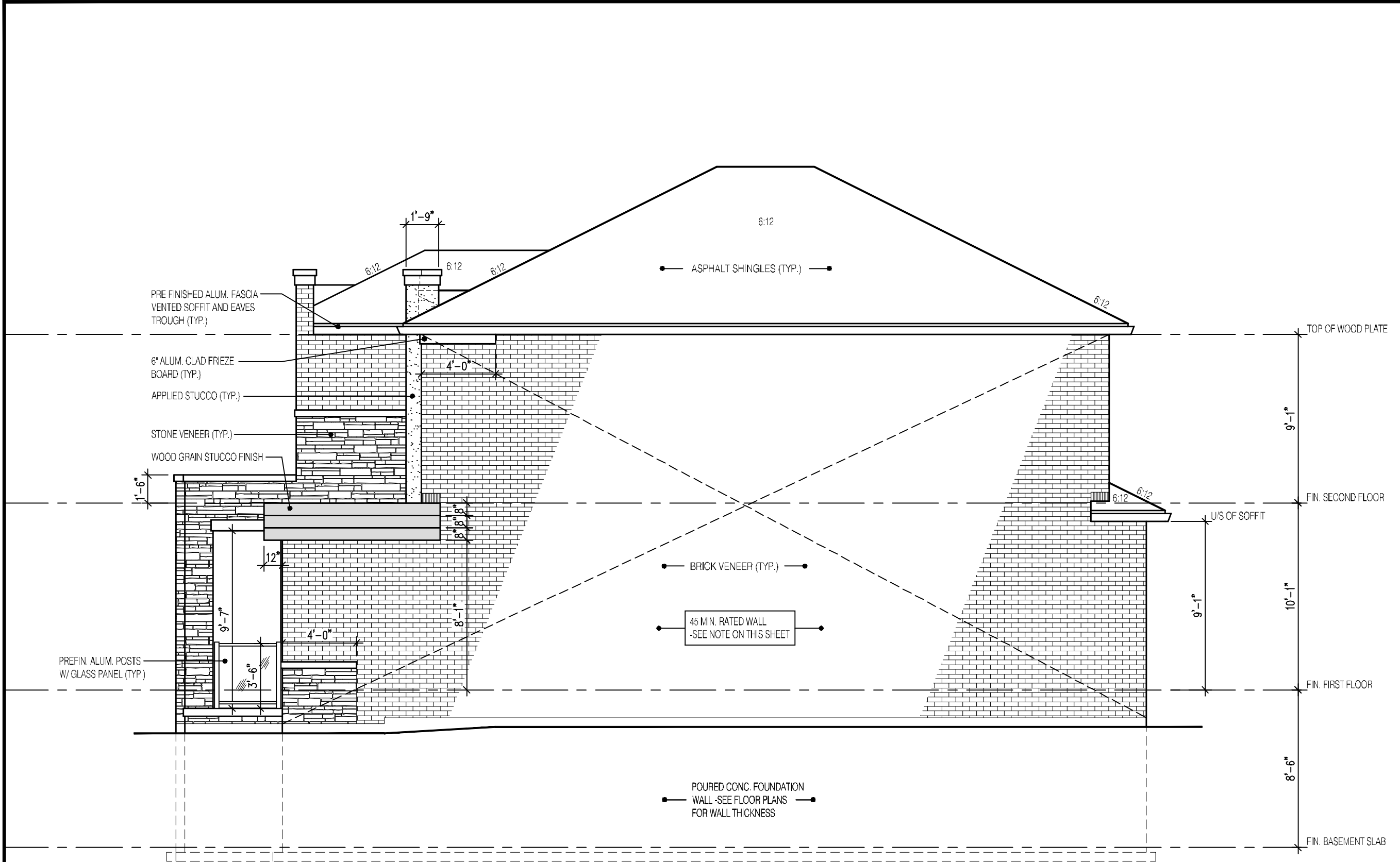
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

SIDE ELEVATION 2

ROUNDEL HOMES INC.
RICHMOND HILL
CITY OF RICHMOND HILL
BUILDING DIVISION

MODEL: T
SCALE: 3/16" = 1'-0"
PROJ. No. 20-31 DWG. No. 7A
Per: jesus.nolas



RIGHT SIDE ELEVATION 3

HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED AT HEADER

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2365
11.6m LOTS
ELEVATION 3
A1 PACKAGE
O.REG. 332/12

W Architect Inc.
DESIGN CONTROL REVIEW
FEBRUARY 24, 2022

FINAL BY: GGE
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1	FEB. 22, 2021	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT

No: DATE: WORK DESCRIPTION:

jardin
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64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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QUALIFICATION INFORMATION
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Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

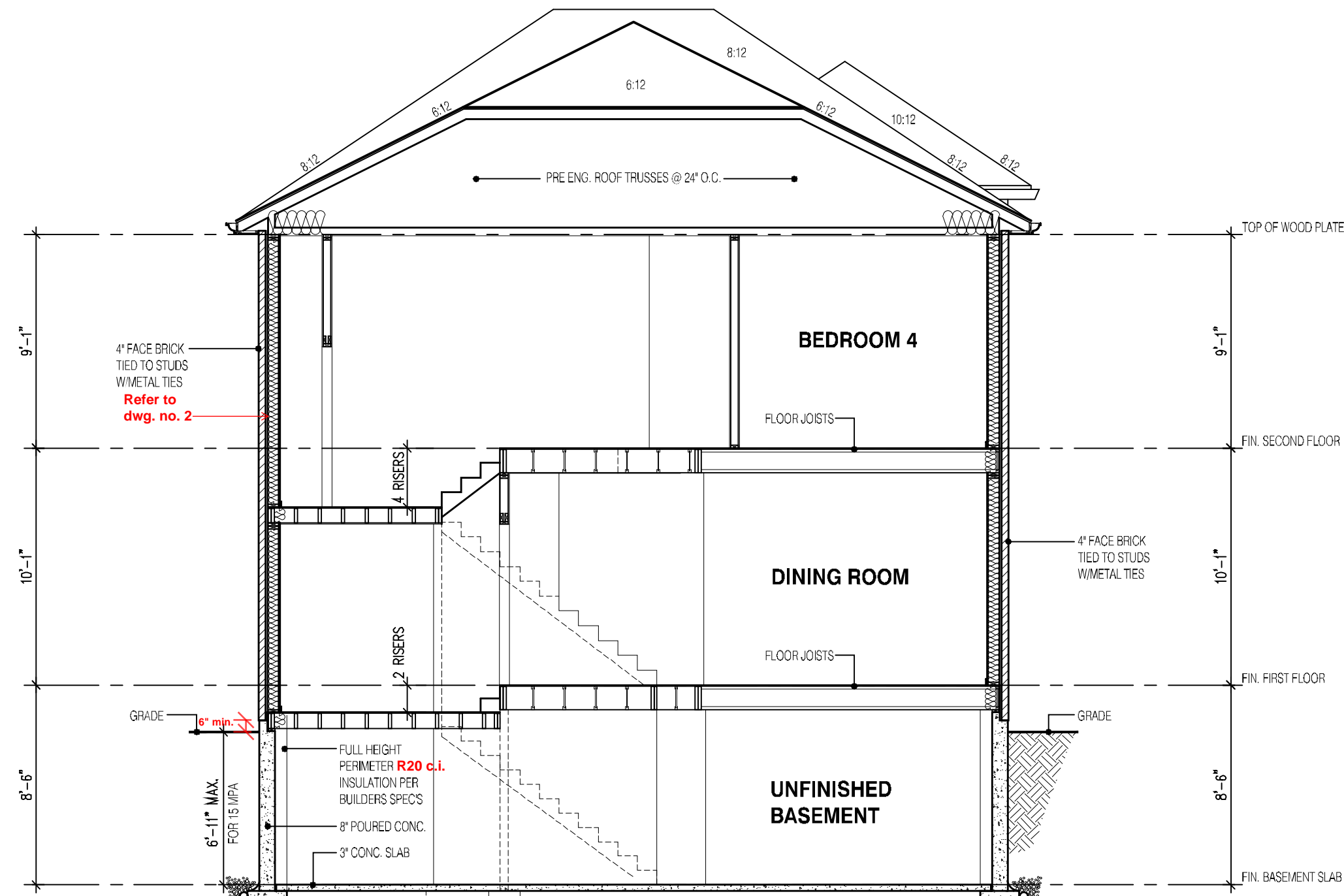
REGISTRATION INFORMATION
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jardin design group inc. 27763
FIRM NAME BCIN

SIDE ELEVATION 3

ROUNDEL HOMES INC.
RICHMOND HILL
CITY OF RICHMOND HILL
BUILDING DIVISION

09/22/2022
BILD
Per: jesus.nolas
PROJ. No. 20-31 DWG. No. 7B



Maximum backfill height for a 8"
15 MPa 20 MPa Poured Block
foundation wall
laterally supported shall be: 7'-0"
laterally unsupported shall be: 4'-0"

SECTION A-A
ELEVATION 1

CITY OF RICHMOND HILL
BUILDING DIVISION
09/22/2022
RECEIVED
Per: joshua.nabua

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2365
11.6m LOTS
PINETREE 1 (GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12

STRUDET INC
FOR STRUCTURAL ONLY



May 18/2021

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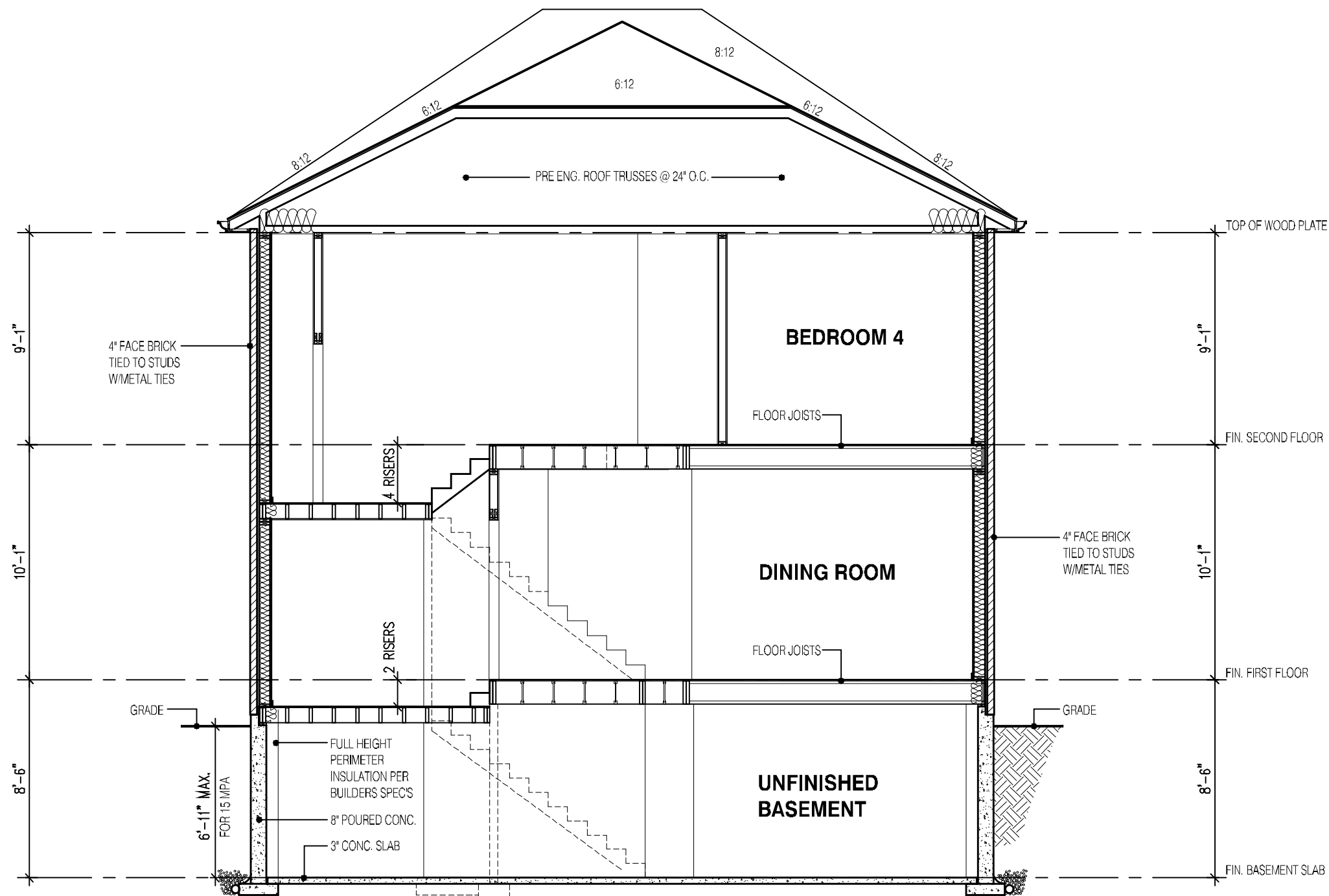
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jardin design group inc. 27763
FIRM NAME BCIN

SECTION ELEVATION 1
ROUNDEL HOMES INC.
RICHMOND HILL



MODEL:
T
SCALE:
3/16"=1'-0"
PROJ. No. DWG. No.
20-31 8



SECTION A-A
ELEVATION 2

2365
11.6m LOTS
PINETREE 1 (GR)
ELEVATION 2
A1 PACKAGE
O.REG. 332/12

STRUDET INC
FOR STRUCTURAL ONLY



May 18/2021

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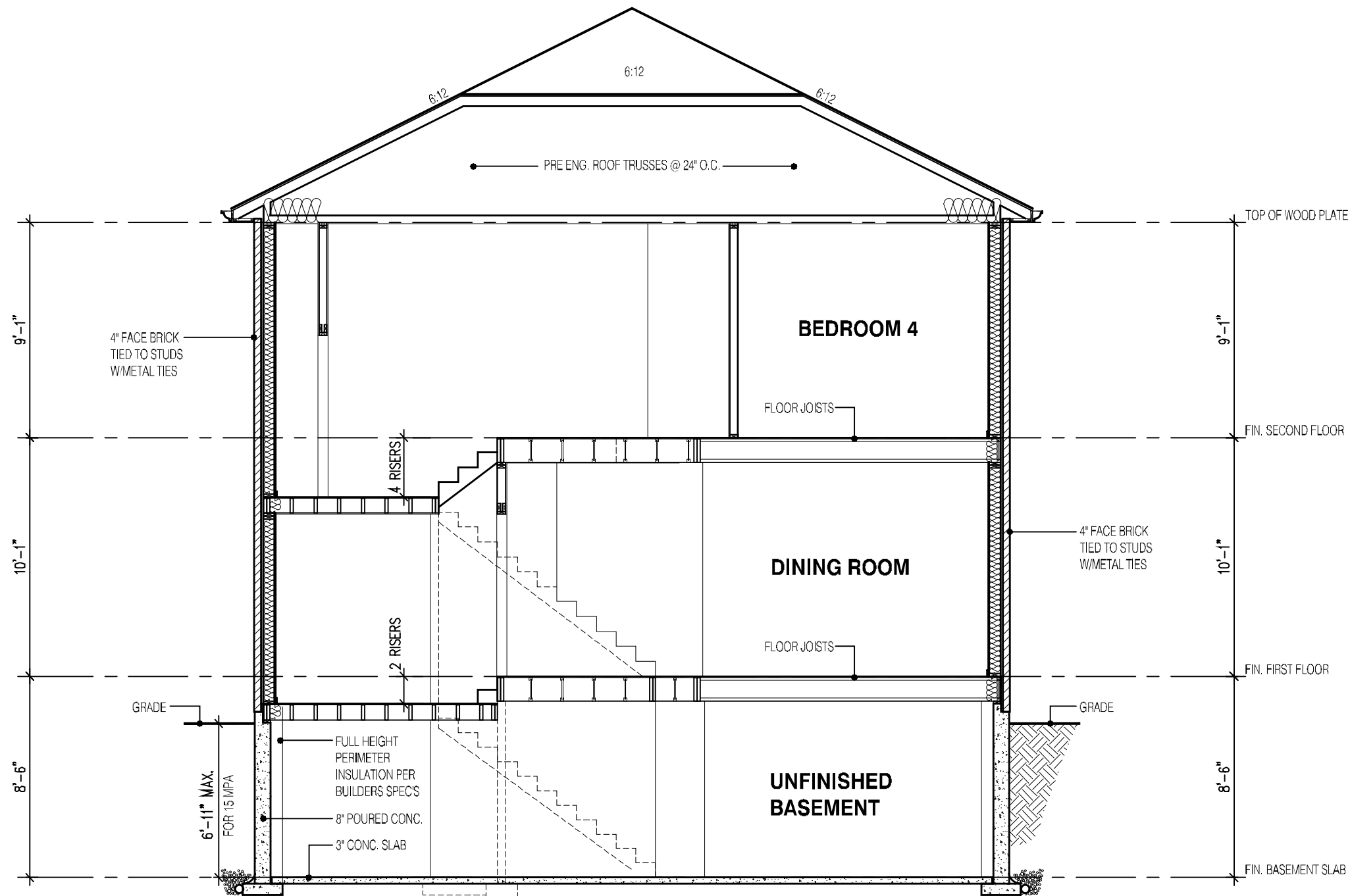
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Jardin design group inc. 27763
FIRM NAME BCIN

SECTION ELEVATION 2

ROUNDEL HOMES INC.
RICHMOND HILL
CITY OF RICHMOND HILL
BUILDING DIVISION

MODEL: T
SCALE: 3/16" = 1'-0"
PROJ. No. 20-31 DWG. No. 8A
Per: joshua.nakula



SECTION A-A
ELEVATION 3

2365

11.6m LOTS

PINETREE 1 (GR)
ELEVATION 3

A1 PACKAGE

O.REG. 332/12

STRUDET INC
FOR STRUCTURAL ONLY



May 18/2021

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SECTION ELEVATION 3

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RICHMOND HILL
CITY OF RICHMOND HILL
BUILDING DIVISION

MODEL: T
SCALE: 3/16"=1'-0"
PROJ. No. 20-31 DWG. No. 8B
Per: joshua.nakula