STRIP FOOTINGS FOR SINGLES AND SEMIS UP TO 2 STOREY

120 KPa NATIVE SOIL

201/6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS. 2458' CONCRETE STRIP FOOTINGS BELOW PARTY WALLS

90 KPa ENGINEERED FILL SOIL

2458" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW FOUNDATION WALLS 305/8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.

100 KPa NATIVE SOIL

2258' CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS. 28'x10' CONCRETE STRIP FOOTINGS BELOW PARTY WALLS

GENERAL NOTE

ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE, REFER TO ENGINEERED FILL. FOOTING DETAIL FOR REINFORCEMENT

(REFER TO ENG. FILL FOOTING DETAIL)

28'x8' CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS

PAD FOOTING

120 KPa NATIVE SOIL	90 KPa ENGINEERED FILL SOIL	100 KPa NATIVE SOIL
F1 = 42'x42'x21 CONCRETE PAD	F1 = 48 x48 x24 CONCRETE PAD	F1 = 46'x46'x23' CONCRETE PAD
F2 = 36 x36 x18 CONCRETE PAD	F2 = 40'x40'x20 "CONCRETE PAD	F2 = 38'x38'x19' CONCRETE PAD
F3 = 30'x30'x15' CONCRETE PAD	F3 = 34 x34 x17 CONCRETE PAD	F3 = 32x32x16 CONCRETE PAD
F4 = 24'x24'x12' CONCRETE PAD	F4 = 28 x28 x14" CONCRETE PAD	F4 =26'x26'x12" CONCRETE PAD
F5 = 16'x16'x8' CONCRETE PAD	F5 = 18'x18'x8' CONCRETE PAD	F5 = 17'x17'x8' CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUA	L SIZE PADS NOT ON CHART)	

NOTE:

WHEN VENEER OUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAITMENT

BRICK VENEER LINTELS:

WL1 = 3.1/2 x 3.1/2" x 1/4" (90x90x6) + 2-2 x 8 SPR. WL2 = 4" x 3 1/2" x 5/16 (100x90x8) + 2-2" x 8" SPR. WL3 = 5' x 3 1/2 x 5/16' (125x90x8) + 2-2' x 10' SPR

WL4 = 6" x 3 1/2 x 3/8" (150x90x10) + 2- 2' x 12" SPR. WL5 - 6" x 4" x 3/8 (150x100x10) + 2-2 x 12" SPR.

WL6 = 5" x 3 1/2 x 5/16 (125x90x8) + 2-2 x 12" SPR WL7 = 5" x 3 1\2" x 5\16" (125x90x8) + 3-2" x 10" SPR WL8 = 5" x 3 1/2" x 5/16" (125x90x8) - 3-2" x12" SPR WL9 - 6" x 4" x 3/8" (150x100x10) + 3-2 x 12" SPR

WOOD LINTELS:

WB1 - 2-2"x8" SPRUCE BEAM 3-2"x 8" SPRUCE BEAM WB3 2-2"x 10" SPRUCE BEAM WB4 = 3-2"x10" SPBUCE BEAM WB5 - 2-2"x 12" SPRUCE BEAM

WB6 = 3-2 x 12 SPRUCE BEAM WB7 - 5-2 x 12' SPRUCE BEAM WB10 = 4 2"x8" SPRUCE BEAM WB11 - 4-2' x 10 SPRUCE BEAM

STEEL LINTELS:

 $L1 = 3.112 \times 3.112 \times 114^{\circ}.690 \times 90 \times 60$ $L4 = 6^{\circ} \times 3.112^{\circ} \times 318^{\circ}.(150 \times 90 \times 10)$ L2 - 4"x3 f\2"x5\16" (100 x 90 x 8) L5 = 6"x4"x3\8" (150 x 100 x 10)

L3 = 5" x 3 1/2" x 5/16" (125 x 90 x 8) L6 = 7" x 4" x 38" (180 x 100 x 10)

LAMINATED VENEER LUMBER (LVL BEAMS)

LVL1A = 1-13/4'x71/4'(1-45x184 LVL1 = 2-1 3/4' x 7 1/4' (2-45x184) $LVL2 = 3.13/4' \times 7.1/4' (3.45x184)$ = 4-1 3/4' x 7 1/4' (4-45x184) LVL4A = 1-1.3/4" x 9 1/2" (1-45)/240)

 $LVL4 = 2-13/4' \times 91/2' (2-45x240)$ = 3-1.3/4" x 9.1/2" (3-45x240) LVL5A = 4-1 3/4' x 9 1/2" (4-45x240) LVL6A= 1-1 3/4' x 11 7/8' (1-45x300) $V1.6 = 2.13/4 \times 11.7/8 \cdot (2.45 \times 300)$ 3-1 3/4" x 11 7/8" (3-45x300

LVL7A= 4-1 3/4"x 11 7/8" (4-45x300) LVL8 = 2-13/4'x 14' (2-45x356) LVL9 = 3-1 3/4' x 14' (3-45x356)

PINETREE 1 ELEV.-1 ENERGY EFFICIENCY- A1 PACKAGE NO(TAVE) I WALL FT2 OPENING FT² PERCENTAGE 705.18 101.43 14.38 % EFT SIDE 994.26 70.67 7.11 % GHT SIDE 979.13 0.00 0.00% 673.81 145.83 21.64% TOTAL 3352.38 317.93 9.48 %

PINETREE 1 ELEV 2		ENERGY EFFICIENCY: A1 PACKAC		
ELEVATION	WALL FT ²	OPENING FT ²	PERCENTAGE	
PRONT	699.61	85.67	12.25 %	
LEFT SIDE	969.05	70.67	7.29%	
RIGHT SIDE	976.17	0.00	0.00%	
RASH	673.61	145.83	21.64 %	
TOTAL.	3318.64	302.17	9.11%	

PINETREE 1 ELE	V3	ENERGY EFFI	CIENCY- A1 PACKAGE
ELEVATION	WALL FT ²	OPENING FT [®]	PERCENTAGE
FRONT	699.25	107.43	15.36 %
LEFT SIDE	952.43	70.67	7.42%
RIGHT SIDE	952.55	0.00	0.00%
REAR	673.81	145.83	21.64 %
TOTAL	3278.04	323,93	9.88%

AREA CALCULATIONS EL-1

GROUND FLOOR COVERAGE = 1081 Sq. Ft.

GARAGE COVERAGE / AREA - 377 Sq. Ft.

PORCH COVERAGE / AREA = 48 Sq. Ft.

= 1284 Sq. Ft.

= 2365 Sq. Ft.

= 2365 Sq. Ft.

- 1506 Sq. Ft.

- 139.91 Sq. m

- 1458 Sq. R.

- 135.45 Sq. m.

0 So Ft

0 Sq. Ft

FIRST FLOOR AREA

ADD OPEN AREAS

SECOND FLOOR AREA

TOTAL FLOOR AREA

ADD FIN, BASEMENT AREA

GROSS FLOOR AREA

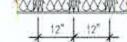
COVERAGE W/ PORCH

COVERAGE W/O PORCH

PINETREE 1 ELEV	1-2	ENERGY EFFICIENCY- A1 PACKA		
ELEVATION	WALL FT ²	OPENING FT ²	PERCENTAGE	
FRONT	699.61	85.67	12.25%	
LEFT SIDE	969.05	70.67	7.29%	
RIGHT SIDE	976.17	0.00	0.00%	
PEAR	673.61	145.83	21.84 %	
TOTAL.	3318.64	302.17	9.11%	

_	1 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7	
	7.42%	
	0.00 %	
	21.64 %	
Т	9.88%	7

2-25/6" STUD WALL NAILED TOGETHER AND SPACED @12 O.C. FULL HT C/W SOLID BLOCKING 4-0" O.C. VERTICAL AND 7/16"



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18-0 AND MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'0"

TWO STOREY HEIGHT WALL DETAIL

Door Schedule

NO.	WIDTH	(27,40)	and the state of	HEIGH 10' OR CEILIN	MORE	TYPE
1	2'-10"	6'-8'	(865x2033)	8'-0'	(865x2439)	INSULATED ENTRANCE DOOR
la	2-8"	6'-8"	(815x2033)	8'-0'	(815x2439)	INSULATED FRONT DOORS
2	2-8"	6-8*	(815x2033)	8'-0'	(815x2439)	WOOD & GLASS DOOR
3	2:8"	6'-8 x 1-3/4"	(815x2033x45)	8'-0' x 1-3/4'	(815x2439x45)	EXTERIOR SLAB DOOR
4:	2'-8"	6'-8' x 1-3/8'	(815x2033x35)	8'-0' x 1-3/8'	(815x2439x35)	INTERIOR SLAB DOOR
5	2-6	6'-8' x 1-3/8'	(760x2033x35)	8'-0' x 1-3/8'	(760x2439x35)	INTERIOR SLAB DOOR
6	2-2	6'-8' x 1-3/8'	(660x2033x35)	8'-0' x 1-3/8'	(660x2439x35)	INTERIOR SLAB DOOR
7	11-6"	6'-8" x 1-3/8"	(460x2033x35)	8'-0' x 1-3/8'	(460x2439x35)	INTERIOR SLAB DOOR
8	3'-0"	6'-8" x 1-3/8"	(915x2033x35)	8'-0' x 1-3/8'	(915x2439x35)	INTERIOR SLAB DOOR

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED AND NAILED TOGETHER AND SPACED MAX. @10°O.C. FULL HT C/W SOLID BLOCKING MAX. 8-0/D.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.

AREA CALCULATIONS EL-2

GROUND FLOOR COVERAGE = 1081 Sq. Ft

GARAGE COVERAGE | AREA - 377 Sq. Ft.

PORCH COVERAGE , AREA = 68 Sq. Ft.

REVIEWED

Building Permit #: ___RM#-2022-00080

All construction shall comply with the Ontario Building Code and all other applicable

statutory regulations. The reviewed

documents must be kept on site at all times

Building inspection line: 905-771-5465 (24 hr)

Refer to attached general notes and

These drawings have been reviewed under

Windows, sliding glass doors and

skylights shall comply with OBC 2012,

SB-12, 3.1.1.9 for maximum U-Value.

of the OBC 2012, SB-12.

Date: 10/31/2022

1081 Sq. Ft.

0.So Ft

0 Sq. F

= 1284 Sq. Ft

= 2365 Sq. Ft

= 2365 Sq. Ft.

1526 Sq. Ft.

141.77 Sq. m.

- 1458 Sq. Ft

- 135.45 Sc. m.

City of Richmond Hill

FIRST FLOOR AREA

ADD OPEN AREAS

SECOND FLOOR AREA

TOTAL FLOOR AREA

ADD FIN, BASEMENT AREA

GROSS FLOOR AREA

COVERAGE W/ PORCH

COVERAGE W/O PORCH



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20-2: AND MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

TWO STOREY HEIGHT WALL DETAIL

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED. ROOF TRUSS DRAWINGS BY MANUFACTURER

SPACE CONVENTIONAL FLOOR JOISTS @ 12° C.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5-7, 2 ROWS FOR SPANS GREATER THAN 7

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER, APPROVED. FLOOR TRUSS LAYOUT BY MANUFACTURER

NOTE:

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN

CITY OF RICHMOND HILL

AREA CALCULATIONS EL-3

GROUND FLOOR COVERAGE = 1077 Sq. Pt.

BARAGE COVERAGE / AREA - 379 Sq. Ft

PORCH COVERAGE / AREA = 73 Sq. Ft

INSPECTION NOTICES - HOUSING

are required to notify the Inspection Section of the liness to inspect at the following construction stages:

A minimum of 2 business days is required. An inspection may be refused if permit documents and a copy of the permit are not present on site. lease refer to other inspection information on the reverse of the permit card.

This review does not exempt the owner.

designer and the builder from complying

by-laws of the City of Richmond Hill and

with all applicable regulations and

the Ontario Building Code.

1077 Sq. Ft

0 Sq. Ft.

0 Sq. Ft.

= 1283 Sq. Ft.

= 2360 Sq. Ft.

= 2360 Sq. FL

1529 Sq. Ft.

142.05 Sq. m.

- 1456 Sq. Ft.

- 135.27 Sq. m.

FIRST FLOOR AREA

ADD OPEN AREAS

SECOND FLOOR AREA

TOTAL FLOOR AREA

ADD FIN. BASEMENT AREA

GROSS FLOOR AREA

COVERAGE W/O PORCH

Rechmend Hill

BUILDING DIVISION 09/22/2022

RECEIVED Per:____joshua.nabua

It is the builder's complete responsibility to ensure that all plans submitted for approvidury comply with the Architectural Guideline and all applicable regulations and requirement including zoning provisions and any provision in the subdivision agreement. The Contri Architect is not responsible in any way it examining or approving site (lotting) plans a working drawings with respect to any zoning a building code or permit matter or that an house can be properly built or located at its let

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of RICHMOND HILL.

2365 11.6m LOTS PINETREE 1 (GR) ELEVATION 1, 2 & 3 A1 PACKAGE O.REG. 332/12

> W Architect Inc. **DESIGN CONTROL REVIEW** FEBRUARY 24, 2022 FINAL IN GGE

É DONTRICTOR SHALL CHECK AND YERFY AL, DIMENSIONE AND KNOMENS ON SITE REPOSE PROCEDEDING MTH CONSTITUCTION. Y DESCRIPTIONS SHALL SE PROMITED TO JAHOIN DES UN ORQU C. PRION TO COMMENCIARIOT DE WORK.

HON OFFICE OFFICE PAY IS NOT REFERNAL FOR THE ACCUPAN FIS, MAY, STRUCTURAL OR ENGINEERING APPORTATION ENGINE HERE DIMENSIAL OFFICE CONTRIBUTION STANTED PROVIDED TO SUPPLY OF A REJUDING A-SMIT. HERE-FOUTH THE APPORTAL E MEMILLENING DRIVENING BLUCKE, PROCILIDING VIEW WORK CONSTRUCTED INVERTIGINALS. HE VEHICL PROFITO POLITING

ARON DESCNOROUTING HAS NOT BEEN RETAINED TO CARRY OUT SHERM BRAVEW OF THE WORK AND ASSUMES NO RESPONSIBLITY OR THE FALLINE OF THE CONTRACTOR ON THE CONTRACTOR TO SHER OUT HE WORK IN ACCORDANCE WITH HIT HE CORTING.

HIS DRIVING IS AN INSTITUMENT OF SERVICE: IS PROVIDED BY AN HE PROPERTY OF JAPONY OF SIGN CROUP MIC. THIS DRIVING IS N

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4	MAY 17, 2021	ISSUED FOR BUILDING PERMIT
3	MAY 12, 2021	COORDINATED ENGINEER & CLIENT COMMENTS
2	MAY 11, 2021	COORDINATED AS PER FLOOR JOIST & ROOF TRUSS DRAWING
,	FEB. 22, 2021	PREPARED TO PRE-COORDINAT STAGE & ISSUED TO CLIENT
No	DATE	WORK DESCRIPTION

VAUGHAN ONT, L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be

a designer QUALIFICATION INFORMATION

QUALIFICATION INFORMATION C. S
Required unless design is expert under Division C. s
125 of the buildings

Walter Botter
NAME

SIGNATORE

REGISTRATION INFORMATION 3.2.4 of the building code 27763 BCIN

ardin design group inc.

IRM NAME

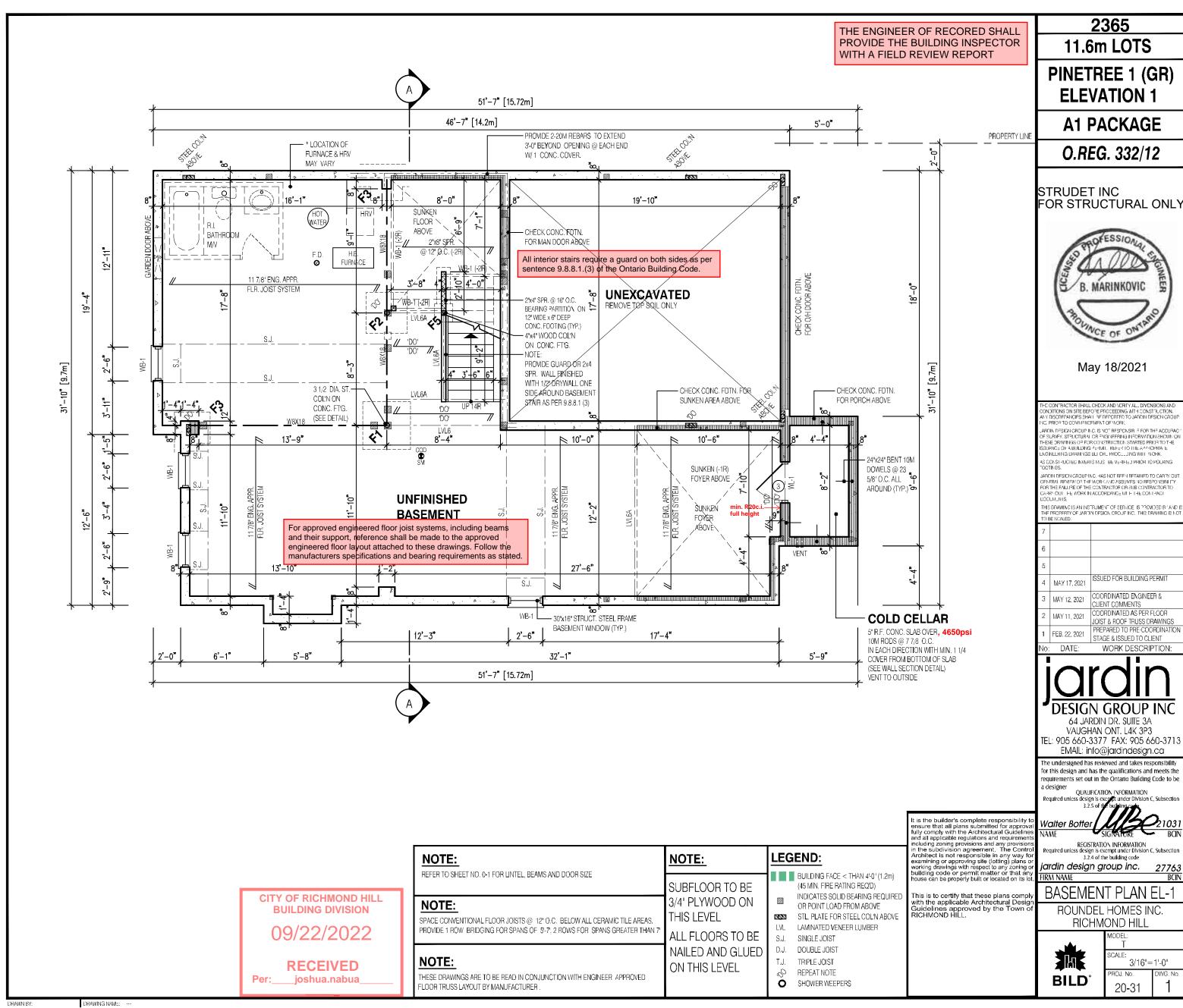
TITLE SHEET ROUNDEL HOMES INC.

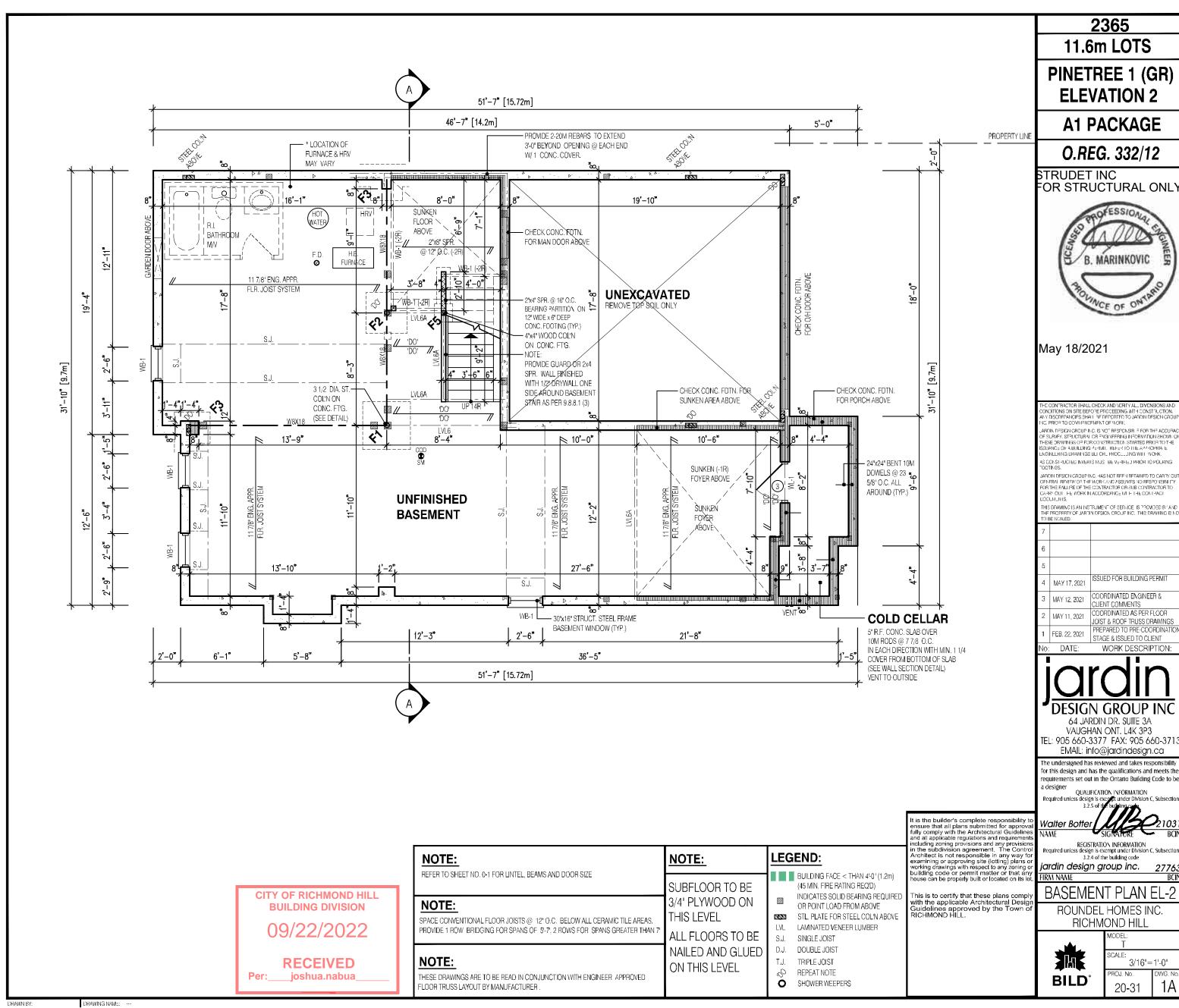
RICHMOND HILL

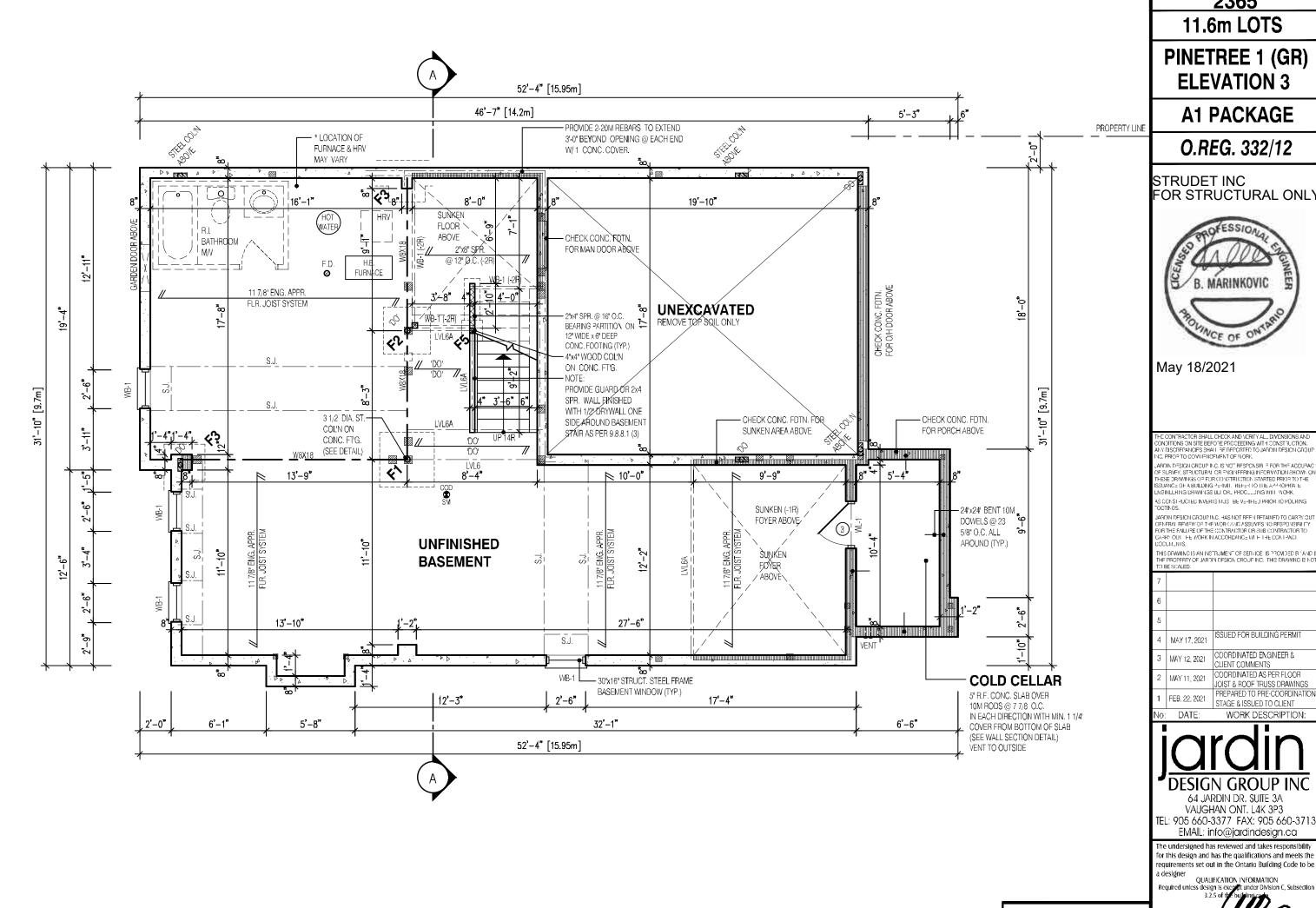


CALE

3/16"=1'-0" 0 20-31







NOTE:

NOTE:

REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE

FLOOR TRUSS LAYOUT BY MANUFACTURER

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED

PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7', 2 ROWS FOR SPANS GREATER THAN 7

LEGEND:

S.J.

D.J.

T.J.

BUILDING FACE < THAN 4'-0' (1.2m)

INDICATES SOLID BEARING REQUIRED

STL. PLATE FOR STEEL COL'N ABOVE

(45 MIN. FIRE RATING REQ'D)

OR POINT LOAD FROM ABOVE

LAMINATED VENEER LUMBER

SINGLE JOIST DOUBLE JOIST

TRIPLE JOIST

REPEAT NOTE

SHOWER WEEPERS

NOTE:

THIS LEVEL

SUBFLOOR TO BE

3/4" PLYWOOD ON

ALL FLOORS TO BE

NAILED AND GLUED

ON THIS LEVEL

It is the builder's complete responsibility ensure that all plans submitted for approving fully comply with the Architectural Guideline and all applicable regulations and requiremen including zoning provisions and any provision in the subdivision agreement. The Contra Architect is not responsible in any way for examining or approving site (lotting) plans of working drawings with respect to any zoning building code or permit matter or that an house can be properly built or located on its let

This is to certify that these plans comp with the applicable Architectural Desig Guidelines approved by the Town c RICHMOND HILL.

BASEMENT PLAN EL-3

REGISTRATION INFORMATION s design is exempt under Division C, Subsection

知YEP1B

2365

11.6m LOTS

A1 PACKAGE

O.REG. 332/12

B. MARINKOVIC

VCE OF O

SSUED FOR BUILDING PERMIT

COORDINATED ENGINEER &

CLIENT COMMENTS

COORDINATED AS PER FLOOR

STAGE & ISSUED TO CLIENT

64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3

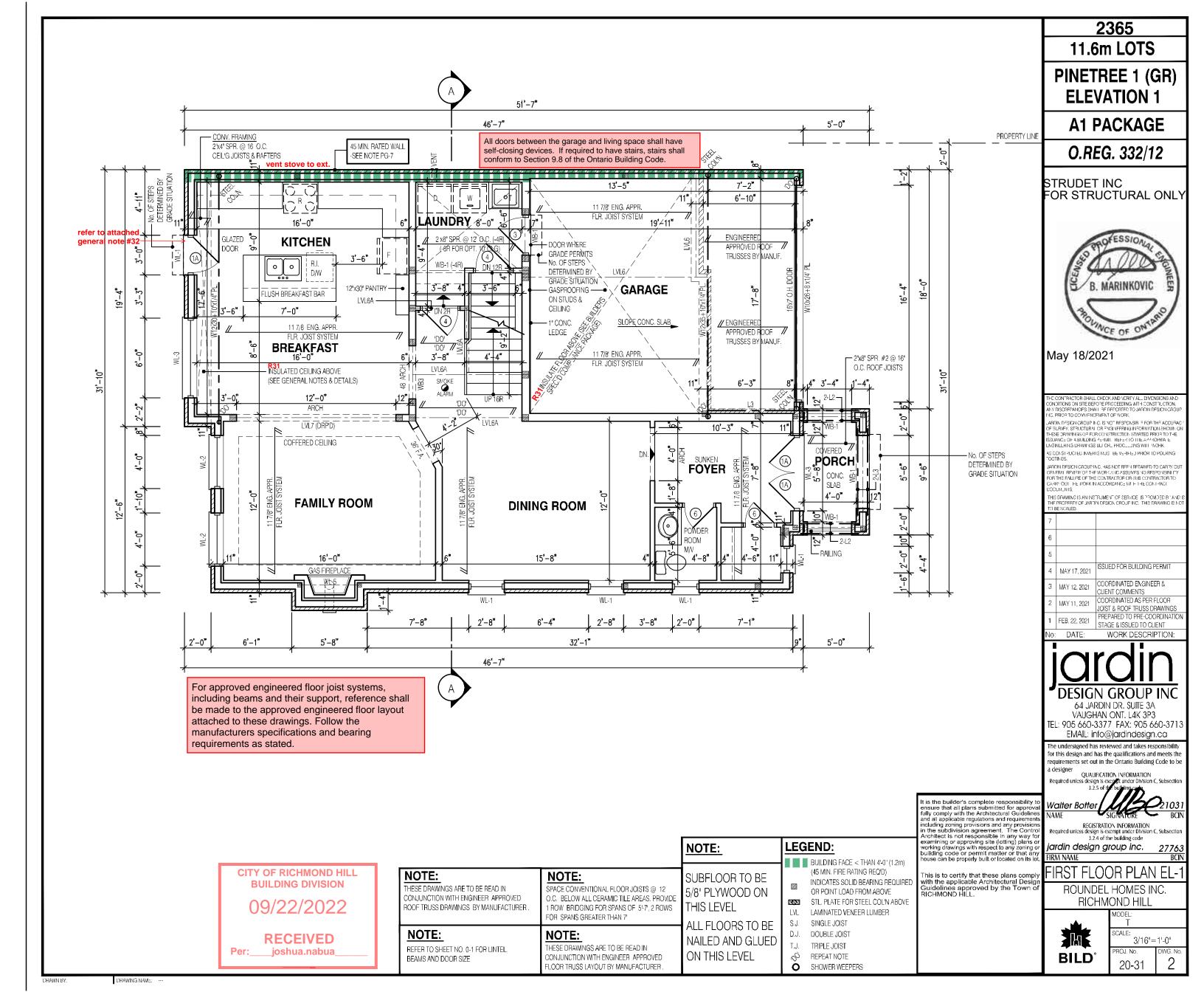
EMAIL: info@jardindesign.ca

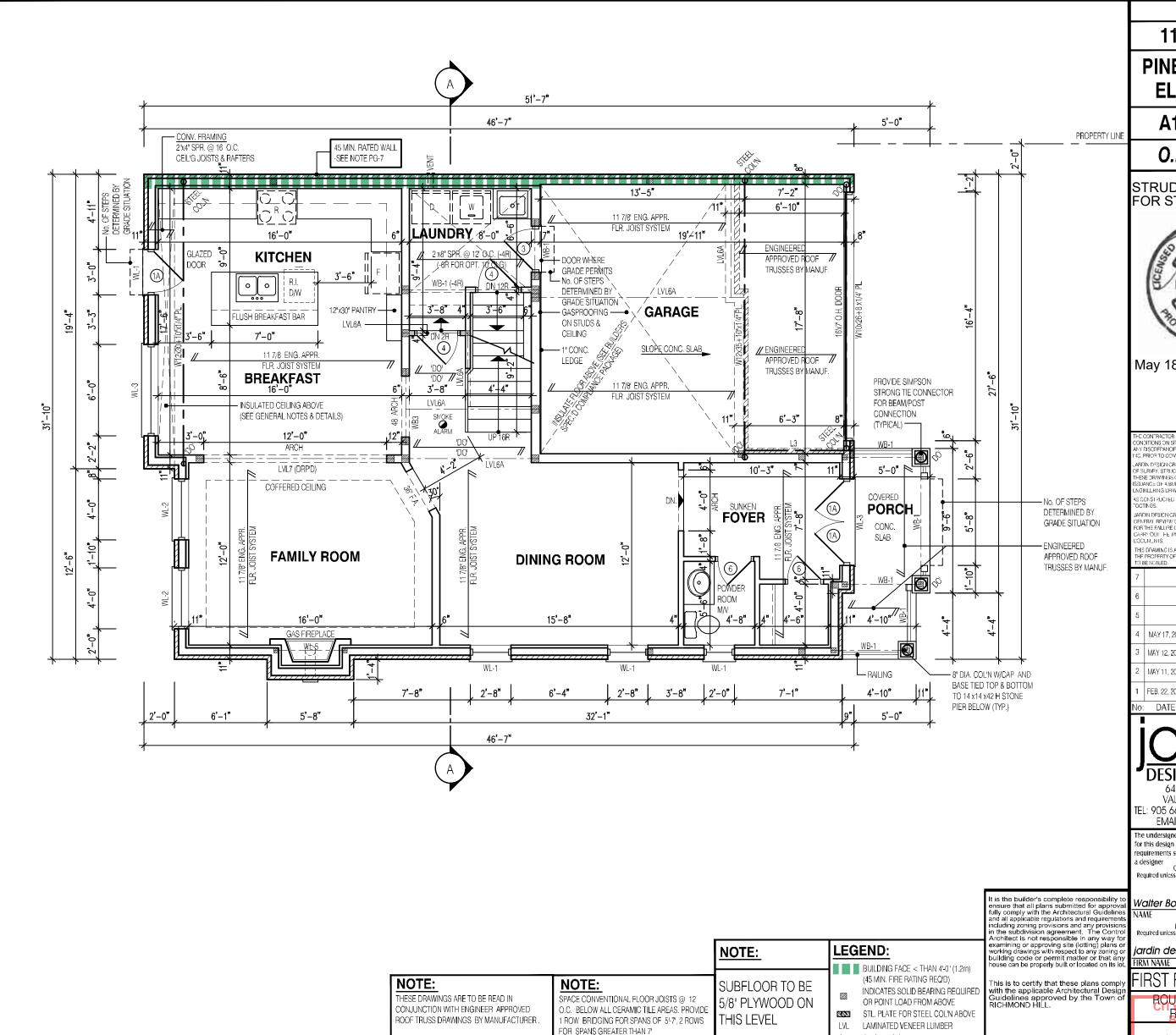
QUALIFICATION_INFORMATION

OIST & ROOF TRUSS DRAWINGS
PREPARED TO PRE-COORDINATIO

BICHMOND HILL 3/16"=1'-0" BILD

jardin design group inc.





2365 11.6m LOTS

PINETREE 1 (GR) ELEVATION 2

A1 PACKAGE

O.REG. 332/12

STRUDET INC FOR STRUCTURAL ONL'



May 18/2021

MARDIN DESIGN CROUP INC. HAS NOT BEEN RETAINED TO CARRY O SENERAL REVIEW OF THE WORK AND ASSIVES NO RESPONSIBILITY OF THE SOLNEADTHOUGH OR BUS CONTRACTION TO ARRY OUT HE AND KIND ACCORDANCE VILLE HELD CONTRACTION OF SUB-

THIS DRAWING IS AN INSTRUMENT OF SERVICE IS PROVIDED BY AND THE PROPERTY OF JARDIN DESIGN CROUP INC. THIS DRAWING IS NOT DIS SCALED.

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	4	MAY 17, 2021	ISSUED FOR BUILDING PERMIT
ı	3	MAY 12, 2021	COORDINATED ENGINEER & CLIENT COMMENTS
I	2	MAY 11, 2021	COORDINATED AS PER FLOOR JOIST & ROOF TRUSS DRAWINGS
	1	FEB. 22, 2021	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT

WORK DESCRIPTION:

DESIGN GROUP INC

64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the equirements set out in the Ontario Building Code to be

QUALIFICATION_INFORMATION Required unless design is exc 3.2.5 of th

REGISTRATION INFORMATION s design is exempt under Division C, Subsection

jardin design group inc.

FIRST FLOOR PLAN EL-2 BICHMOND HILL

3/16"=1'-0" BILD 题》手中2A

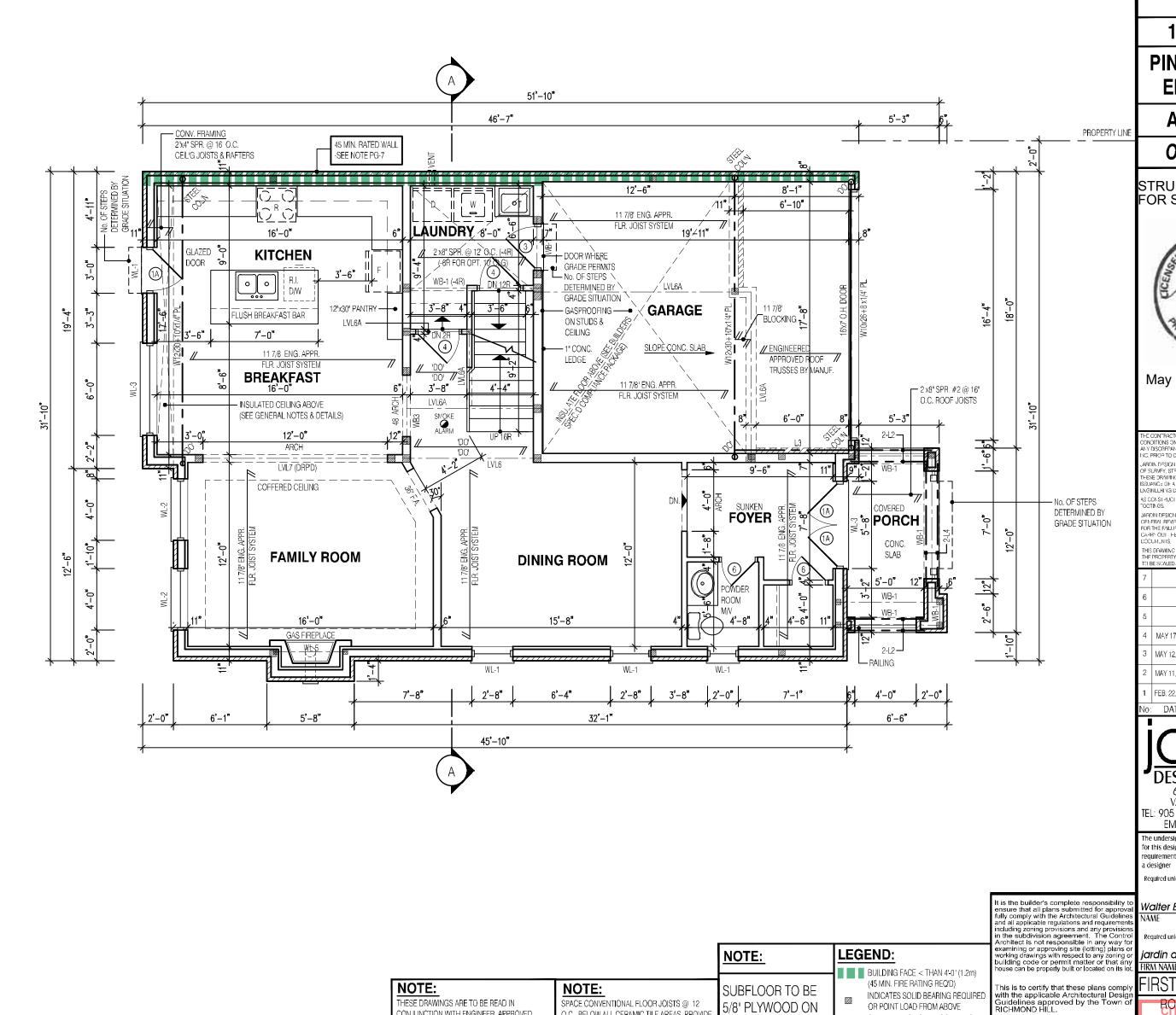
NOTE:

NOTE: THESE DRAWINGS ARE TO BE READ IN REFER TO SHEET NO. 0-1 FOR LINTEL. CONJUNCTION WITH ENGINEER APPROVED BEAMS AND DOOR SIZE FLOOR TRUSS LAYOUT BY MANUFACTURER

ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

S.J. SINGLE JOIST DJ

DOUBLE JOIST TRIPLE JOIST



2365 11.6m LOTS

PINETREE 1 (GR) ELEVATION 3

A1 PACKAGE

O.REG. 332/12

STRUDET INC FOR STRUCTURAL ONLY



May 18/2021

ARDIN DESIGN CROUP INC. HAS NOT BEEN RETAINED TO CARRY O SEKERAL REVIEW OF THE WORK AND ASSIVES NO RESPONSIBILITY OF THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO ARRY OUT THE WORK IN ACCORDANCE WILLE THE CONTRACT OCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE IS PROVIDED BY AND THE PROPERTY OF JARDIN DESIGN CROUP INC. THIS DRAWING IS NOT TO BE SCALED.

6		
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REGISTRATION INFORMATION s design is exempt under Division C, Subsection

jardin design group inc.

FIRM NAME

FIRST FLOOR PLAN EL-3

BICHMOND HILL 3/16"=1'-0" BILD **₽** 2B 20-31E

THESE DRAWINGS ARE TO BE READ IN

REFER TO SHEET NO. 0-1 FOR LINTEL.

NOTE:

BEAMS AND DOOR SIZE

CONJUNCTION WITH ENGINEER APPROVED.

ROOF TRUSS DRAWINGS BY MANUFACTURER

SPACE CONVENTIONAL FLOOR JOISTS @ 12 O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7', 2 ROWS FOR SPANS GREATER THAN 7'

NOTE: THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER

5/8" PLYWOOD ON THIS LEVEL

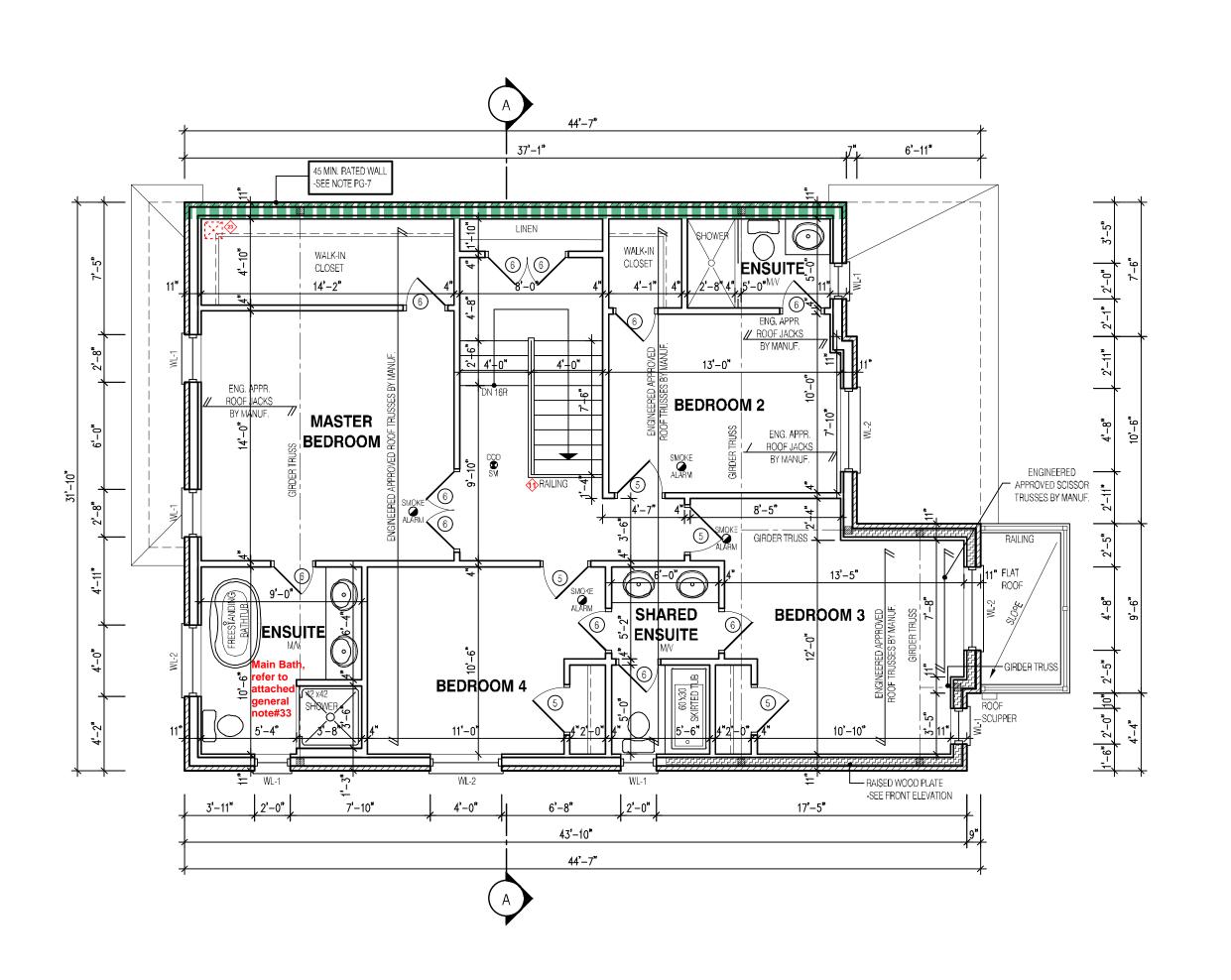
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE STL. PLATE FOR STEEL COL'N ABOVE LAMINATED VENEER LUMBER SINGLE JOIST DOUBLE JOIST DJ

TRIPLE JOIST

REPEAT NOTE Ò SHOWER WEEPERS

DRAWING NAME:



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LEGEND:

LVL

S.J.

DJ

BUILDING FACE < THAN 4'-0' (1.2m)

(45 MIN. FIRE RATING REQ'D)

LAMINATED VENEER LUMBER

SINGLE JOIST DOUBLE JOIST

TRIPLE JOIST

REPEAT NOTE

O SHOWER WEEPERS

INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE

STL. PLATE FOR STEEL COL'N ABOVE

This is to certify that these plans comp with the applicable Architectural Desig Guidelines approved by the Town o RICHMOND HILL.

11.6m LOTS **PINETREE 1 (GR) ELEVATION 1**

2365

A1 PACKAGE

O.REG. 332/12

STRUDET INC FOR STRUCTURAL ONLY



May 18/2021

CONTROS.

JARDIN DESIGN CROUP INC. HAS NOT BEEN BETAINED TO CARRY OF DENERAL BEVIEW OF THE WORK AND ASSUMES NO BESSONSBILLY FOR THE FAULUE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARPY OUT. HE WORK IN ACCORDANCE WILE THE CONTRACT JOCUMENTS.

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6		
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4	MAY 17, 2021	ISSUED FÖR BUILDING PERMIT
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1	FEB. 22, 2021	PREPARED TO PRE-COORDINA' STAGE & ISSUED TO CLIENT

WORK DESCRIPTION:



64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be

QUALIFICATION_INFORMATION Required unless design is ex-3.2.5 of th

REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc.

FIRM NAME

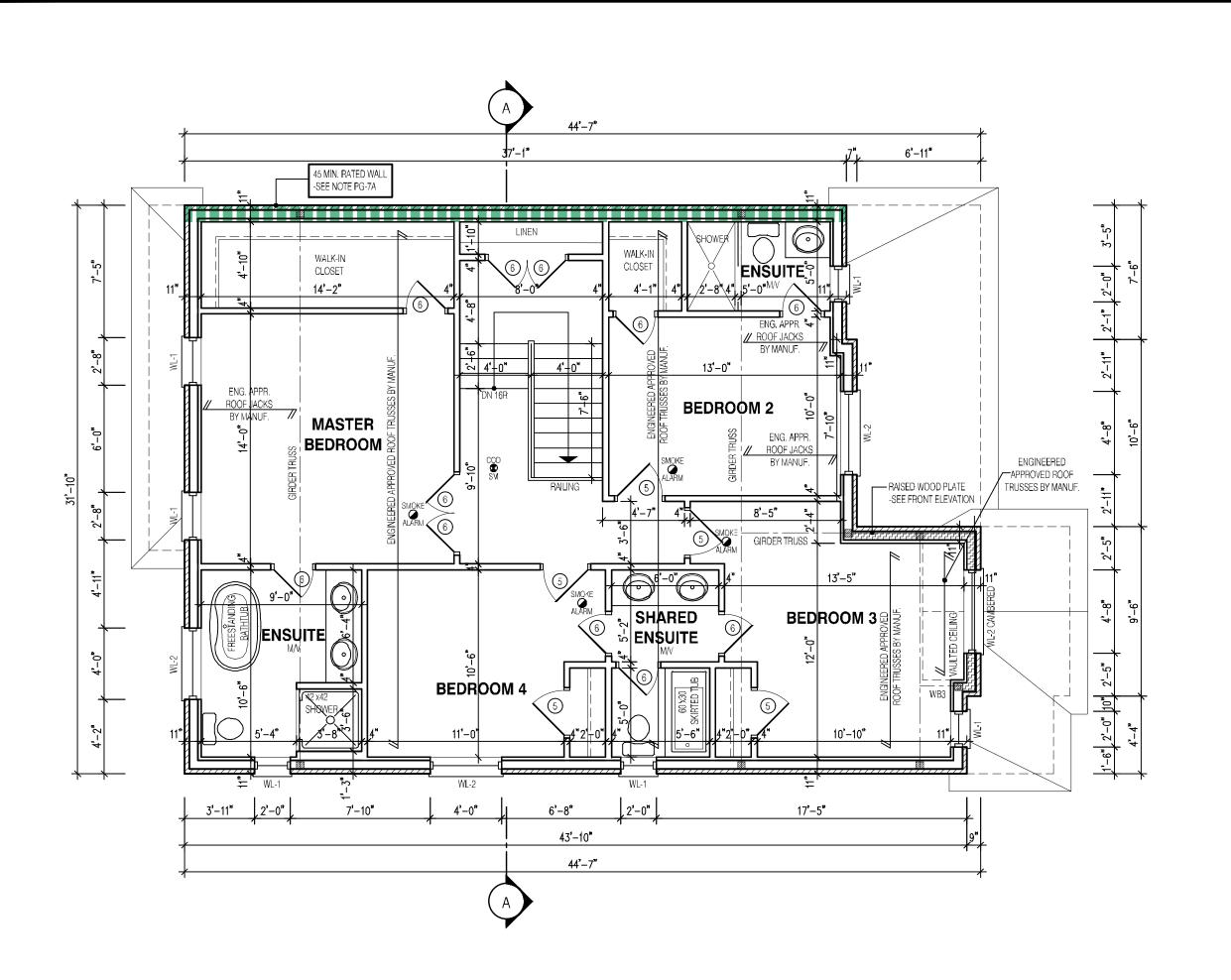
SEC. FLOOR PLAN EL-1

BICHMOND HILL 3/16"=1'-0" BILD

20-31E

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.



LEGEND:

LVL

S.J.

DJ

BUILDING FACE < THAN 4'-0' (1.2m)

(45 MIN. FIRE RATING REQ'D)

LAMINATED VENEER LUMBER

SINGLE JOIST DOUBLE JOIST

TRIPLE JOIST

REPEAT NOTE

O SHOWER WEEPERS

INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE

STL. PLATE FOR STEEL COL'N ABOVE

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FIRM NAME

SEC. FLOOR PLAN EL-2

RICHMOND HILL

NOTE:

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2365 11.6m LOTS

PINETREE 1 (GR) ELEVATION 2

A1 PACKAGE

O.REG. 332/12

STRUDET INC FOR STRUCTURAL ONLY



May 18/2021

FE CONTRACTOR SHALL CHECK AND VERIFY ALL DIVENSIONS AND ON ONTRACTOR SHALL CHECK AND VERIFY ALL DIVENSIONS AND ON ON THE BEFONE PROCEEDING WITH CONSTRUCTION. BY DISCREPANCIES SHALL BE REPORTED TO JARICHIN DESIGN CRO

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	4	MAY 17, 2021	ISSUED FOR BUILDING PERMIT
	3	MAY 12, 2021	COORDINATED ENGINEER & CLIENT COMMENTS
	2	MAY 11, 2021	COORDINATED AS PER FLOOR JOIST & ROOF TRUSS DRAWINGS
ı	1	EER 22 2021	PREPARED TO PRE-COORDINATION

STAGE & ISSUED TO CLIENT

FEB. 22, 2021



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QUALIFICATION INFORMATION

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Walter Botter SigNature

REGISTRATION INFORMATION
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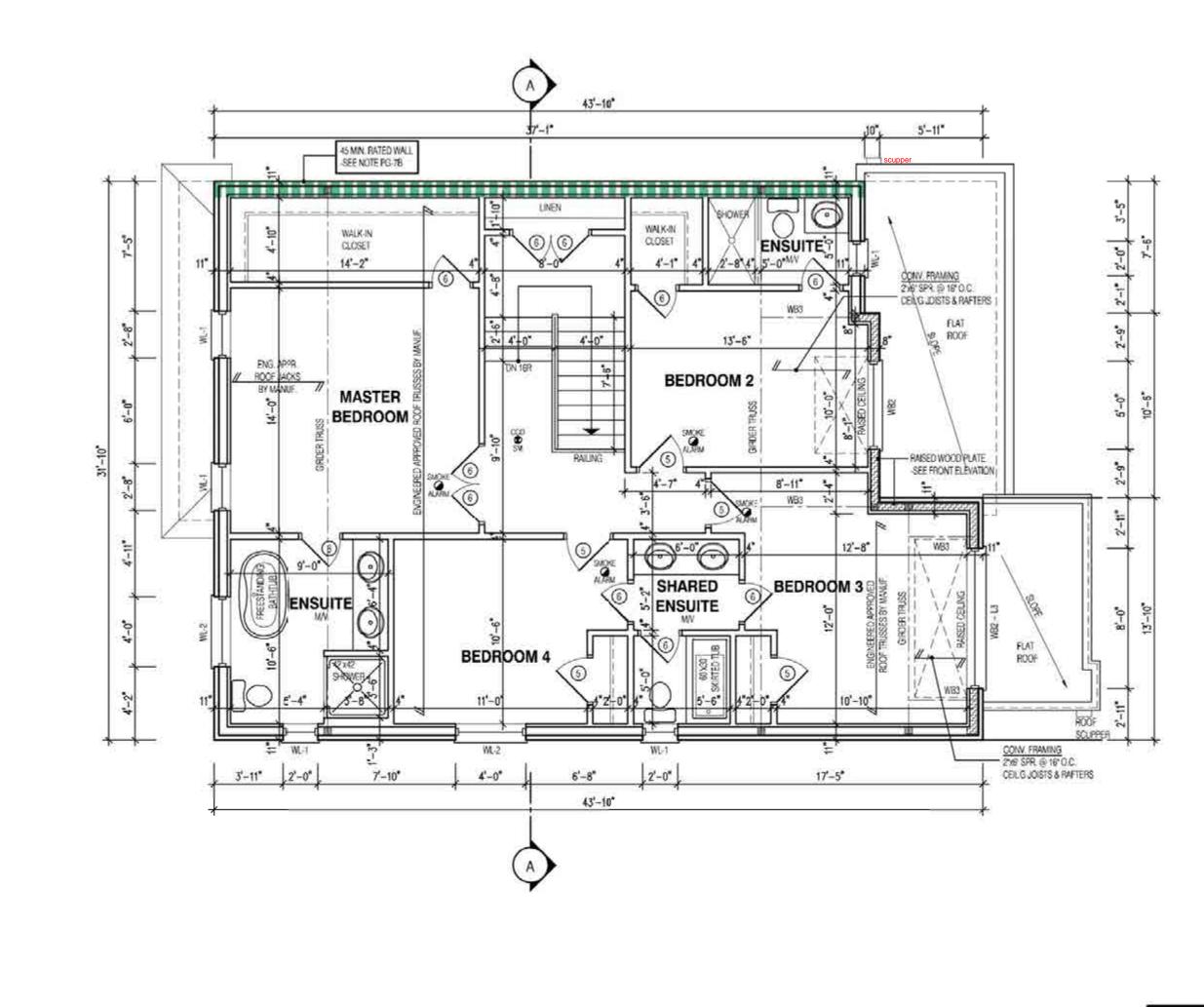
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jardin design group inc.

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3/16"=1'-0"

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PINETREE 1 (GR) ELEVATION 3

A1 PACKAGE

O.REG. 332/12

STRUDET INC FOR STRUCTURAL ONLY



May 18/2021

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Jardin DESIGN GROUP INC

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1.2.5 of the building code.

Walter Botter Signatore 210

RECISTRATION INFORMATION
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3.2.4 of the building code

jardin design group inc.

SEC. FLOOR PLAN EL-3

ROUNDEL HOMES INC. RICHMOND HILL

BILD

MINIST OF RICHMO
BUILDING DIVI
SCALE:
PRODE / ZDIZGNIZ

20-31 3B

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NOTE:

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LEGEND:

TAT

D.J.

BUILDING FACE < THAN 4-0" (1.2m)

SINGLE JOIST

DOUBLE JOIST

TRIPLE JOIST

O SHOWER WEEPERS

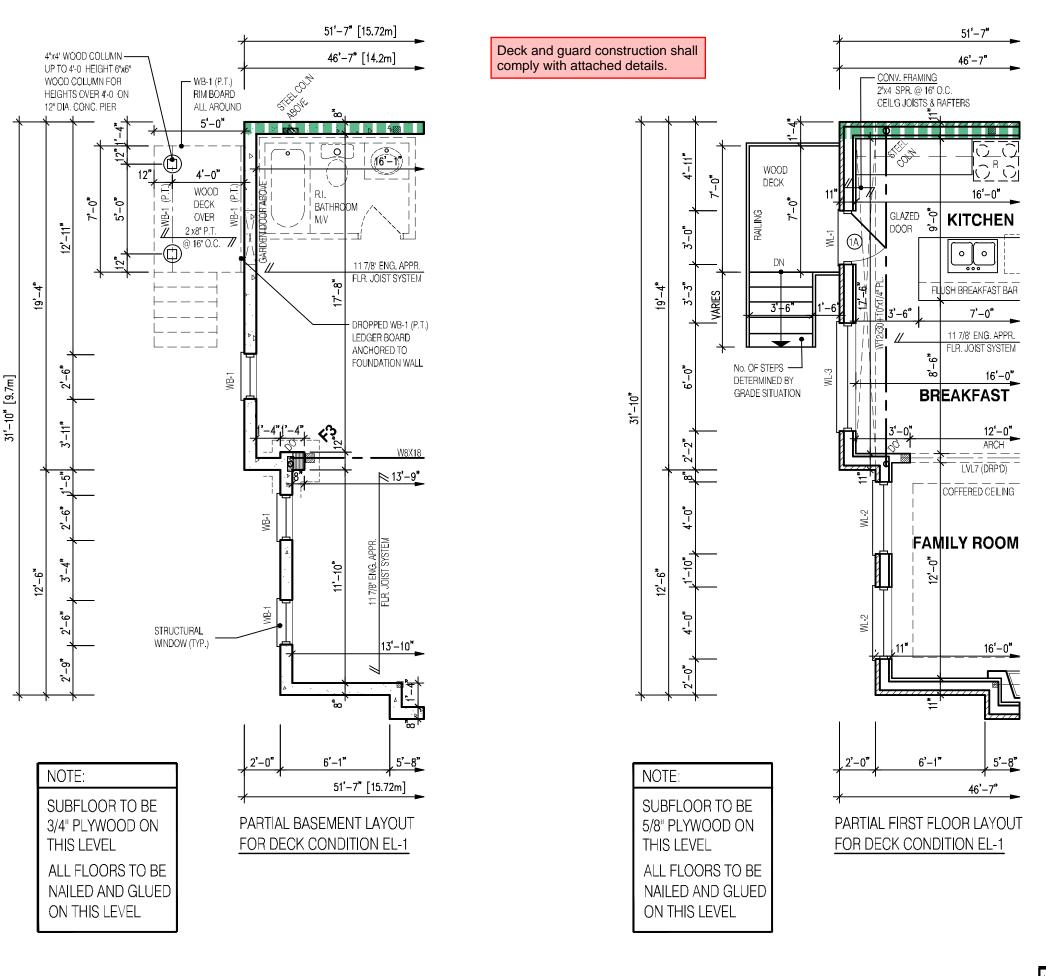
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DELAWING NAME: -

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Per:____joshua.nabua



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FIRM NAME **DECK CONDITION EL-1**

jardin design group inc.

2365

11.6m LOTS

PINETREE 1 (GR)

ELEVATION 1

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O.REG. 332/12

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MAY 17, 2021

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FEB. 22, 2021

DATE:

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SSUED FOR BUILDING PERMIT

COORDINATED ENGINEER &

COORDINATED AS PER FLOOR

STAGE & ISSUED TO CLIENT

DESIGN GROUP INC

64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3

TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibilit

requirements set out in the Ontario Building Code to be QUALIFICATION_INFORMATION

REGISTRATION INFORMATION design is exempt under Division C, Subsection

548E 3-1

OIST & ROOF TRUSS DRAWINGS
PREPARED TO PRE-COORDINATIO

May 18/2021

FOR STRUCTURAL ONLY

STRUDET INC

RICHMOND HILL 3/16"=1'-0" BILD

NOTE:

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED. (FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)

NOTE:

NOTE:

REFER TO SHEET NO. 0 - FOR LINTEL, BEAMS AND DOOR SIZE

ROOF TRUSS DRAWINGS BY MANUFACTURER

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED

NOTE:

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER

SPACE CONVENTIONAL FLOOR JOISTS @ 12 O.C. BELOW ALL CERAMIC TILE AREAS.

PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7', 2 ROWS FOR SPANS GREATER THAN 7

DRAWING NAME:

SHOWER WEEPERS

BUILDING FACE < THAN 4'-0' (1.2m) (45 MIN. FIRE RATING REQ'D)

INDICATES SOLID BEARING REQUIRED

STL. PLATE FOR STEEL COL'N ABOVE

OR POINT LOAD FROM ABOVE

LAMINATED VENEER LUMBER

SINGLE JOIST

DOUBLE JOIST

TRIPLE JOIST

REPEAT NOTE

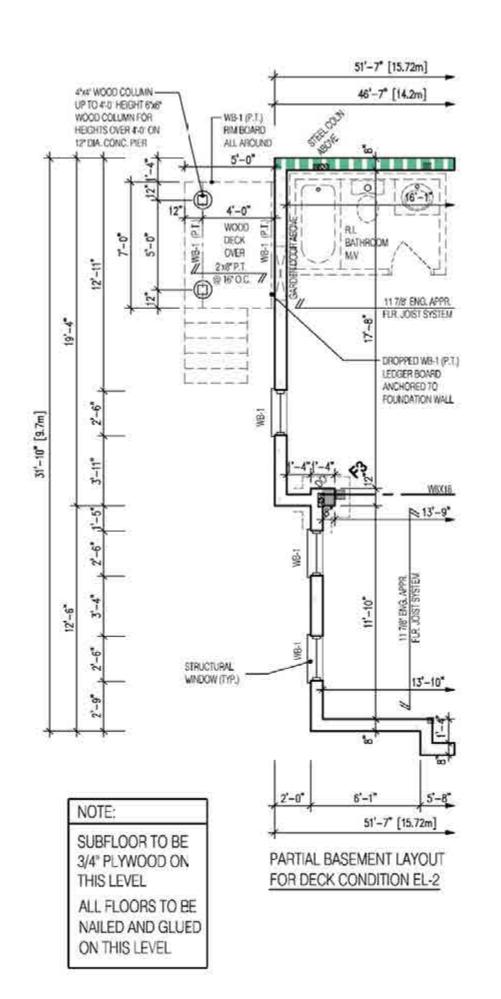
LEGEND:

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LVL

D.J.

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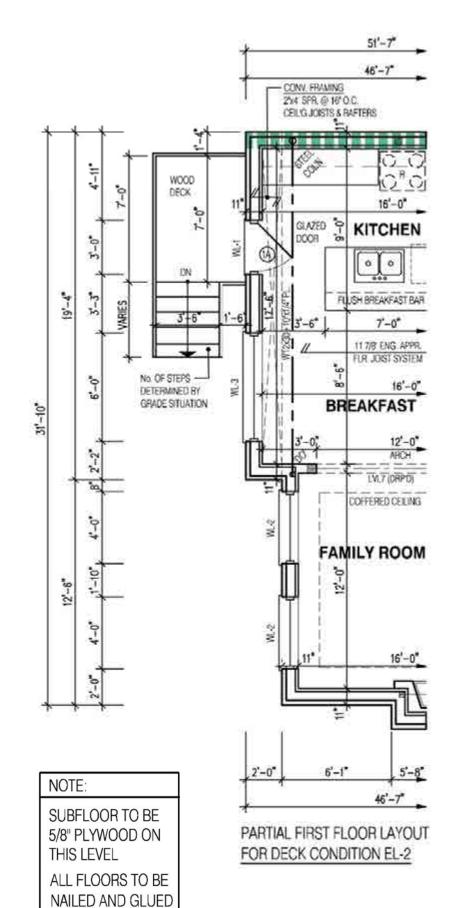


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PINETREE 1 (GR) ELEVATION 2

A1 PACKAGE

O.REG. 332/12

STRUDET INC FOR STRUCTURAL ONLY



May 18/2021

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Jardin DESIGN GROUP INC

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QUALIFICATION INFORMATION

Required unless design is except under Division C. Subsect

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REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsecto
12.4 of the building code

jardin design group inc.

DECK CONDITION EL-2

ROUNDEL HOMES INC. RICHMOND HILL

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BUILDING DIVISION
ALE:
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20-31 3A-1

ON THIS LEVEL

NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12 O.C. BELOW ALL CERAMIC TILE AREAS.

(45 MIN. FIRE RATING REQUIRED OR POINT LOAD FROM ABOVE STL. PLATE FOR STEEL COLIN ABOVE

LEGEND:

TRIPLE JOIST

REPEAT NOTE

SHOWER WEEPERS

BUILDING FACE < THAN 4-0" (1.2m)

PROVIDE 1 FOW BRIDGING FOR SPANS OF 5-7, 2 ROWS FOR SPANS GREATER THAN 7

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S.J. SINGLE JOIST
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HAWNG NAME: -

WHEN VENEER CUT IS GREATER THAN

26" A 10" POURED CONC. FOUNDATION

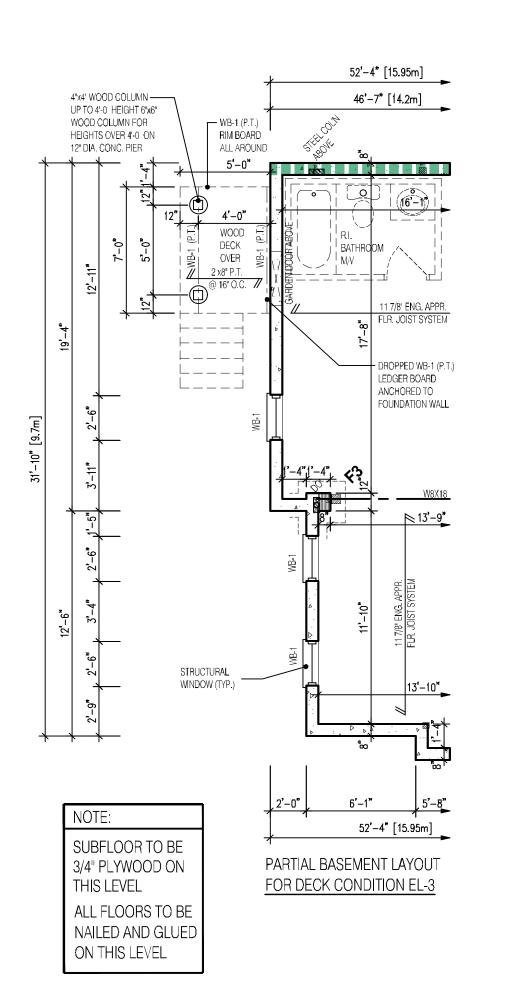
WALL IS REQUIRED. (FOUNDATION PLAN

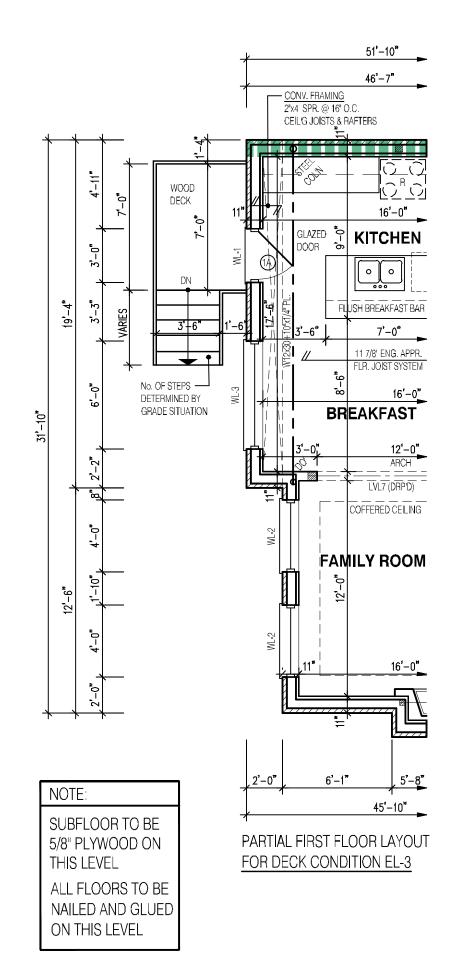
TO BE REVIEWED IN CONJUNCTION WITH

NOTE:

SITE PLAN)

RECEIVED
Per:____joshua.nabua





LEGEND:

NOTE: REFER TO SHEET NO. 0 - FOR LINTEL, BEAMS AND DOOR SIZE

ROOF TRUSS DRAWINGS BY MANUFACTURER

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2365 11.6m LOTS

ELEVATION 3

A1 PACKAGE

O.REG. 332/12

STRUDET INC FOR STRUCTURAL ONLY



May 18/2021

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STAGE & ISSUED TO CLIENT DATE:

DESIGN GROUP INC

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REGISTRATION INFORMATION s design is exempt under Division C, Subsectio

jardin design group inc.

FIRM NAME

DECK CONDITION EL-3

BICHMOND HILL 3/16"=1'-0"

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DRAWING NAME:

SITE PLAN)

NOTE:

WHEN VENEER CUT IS GREATER THAN

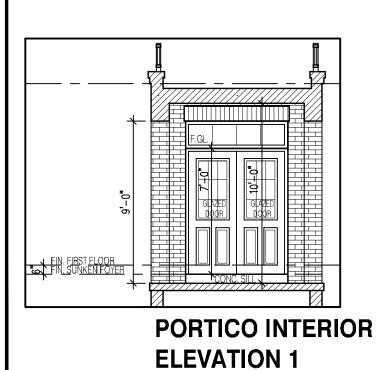
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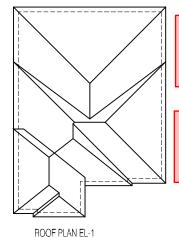
WALL IS REQUIRED. (FOUNDATION PLAN

TO BE REVIEWED IN CONJUNCTION WITH



FRONT ELEVATION 1





Attic ventilation min. 1 square foot / 300 square foot of ceiling area. Locate 50% of ventilation near ridge.

Refer to approved truss drawings for roof framing layout and specifications for correct bearing, uplift and anchorage.

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2365 11.6m LOTS

PINETREE 1 (GR) **ELEVATION 1**

A1 PACKAGE

O.REG. 332/12



FINAL BY: GGE

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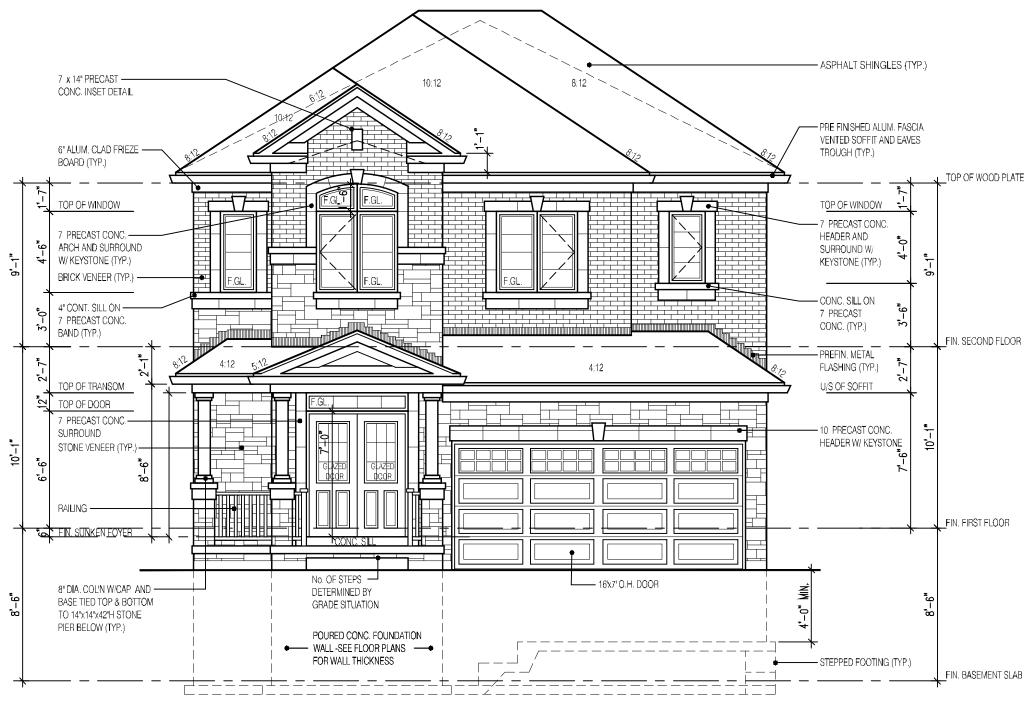
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REGISTRATION INFORMATION
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3.2.4 of the building code jardin design group inc.

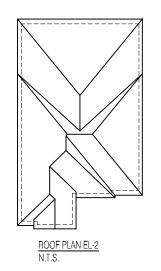
FRONT ELEVATION 1

BICHMOND HILL 3/16"=1'-0"

BILD



FRONT ELEVATION 2



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2365 11.6m LOTS

PINETREE 1 (GR) ELEVATION 2

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O.REG. 332/12



FINAL BY: GGE

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Walter Botter Signature

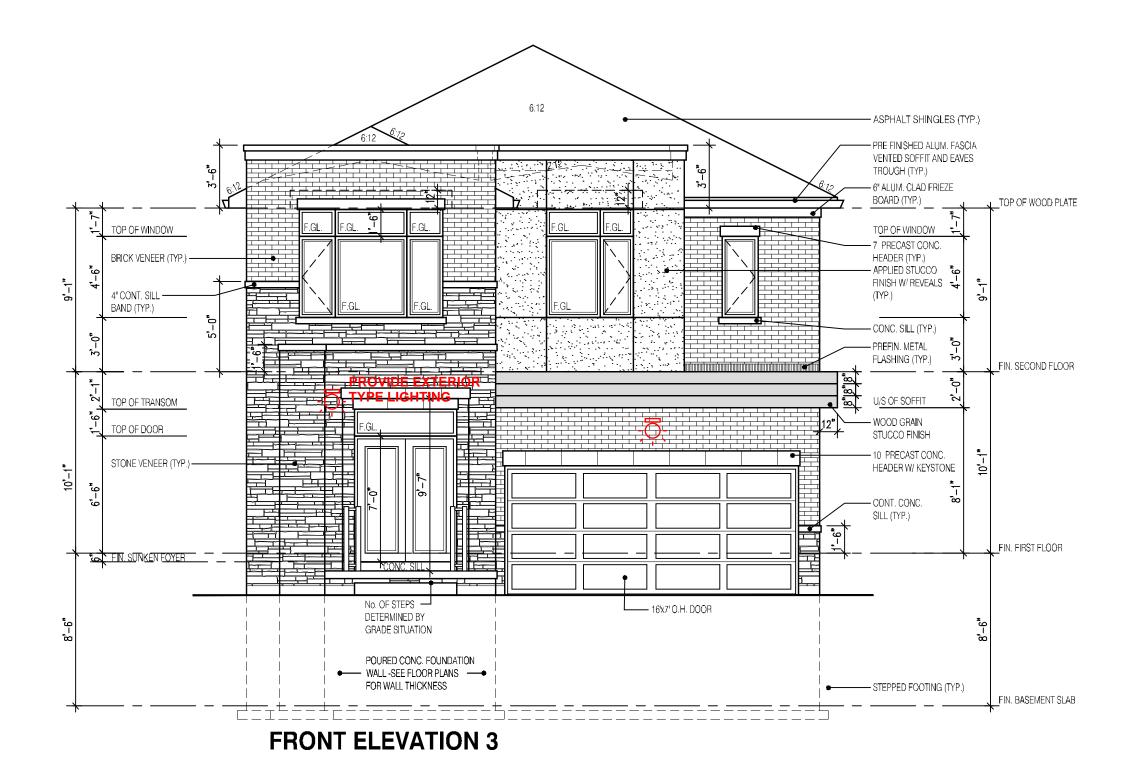
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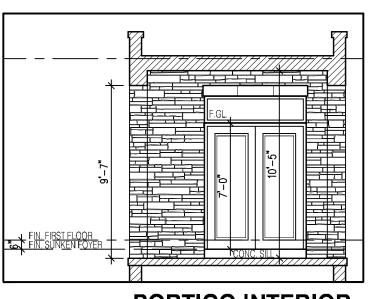
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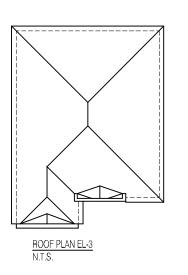
FRONT ELEVATION 2

ROUNDEL HOMES INCHIL BICHMOND HILL









PORTICO INTERIOR ELEVATION 3

CITY OF RICHMOND HILL BUILDING DIVISION 09/22/2022

RECEIVED Per:____joshua.nabua It is the builder's complete responsibility ensure that all plans submitted for approviable comply with the Architectural Guideline and all applicable regulations and requiremen including zoning provisions and any provision in the subdivision agreement. The Contra Architect is not responsible in any way for examining or approving site (lotting) plans of working drawings with respect to any zoning building code or permit matter or that an house can be properly built or located on its let

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W Architect Inc. **DESIGN CONTROL REVIEW**

FEBRUARY 24, 2022

FINAL BY: GGE

2365

11.6m LOTS

PINETREE 1 (GR)

ELEVATION 3

A1 PACKAGE

O.REG. 332/12

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4	MAY 17, 2021	ISSUED FOR BUILDING PERMIT
3	MAY 12, 2021	COORDINATED ENGINEER & CLIENT COMMENTS
2	MAY 11, 2021	COORDINATED AS PER FLOOR JOIST & ROOF TRUSS DRAWINGS
1	FEB. 22, 2021	PREPARED TO PRE-COORDINATI STAGE & ISSUED TO CLIENT



64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be

a designer

QUALIFICATION INFORMATION

Required unless design is except funder Division C, St

3.2.5 of the building code.

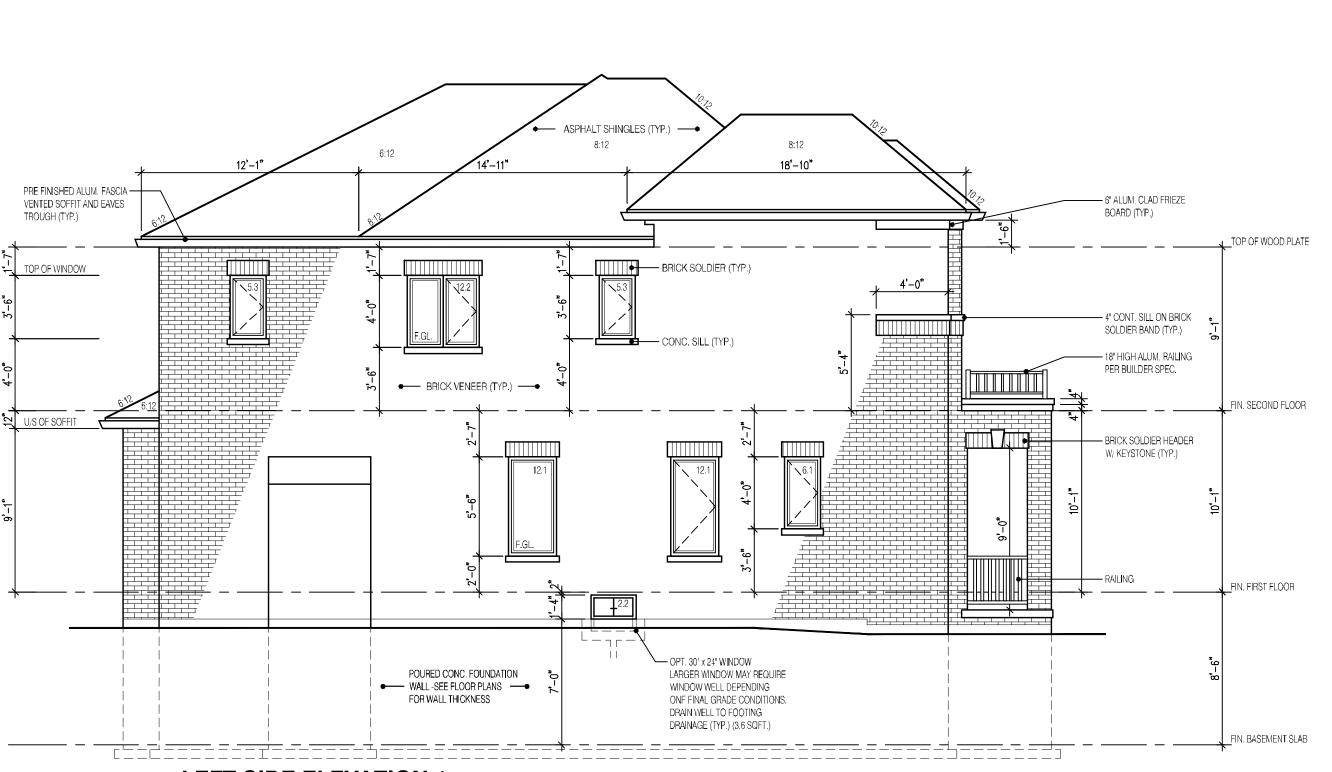
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsectio
3.2.4 of the building code

jardin design group inc.

FRONT ELEVATION 3 ROUNDEL HOMES INC.

BILD

RICHMOND HILL 3/16"=1'-0" 4B 20-31



LEFT SIDE ELEVATION 1

STANDARD 9'-0" CEILING

UNPROTECTED OPENINGS

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

WALL AREA	972	ф
ALLOWABLE WINDOW AREA @ 7.0% (1.2m SIDEYARD)	68.04	ф
ACTUAL GLAZED AREA	55.3	ф

WITH OPTIONAL 30"x24" BASEMENT WINDOWS **ACTUAL GLASS AREA**

56.7 **中**

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2365 11.6m LOTS

PINETREE 1 (GR) ELEVATION 1

A1 PACKAGE

O.REG. 332/12



FINAL BY: GGE

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QUALIFICATION INFORMATION

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3.2.4 of the building code

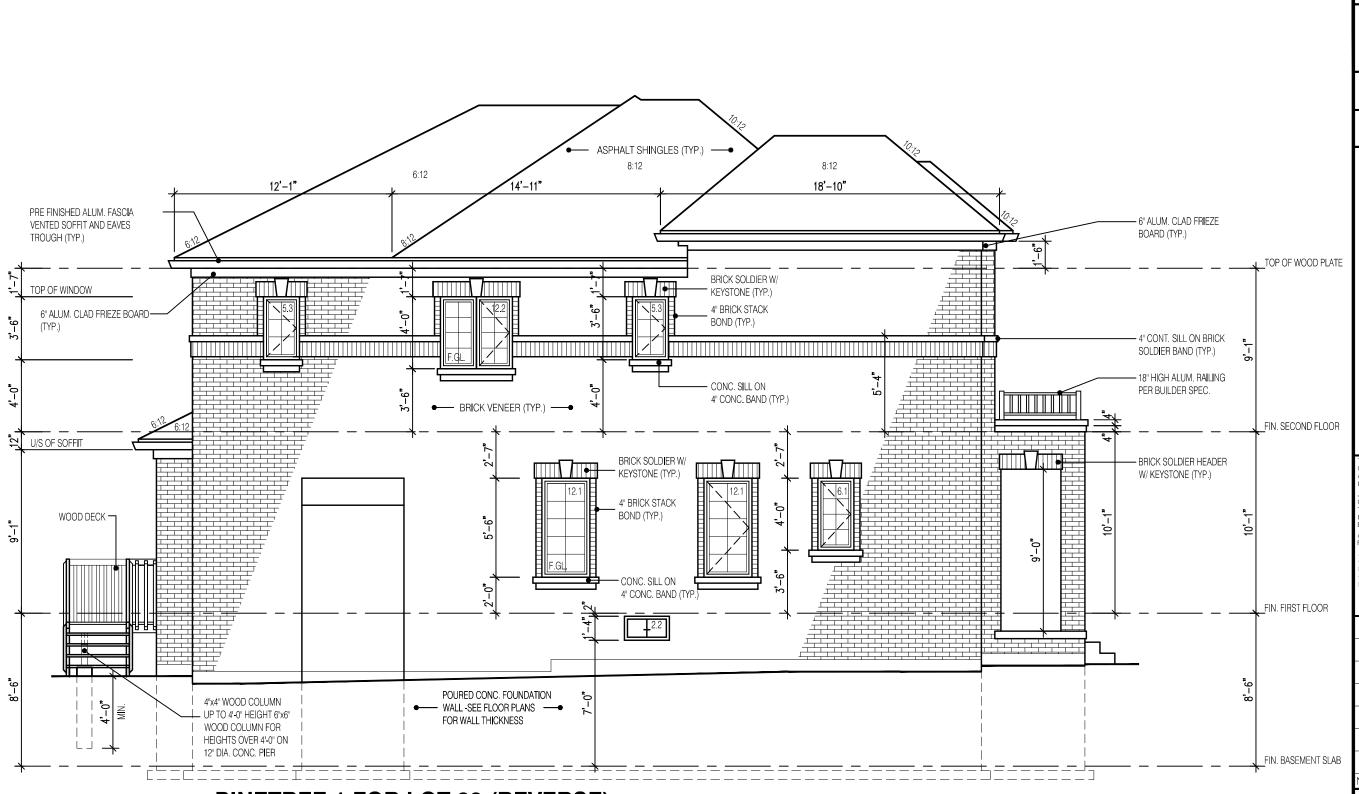
jardin design group inc.

IRM NAME

SIDE ELEVATION 1

RICHMOND HILL 3/16"=1'-0"





PINETREE 1 FOR LOT 23 (REVERSE) LEFT SIDE UPGRADE ELEVATION 1

STANDARD 9'-0" CEILING

UNPROTECTED OPENINGS

994 ф ALLOWABLE WINDOW AREA @ 7.0% (1.2m SIDEYARD) 69.58 ф 55.3 **ACTUAL GLAZED AREA**

This is to certify that these plans comply with the applicable Architectural Desigr Guidelines approved by the Town of RICHMOND HILL.

2365 **11.6m LOTS**

PINETREE 1 (GR) ELEVATION 1

A1 PACKAGE

O.REG. 332/12



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	5	MAR. 10, 2022	ADDED TO SET LOT 23 UPGRADE; ISSUED TO CLIENT
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	No:	DATE:	WORK DESCRIPTION:

64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-371 EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility OLIALIFICATION INFORMATION

Walter Botter SIGNATURE REGISTRATION INFORMATION

jardin design group inc.

FIRM NAME SIDE ELEVATION

ROUNDEL HOMES INC RICHMOND HILL

RICHMOND 3/16"=1'-0"

2 pwg. p 5-1 BILD 20-31

RECEIVED Per:____joshua.nabua



LEFT SIDE ELEVATION 2

STANDARD 9'-0" CEILING

UNPROTECTED OPENINGS

WALL AREA 946 ф ALLOWABLE WINDOW AREA @ 7.0% (1.2m SIDEYARD) 66.22 ф **ACTUAL GLAZED AREA** 55.3

WITH OPTIONAL 30"x24" BASEMENT WINDOWS

ACTUAL GLASS AREA 56.7 **中**

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2365 11.6m LOTS

PINETREE 1 (GR)

A1 PACKAGE

ELEVATION 2

O.REG. 332/12



FINAL BY: GGE

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QUALIFICATION INFORMATION

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Division

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.4 of the building code jardin design group inc.

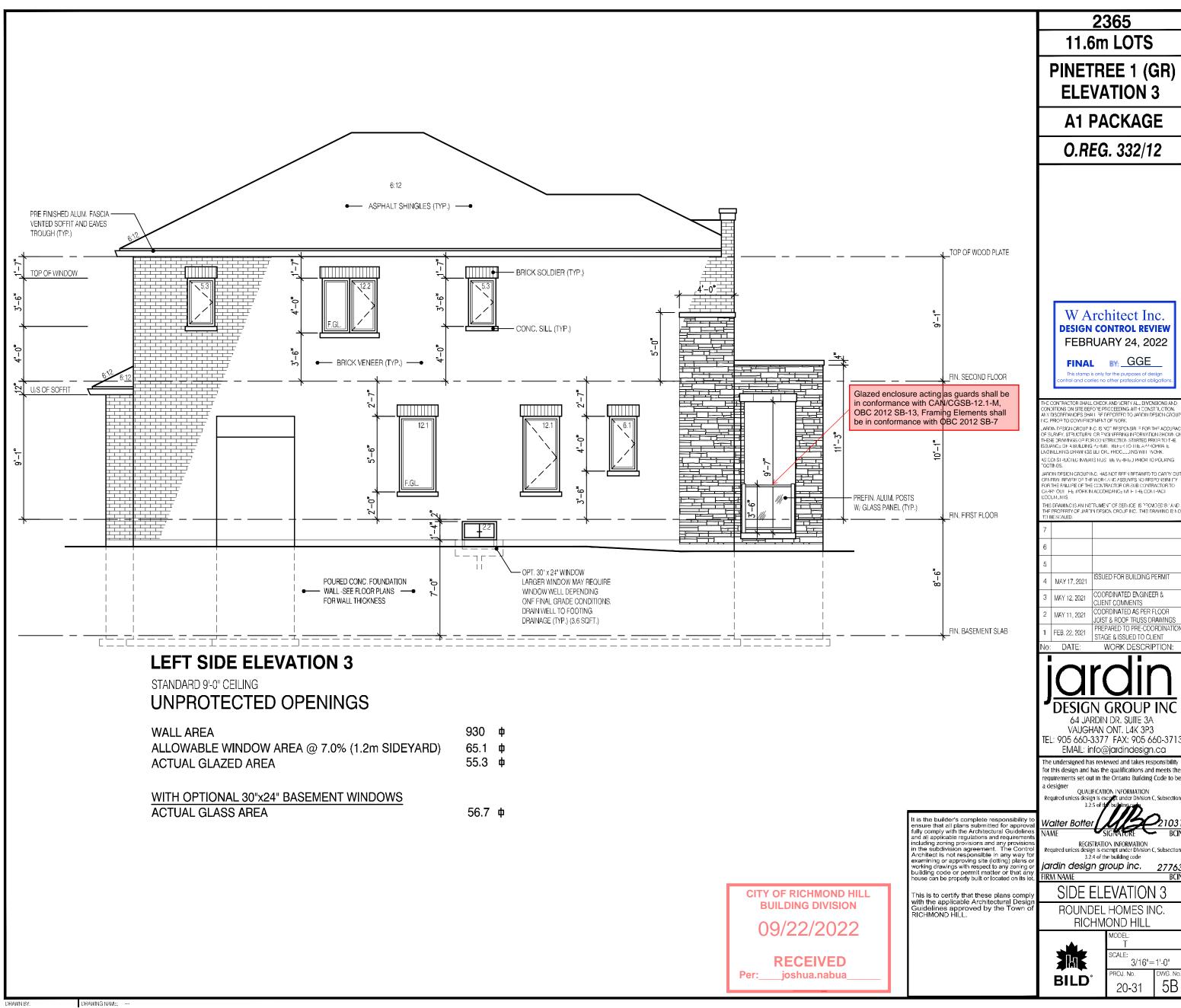
IRM NAME

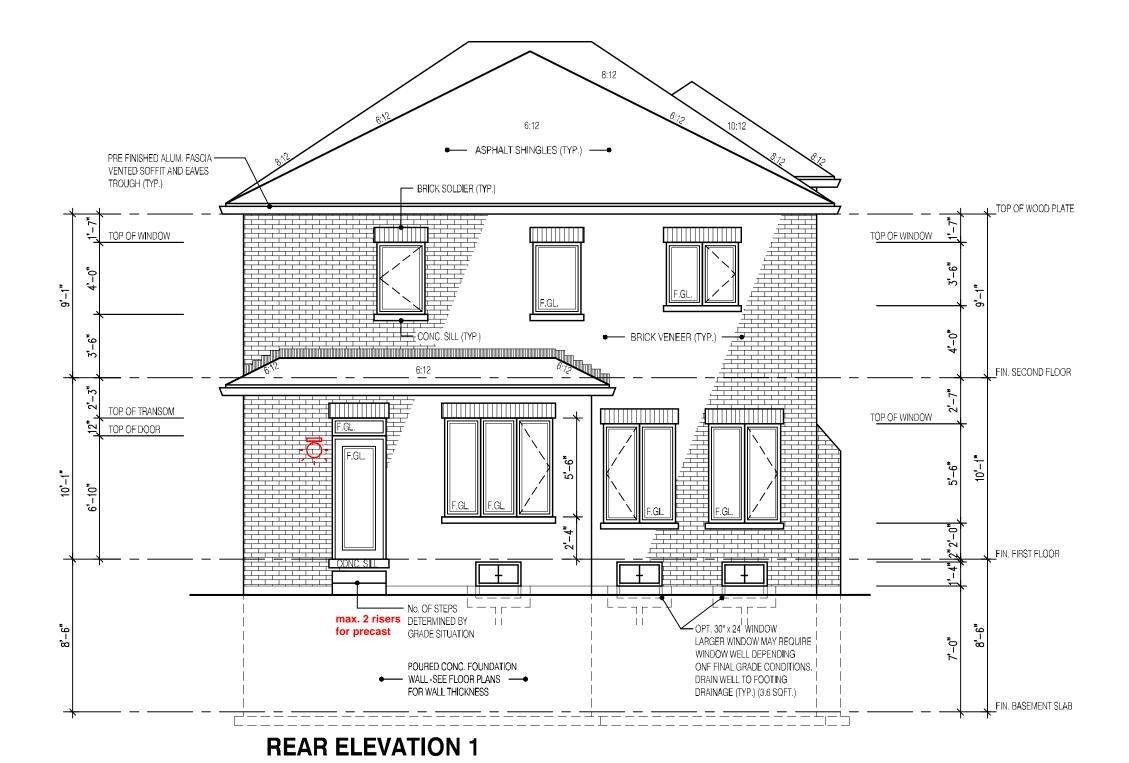
SIDE ELEVATION 2

RICHMOND HILL



3/16"=1'-0" ELYEP 5A





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2365 11.6m LOTS

PINETREE 1 (GR) **ELEVATION 1**

A1 PACKAGE

O.REG. 332/12



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STAGE & ISSUED TO CLIENT DATE:



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Walter Botter SIGNATURE

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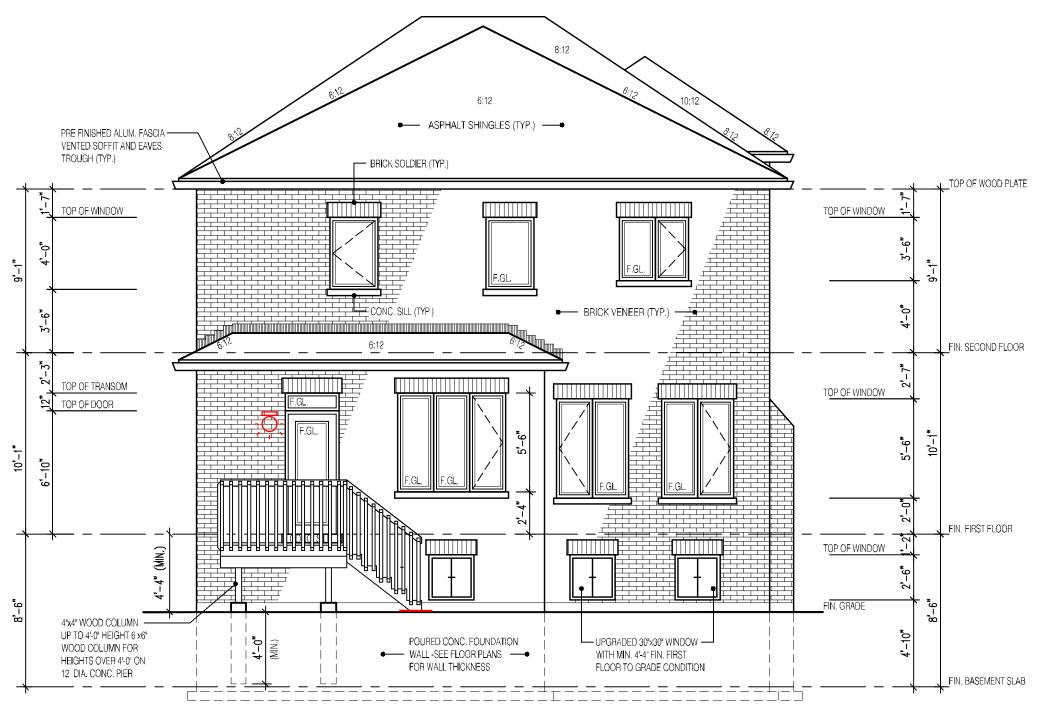
jardin design group inc.

IRM NAME

REAR ELEVATION 1

ROUNDEL HOMES INC. MODEL: SCALE: 3/16"=1'-0"

BILD **EUYEP** 6



REAR ELEVATION 1 DECK CONDITION

FOR ADDITIONAL DECK STRUCTURE REFER TO PAGE 7 OF THE DETAIL PACKAGE

PINETREE 1 ELEV1	DECK CONDITION	ENERGY EFFICIENCY- A1 PACKAGE		
ELEVATION	WALL FT ²	OPENING FT ²	PERCENTAGE	
FRON-	705.18	10 1 .43	14.38 %	
LEFT SIDE	994.26	70.67	7.11 %	
RIGHT SIDE	979.13	0.00	0.00 %	
REAR	748.08	154.58	20.66 %	
TOTAL	3426.65	326.68	9.53 %	

CITY OF RICHMOND HILL BUILDING DIVISION

09/22/2022

RECEIVED Per:____joshua.nabua

NOTE:

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED. (FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)

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2365 11.6m LOTS

PINETREE 1 (GR) **ELEVATION 1**

A1 PACKAGE

O.REG. 332/12



FINAL BY: GGE

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QUALIFICATION INFORMATION

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3.2.5 of the bubbling code

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection

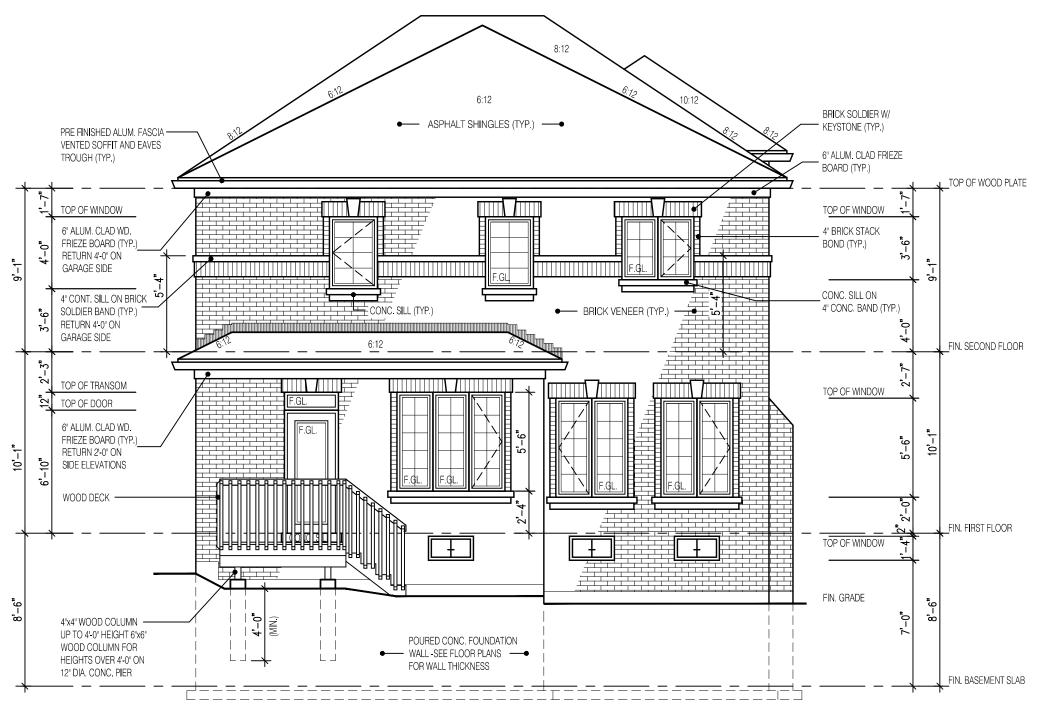
jardin design group inc.

DECK CONDITION EL-1 ROUNDEL HOMES INC.

RICHMOND HILL



3/16"=1'-0" 6-1 20-31



PINETREE 1 FOR LOT 23 (REVERSE) REAR UPGRADE ELEVATION 1

FOR ADDITIONAL DECK STRUCTURE REFER TO PAGE 7 OF THE DETAIL PACKAGE

PINETREE 1 FOR LOT 23 ELEV1		ENERGY EFFICIENCY- A1 PACKAGE		
WALL FT ²	OPENING FT ²	PERCENTAGE		
705.18	101.43	14.38 %		
1061.78	70.67	6.66 %		
979.13	0.00	0.00 %		
722.06	145.83	20.20 %		
3468.15	317.93	9.17 %		
	WALL FT ² 705.18 1061.78 979.13 722.06	WALL FT ² OPENING FT ² 705.18 101.43 1061.78 70.67 979.13 0.00 722.06 145.83		

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2365 **11.6m LOTS**

PINETREE 1 (GR) ELEVATION 1

A1 PACKAGE

O.REG. 332/12



STRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING

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No.	DATE:	WORK DESCRIPTION:

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The undersigned has reviewed and takes responsibility

OLIALIFICATION INFORMATION

Walter Botter SIGNATORE

REGISTRATION INFORMATION Required unless design is exempt under Division C, Subso 3.2.4 of the building code

jardin design group inc. FIRM NAME

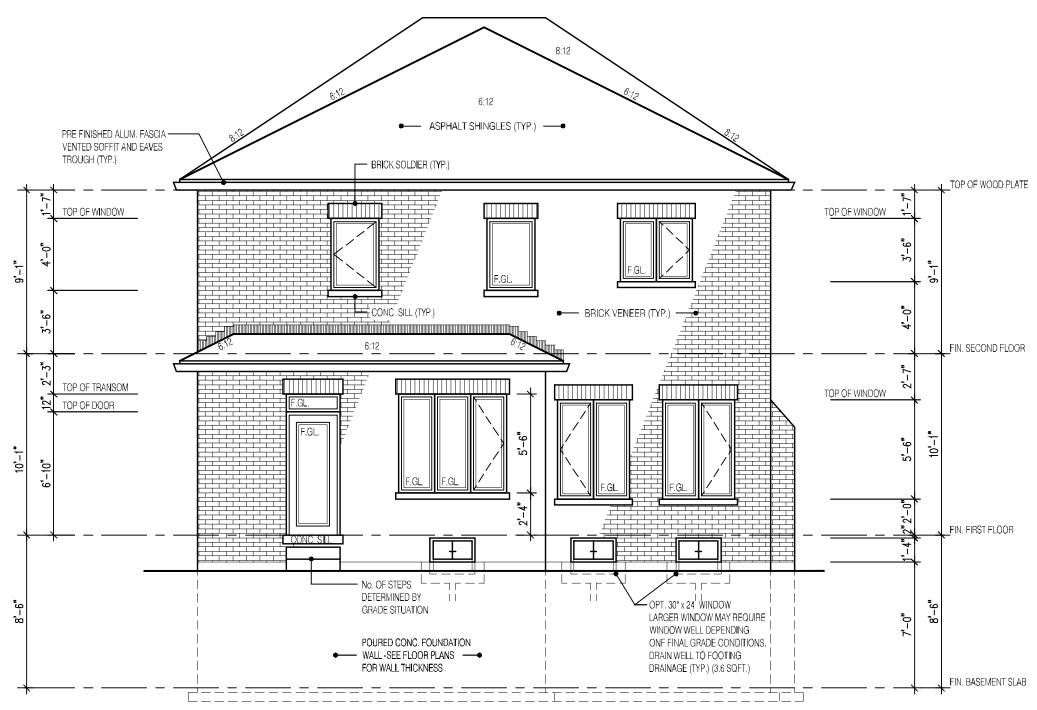
REAR ELEVATION ¹

ROUNDEL HOMES INC RICHMOND HILL



20-31 **RECEIVED**

Per:____joshua.nabua



REAR ELEVATION 2

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2365 11.6m LOTS

ELEVATION 2

A1 PACKAGE

O.REG. 332/12



FINAL BY: GGE

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Walter Botter SIGNATURE

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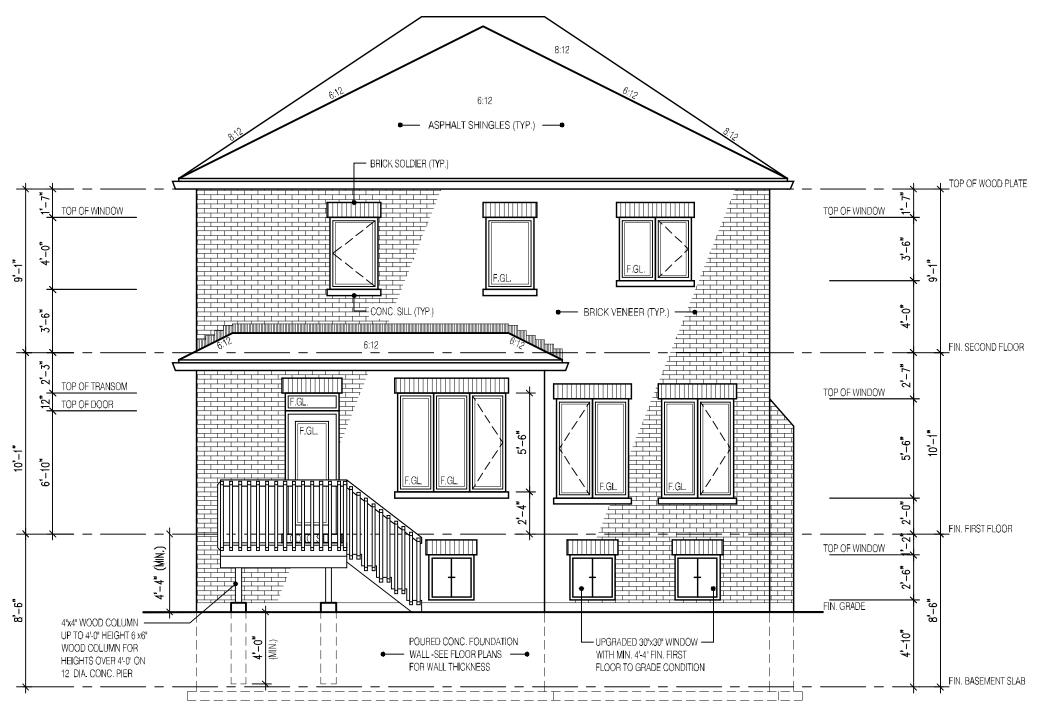
jardin design group inc.

IRM NAME

REAR ELEVATION 2

ROUNDEL HOMES INC. MODEL:

SCALE: 3/16"=1'-0" BILD ELYEP 6A



REAR ELEVATION 2 DECK CONDITION

FOR ADDITIONAL DECK STRUCTURE REFER TO PAGE 7 OF THE DETAIL PACKAGE

PINETREE 1 ELEV2 DECK CONDITION		ENERGY EFFICIENCY- A1 PACKAGE	
ELEVATION	WALL FT ²	OPENING FT ²	PERCENTAGE
FRON-	699.61	85.67	12.25 %
LEFT SIDE	969.05	70.67	7.29 %
RIGHT SIDE	976.17	0.00	0.00 %
REAR	748.08	154.58	20.66 %
TOTAL	3392.91	310.92	9.16%

NOTE:

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2365 11.6m LOTS

PINETREE 1 (GR) ELEVATION 2

A1 PACKAGE

O.REG. 332/12



FINAL BY: GGE

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QUALIFICATION INFORMATION

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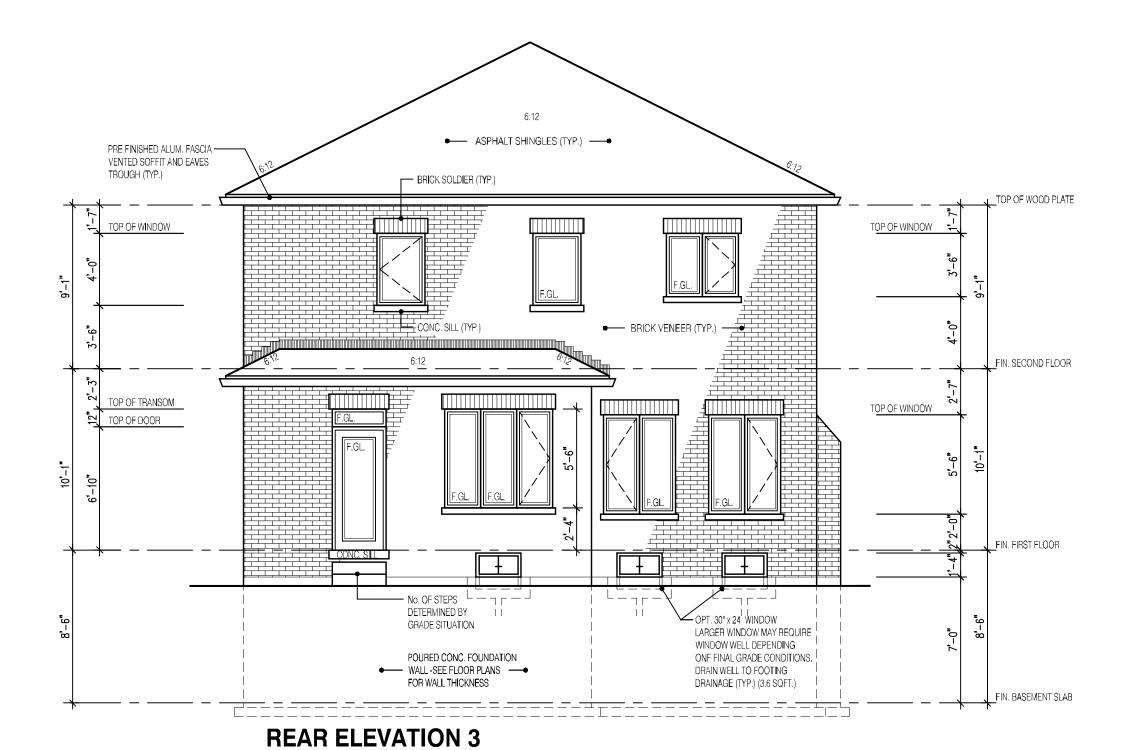
REGISTRATION INFORMATION
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jardin design group inc.

DECK CONDITION EL-2

RICHMOND HILL 3/16"=1'-0"

BILD



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2365 11.6m LOTS

PINETREE 1 (GR) ELEVATION 3

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Walter Botter SIGNATURE

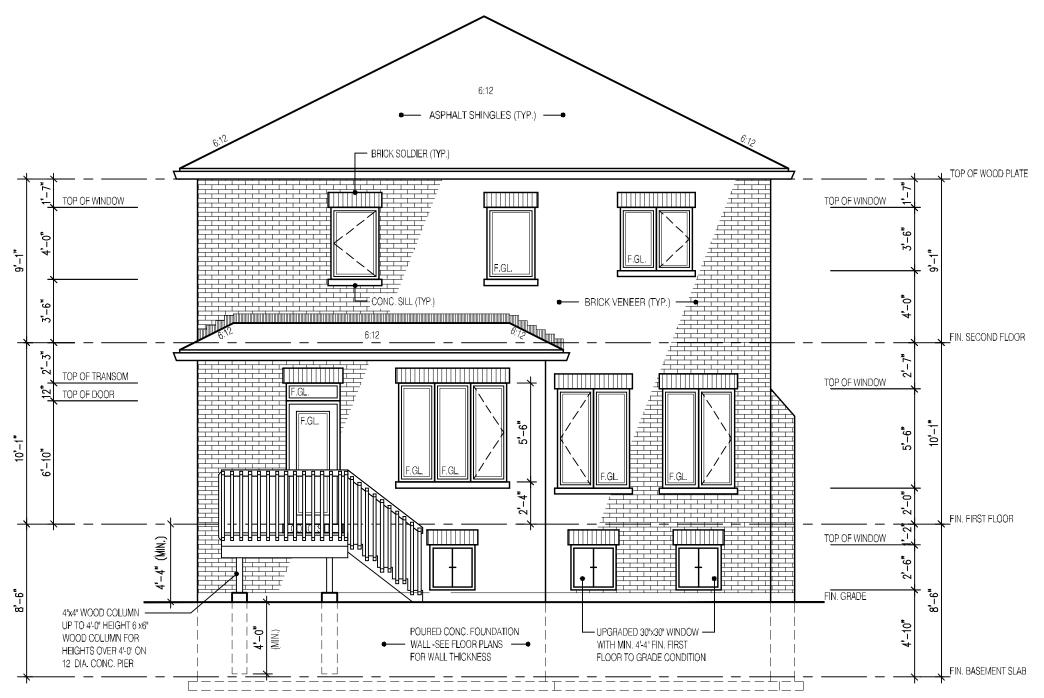
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jardin design group inc. IRM NAME

REAR ELEVATION 3

ROUNDEL HOMES INC. MODEL: SCALE: 3/16"=1'-0"

BILD ELYEP 6B



REAR ELEVATION 3 DECK CONDITION

FOR ADDITIONAL DECK STRUCTURE REFER TO PAGE 7 OF THE DETAIL PACKAGE

PINETREE 1 ELEV3 DECK CONDITION		ENERGY EFFICIENCY- A1 PACKAGE	
ELEVATION WALL FT ²		OPENING FT ²	PERCENTAGE
FRON-	699.25	107.43	15.36 %
LEFT SIDE	952.43	70.67	7.42 %
RIGHT SIDE	952.55	0.00	0.00 %
REAR.	673.81	154.58	22.94 %
TOTAL	3278.04	332.68	10.15 %
	•		

NOTE:

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED. (FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)

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2365 11.6m LOTS

PINETREE 1 (GR) ELEVATION 3

A1 PACKAGE

O.REG. 332/12



FINAL BY: GGE

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	1	FEB. 22, 2021	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT

64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be

a designer
QUALIFICATION INFORMATION
Required unless design is except under Division C, Sub
3.2.5 of the building code

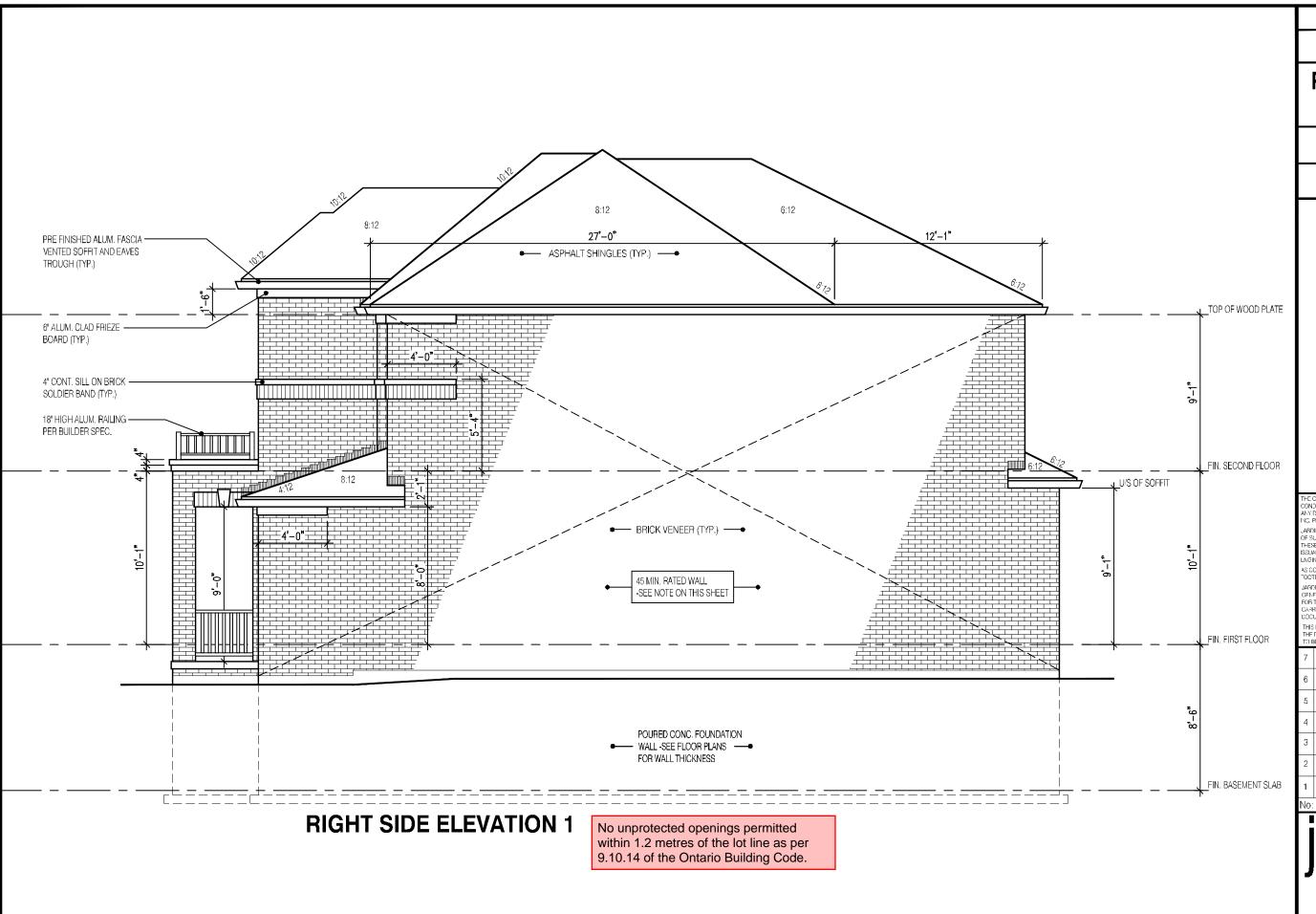
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection

jardin design group inc.

DECK CONDITION EL-3

RICHMOND HILL 3/16"=1'-0"

BILD



BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED AT HEADER

HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

PROVIDE 15.9mm (5/8") TYPE X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE BATING

(REFER TO SUPPLEMENTARY STANDARD SB-2 2.3.

45 MINUTE FIRE RATED WALL

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(REFER TO SUPPLEMENTARY STANDARD SB-2 2.3.5.(2)

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11.6m LOTS PINETREE 1 (GR)

2365

ELEVATION 1 A1 PACKAGE

O.REG. 332/12

W Architect Inc. **DESIGN CONTROL REVIEW** FEBRUARY 24, 2022

FINAL BY: GGE

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WORK DESCRIPTION:

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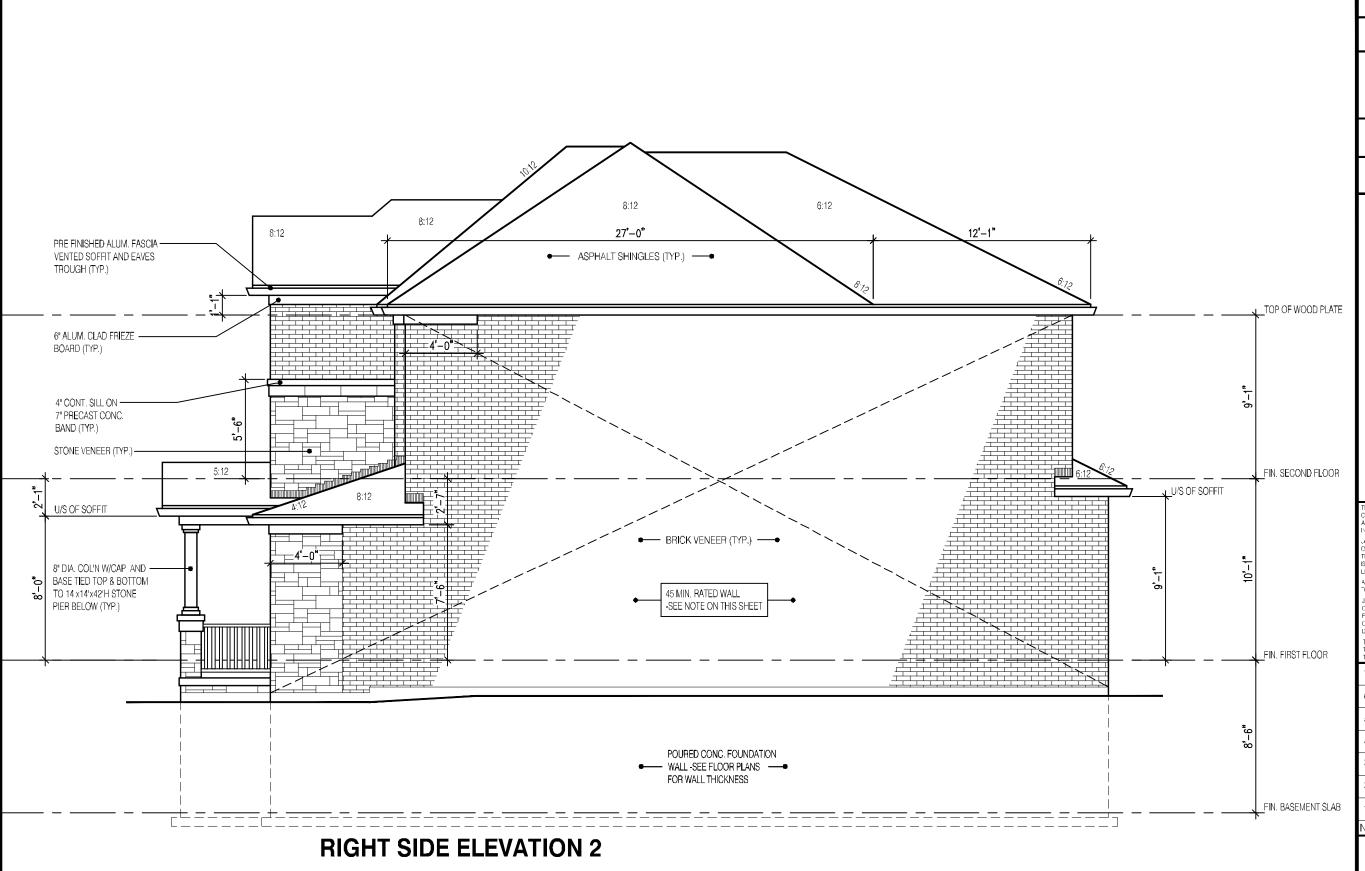
jardin design group inc.

IRM NAME

SIDE ELEVATION 1

RICHMOND HILL 3/16"=1'-0"

BILD



HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

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2365 11.6m LOTS

PINETREE 1 (GR) ELEVATION 2

A1 PACKAGE

O.REG. 332/12



FINAL BY: GGE

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DIVISION Required unless design is except under Division C, 3.2.5 of the building code

Walter Botter SIGNATOR

REGISTRATION INFORMATION s design is exempt under Division C, Subsection

jardin design group inc.

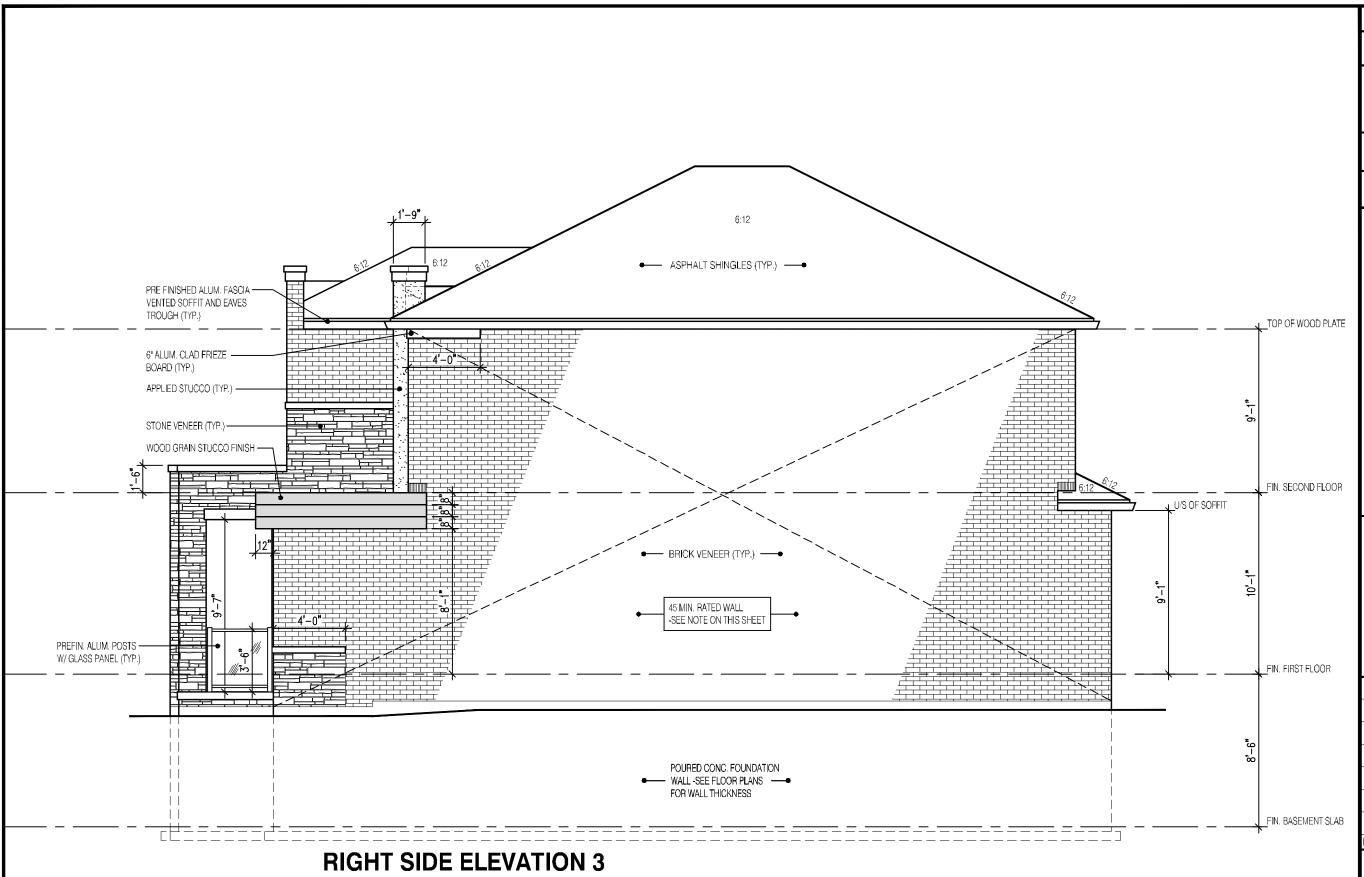
IRM NAME

SIDE ELEVATION 2

BICHMOND HILL

3/16"=1'-0" BILD

ZELYEP 7A



HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

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2365 11.6m LOTS

ELEVATION 3

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O.REG. 332/12



FINAL BY: GGE

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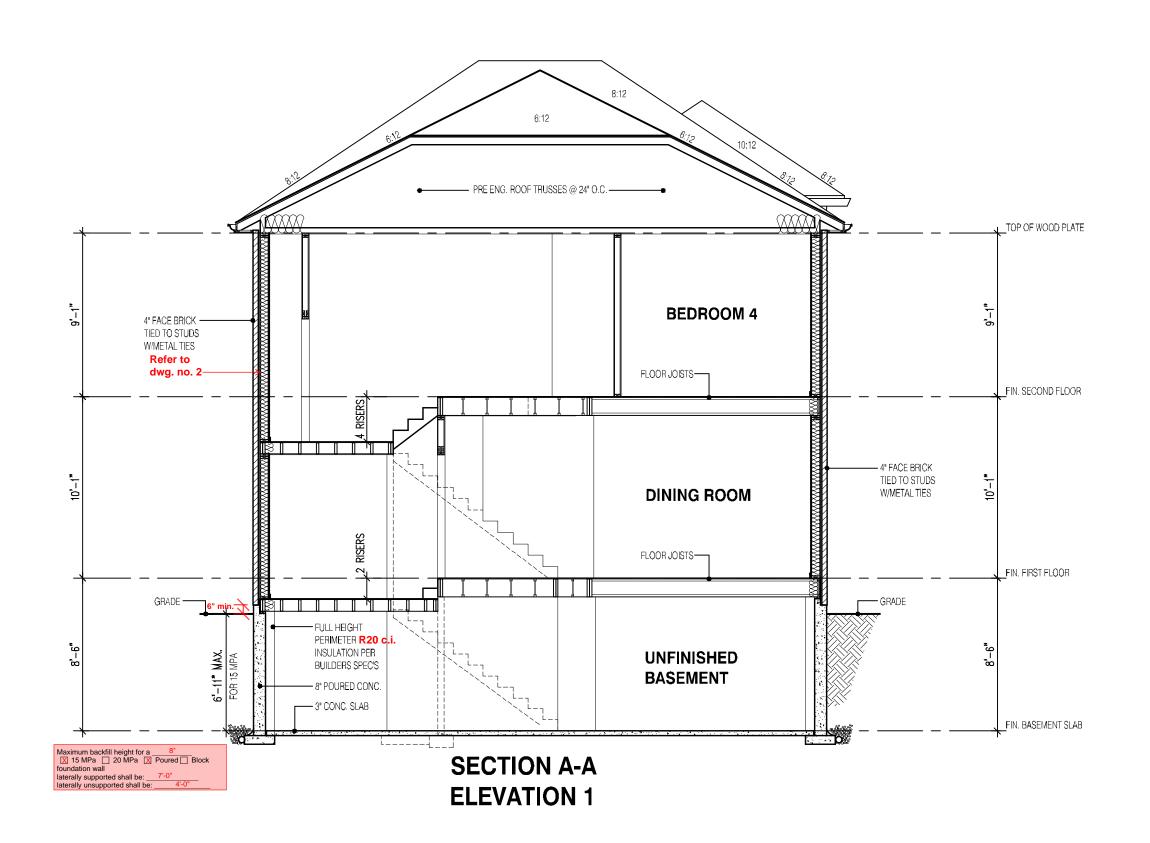
jardin design group inc.

IRM NAME

SIDE ELEVATION 3

RICHMOND HILL





CITY OF RICHMOND HILL BUILDING DIVISION

09/22/2022

RECEIVED Per:____joshua.nabua It is the builder's complete responsibility to ensure that all plans submitted for approve fully comply with the Architectural Guideline and all applicable regulations and requirement including zoning provisions and any provision in the subdivision agreement. The Contro Architect is not responsible in any way for examining or approving site (lotting) plans of working drawings with respect to any zoning obuilding code or permit matter or that any house can be properly built or located on its lotting that the control of the con

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2365 11.6m LOTS

PINETREE 1 (GR) ELEVATION 1

A1 PACKAGE

O.REG. 332/12

STRUDET INC OR STRUCTURAL ONLY



May 18/2021

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QUALIFICATION INFORMATION

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REGISTRATION INFORMATION
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jardin design group inc.

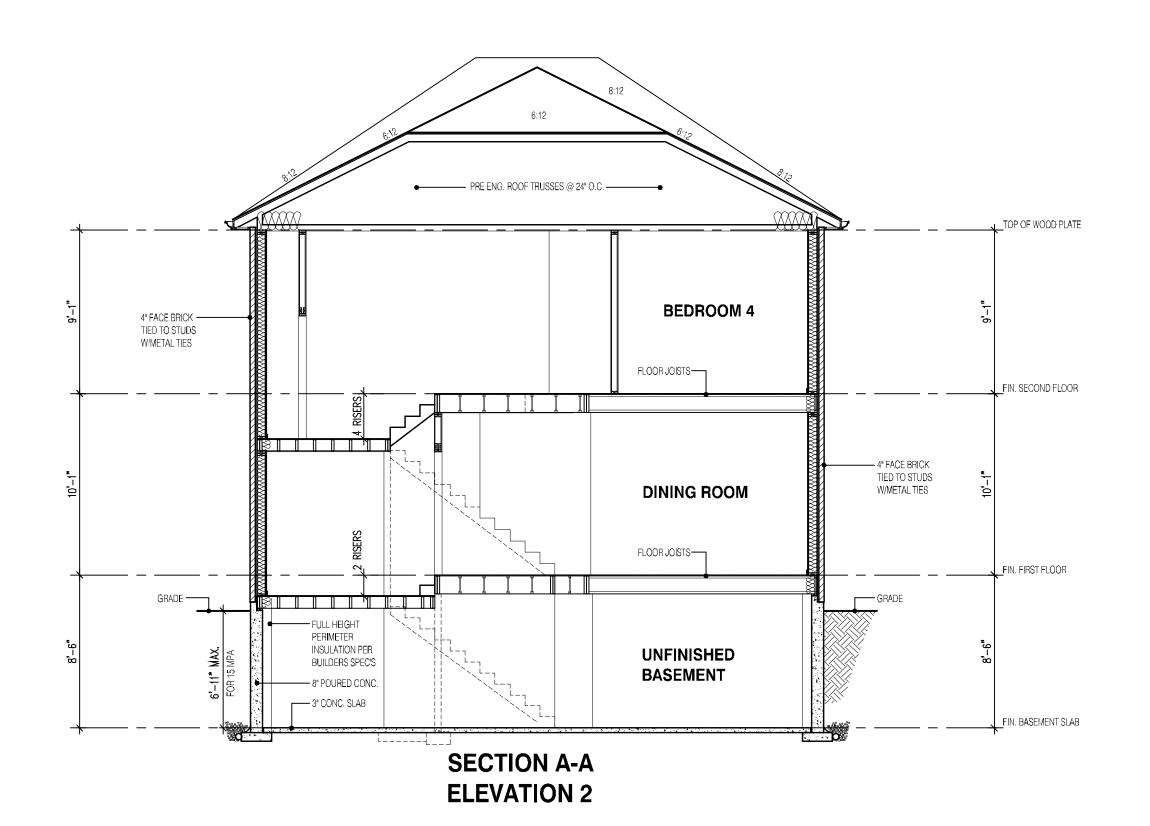
FIRM NAME

SECTION ELEVATION 1

ROUNDEL HOMES INC. RICHMOND HILL



3/16"=1'-0" 20-31



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2365

11.6m LOTS

PINETREE 1 (GR) ELEVATION 2

A1 PACKAGE

O.REG. 332/12

STRUDET INC FOR STRUCTURAL ONLY



May 18/2021

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Walter Botter SIGNATURE

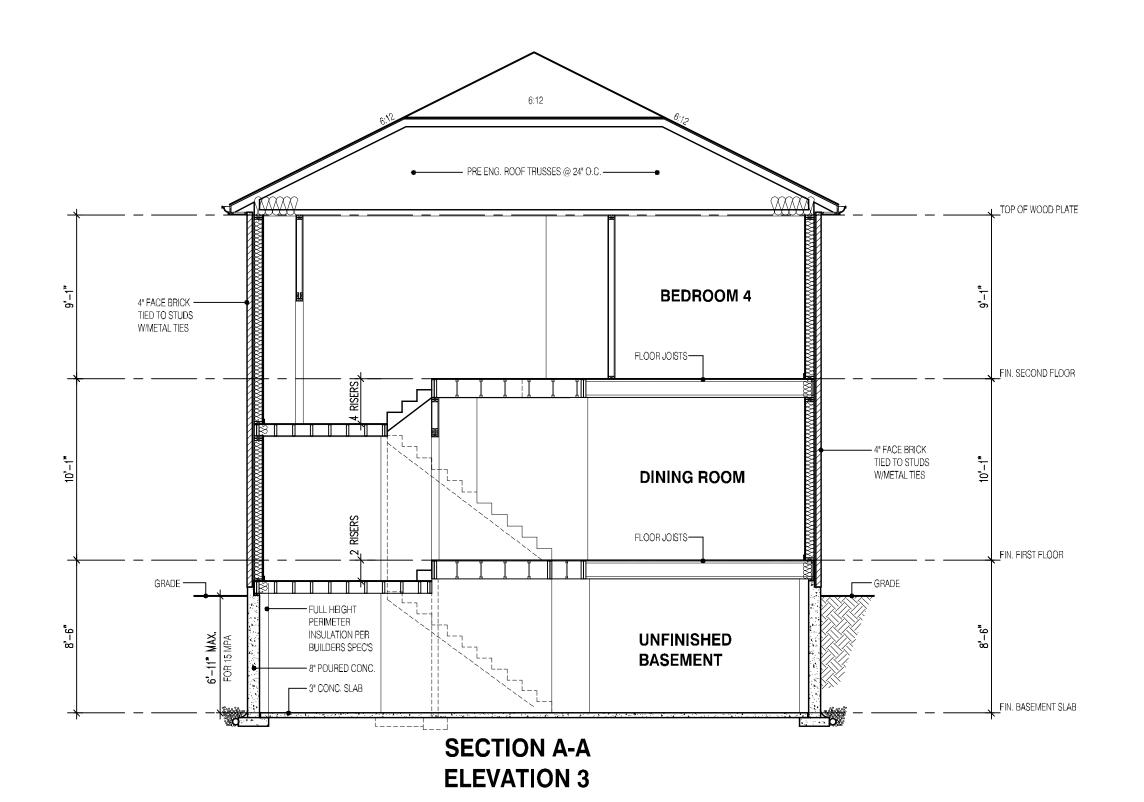
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jardin design group inc. FIRM NAME

SECTION ELEVATION 2

ROUNDEL HOMES INC. 3/16"=1'-0"

BILD ELYEP 8A



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2365

11.6m LOTS

PINETREE 1 (GR) **ELEVATION 3**

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May 18/2021

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SECTION ELEVATION 3

ROUNDEL HOMES INC.

3/16"=1'-0" BILD ELYEP 8B