

STRIP FOOTINGS -	
FOR SINGLES & SEMIS UP TO 2 STOREY	
8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS 20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS. 24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.	
FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS 24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.	
FOOTINGS ON ENGINEERED FILL	
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW EXTERIOR WALLS. 30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS. (REFER TO FOOTING DETAILS ON ENGINEERED FILL)	
ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY	
ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE, with soil engineer report	

PAD FOOTINGS	
120 KPa NATIVE SOIL	90 KPa ENGINEERED FILL SOIL
F1 = 42"x42"x24" CONCRETE PAD	F1 = 48"x48"x24" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD	F2 = 40"x40"x26" CONCRETE PAD
F3 = 30"x30"x15" CONCRETE PAD	F3 = 34"x34"x17" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD	F4 = 28"x28"x14" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD	F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)	

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FDTN. WALL IS REQUIRED.
--

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT
--

BRICK VENEER LINTELS	
WL1 = 3'-1/2"x3'-1/2"x1/4" (100x90x6.0L) + 2-2"x8" SPR. No.2	
WL2 = 4"x3'-1/2"x5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2	
WL3 = 5"x3'-1/2"x5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2	
WL4 = 6"x3'-1/2"x3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2	
WL5 = 6"x4"x3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2	
WL6 = 5"x3'-1/2"x5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2	
WL7 = 5"x3'-1/2"x5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2	
WL8 = 5"x3'-1/2"x5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2	
WL9 = 6"x4"x3/8" (150x100x10.0L) + 3-2"x12" SPR. No.2	

WOOD LINTELS AND BEAMS	
WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)	
WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)	
WB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)	
WB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)	
WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)	
WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)	
WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)	
WB8 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)	
WB9 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)	

LAMINATED VENEER LUMBER (LVL) BEAMS	
LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)	
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)	
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)	
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)	
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)	
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)	
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)	
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)	
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)	
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)	
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)	
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)	
LVL8 = 2-1 3/4" x 14" (2-45x356)	
LVL9 = 3-1 3/4" x 14" (3-45x356)	
LVL10 = 2-1 3/4" x 18" (3-45x456)	

LOOSE STEEL LINTELS	
L1 = 3'-1/2"x3'-1/2"x1/4" (100x90x6.0L)	
L2 = 4"x3'-1/2"x5/16" (100x90x8.0L)	
L3 = 5"x3'-1/2"x5/16" (125x90x8.0L)	
L4 = 6"x3'-1/2"x3/8" (150x90x10.0L)	
L5 = 6"x4"x3/8" (150x100x10.0L)	
L6 = 7"x4"x3/8" (175x100x10.0L)	

DOOR SCHEDULE				
NOS.	WIDTH	HEIGHT 8'-9" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

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2.	ISSUED FOR PERMIT	MAY 2021
1.	ISSUED FOR COORDINATION	Feb 2021
REVISIONS		

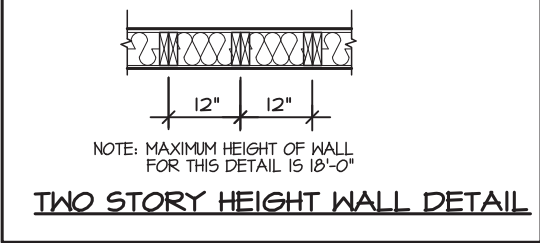
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C.
BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2
ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL
ROOF FRAMING INFORMATION

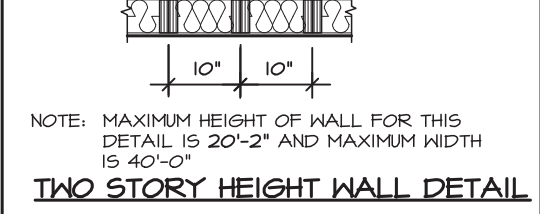
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO
FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR
ENGINEERED FRAMING LAYOUTS

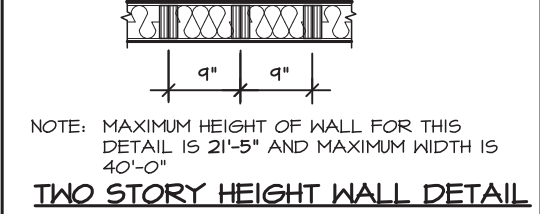
2-2"x6" STUD WALL NAILED TOGETHER AND
SPACED @12" O.C. FULL HT C/M SOLID
BLOCKING 4'-0" O.C. VERTICAL AND 7/16"
EXT. PLYWOOD SHEATHING.



2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E
STUD WALL GLUED AND NAILED TOGETHER
AND SPACED MAX. @10" O.C. FULL HT C/M
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL
AND 7/16" EXT. OSB SHEATHING.



2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E
STUD WALL GLUED AND NAILED TOGETHER
AND SPACED MAX. @9" O.C. FULL HT C/M
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL
AND 7/16" EXT. OSB SHEATHING.



C1 = 4"x4"x1/4" H.S.S.
W/ 10"x8"x1/2" BASE PLATE & 2-3/4" DIA.
ANCHOR BOLTS
C2 = 5"x5"x1/4" H.S.S.
W/ 12"x12"x1/2" BASE PLATE & 4-3/4" DIA.
ANCHOR BOLTS

USE 4 BOLTS FOR MOMENT CONNECTION

"M" - MOMENT CONNECTION BEAM/COLUMN
= 35 kNm

AREA CALCULATIONS		ELEV. 1, 1A	
GROUND FLOOR AREA	=	1278	Sq. Ft.
SECOND FLOOR AREA	=	1641	Sq. Ft.
TOTAL FLOOR AREA	=	2919	Sq. Ft.
		271.18	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	11	Sq. Ft.
ADD TOTAL OPEN AREAS	=	11	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	2930	Sq. Ft.
		272.21	Sq. M.
GROUND FLOOR COVERAGE	=	1278	Sq. Ft.
GARAGE COVERAGE / AREA	=	347	Sq. Ft.
PORCH COVERAGE / AREA	=	69	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1744	Sq. Ft.
		162.02	Sq. m.
TOTAL COVERAGE W/ PORCH	=	1675	Sq. Ft.
		155.61	Sq. m.

AREA CALCULATIONS		ELEV. 3	
GROUND FLOOR AREA	=	1276	Sq. Ft.
SECOND FLOOR AREA	=	1645	Sq. Ft.
TOTAL FLOOR AREA	=	2921	Sq. Ft.
		271.37	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	11	Sq. Ft.
ADD TOTAL OPEN AREAS	=	11	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	2932	Sq. Ft.
		272.39	Sq. M.
GROUND FLOOR COVERAGE	=	1276	Sq. Ft.
GARAGE COVERAGE / AREA	=	347	Sq. Ft.
PORCH COVERAGE / AREA	=	58	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1731	Sq. Ft.
		160.82	Sq. m.
TOTAL COVERAGE W/ PORCH	=	1673	Sq. Ft.
		155.43	Sq. m.

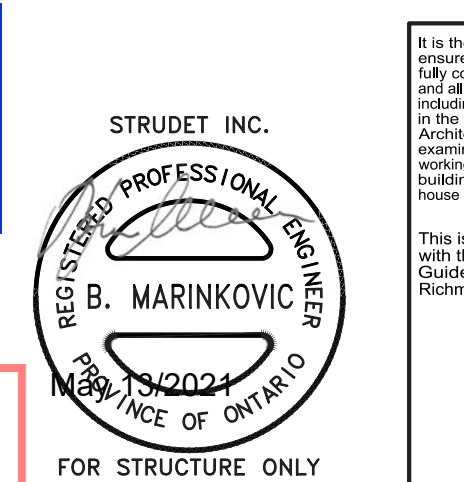
THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING	
COMPLIANCE PACKAGE "A1"	
COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.51 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSE FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	3.87 (R22)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY RATING = 25, MAX. U=0.28
SPACE HEATING EQUIPMENT MINIMUM AFUE	96%
HRV MINIMUM EFFICIENCY	75%
HOT WATER TANK	MIN. EF 0.80

AREA CALCULATIONS		ELEV. 2	
GROUND FLOOR AREA	=	1276	Sq. Ft.
SECOND FLOOR AREA	=	1645	Sq. Ft.
TOTAL FLOOR AREA	=	2921	Sq. Ft.
		271.37	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	11	Sq. Ft.
ADD TOTAL OPEN AREAS	=	11	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	2932	Sq. Ft.
		272.39	Sq. M.
GROUND FLOOR COVERAGE	=	1276	Sq. Ft.
GARAGE COVERAGE / AREA	=	347	Sq. Ft.
PORCH COVERAGE / AREA	=	58	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1731	Sq. Ft.
		160.82	Sq. m.
TOTAL COVERAGE W/ PORCH	=	1673	Sq. Ft.
		155.43	Sq. m.

GLENROWAN 3		ELEV. 1, 1A			
ELEVATI ON	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTA GE
FRONT	737.12	68.48	103.76	9.64	14.08 %
LEFT SIDE	1145.57	106.43	69.01	6.41	6.02 %
RIGHT SIDE	1145.57	106.43	47.96	4.46	4.19 %
REAR	682.29	63.39	147.42	13.70	21.61 %
TOTAL	3710.55	344.72	368.15	34.20	9.92 %

GLENROWAN 3		ELV. 2			
ELEVATI ON	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTA GE
FRONT	748.37	69.53	115.22	10.70	15.40 %
LEFT SIDE	1145.57	106.43	69.01	6.41	6.02 %
RIGHT SIDE	1145.57	106.43	47.96	4.46	4.19 %
REAR	682.29	63.39	147.42	13.70	21.61 %
TOTAL	3721.80	345.77	379.61	35.27	10.20 %

GLENROWAN 3		ELV. 3			
ELEVATI ON	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTA GE
FRONT	708.12	65.79	140.59	13.06	19.85 %
LEFT SIDE	1145.57	106.43	69.01	6.41	6.02 %
RIGHT SIDE	1145.57	106.43	47.96	4.46	4.19 %
REAR	682.29	63.39	147.42	13.70	21.61 %
TOTAL	3681.55	342.03	404.98	37.62	11.00 %



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GLENROWAN 3

COMPLIANCE PACKAGE "A1"



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME

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L4K 4S6
P (416) 736-4096
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**REGION
DESIGN
INC.**

SHEET TITLE
**GENERAL NOTES
& CHARTS**

SCALE

BY
MB

DATE
JAN 2021

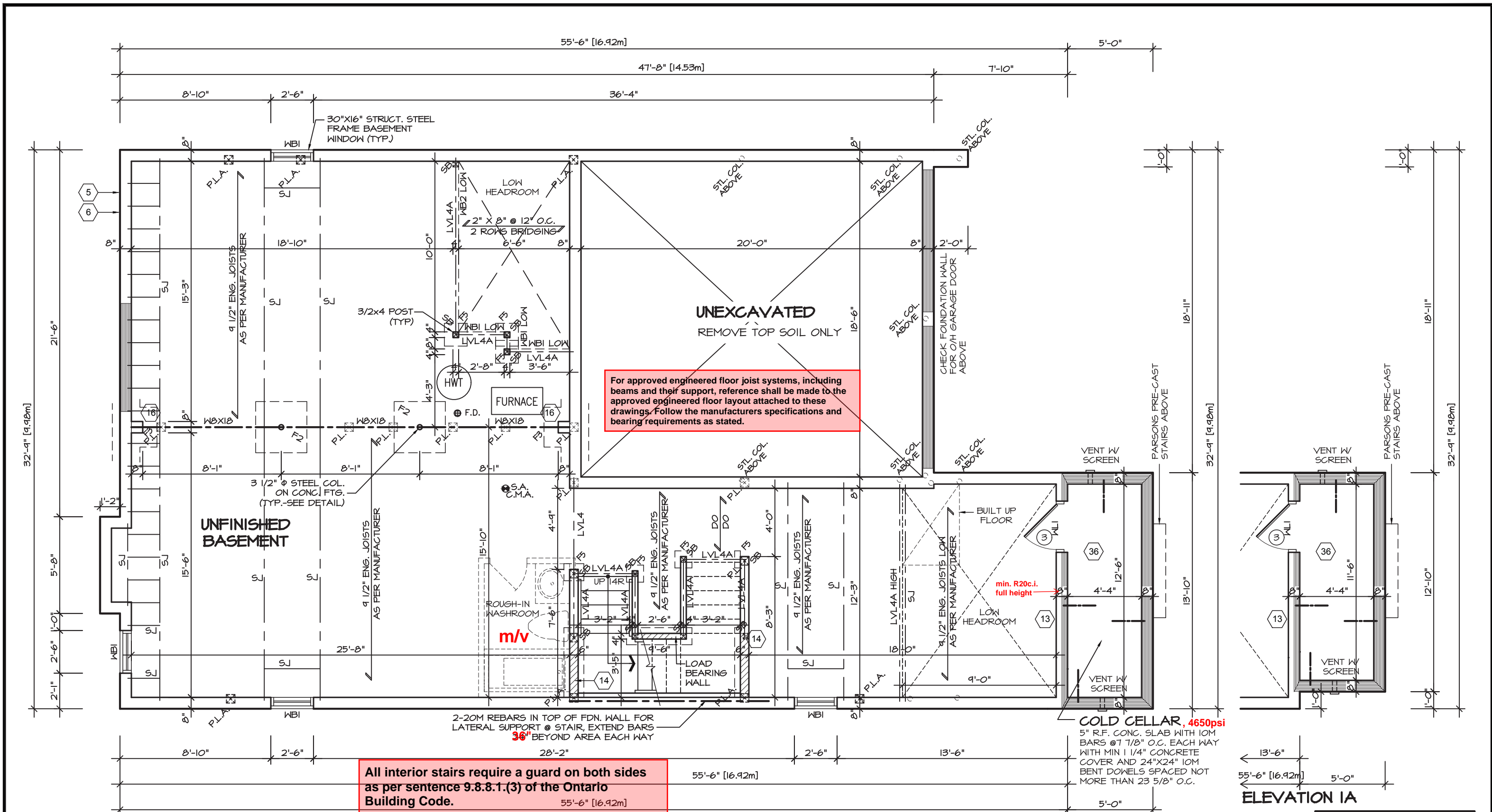
TYPE

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.

AREA
2,930

PAGE No.
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PROJECT
12-04-19



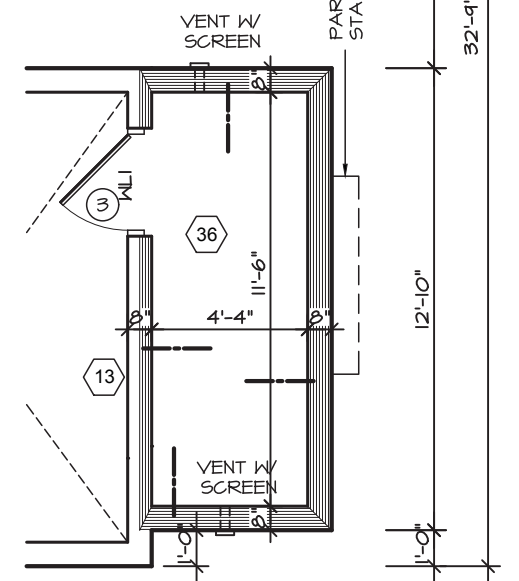
BASEMENT FLOOR PLAN I

REFER TO FLOOR FRAMING SHOP DRAWINGS
FOR ENGINEERED FRAMING LAYOUTS

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS
AND DOOR SIZES

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND
TO BE GLUED AND NAILED ON THIS FLOOR.

SPACE CONVENTIONAL FLOOR JOISTS @ 12"
O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF
5'-7', 2 ROWS FOR SPANS GREATER THAN 7'



ELEVATION IA

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GLENROWAN 3
COMPLIANCE PACKAGE "A1"

5.		
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1.	ISSUED FOR COORDINATION	Feb 2021
REVISIONS		

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**REGION
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SHEET TITLE
**BASEMENT PLAN
ELEVATION 1**

SCALE
3/16"=1'-0"

DATE
JAN 2021

BY
MB

TYPE

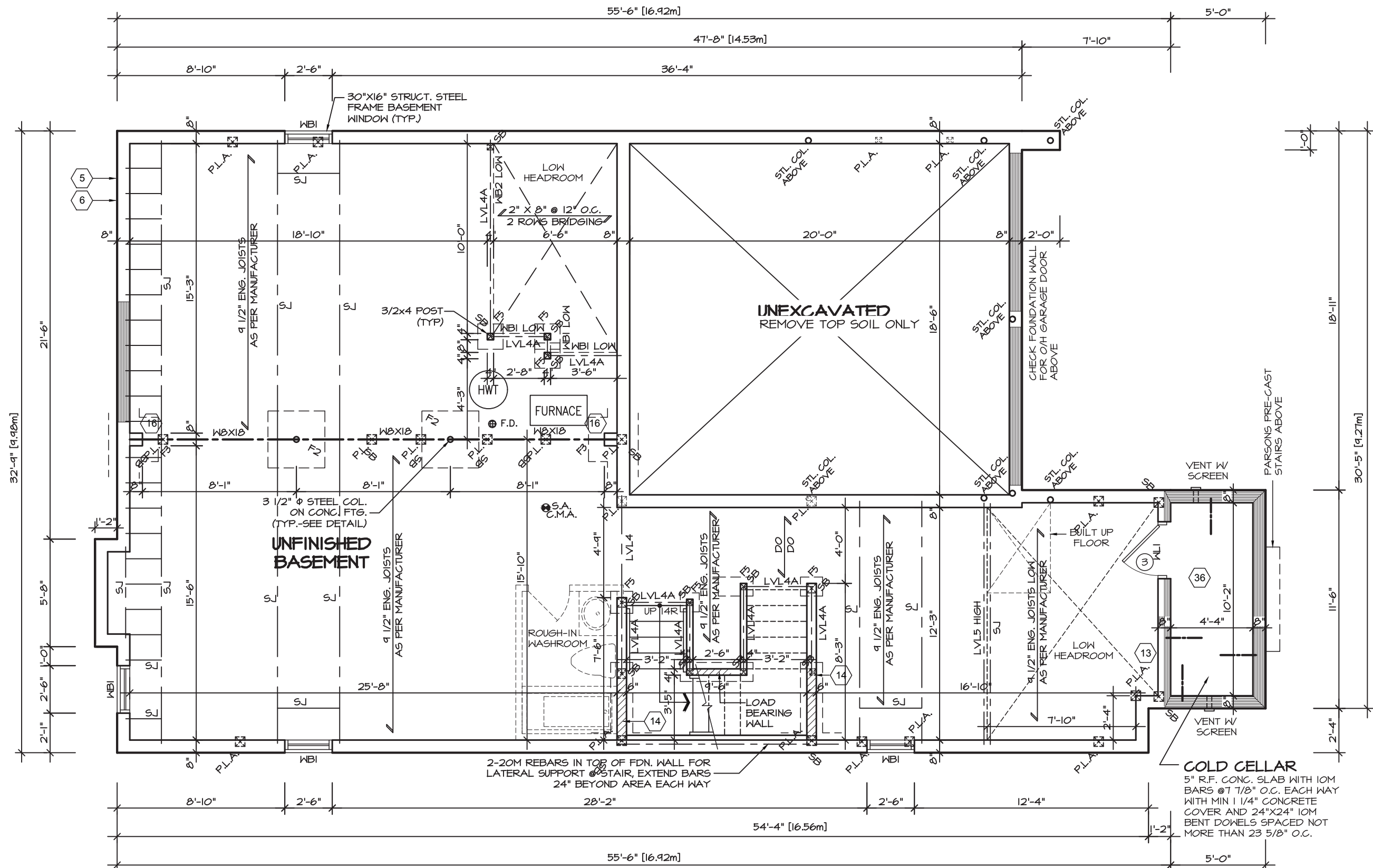
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AREA
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PAGE No.
1

PROJECT
12-04-19

Greenpark
BUILDING DIVISION
PROJECT NAME
ROUNDEL
09/22/2022
RECEIVED
Per: joshua.nabua



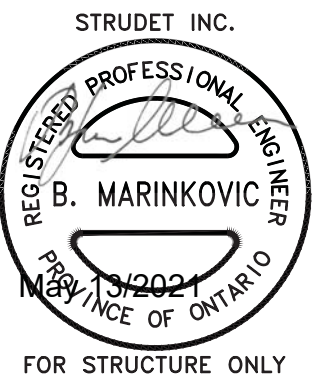
BASEMENT FLOOR PLAN 2

REFER TO FLOOR FRAMING SHOP DRAWINGS
FOR ENGINEERED FRAMING LAYOUTS

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS
AND DOOR SIZES

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND
TO BE GLUED AND NAILED ON THIS FLOOR.

SPACE CONVENTIONAL FLOOR JOISTS @ 12"
O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF
5'-7", 2 ROWS FOR SPANS GREATER THAN 7'



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**REGION
DESIGN
INC.**

SHEET TITLE BASEMENT PLAN ELEVATION 2	
SCALE 3/16"=1'-0"	BY MB
DATE JAN 2021	TYPE

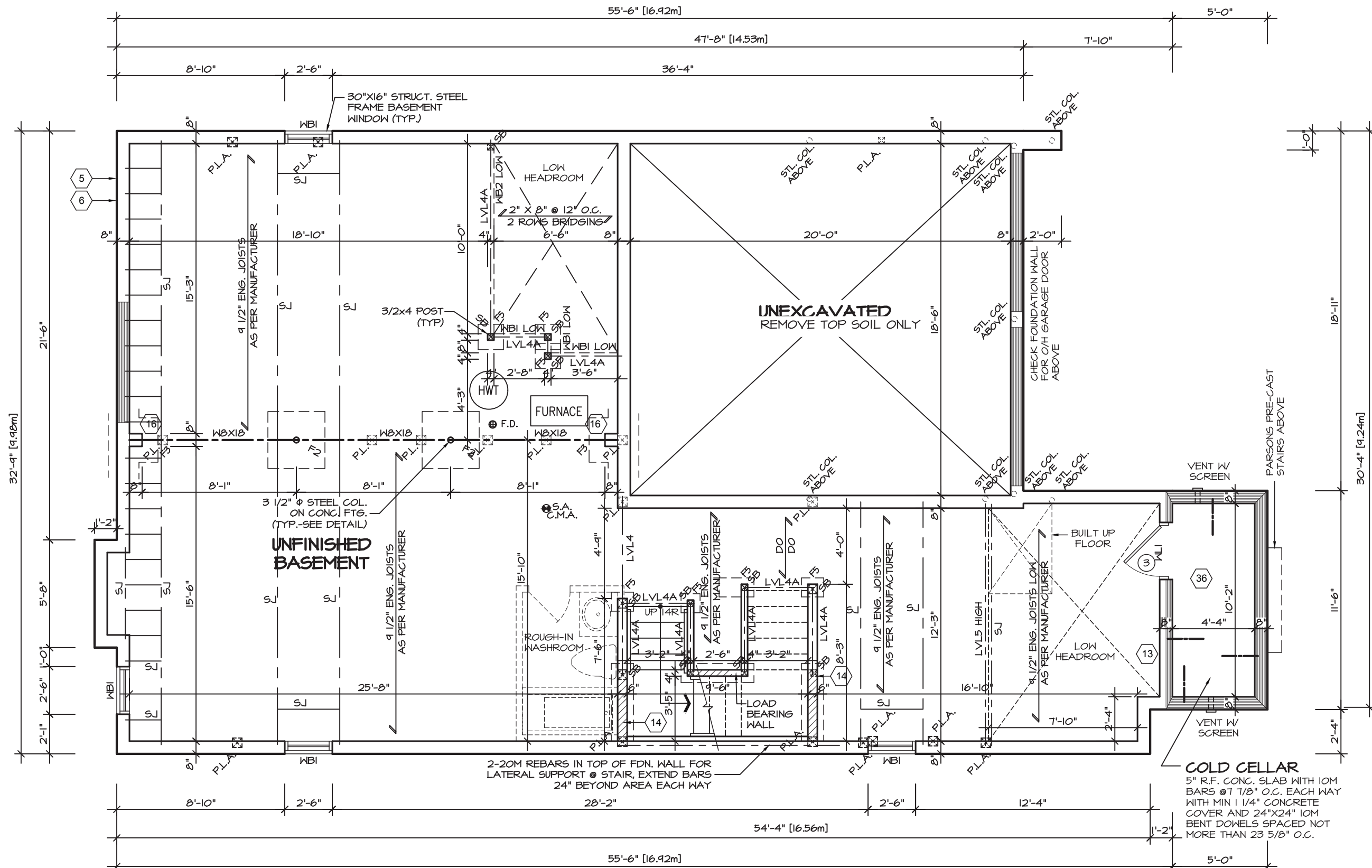
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AREA 2,930	PAGE No. 1-2
PROJECT 12-04-19	

Greenpark BUILDING DIVISION

PROJECT NAME
ROUNDEL

09/22/2022

RECEIVED
Per: joshua.nabua



BASEMENT FLOOR PLAN 3

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

COLD CELLAR
5" R.F. CONC. SLAB WITH 10M BARS @ 7 1/8" O.C. EACH WAY WITH MIN 1 1/4" CONCRETE COVER AND 24"X24" 10M BENT DOMES SPACED NOT MORE THAN 23 5/8" O.C.



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GLENROWAN 3

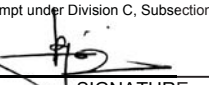
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SHEET TITLE
**BASEMENT PLAN
ELEVATION 3**

SCALE
3/16"=1'-0"

DATE
JAN 2021

BY
MB


TYPE

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PAGE No.
1-3

PROJECT
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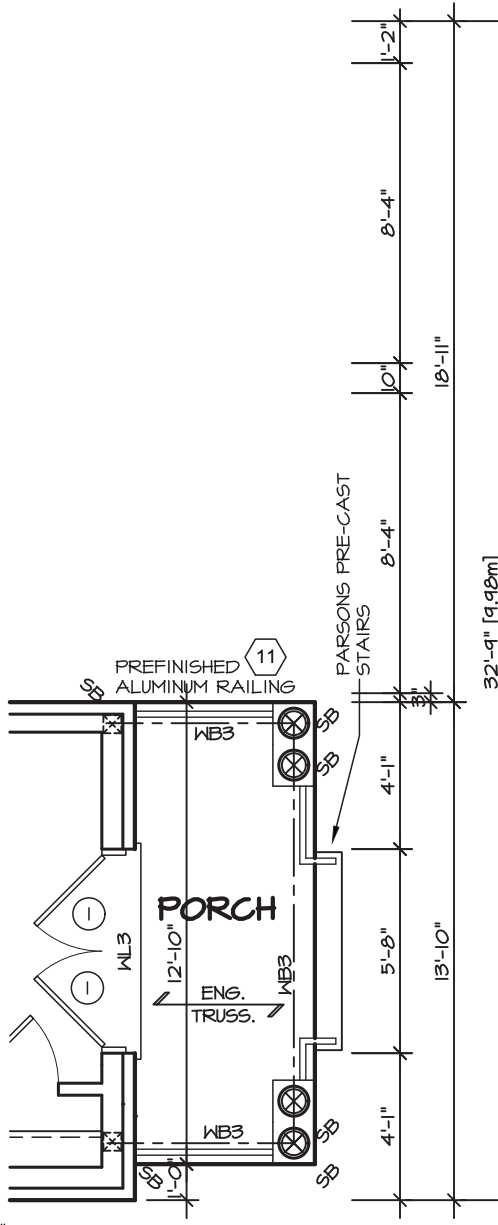
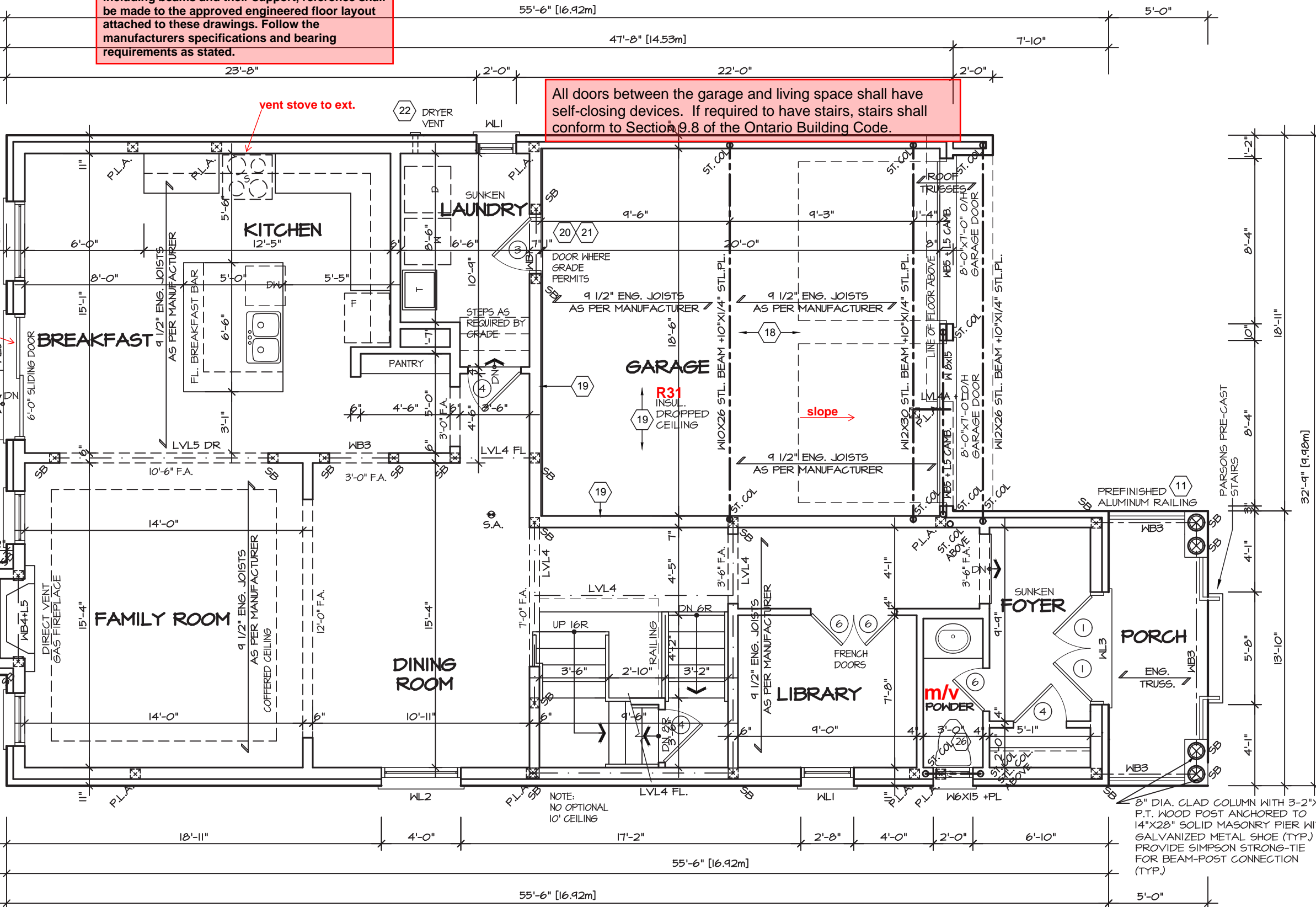
For approved engineered floor joist systems, including beams and their support, reference shall be made to the approved engineered floor layout attached to these drawings. Follow the manufacturers specifications and bearing requirements as stated.

All doors between the garage and living space shall have self-closing devices. If required to have stairs, stairs shall conform to Section 9.8 of the Ontario Building Code.

refer to attached general note #32

vent stove to ext.

slope



ELEVATION IA

FIRST FLOOR PLAN I

STRUDET INC.



FOR STRUCTURE ONLY

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GLENROWAN 3

COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.	ISSUED FOR PERMIT	MAY 2021
1.	ISSUED FOR COORDINATION	Feb. 2021
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code
VIKAS GAJJAR
NAME
28770
SIGNATURE
BCIN

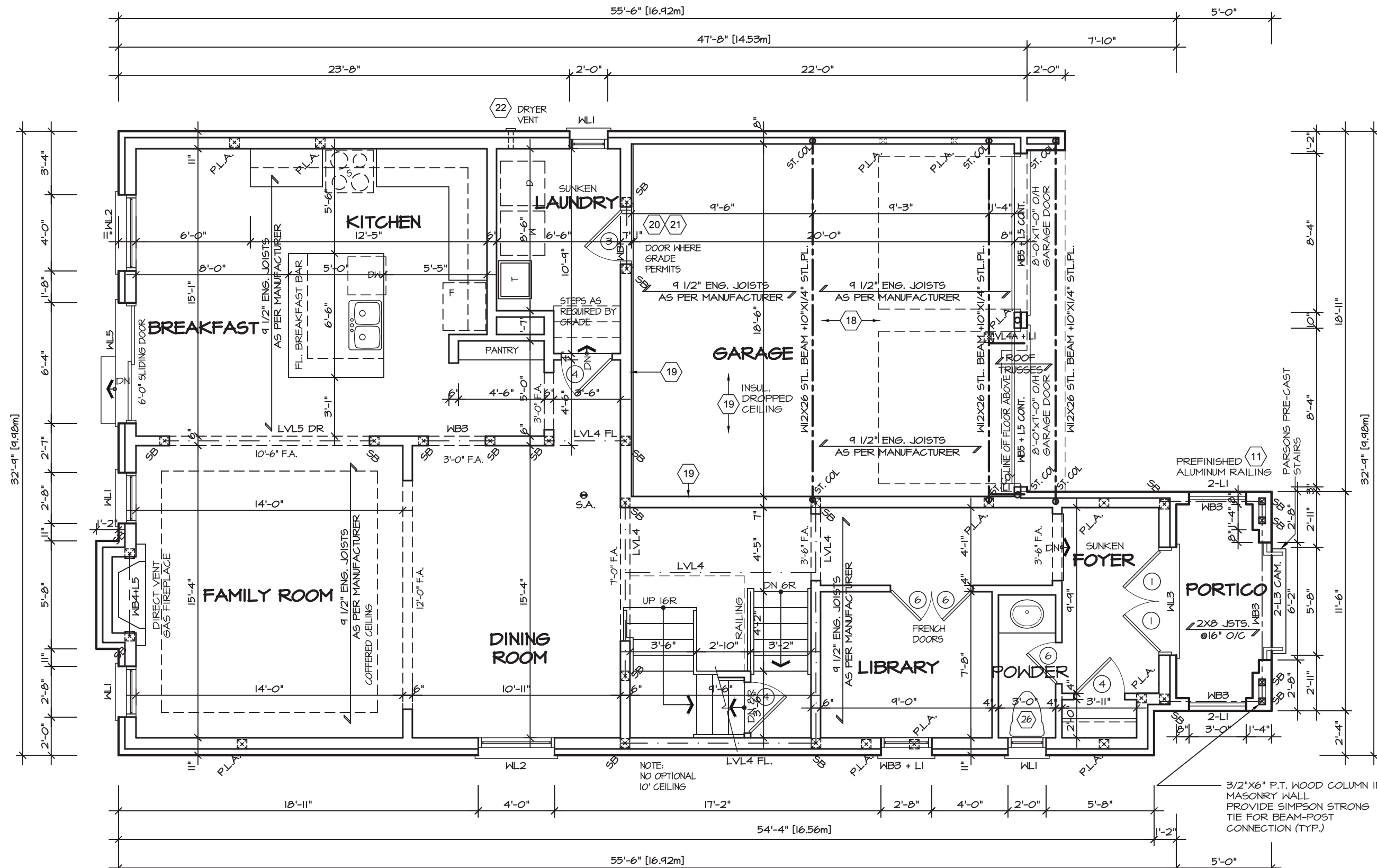
REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746



SHEET TITLE FIRST FLOOR ELEVATION 1	
SCALE 3/16"=1'-0"	BY MB
DATE JAN 2021	TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA 2,930	PAGE No. 2
PROJECT 12-04-19	

Greenpark BUILDING DIVISION
PROJECT NAME
ROUNDEL
09/22/2022
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Per: joshua.nabua



FIRST FLOOR PLAN 2



FOR STRUCTURE ONLY

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SHEET TITLE
**FIRST FLOOR
ELEVATION 2**

SCALE
3/16"=1'-0"

DATE
JAN 2021

BY
MB

TYPE

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AREA
2,930

PAGE No.
2-2

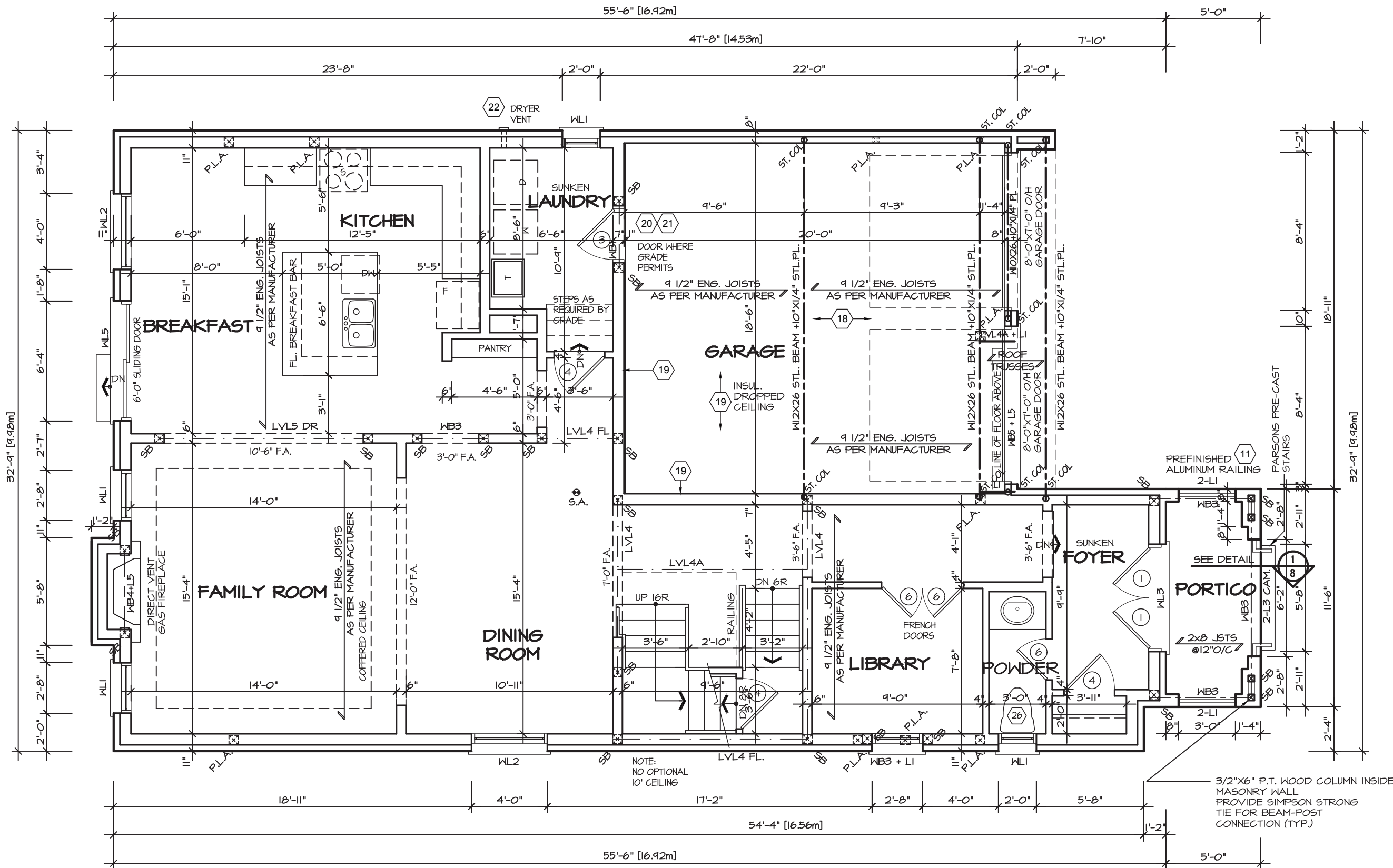
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12-04-19

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SHEET TITLE
FIRST FLOOR
ELEVATION 3

SCALE
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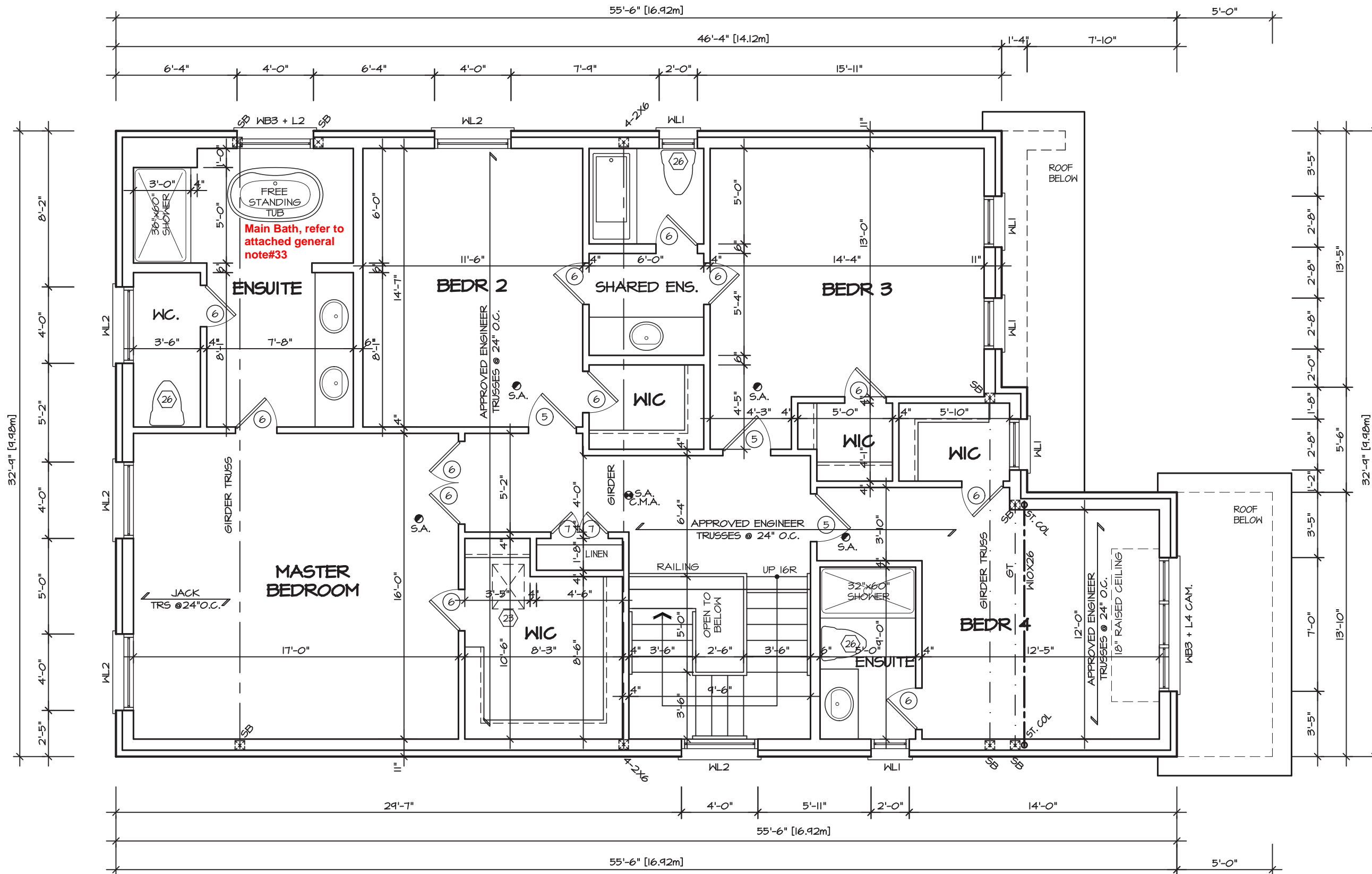
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AREA
2,930
PAGE No.
2-3
PROJECT
12-04-19

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BUILDING DIVISION

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SECOND FLOOR PLAN I - ELEV. '1A'



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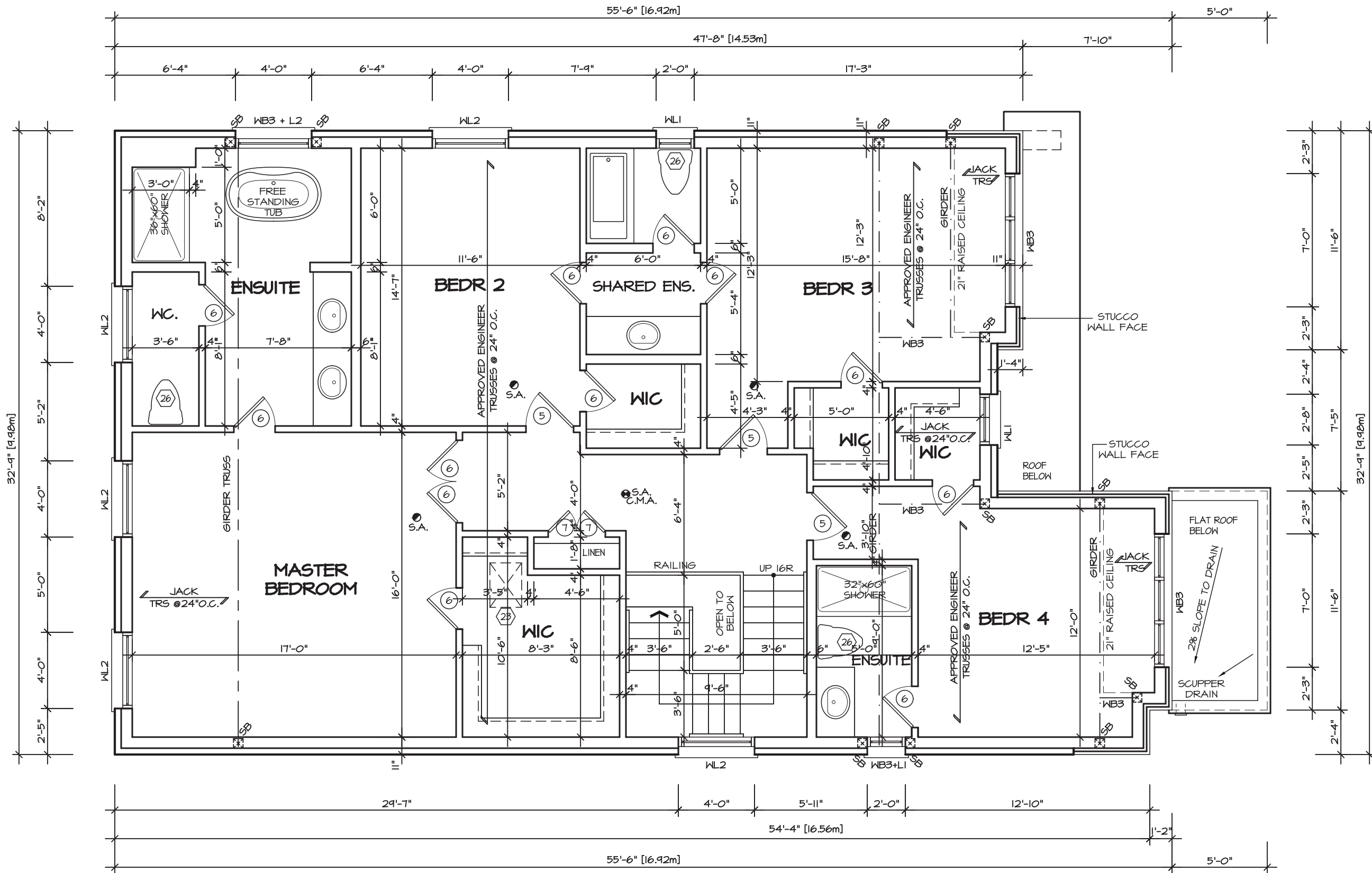
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DESIGN
INC.

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DATE JAN 2021	TYPE

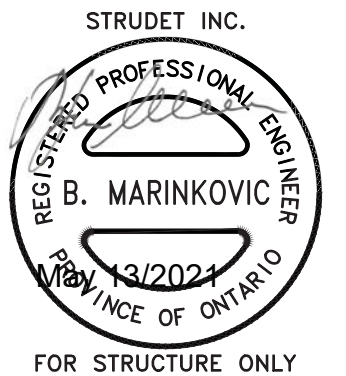
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AREA 2,930	PAGE No. 3
PROJECT 12-04-19	

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SECOND FLOOR PLAN 2



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GLENROWAN 3 COMPLIANCE PACKAGE "A1"

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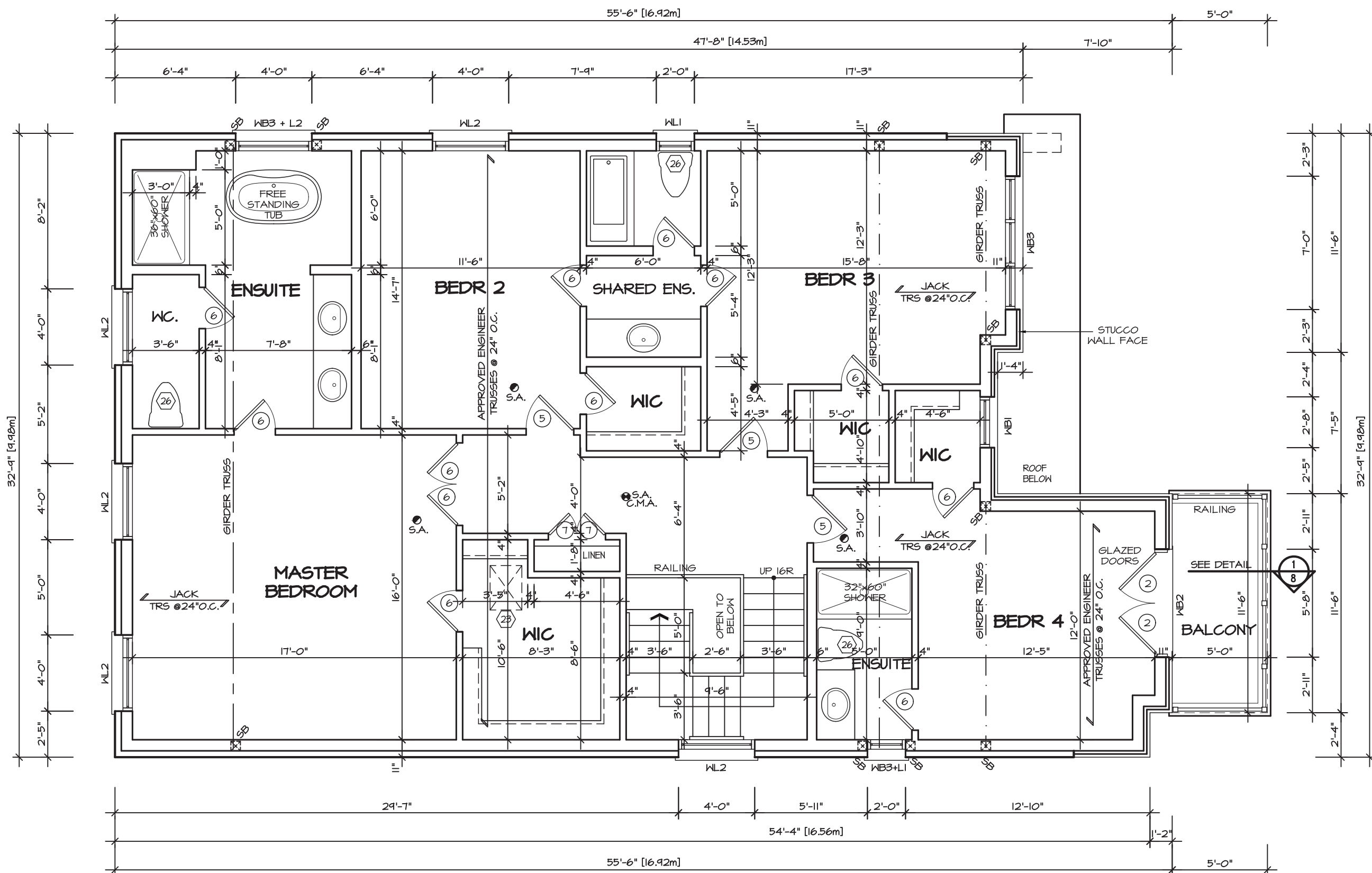
**REGION
DESIGN
INC.**

SHEET TITLE SECOND FLOOR ELEVATION 2	
SCALE 3/16"=1'-0"	BY MB
DATE JAN 2021	TYPE

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AREA 2,930	PAGE No. 3-2
PROJECT 12-04-19	

Greenpark BUILDING DIVISION
PROJECT NAME
ROUNDEL
09/22/2022
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SECOND FLOOR PLAN 3



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REGION
DESIGN
INC.

SHEET TITLE
SECOND FLOOR
ELEVATION 3

SCALE
3/16"=1'-0"
DATE
JAN 2021

BY
MB
TYPE

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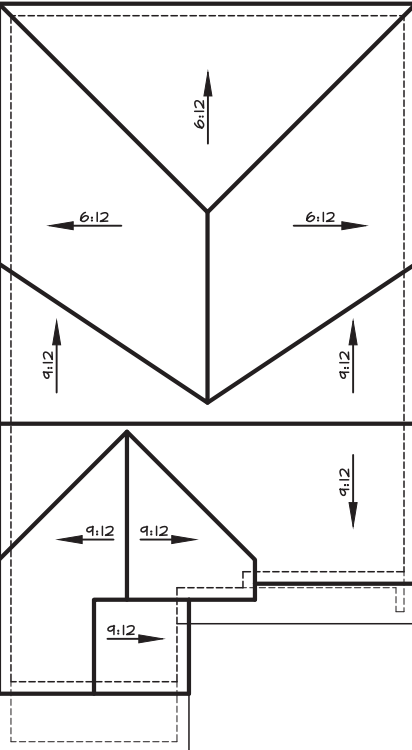
AREA
2,930
PAGE No.
3-3
PROJECT
12-04-19



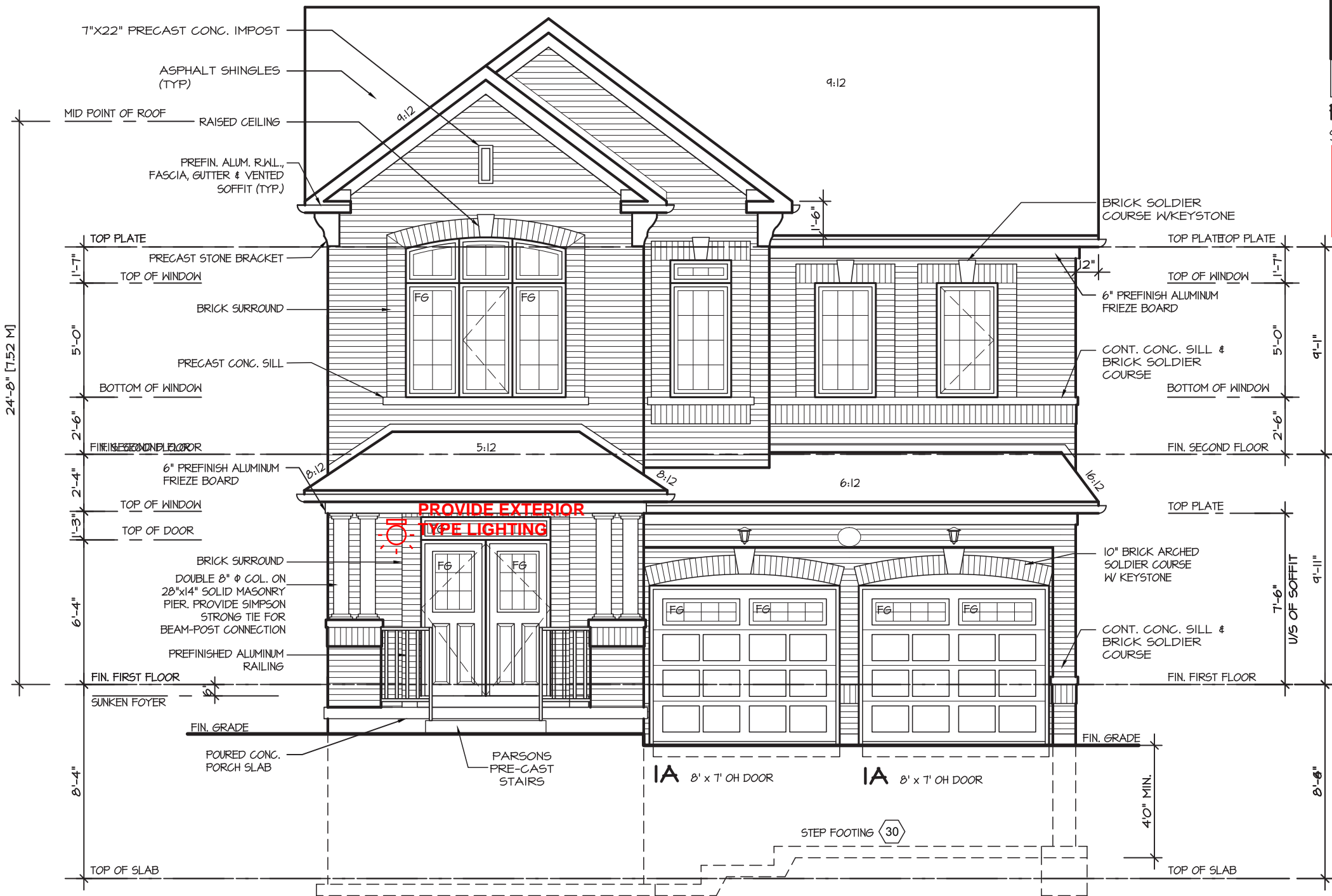
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Per: joshua.nabua

Attic ventilation min. 1 square foot / 300 square foot of ceiling area. Locate 50% of ventilation near ridge.



ROOF PLAN I
Scale: 1/16"=1'-0"
Refer to approved truss drawings for roof framing layout and specifications for correct bearing, uplift and anchorage.



FRONT ELEVATION I

GLENROWAN 3

COMPLIANCE PACKAGE "A1"

W Architect Inc.
DESIGN CONTROL REVIEW
APRIL 13, 2022
FINAL BY: *W*
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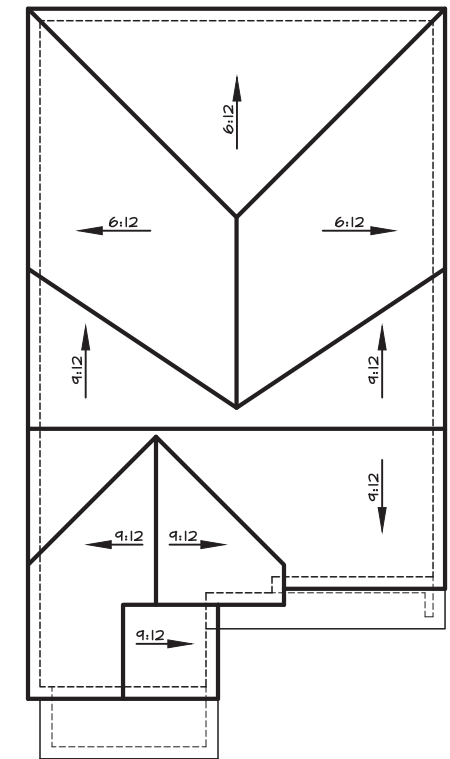
REGION DESIGN INC.
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REGION
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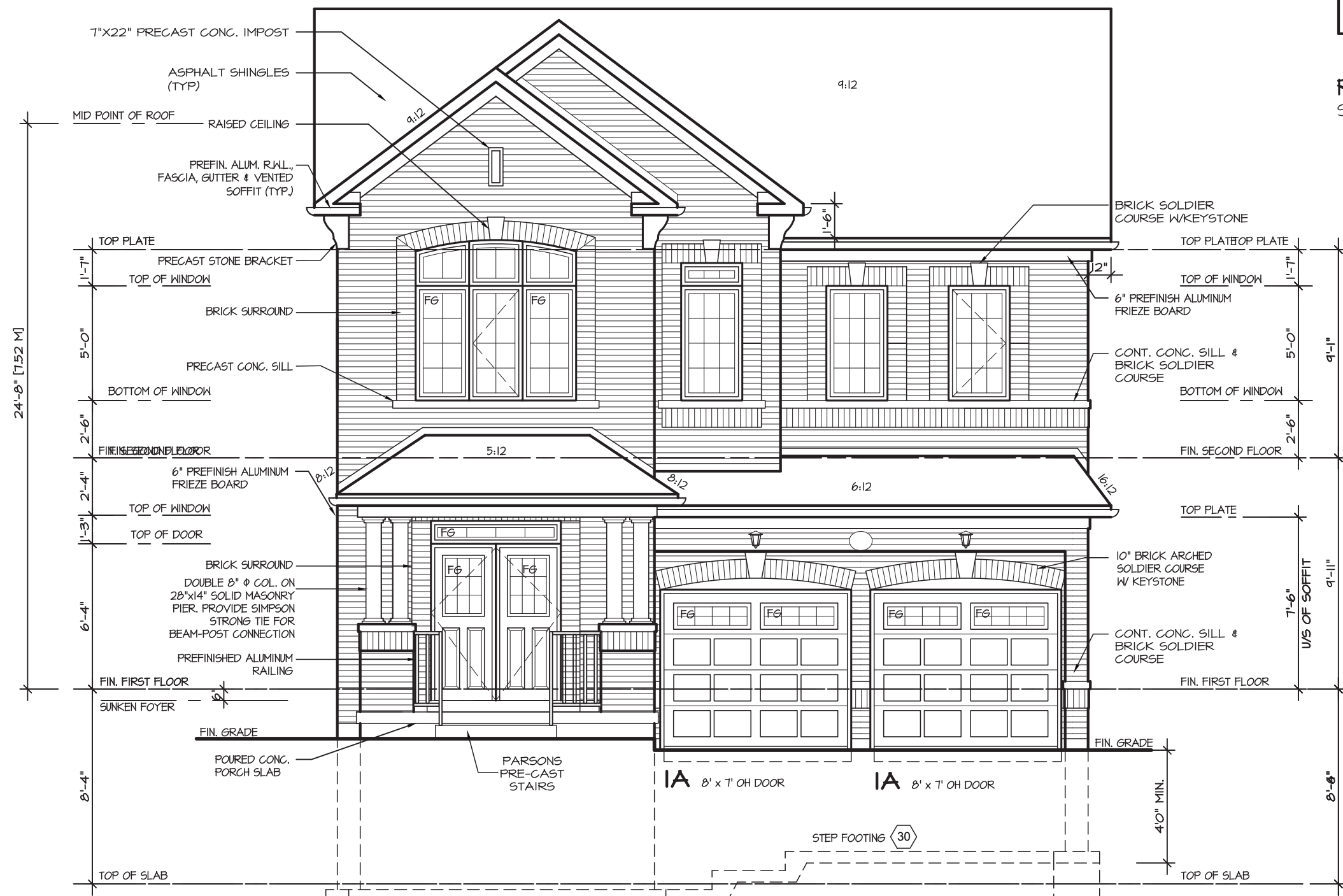
SHEET TITLE
FRONT ELEVATION 1
SCALE
3/16"=1'-0"
DATE
JAN 2021
BY
MB
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.
AREA
2,930
PAGE No.
4
PROJECT
12-04-19

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PROJECT NAME
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ROOF PLAN 1A
Scale: 1/16"=1'-0"



FRONT ELEVATION 1A

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SHEET TITLE
FRONT ELEVATION 1A

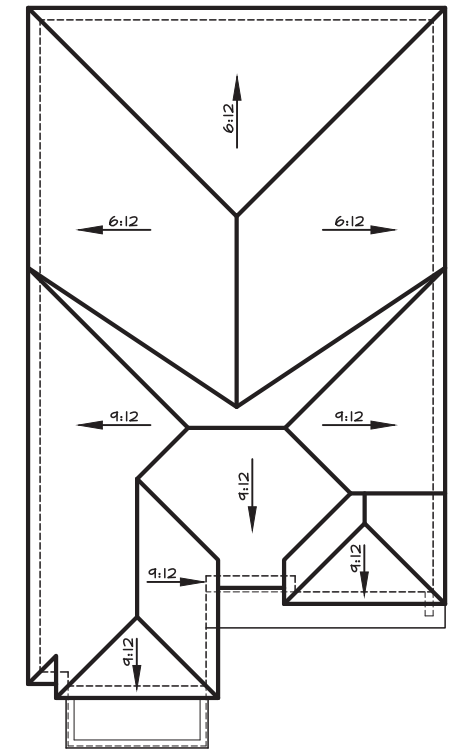
SCALE 3/16"=1'-0"	BY MB
DATE JAN 2021	TYPE

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AREA 2,930	PAGE No. 4A
PROJECT 12-04-19	

Greenpark
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PROJECT NAME
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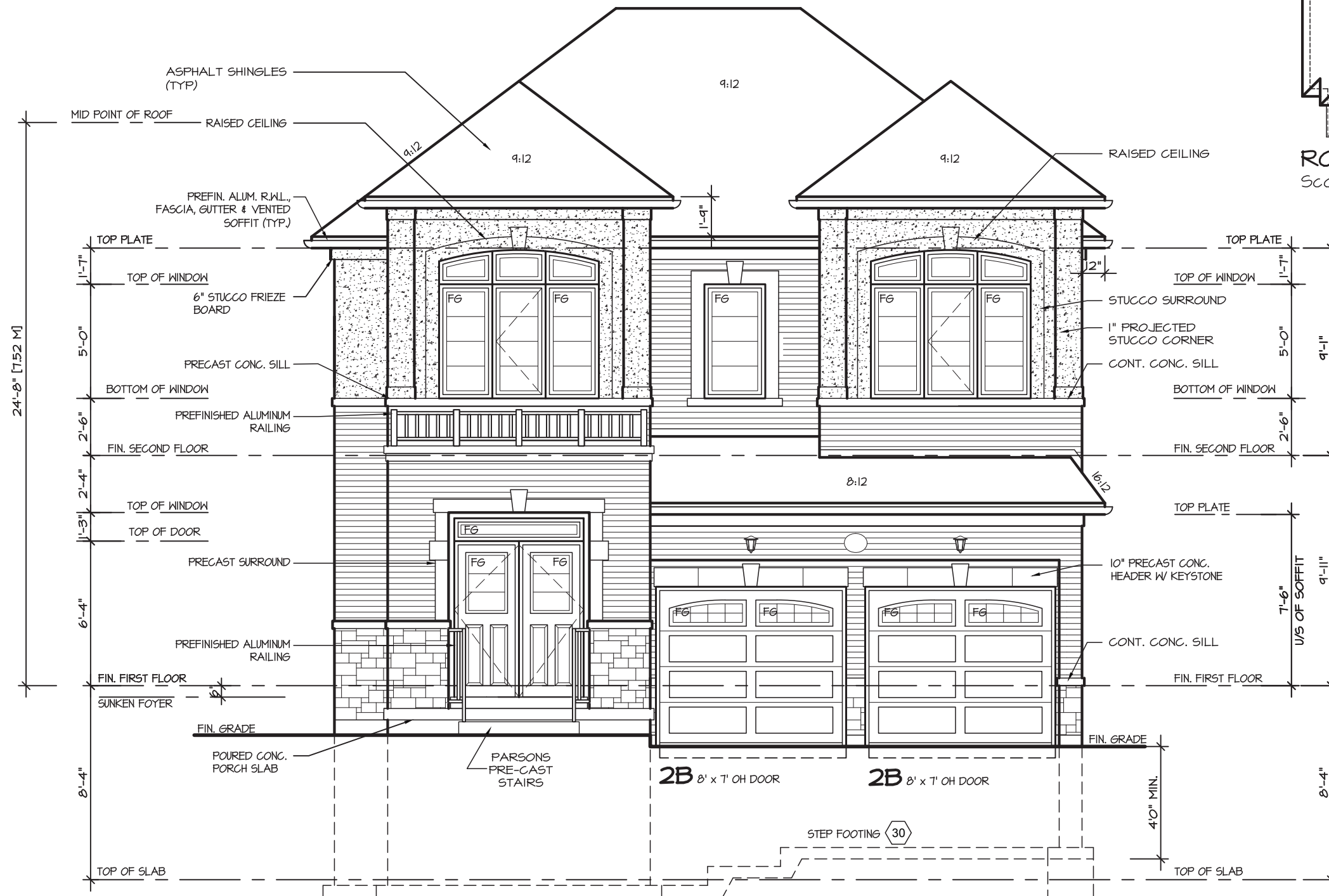
May 13, 2021
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ROOF PLAN 2
Scale: 1/16"=1'-0"



INSIDE PORTICO
ELEVATION 2



FRONT ELEVATION 2

W Architect Inc.
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REGION
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INC.

SHEET TITLE FRONT ELEVATION 2	
SCALE 3/16"=1'-0"	BY MB
DATE JAN 2021	TYPE

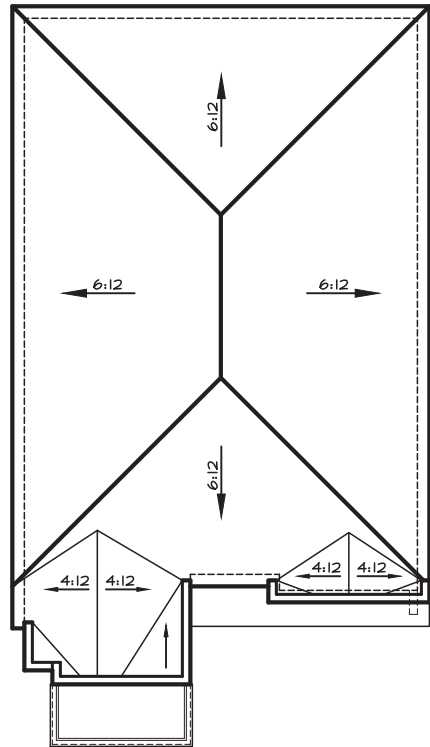
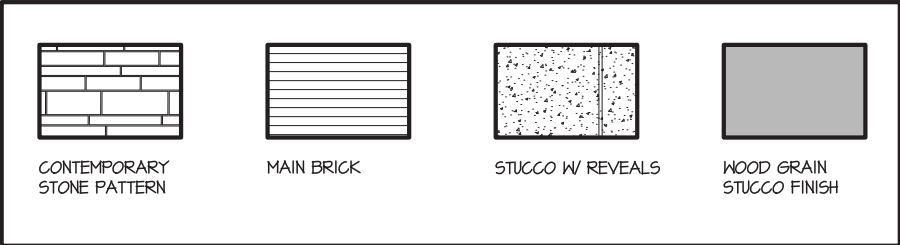
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AREA 2,930	PAGE No. 4-2
PROJECT 12-04-19	

Greenpark
BUILDING DIVISION

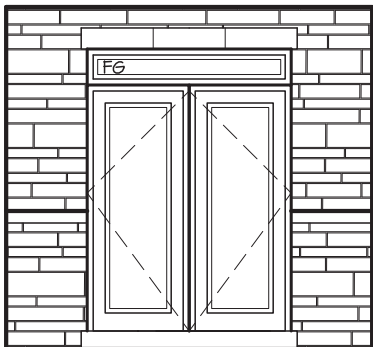
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ROOF PLAN 3
Scale: 1/16"=1'-0"

Glazed enclosure acting as guards shall be in conformance with CAN/CGSB-12.1-M, OBC 2012 SB-13, Framing Elements shall be in conformance with OBC 2012 SB-7



INSIDE PORTICO
ELEVATION 3



FRONT ELEVATION 3

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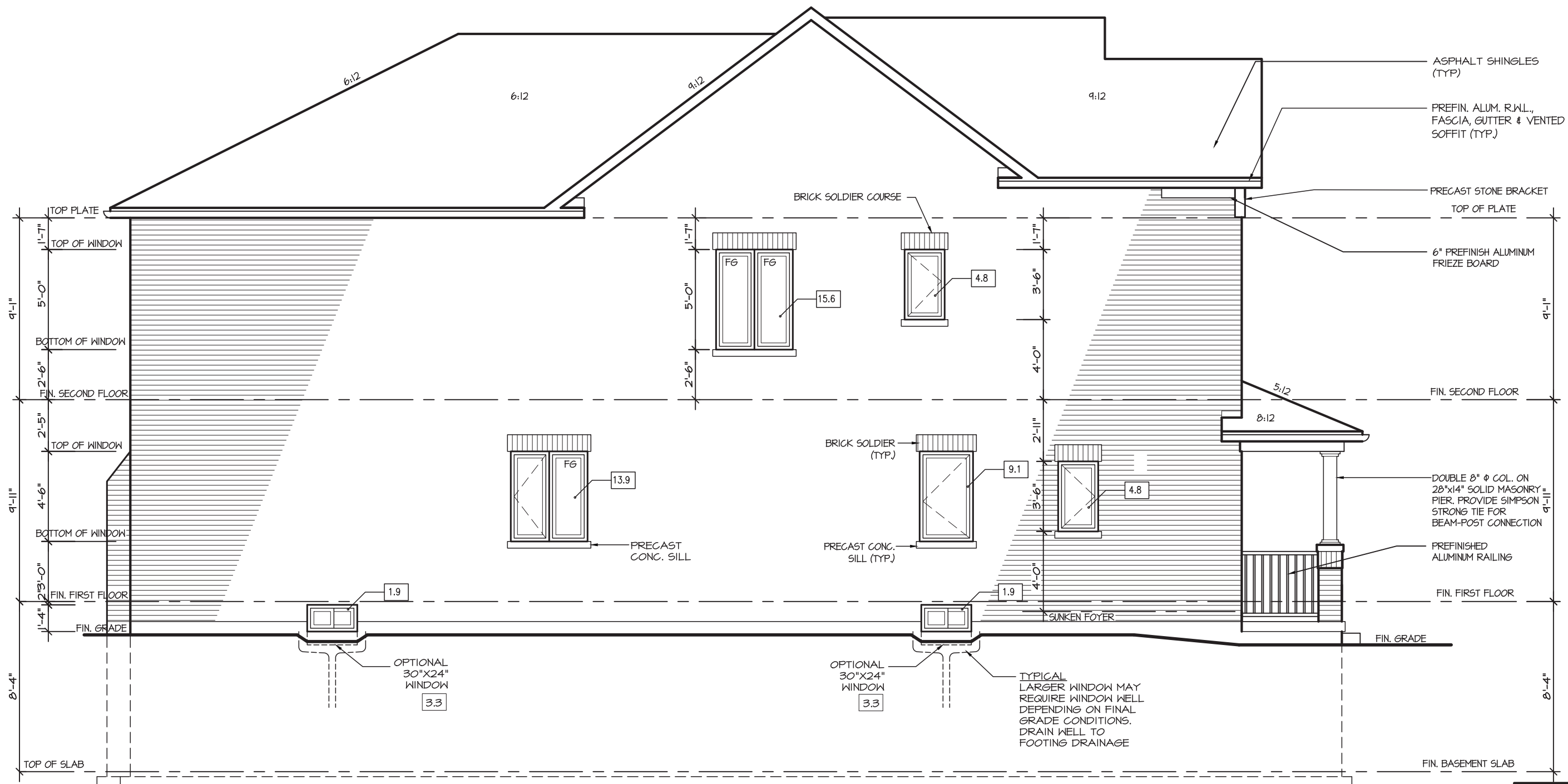
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DESIGN
INC.

SHEET TITLE FRONT ELEVATION 3	
SCALE 3/16"=1'-0"	BY MB
DATE JAN 2021	TYPE

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AREA 2,930	PAGE No. 4-3
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CITY OF RICHMOND HILL
BUILDING DIVISION
PROJECT NAME
ROUNDEL
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LEFT ELEVATION 1 - ELEV. '1A'

ALLOWABLE GLAZING

WALL AREA

WALL AREA	1145.00
ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDERYARD)	80.15
ACTUAL WINDOW AREA	52.00
WITH OPTIONAL 30"x24" BASEMENT WINDOWS ACTUAL OPENING AREA	54.80

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.



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REGION
DESIGN
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SHEET TITLE LEFT SIDE ELEVATION 1	
SCALE 3/16"=1'-0"	BY MB
DATE JAN 2021	TYPE

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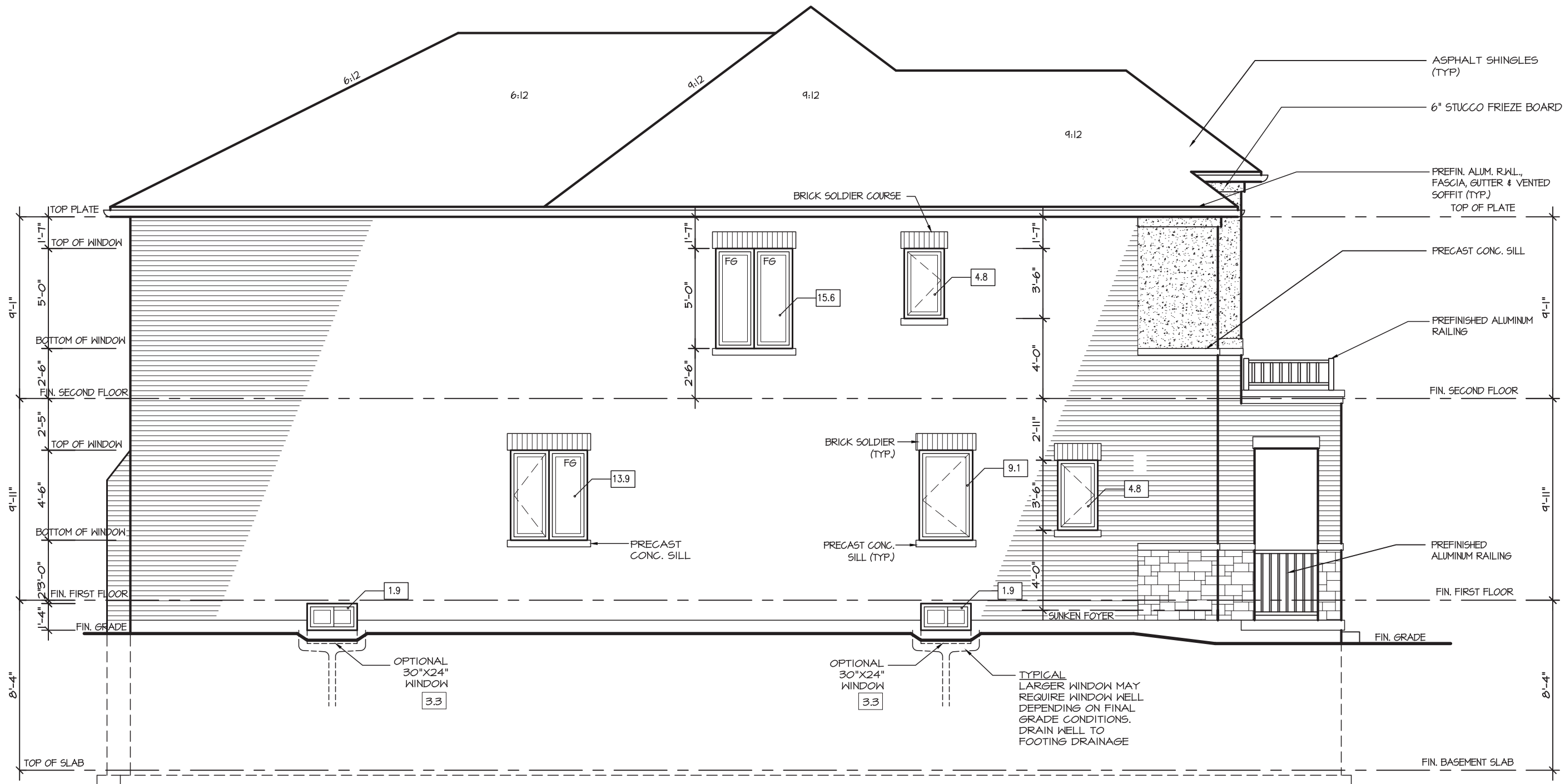
AREA 2,930	PAGE No. 5
PROJECT 12-04-19	

Greenpark
BUILDING DIVISION

PROJECT NAME
ROUNDEL

09/22/2022

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Per: joshua.nabua



LEFT ELEVATION 2

ALLOWABLE GLAZING

WALL AREA	1145.00
ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDEYARD)	80.15
ACTUAL WINDOW AREA	52.00
WITH OPTIONAL 30"x24" BASEMENT WINDOWS ACTUAL OPENING AREA	54.80

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CITY OF RICHMOND HILL
BUILDING DIVISION
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GLENROWAN 3
COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.	ISSUED FOR PERMIT	MAY 2021
1.	ISSUED FOR COORDINATION	Feb 2021
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
SIGNATURE
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION
DESIGN
INC.

SHEET TITLE
LEFT SIDE
ELEVATION 2

SCALE
3/16"=1'-0"
DATE
JAN 2021

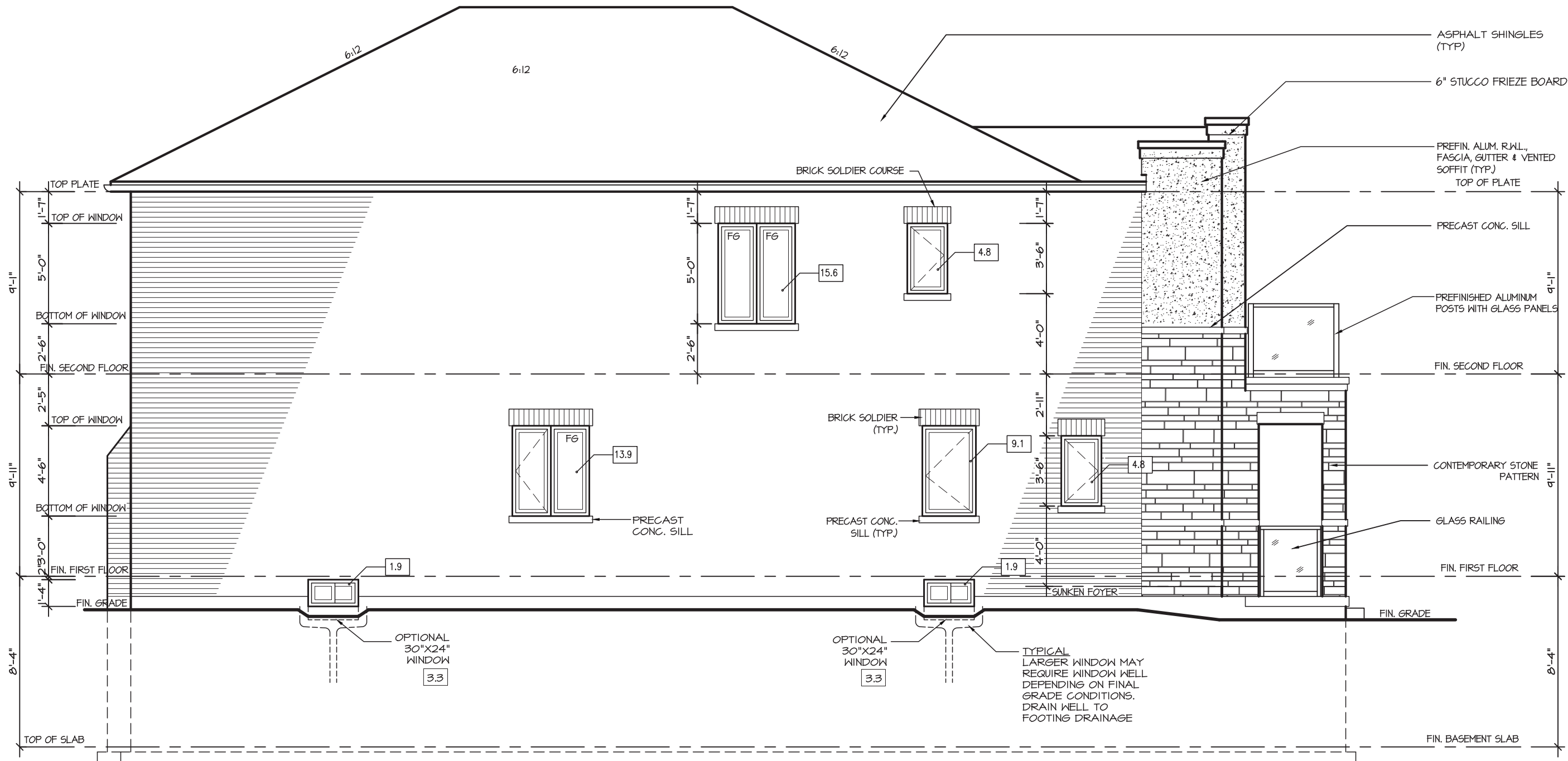
BY
MB
TYPE

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.

AREA
2,930
PAGE No.
5-2
PROJECT
12-04-19

Greenpark™

PROJECT NAME
ROUNDEL



LEFT ELEVATION 3

ALLOWABLE GLAZING

WALL AREA

WALL AREA	1145.00
ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDEYARD)	80.15
ACTUAL WINDOW AREA	52.00
WITH OPTIONAL 30"X24" BASEMENT WINDOWS ACTUAL OPENING AREA	54.80

W Architect Inc.
DESIGN CONTROL REVIEW
APRIL 13, 2022
FINAL BY: *W*
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CITY OF RICHMOND HILL
BUILDING DIVISION

09/22/2022

RECEIVED
Per: joshua.nabua

GLENROWAN 3

COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
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1.	ISSUED FOR COORDINATION	Feb 2021
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REGION
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INC.

SHEET TITLE

LEFT SIDE
ELEVATION 3

SCALE
3/16"=1'-0"

DATE
JAN 2021

BY
MB

TYPE

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AREA
2,930

PROJECT
12-04-19

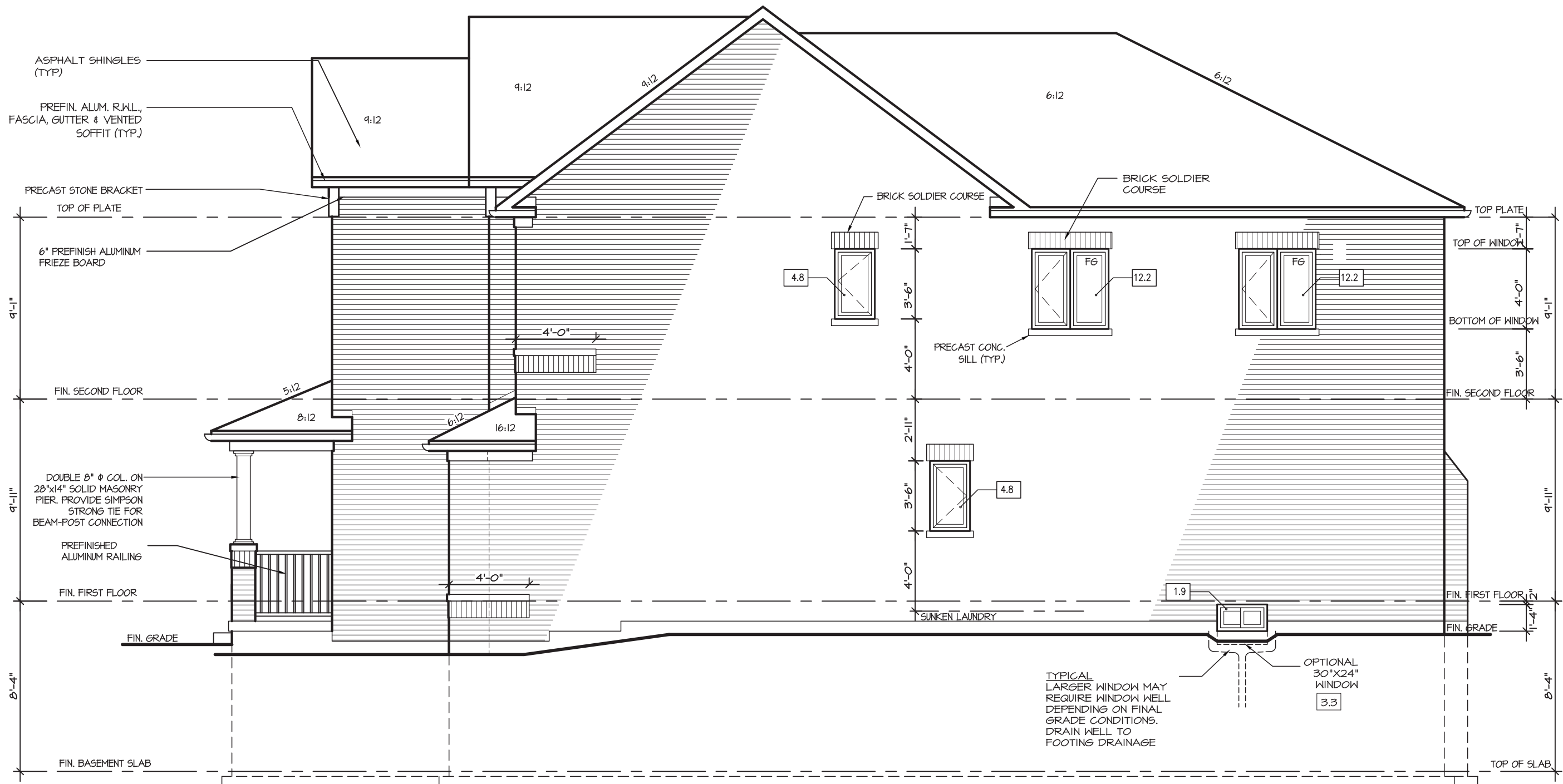
PAGE No.

5-3

Greenpark™

PROJECT NAME

ROUNDEL



RIGHT ELEVATION I - ELEV. 'IA'

ALLOWABLE GLAZING

WALL AREA	1145.00
WALL AREA	1145.00
ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDEYARD)	80.15
ACTUAL WINDOW AREA	35.90
WITH OPTIONAL 30"X24" BASEMENT WINDOWS ACTUAL OPENING AREA	37.30

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

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APRIL 13, 2022
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REGION
DESIGN
INC.

RIGHT SIDE
ELEVATION 1

SCALE
3/16"=1'-0"

DATE
JAN 2021

BY
MB

TYPE

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AREA
2,930

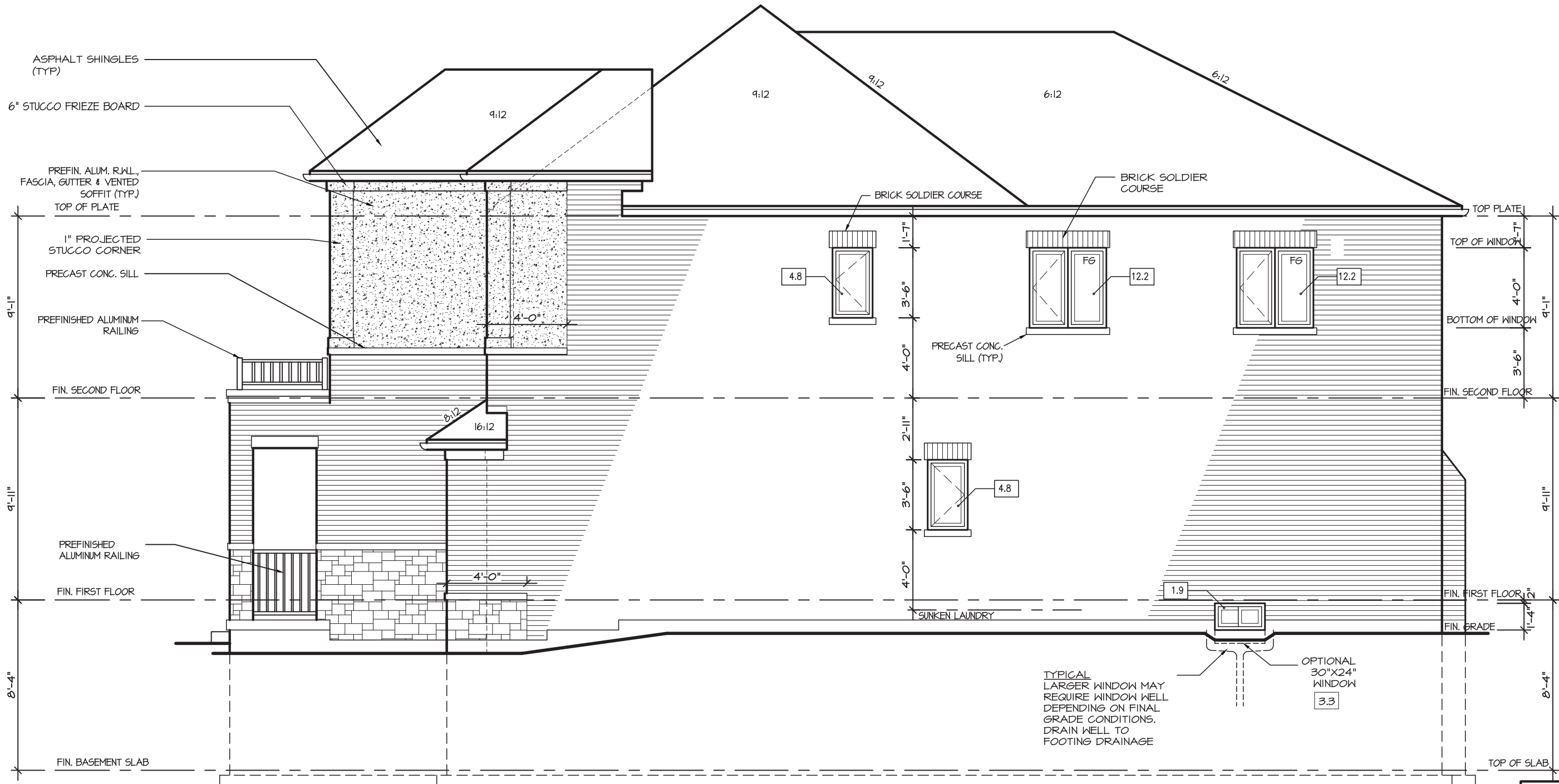
PROJECT
12-04-19

PAGE No.

6

Greenpark™

PROJECT NAME
ROUNDEL



RIGHT ELEVATION 2

ALLOWABLE GLAZING

WALL AREA	
WALL AREA	1145.00
ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDEYARD)	80.15
ACTUAL WINDOW AREA	35.90
WITH OPTIONAL 30"X24" BASEMENT WINDOWS ACTUAL OPENING AREA	37.30

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APRIL 13, 2022
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GLENROWAN 3
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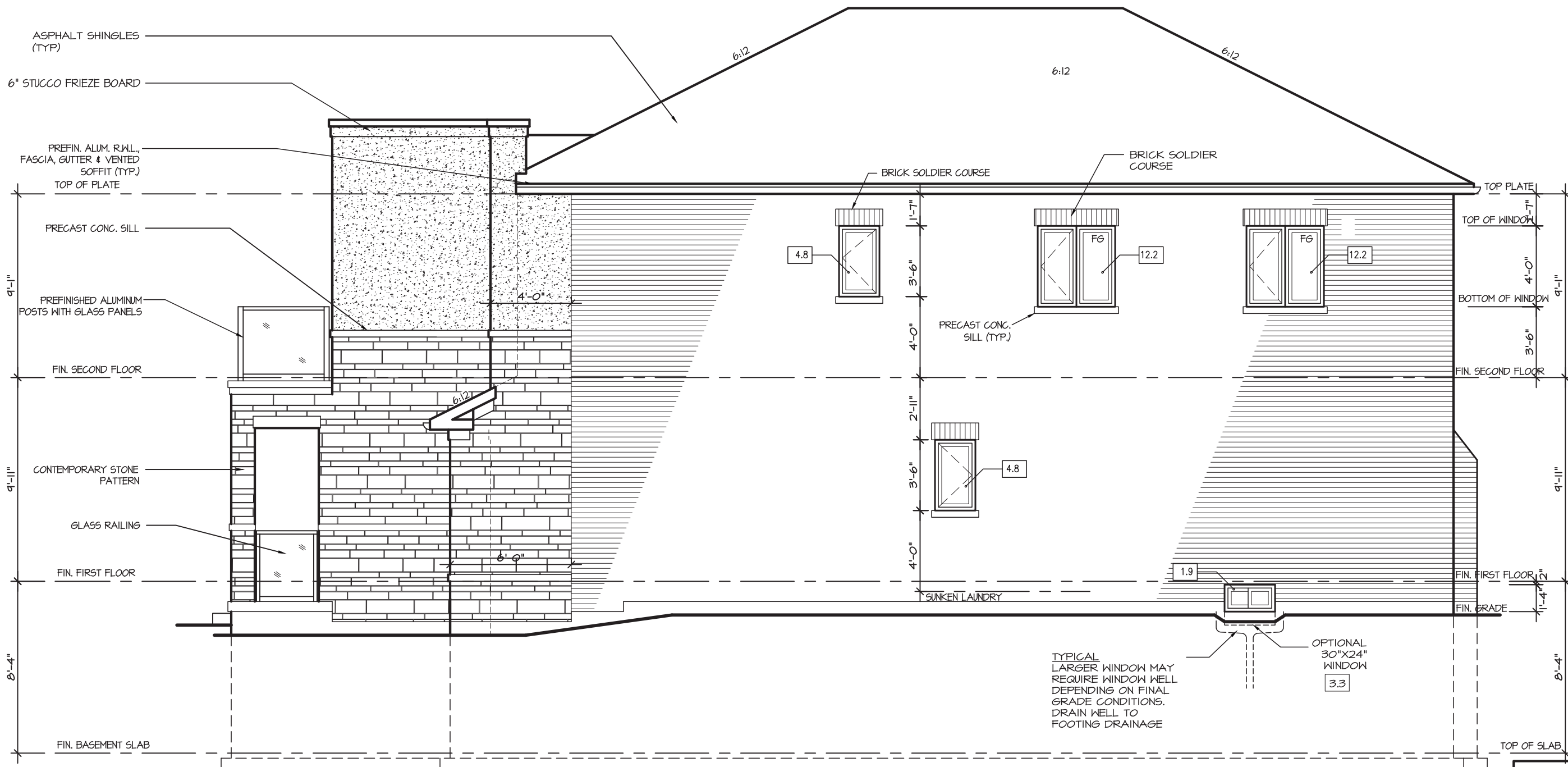
REGION DESIGN INC.
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REGION
DESIGN
INC.

SHEET TITLE
RIGHT SIDE
ELEVATION 2
SCALE
3/16"=1'-0"
DATE
JAN 2021
BY
MB
TYPE

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AREA
2,930
PAGE No.
6-2
PROJECT
12-04-19

Greenpark™
PROJECT NAME
ROUNDEL



RIGHT ELEVATION 3

ALLOWABLE GLAZING

WALL AREA

WALL AREA	1145.00
ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDEYARD)	80.15
ACTUAL WINDOW AREA	35.90
WITH OPTIONAL 30"x24" BASEMENT WINDOWS ACTUAL OPENING AREA	37.30

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APRIL 13, 2022
FINAL BY: *ACE*
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GLENROWAN 3
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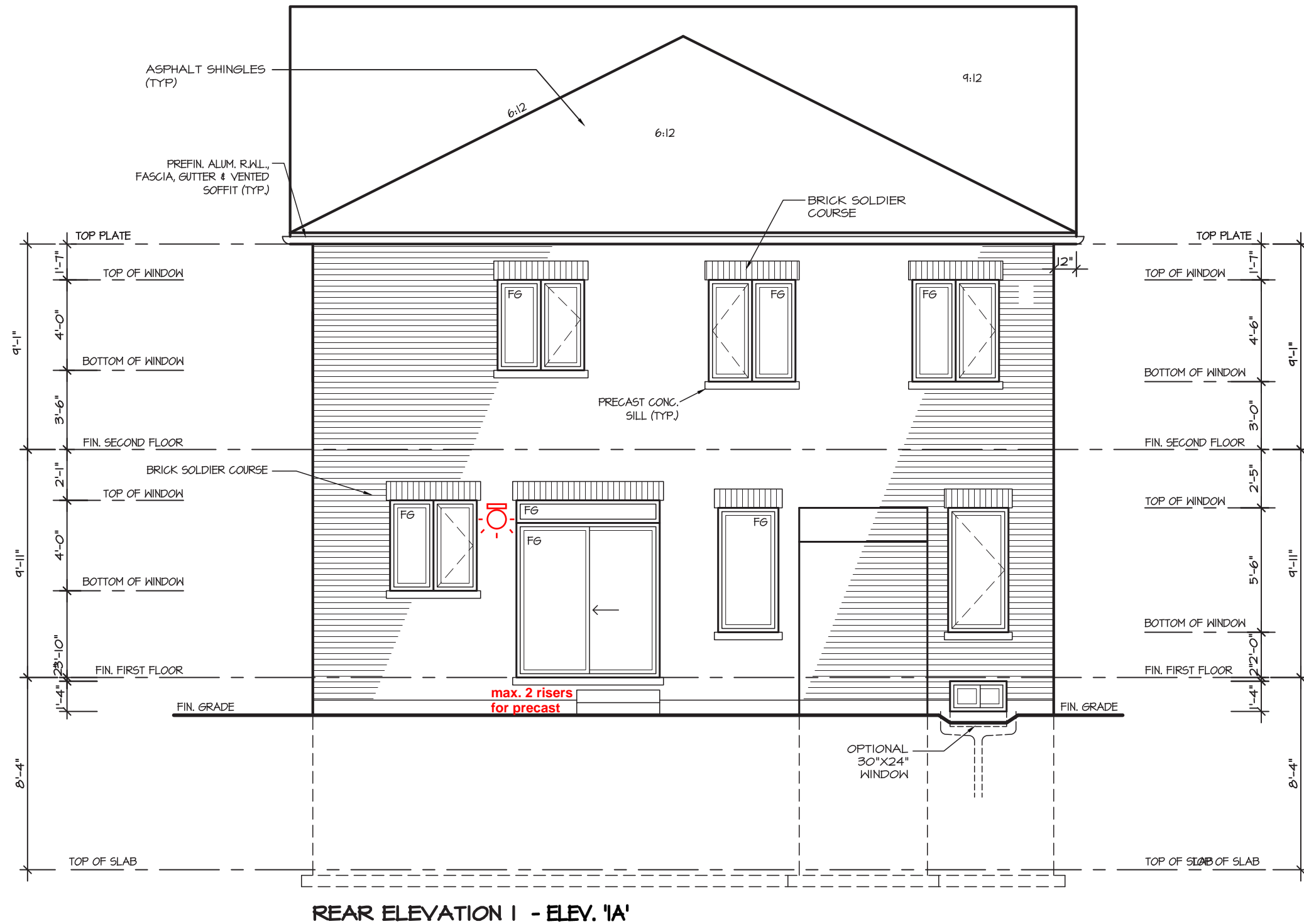
REGION
DESIGN
INC.

SHEET TITLE RIGHT SIDE ELEVATION 3	
SCALE 3/16"=1'-0"	BY MB
DATE JAN 2021	TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA 2,930	PAGE No. 6-3
PROJECT 12-04-19	

Greenpark™

PROJECT NAME
ROUNDEL



W Architect Inc.
DESIGN CONTROL REVIEW
APRIL 13, 2022
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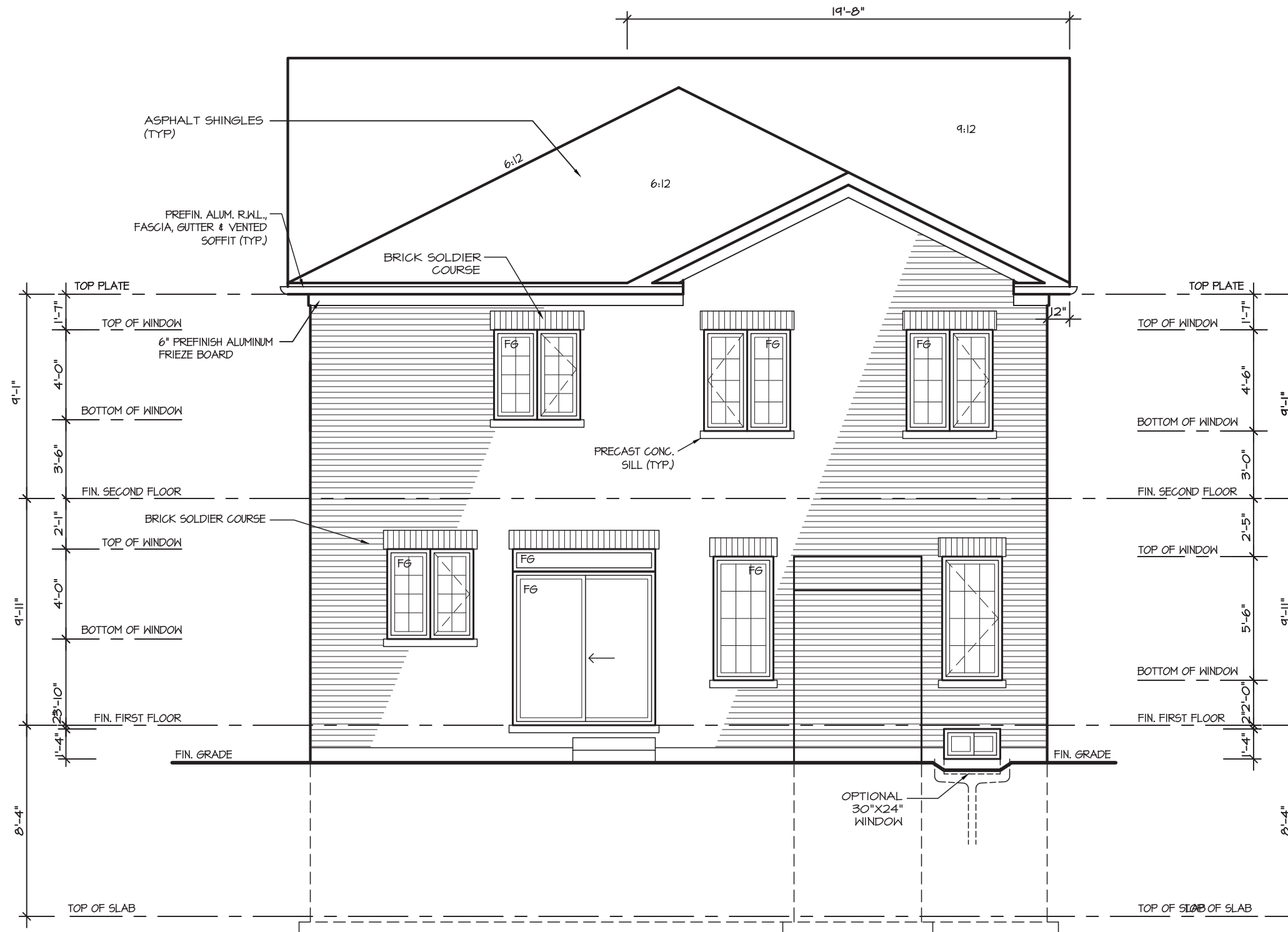
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CITY OF RICHMOND HILL
BUILDING DIVISION
09/22/2022
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GLENROWAN 3

COMPLIANCE PACKAGE "A1"

5.			The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE REAR ELEVATION 1		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.			PROJECT NAME ROUNDEL
4.						SCALE 3/16"=1'-0"	BY MB	AREA 2,930	PAGE No. 7		
3.						DATE JAN 2021	TYPE	PROJECT 12-04-19			
2. ISSUED FOR PERMIT	MAY 2021										
1. ISSUED FOR COORDINATION	Feb 2021		VIKAS GAJJAR NAME	 SIGNATURE	28770 BCIN						
REVISIONS											

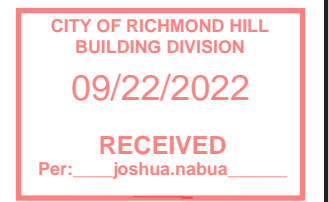


UPGRADE REAR ELEVATION 1 - ELEV. 'A'



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GLENROWAN 3

COMPLIANCE PACKAGE "A1"

5.		
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28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746



SHEET TITLE
REAR ELEVATION 1
UPGRADE

SCALE
3/16"=1'-0"

DATE
JAN 2021

BY
MB

TYPE

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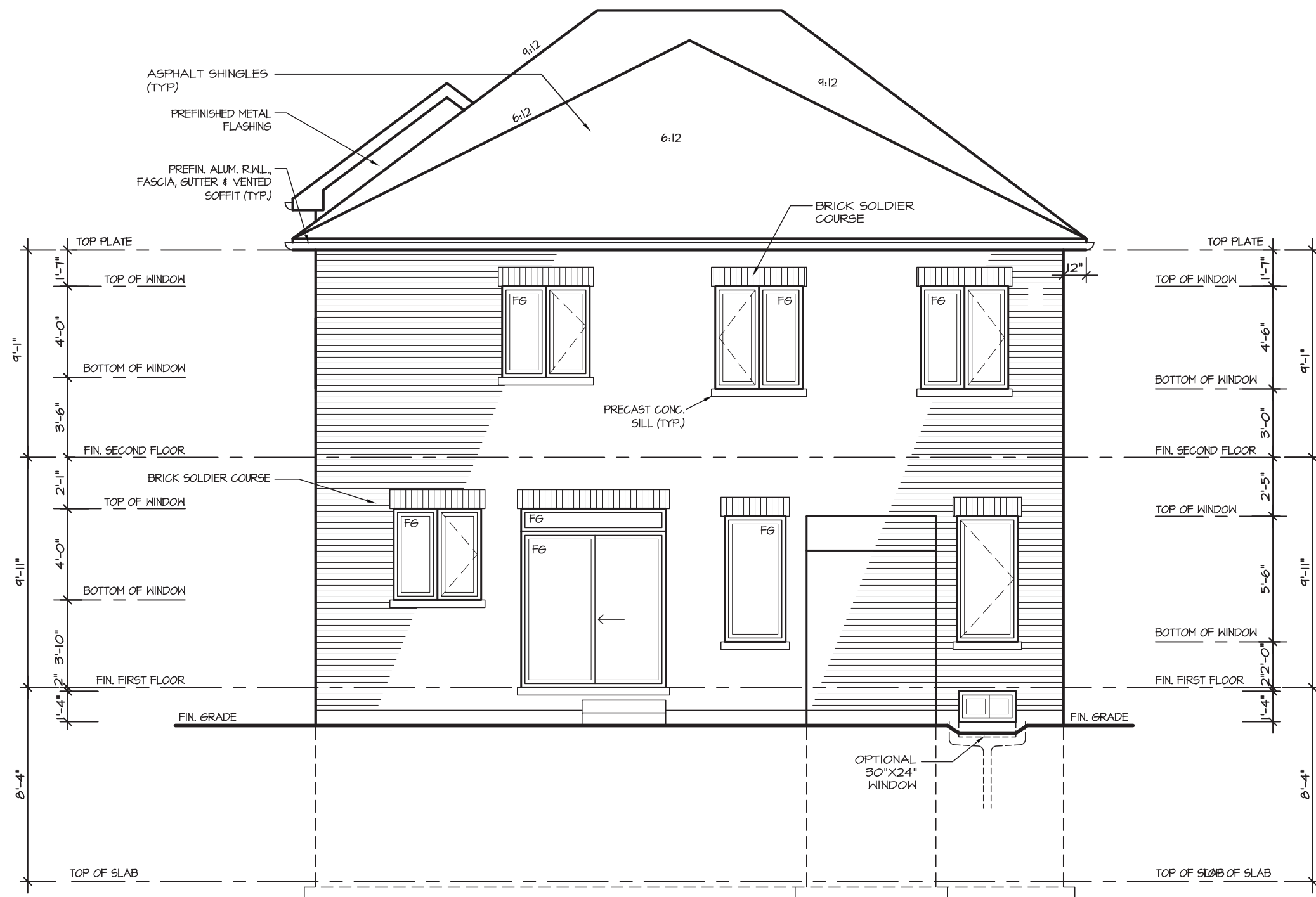
AREA
2,930

PROJECT
12-04-19

PAGE No.
7A



PROJECT NAME
ROUNDEL



REAR ELEVATION 2



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

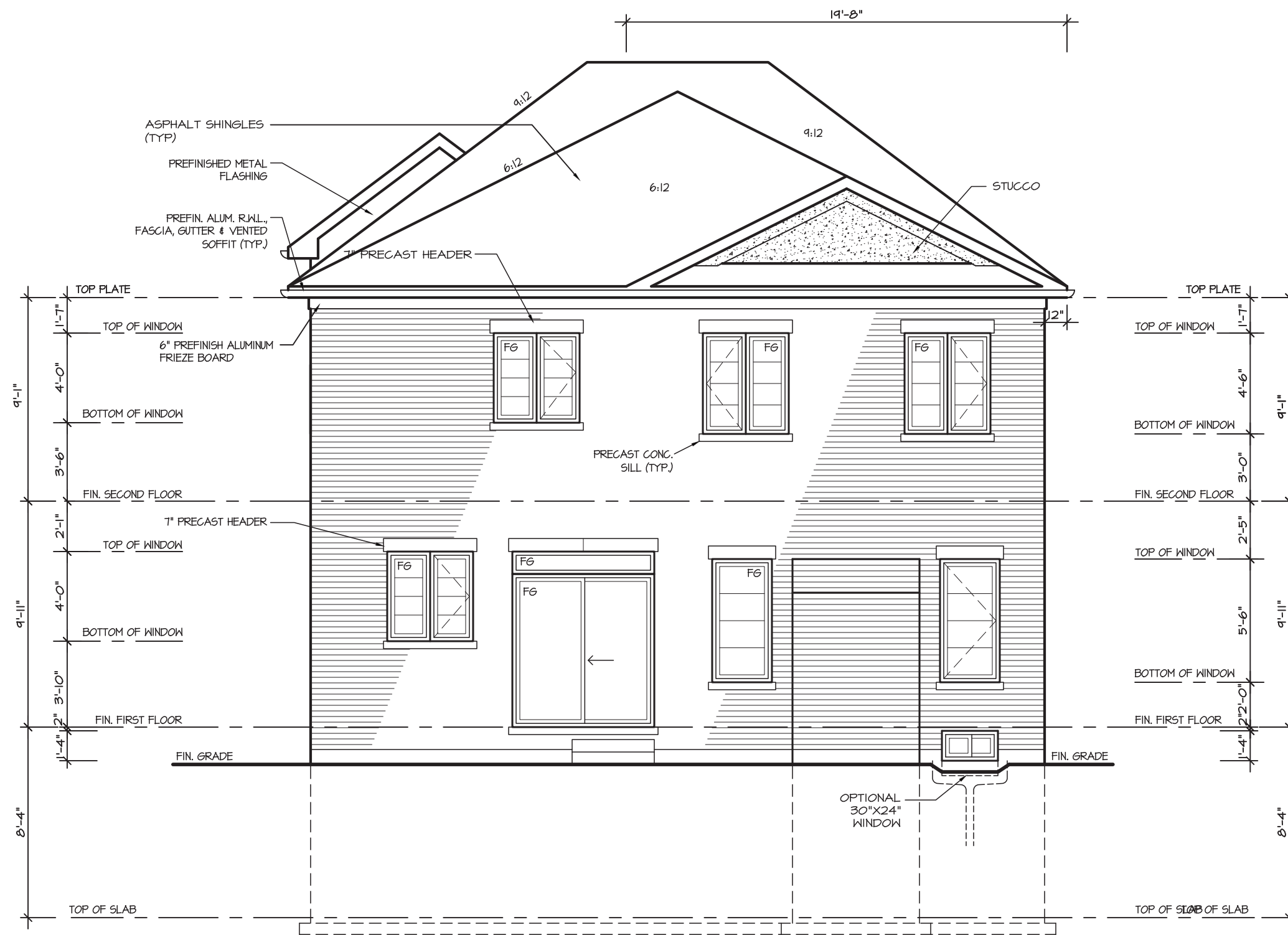
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GLENROWAN 3

COMPLIANCE PACKAGE "A1"

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4.						SCALE 3/16"=1'-0"	BY MB	AREA 2,930	PAGE No. 7-2		
3.						DATE JAN 2021	TYPE	PROJECT 12-04-19			
2. ISSUED FOR PERMIT	MAY 2021										
1. ISSUED FOR COORDINATION	Feb 2021		VIKAS GAJJAR NAME	SIGNATURE	28770 BCIN						
REVISIONS											



UPGRADE REAR ELEVATION 2



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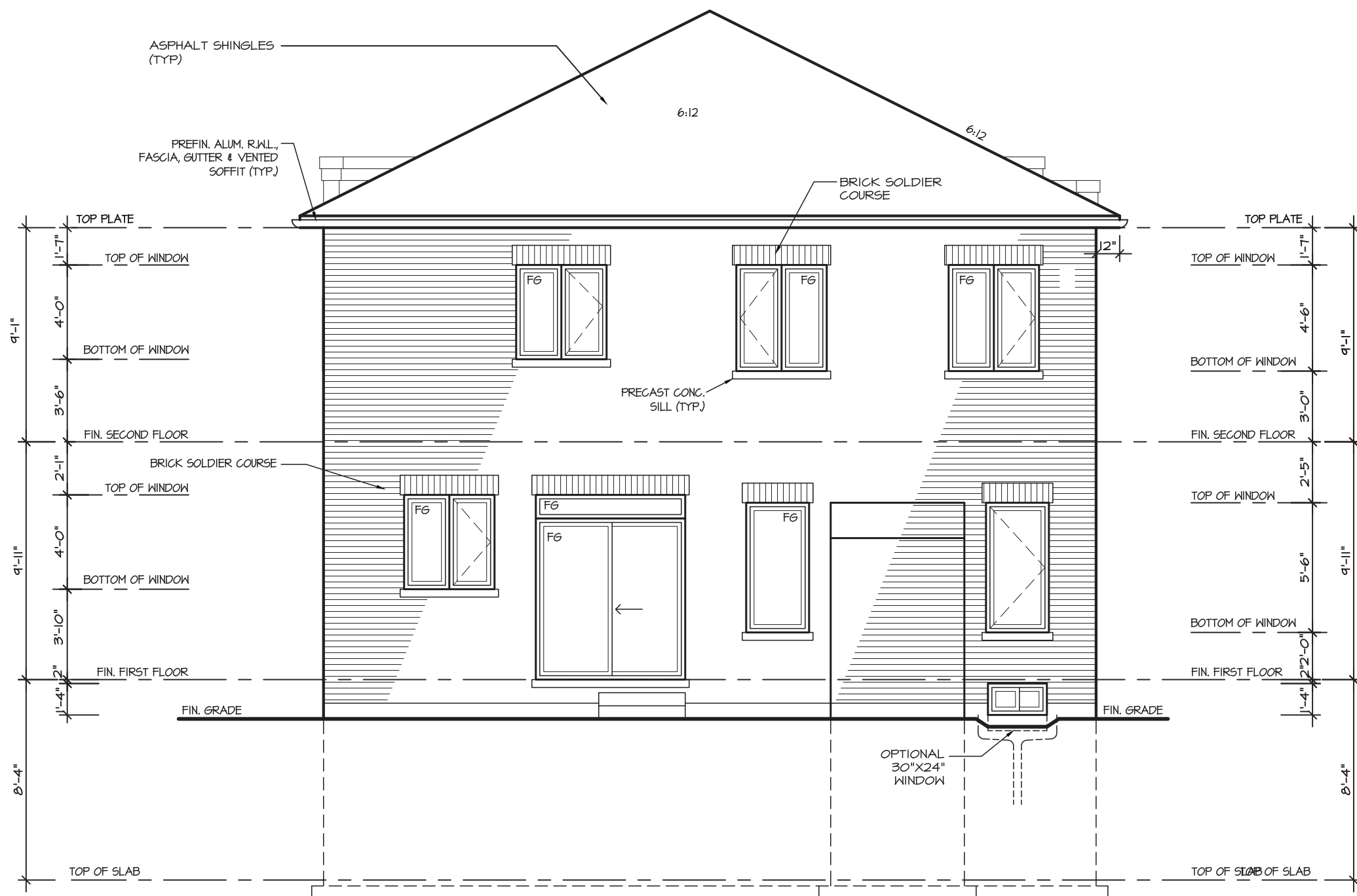
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GLENROWAN 3

COMPLIANCE PACKAGE "A1"

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4.			QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code			SCALE 3/16"=1'-0"	BY MB	AREA 2,930	PAGE No. 7A-2		
3.			VIKAS GAJJAR NAME	28770 BCIN		DATE JAN 2021	TYPE	PROJECT 12-04-19			
2.	ISSUED FOR PERMIT	MAY 2021									
1.	ISSUED FOR COORDINATION	Feb 2021									
REVISIONS											



REAR ELEVATION 3

W Architect Inc.
DESIGN CONTROL REVIEW
APRIL 13, 2022
FINAL BY: *ALL*
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CITY OF RICHMOND HILL
BUILDING DIVISION
09/22/2022
RECEIVED
Per: joshua.nabua

GLENROWAN 3

COMPLIANCE PACKAGE "A1"

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REGION
DESIGN
INC.

SHEET TITLE
REAR ELEVATION 3

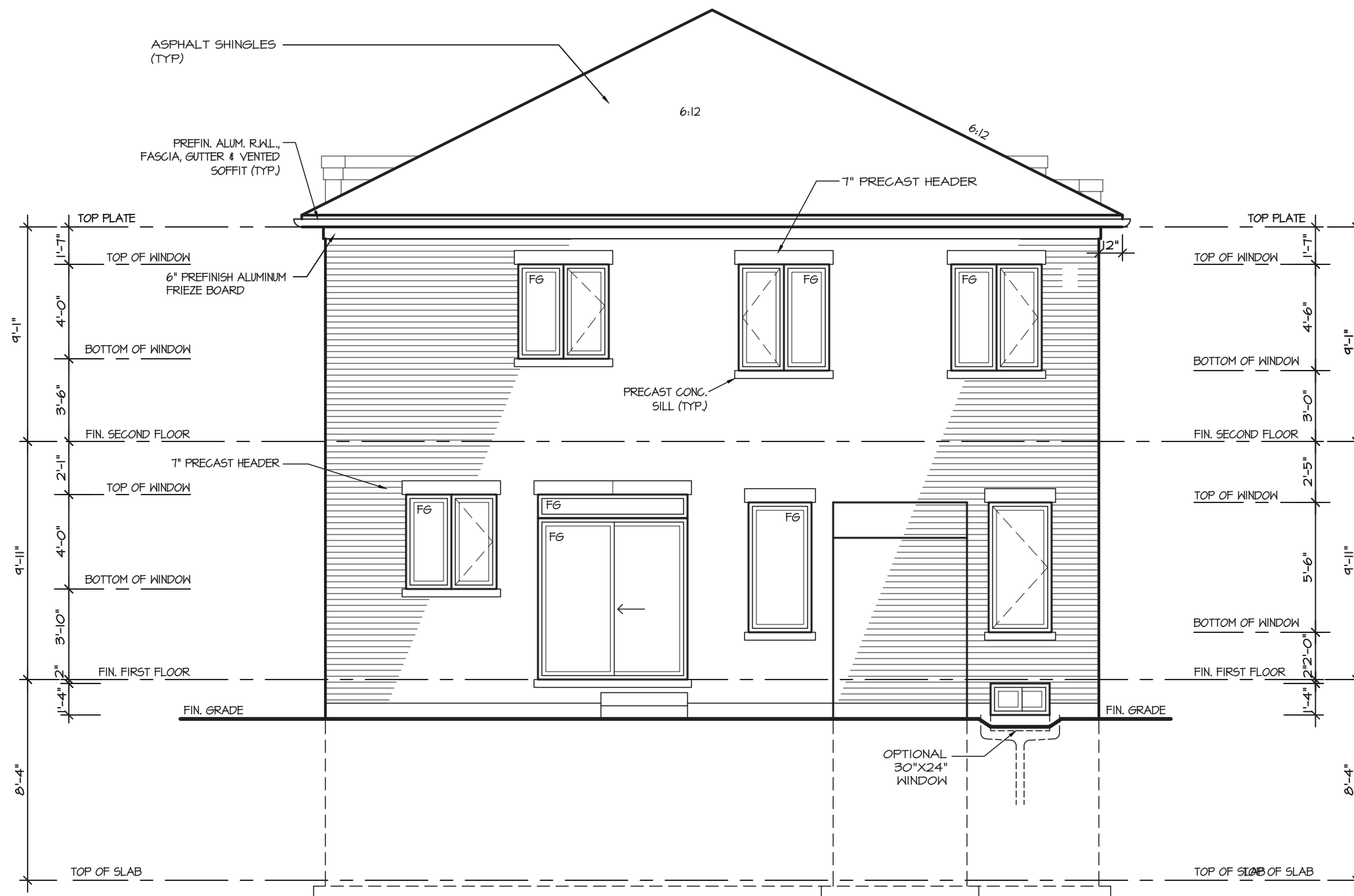
SCALE 3/16"=1'-0"	BY MB
DATE JAN 2021	TYPE

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AREA 2,930	PAGE No. 7-3
PROJECT 12-04-19	

Greenpark

PROJECT NAME
ROUNDEL



UPGRADE REAR ELEVATION 3

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APRIL 13, 2022
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GLENROWAN 3

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REGION
DESIGN
INC.

SHEET TITLE
REAR ELEVATION 3
UPGRADE

SCALE
3/16"=1'-0"

DATE
JAN 2021

BY
MB

TYPE

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AREA
2,930

PROJECT
12-04-19

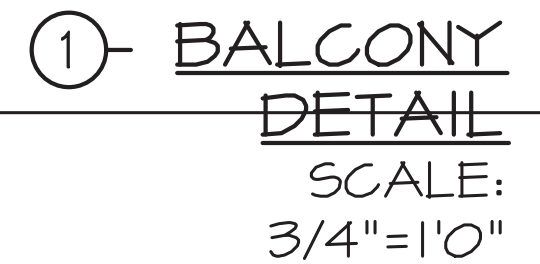
PAGE No.

7A-3

Greenpark™

PROJECT NAME

ROUNDEL

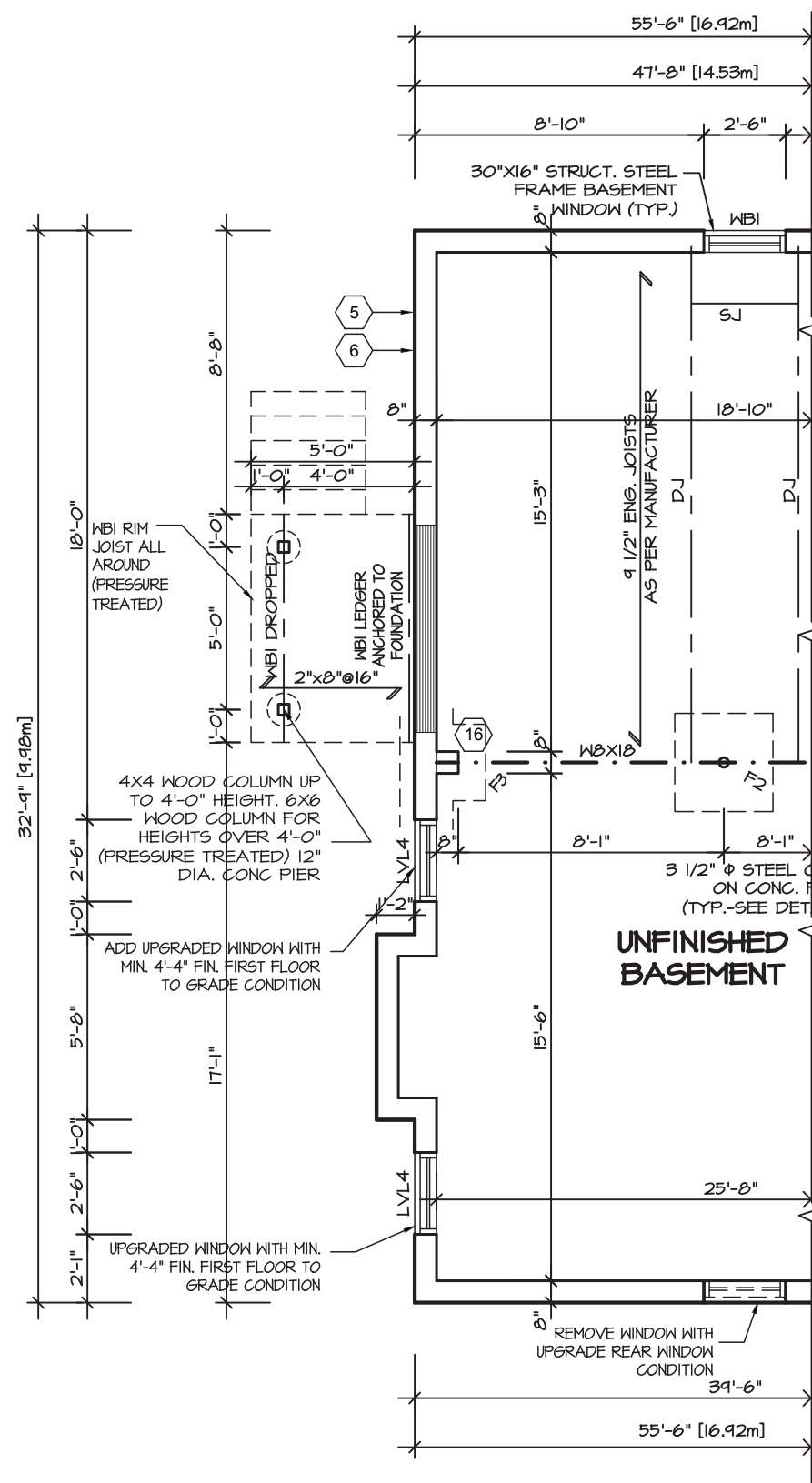


REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
May 13, 2021

RECEIVED
joshua.nabua

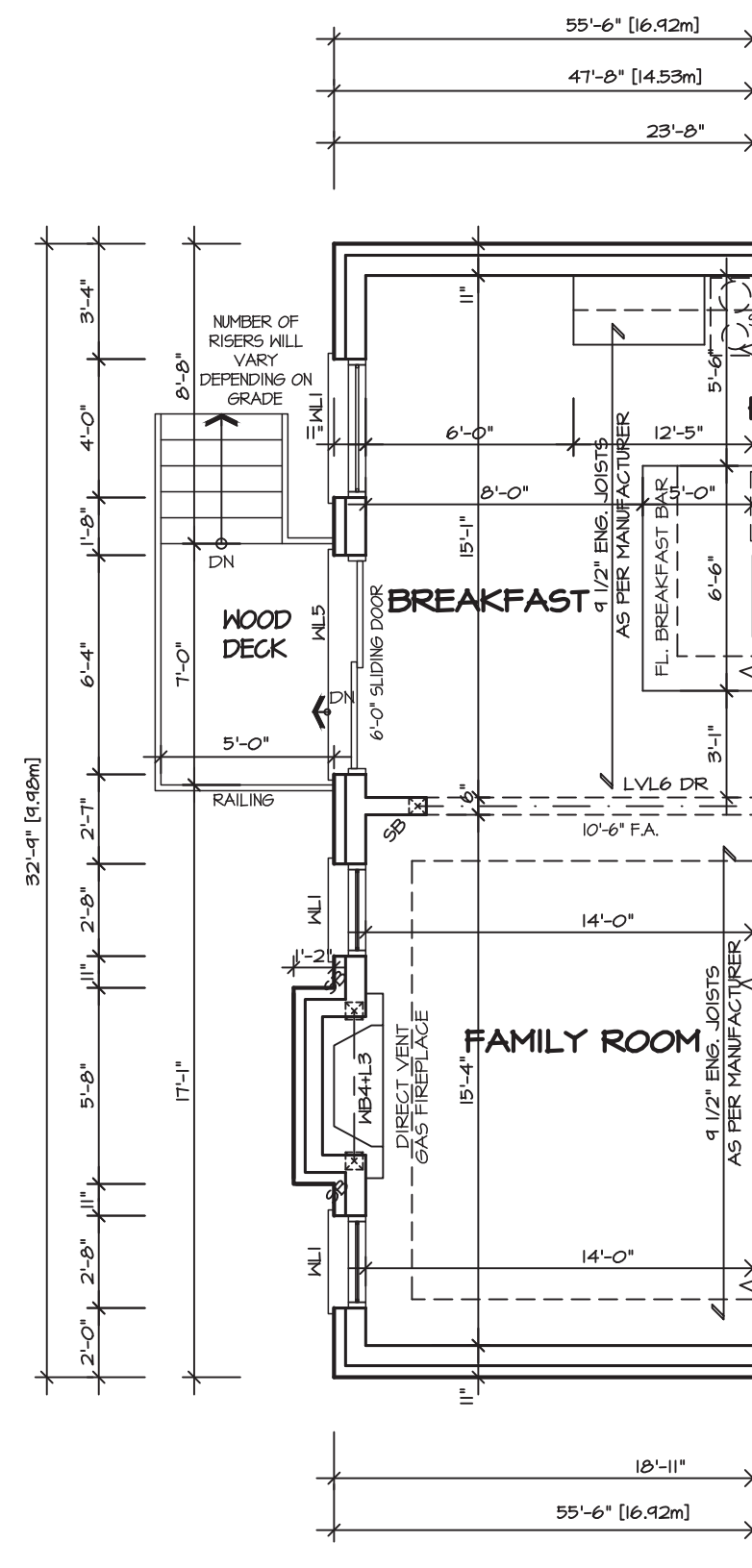
COMPLIANCE PACKAGE "A1"

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4.			SCALE 3/16"=1'-0"	BY MB	AREA 2,930	PAGE No. 8	
3.			DATE JAN 2021	TYPE	PROJECT 12-04-19		
2.	ISSUED FOR PERMIT MAY 2021		<p>QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR  28770 NAME SIGNATURE BCIN</p>				
1.	ISSUED FOR COORDINATION Feb 2021		REVISIONS				

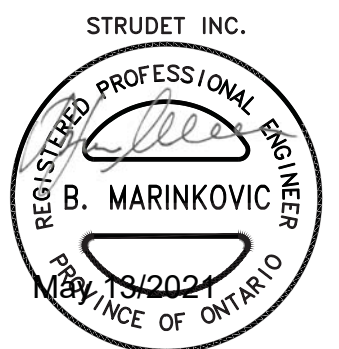


PARTIAL BASEMENT PLAN FOR DECK
CONDITION 1, 2 & 3 - ELEV. '1A'

Deck and guard construction shall comply with attached details.



PARTIAL FIRST FLOOR PLAN FOR
DECK CONDITION 1, 2 & 3 - ELEV. '1A'



FOR STRUCTURE ONLY

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BUILDING DIVISION**

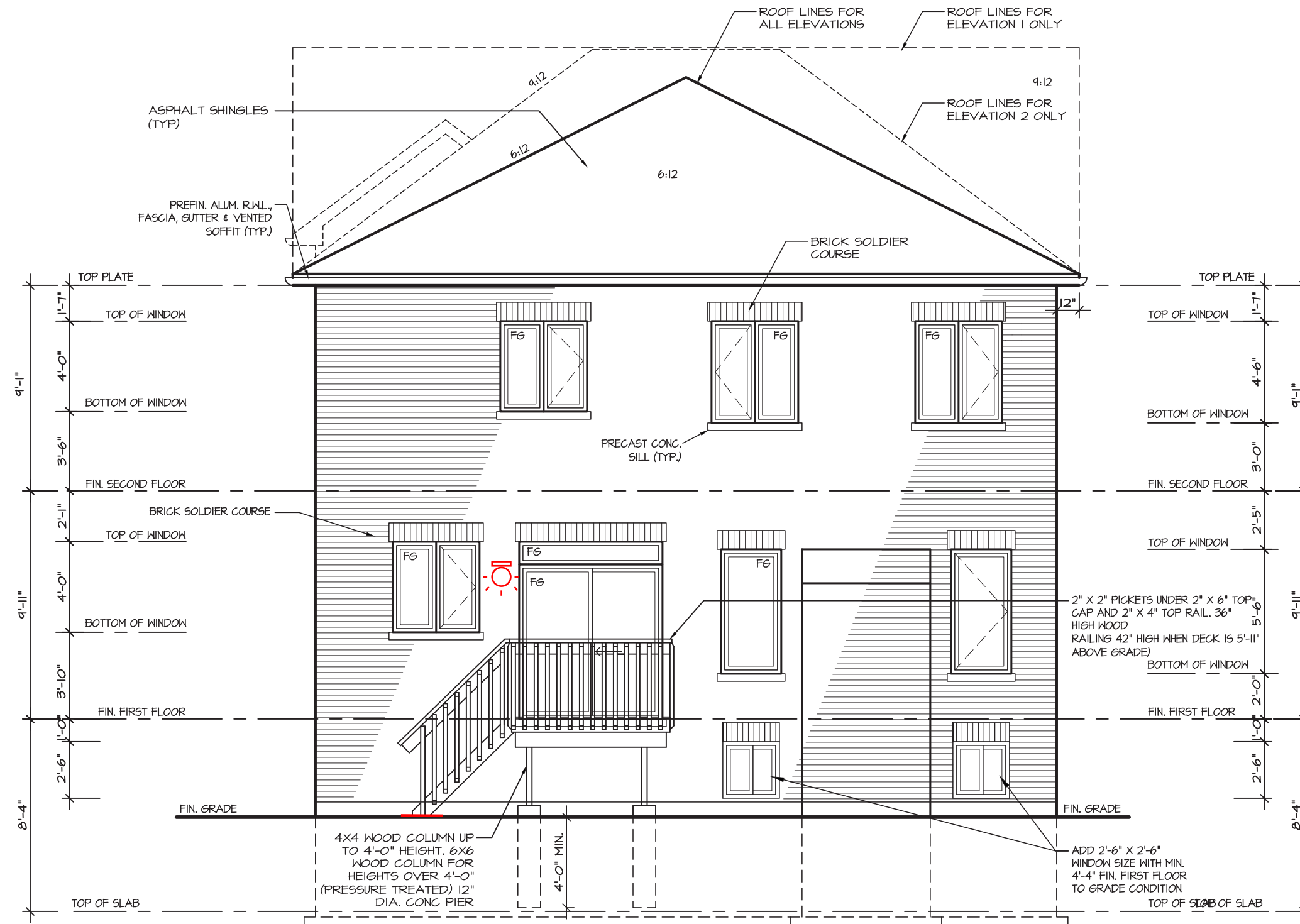
09/22/2022

RECEIVED
Per: joshua.nabua

GLENROWAN 3

COMPLIANCE PACKAGE "A1"

5.		<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746</p> <p>REGION DESIGN INC.</p>	<p>SHEET TITLE DECK PLANS ELEV. 1, 2 & 3</p>	<p>CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.</p>		
4.						
3.						
2. ISSUED FOR PERMIT	MAY 2021					
1. ISSUED FOR COORDINATION	Feb 2021					
REVISIONS		<p>QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR  28770 NAME SIGNATURE BCIN</p>	<p>SCALE 3/16"=1'-0"</p> <p>DATE JAN 2021</p>	<p>BY MB</p> <p>TYPE</p>	<p>AREA 2,930</p> <p>PROJECT 12-04-19</p>	<p>PAGE No. 9</p> <p>PROJECT NAME ROUNDEL</p>



REAR ELEVATION 1, 2 & 3 - ELEV. 'A'
DECK CONDITION



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Richmond Hill



GLENROWAN 3

COMPLIANCE PACKAGE "A1"

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