

5153 SF.

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
 20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
 24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.
 FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16" SPANS
 24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
 BELOW EXTERIOR WALLS.
 30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
 BELOW PARTY WALLS.
 (REFER TO ENGINEER FILL FOOTING DETAIL.)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL 90 KPa ENGINEERED FILL SOIL

F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
 F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
 F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
 F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
 F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
 (REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

WL1 = 3'-1/2" x 3'-1/2" x 1/4" (90x90x6.0L) + 2-2"x8" SPR. No.2
 WL2 = 4" x 3'-1/2" x 5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2
 WL3 = 5" x 3'-1/2" x 5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
 WL4 = 6" x 3'-1/2" x 3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2
 WL5 = 6" x 4" x 3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
 WL6 = 5" x 3'-1/2" x 5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
 WL7 = 5" x 3'-1/2" x 5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2
 WL8 = 5" x 3'-1/2" x 5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
 WL9 = 6" x 4" x 3/8" (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 = 2-2"x8" (2-38x184) SPR. No.2
 WB2 = 3-2"x8" (3-38x184) SPR. No.2
 WB3 = 2-2"x10" (2-38x235) SPR. No.2
 WB4 = 3-2"x10" (3-38x235) SPR. No.2
 WB5 = 2-2"x12" (2-38x286) SPR. No.2
 WB6 = 3-2"x12" (3-38x286) SPR. No.2
 WB7 = 5-2"x12" (5-38x286) SPR. No.2
 WB11 = 4-2"x10" (4-38x235) SPR. No.2
 WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4"x7 1/4" (1-45x184)
 LVL1 = 2-1 3/4"x7 1/4" (2-45x184)
 LVL2 = 3-1 3/4"x7 1/4" (3-45x184)
 LVL3 = 4-1 3/4"x7 1/4" (4-45x184)
 LVL4A = 1-1 3/4"x9 1/2" (1-45x240)
 LVL4 = 2-1 3/4"x9 1/2" (2-45x240)
 LVL5 = 3-1 3/4"x9 1/2" (3-45x240)
 LVL5A = 4-1 3/4"x9 1/2" (4-45x240)
 LVL6A = 1-1 3/4"x11 7/8" (1-45x300)
 LVL6 = 2-1 3/4"x11 7/8" (2-45x300)
 LVL7 = 3-1 3/4"x11 7/8" (3-45x300)
 LVL8 = 2-1 3/4"x14" (2-45x356)
 LVL9 = 3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)

L1 = 3'-1/2" x 3'-1/2" x 1/4" (90x90x6.0L)
 L2 = 4" x 3'-1/2" x 5/16" (100x90x8.0L)
 L3 = 5" x 3'-1/2" x 5/16" (125x90x8.0L)
 L4 = 6" x 3'-1/2" x 3/8" (150x90x10.0L)
 L5 = 6" x 4" x 3/8" (150x100x10.0L)
 L6 = 7" x 4" x 3/8" (180x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-0" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER

(OBC 9.30.6)
 SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
 PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0", 2 ROWS FOR SPANS GREATER THAN 7'0".

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

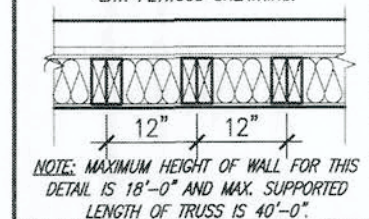
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING

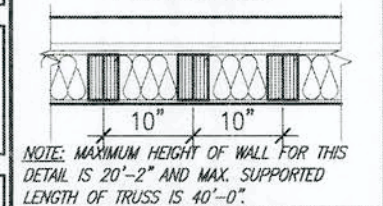
REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

TWO STOREY HEIGHT WALL DETAIL

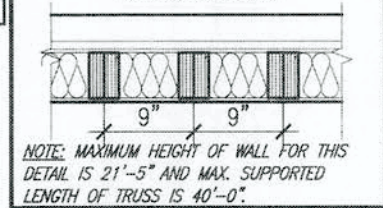
2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @ 12" O.C. FULL HEIGHT, c/w SOLID BLOCKING @ 4'-0" O.C. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.

**TWO STOREY HEIGHT WALL DETAIL**

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 10" O.C. FULL HEIGHT, c/w SOLID BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.

**TWO STOREY HEIGHT WALL DETAIL**

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 9" O.C. FULL HEIGHT, c/w SOLID BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56 (R60)	R20 at inner face of exterior walls
Minimum RSI (R) value		
Ceiling without Attic Space	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Exposed Floor	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Walls Above Grade	3.87 (R22)	6" R22 BATT
Minimum RSI (R) value		
Basement Walls	3.52ci (R20ci)	OPTION TO USE R12+R10ci.
Minimum RSI (R) value		
Edge of Below Grade Slab <600mm below grade	1.76 (R10)	RIGID INSUL
Minimum RSI (R) value		
Windows & Sliding glass Doors	0.28	
Maximum U-value		
Skylights	0.49	
Maximum U-value		
Space Heating Equipment	96% Min.	NATURAL GAS
Minimum AFUE		
Hot Water Heater	0.8	NATURAL GAS
Minimum EF		
HRV	75%	-
Minimum Efficiency		
Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information	

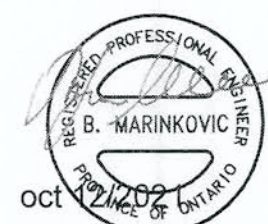
ci- Denotes Continuous Insulation without framing interruption.

UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))			
GRANDVILLE 9-592, EL. 2	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	1053.75 S.F.	239.50 S.F.	22.73 %
LEFT SIDE	1457.94 S.F.	113.33 S.F.	7.77 %
RIGHT SIDE	1458.33 S.F.	32.17 S.F.	2.21 %
REAR	1352.08 S.F.	251.78 S.F.	18.62 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.8(4) MAX 18.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	5322.10 S.F.	636.78 S.F.	11.96 %
TOTAL SQ. M.	494.44 S.M.	59.16 S.M.	11.96 %

AREA CALCULATIONS	ELEV '2'
GROUND FLOOR AREA	2380 SF
SECOND FLOOR AREA	2758 SF
TOTAL FLOOR AREA	5138 SF (477.33 m2)
FIRST FLOOR OPEN AREA	XX SF
SECOND FLOOR OPEN AREA	XX SF
ADD TOTAL OPEN AREAS	XX SF
ADD FINISHED BSMT AREA	XX SF
GROSS FLOOR AREA	5138 SF (477.33 m2)
GROUND FLOOR COVERAGE	2380 SF
GARAGE COVERAGE/AREA	438 SF
FRONT PORCH COVERAGE/AREA	53 SF
COVERAGE W/ FRONT PORCH	2871 SF (266.72m2)
COVERAGE W/O FRONT PORCH	2818 SF (261.80 m2)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON



STRUDET INC.
FOR STRUCTURE ONLY

CITY OF HAMILTON
Building Division
Permit No. 21-161906
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
FOR CHIEF ENGINEER OFFICIAL
DATE MAR 11 2022

GRANDVILLE 9-592
COMPLIANCE PACKAGE 'A1'

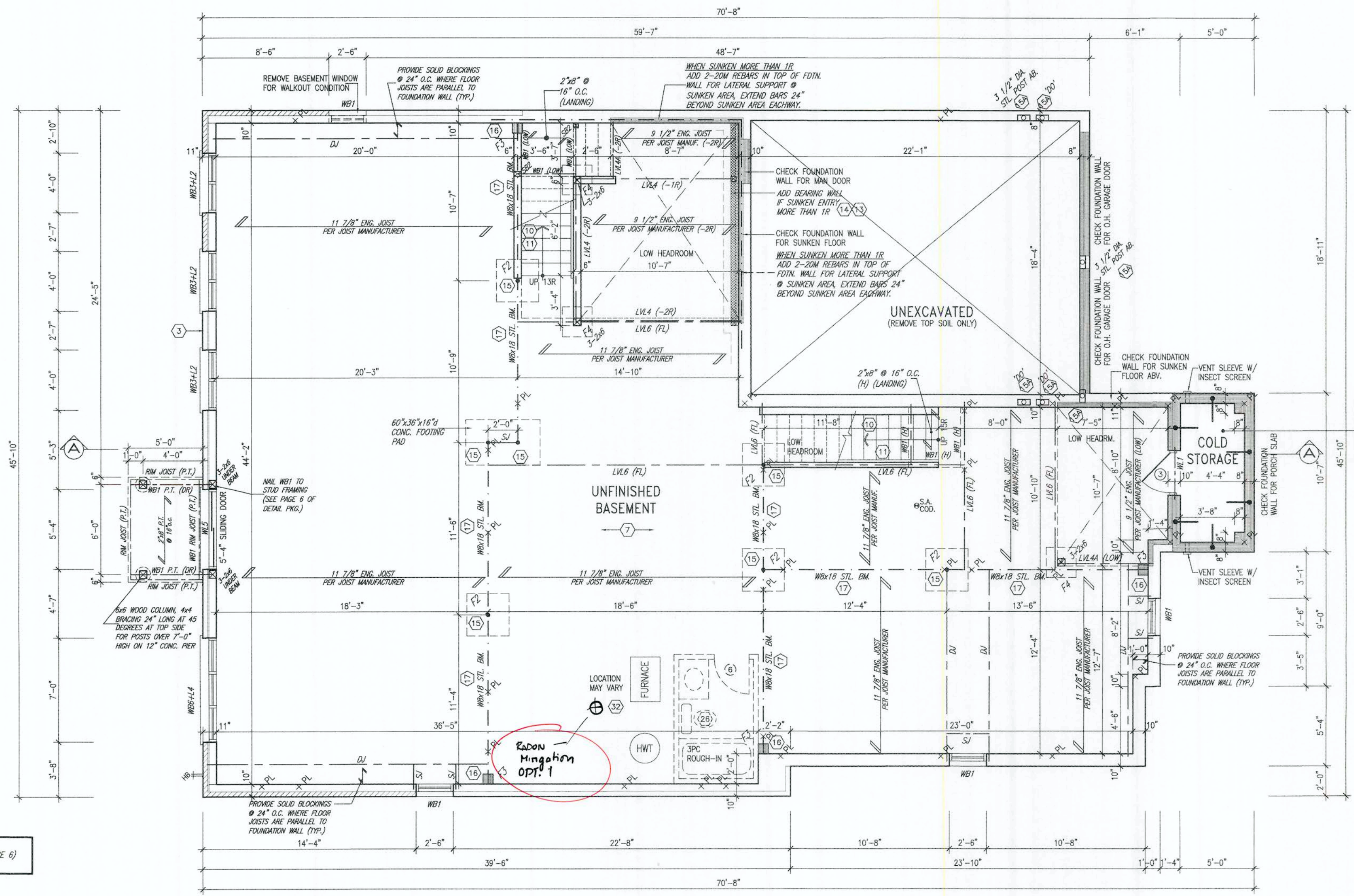
18.		9.				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17.		8.				
16.		7.				
15.		6.				
14.		5.				
13.		4.	REVISED PER PURCHASER REQUEST.	SEP 23/21	GW	Richard Vink 24488 BCIN
12.		3.	ISSUED FOR PERMIT.	JUN. 21/21	GW	VA3 Design Inc. 42658
11.		2.	REV. PER CLIENT/ROOF/FL/ENG. COMMENTS	JUN. 16/21	GW	
10.		1.	ISSUED FOR CLIENT REVIEW.	APR. 08/21	GW	
9.						
8.						
7.						
6.						
5.						
4.						
3.						
2.						
1.						
no.	description	date	by	no.	description	date

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.
RUSSELL GARDENS PH. 4
HAMILTON, ON.
project no. 20027
date MARCH 2021
drawn by WT
checked by
scale 3/16" = 1'-0"
file name 20027-GRANDVILLE-9-592
20027-GRANDVILLE-9-592
DATE MAR 11 2022

GRANDVILLE 9
GENERAL NOTES AND CHARTS
AO

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BASEMENT PLAN ELEV. '2'

WALKOUT WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 6)
FOR ADDITIONAL WOOD DECK INFORMATION.

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
DATE: OCT 12, 2021
This stamp certifies compliance with the applicable Design Guidelines only and does not further professional responsibility.



STRUDET INC.
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BASEMENT INSULATION AT
STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION
(RIGID OR SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT
INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO
SUPPORT 2"x4" WALL WHERE LOAD
BEARING.

BASEMENT WALL INSULATION
(TYP.)
-8" (R20) CONTINUOUS BLANKET
INSULATION. INSULATION
UNINTERRUPTED BY FRAMING

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5			
13				4	REVISED PER PURCHASER REQUEST.	SEP 23/21	GW
12				3	ISSUED FOR PERMIT.	JUN. 21/21	GW
11				2	REV. PER CLIENT/ROOF/PL/ENG. COMMENTS	JUN. 16/21	GW
10				1	ISSUED FOR CLIENT REVIEW.	APR. 08/21	GW
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink
signature
24488
42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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255 Consumers Rd Suite 120
Toronto, ON M2J 1B4
t 416.630.2255 f 416.630.4782
v3design.com

Greenpark.

RUSSELL GARDENS PH. 4 HAMILTON, ON.

GRANDVILLE 9

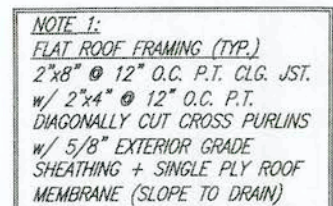
project name
drawing no.
20027
BASEMENT PLAN ELEV. '2'
A1a

CITY OF HAMILTON
Building Division
Permit No. 21-1619-0-6
THESE STAMPED DOCUMENTS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and specifications have been reviewed by
MAR 11 2022
DATE
FOR CITY BUILDING OFFICIAL

GRANDVILLE 9-592
COMPLIANCE PACKAGE 'A1'

<u>OUTDOOR AIR INTAKE SEPARATION</u>	
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER CBC, DIV. B- TABLE 6.2.3.12	
• KITCHEN EXHAUST.	3.0m
• DRIVEWAY, PARKING SPACE, ROAD.	1.5m
• SOLID FUEL APPLIANCE EXHAUST	3.0m

KIT-EX-NOTE-2020.dwg



GRANDVILLE 9	
-	
project no. 20027	
- ELEV. '2'	drawing no.
file name GRANDVILLE-9-592	A2a
Oct 12 2021 - 11:30 AM	

GRANDVILLE 9-592
COMPLIANCE PACKAGE 'A1'

CITY OF HAMILTON
Building Division

Permit No. **21-161906**

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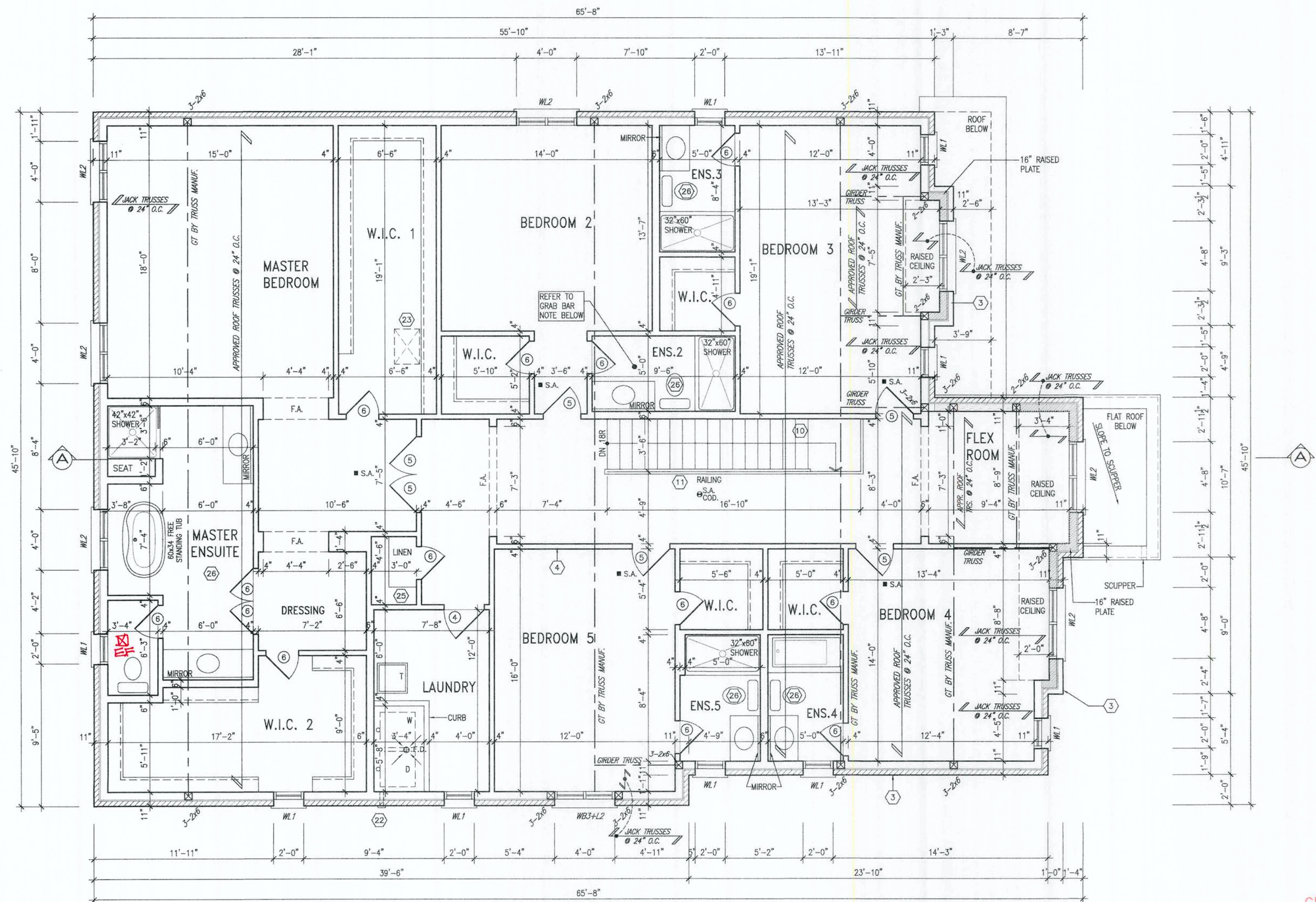
MB

MAR 11 2022

FOR CITY ENGINEER OFFICIAL

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GRAB BAR NOTE:
STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM PER OBC. DIV. 8-9.5.2.3.
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES
LISTED: WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c).
SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(f).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED. GB-NOTE-2020-2020



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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: OCT 12 2021

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

18	-	-	9	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17	-	-	8	-	qualification information
16	-	-	7	-	Richard Vink
15	-	-	6	-	name
14	-	-	5	-	signature
13	4	REVISED PER PURCHASER REQUEST.	SEP 23/21	GW	registration information
12	3	ISSUED FOR PERMIT.	JUN. 21/21	GW	VAS Design Inc.
11	2	REV. PER CLIENT/ROOF/LG./ENG. COMMENTS	JUN. 16/21	GW	Contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the project. Drawings are not to be copied.
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no.	description	date	by	no.	description

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va3design.com

 **Greenpark™**

lot name
SSELL GARDENS PH. 4

municipality
HAMILTON, ON

GRANDVILLE 9

—

project no.
20027

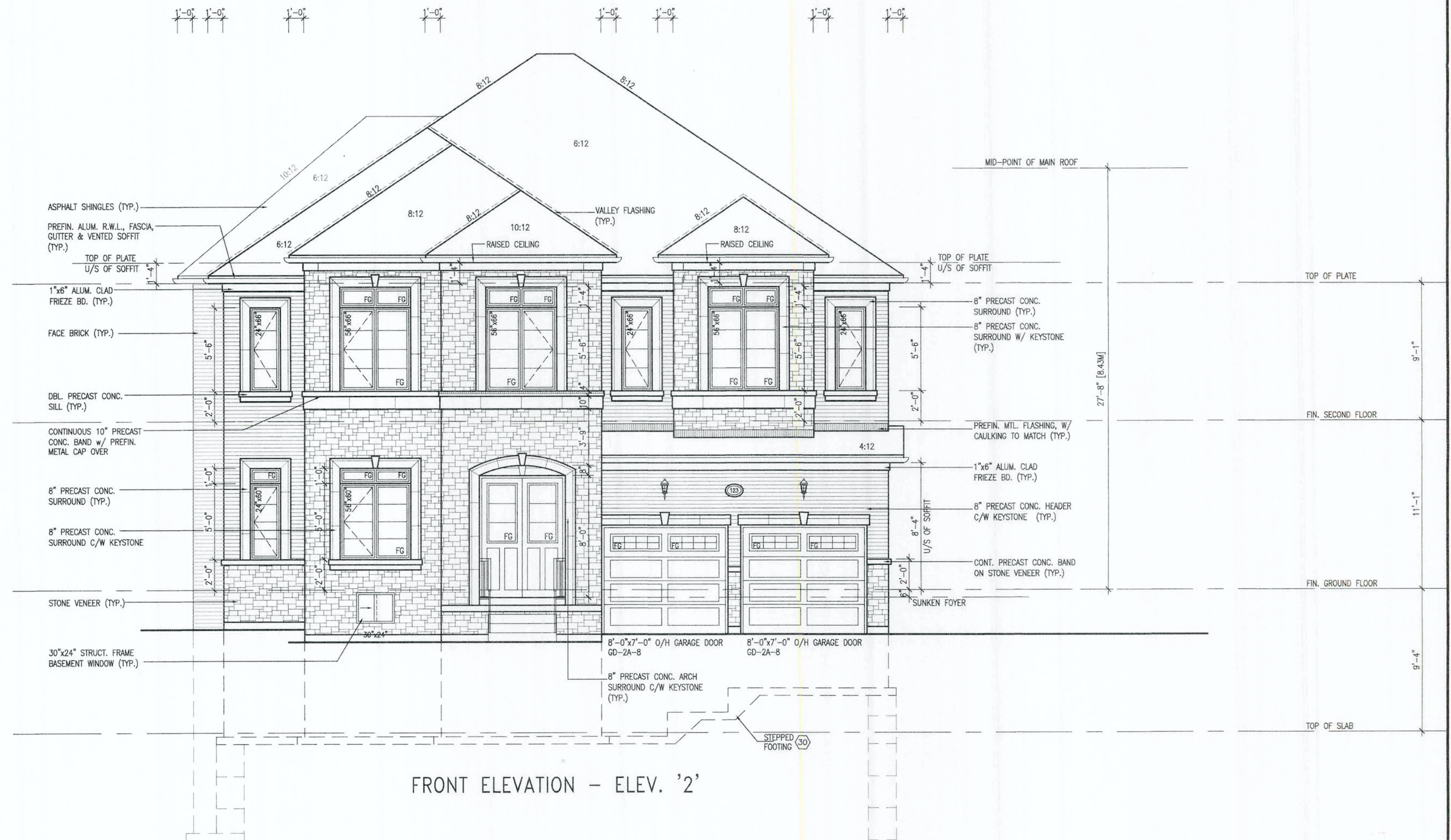
— ELEV. '2'

drawing no.
A3a

file name
GRANDVILLE-9-592

0.1 10.0000 6.70 3.34

INSIDE PORTICO
ELEVATION '2'



FRONT ELEVATION - ELEV. '2'

APPROVED BY: [Signature]
DATE: OCT 12, 2021
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional stamp liability.

PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
w/ MASONRY INSERTS WHERE
GRADE REQUIRES.

18				9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17				8				qualification information
16				7				Richard Vink
15				6				signature
14				5				name
13				4	REVISED PER PURCHASER REQUEST.	SEP 23/21	GW	registration information
12				3	ISSUED FOR PERMIT.	JUN. 21/21	GW	V&S Design Inc.
11				2	REV. PER CLIENT/ROOF/FL/ENG. COMMENTS	JUN. 16/21	GW	Contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.
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no. description		date	by	no. description	date	by		

	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		
	qualification information		
	Richard Vink	<i>R Vink</i>	2448
	name	signature	B
GW	registration information		
GW	VA3 Design Inc.		4263
GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.		
GW	Drawings are not to be scaled.		
by			

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255 Consumers Rd Suite 1
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4
va3design.com

 **Greenpark™**

Project name **MUSSELL GARDENS PH. 4** Municipal **HAMILTON, ON**

Date **MARCH 2021** FRONT ELEVATION

Drawn by _____ checked by _____ scale **3/16" = 1'-0"**

File # **HA-ENVIRONMENTAL WORKING 2020120227 GREY LINDS GARDENS GRANDVILLE 20227 - ORRANVILLE - 9-592.dwg**

GRANDVILLE 9		project no. 20027
- ELEV. '2'	file name	drawing no.
GRANDVILLE-9-592		A4a
Oct 12 2021 - 11:30 AM		

GRANDVILLE 9-592
COMPLIANCE PACKAGE 'A1'

CITY OF HAMILTON
Building Division

Permit No. 21-161906

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

Drawings not specified on forms have been reviewed by
103 MAR 11 2022

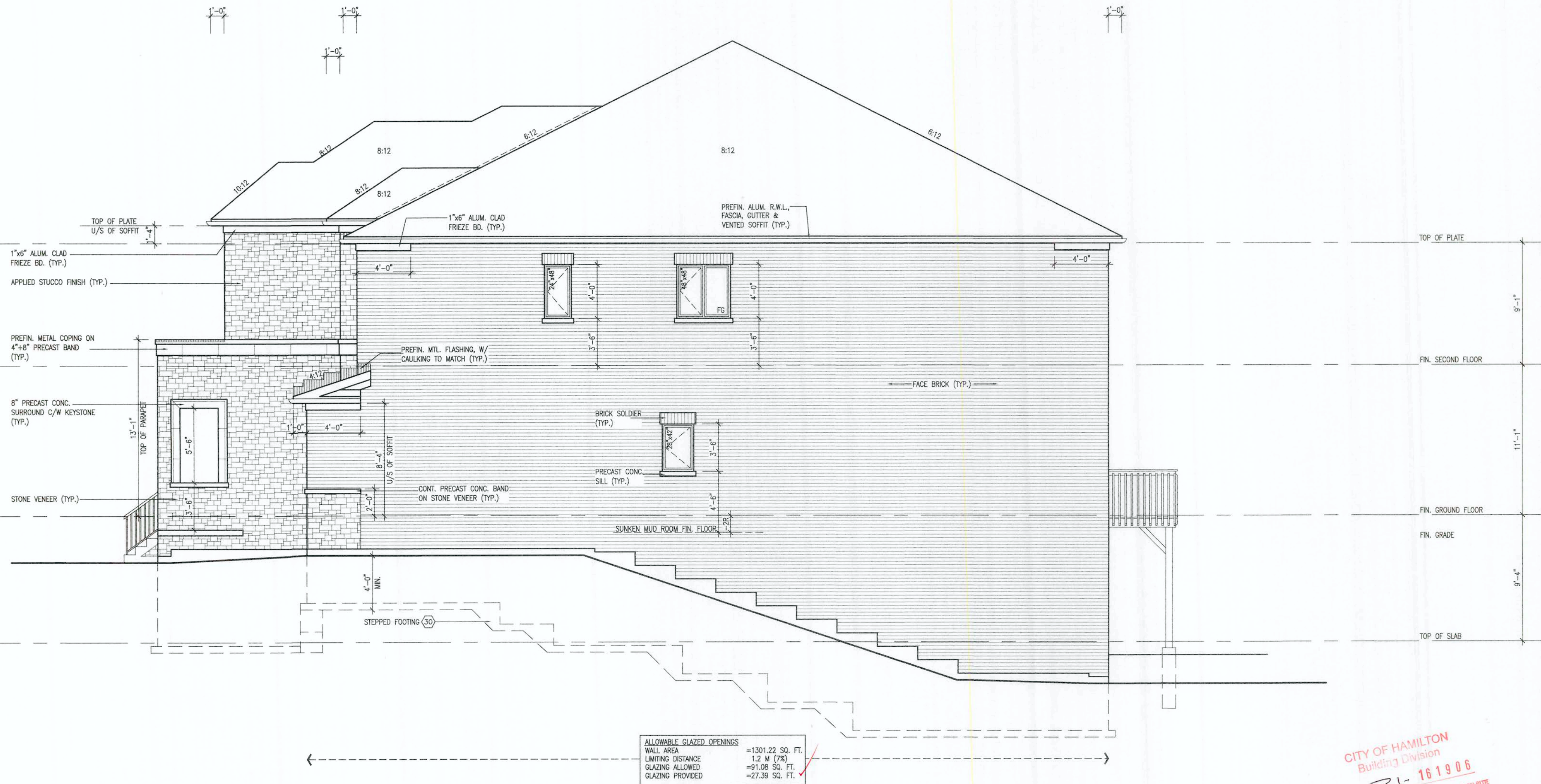
and checked by the undersigned

DATE

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5153 SF.



RIGHT SIDE ELEVATION - ELEV. '2'

ALLOWABLE GLAZED OPENINGS	
WALL AREA	=1301.22 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	=91.06 SQ. FT.
GLAZING PROVIDED	=27.39 SQ. FT.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: OCT 22 2021

This stamp certifies compliance with the applicable Design Guidelines only and does not constitute professional responsibility.

CITY OF HAMILTON
Building Division
Permit No. 21-161906
THESE STAMPED DRAWINGS ARE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and their specifications have been reviewed by
[Signature]
DATE: MAR 11 2022

GRANDVILLE 9-592
COMPLIANCE PACKAGE 'A1'

VAS DESIGN 255 Consumers Rd Suite 120 Toronto, ON M2J 1R4 t 416.630.2255 f 416.630.4782 vasdesign.com		Greenpark. GRANDVILLE 9	
project name RUSSELL GARDENS PH. 4		municipality HAMILTON, ON.	
date MARCH 2021		drawing no. 20027	
drawn by WT		project no. 20027	
checked by 3/16" = 1'-0"		drawing no. A6a	
scale 3/16" = 1'-0"		drawing no. A6a	
contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	

5153 SF.



UPGRADED REAR ELEVATION '2'
WALKOUT w/ DECK CONDITION
(LOT 592)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: OCT 22 2021

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

CITY OF HAMILTON
Building Division

Permit No. 21-161906

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS

These drawings and/or specifications have been reviewed by
 **MAR 11 2022**

DATE _____
FOR CHIEF BUILDING OFFICIAL _____

GRANDVILLE 9-592
COMPLIANCE PACKAGE 'A1'

[illegible]

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STRUDET INC.
FOR STRUCTURE ONLY

GRANDVILLE 9-592
COMPLIANCE PACKAGE 'A1'

GRANDVILLE 9	
	project no. 20027
N A-A ELEV. '2'	drawing no. A8a
file name 2027-GRANDVILLE-9-592	
Tue - Oct 12 2021 - 11:30 AM	

16		-	9	-		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
17		-	8	-		qualification information	
18		-	7	-		Richard Vink	2448
19		-	6	-		signature	RC
14		-	5	-		registration information	4265
13		-	4	REVISED PER PURCHASER REQUEST.	SEP 23/21	GW	
12		-	3	ISSUED FOR PERMIT.	JUN. 21/21	GW	
11		-	2	REV. PER CLIENT/ROOF/FIN./ENG. COMMENTS	JUN. 16/21	GW	
10		-	1	ISSUED FOR CLIENT REVIEW.	APR. 06/21	GW	
no.	description	date	by	no.	description	date	by