

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.
FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
FOOTINGS ON ENGINEERED FILL
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW PARTY WALLS.
(REFER TO ENGINEER FILL FOOTING DETAIL.)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY
ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa, NATIVE SOIL 90 KPa, ENGINEERED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa, WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

WL1 = 3'-1/2" x 3'-1/2" x 1/4" (90x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4" x 3'-1/2" x 5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5" x 3'-1/2" x 5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6" x 3'-1/2" x 3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6" x 4" x 3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5" x 3'-1/2" x 5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5" x 3'-1/2" x 5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2
WL8 = 5" x 3'-1/2" x 3/8" (125x90x8.0L) + 3-2"x10" SPR. No.2
WL9 = 6" x 4" x 3/8" (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 = 2-2"x8" (2-38x184) SPR. No.2
WB2 = 3-2"x8" (3-38x184) SPR. No.2
WB3 = 2-2"x10" (2-38x235) SPR. No.2
WB4 = 3-2"x10" (3-38x235) SPR. No.2
WB5 = 2-2"x12" (2-38x286) SPR. No.2
WB6 = 3-2"x12" (3-38x286) SPR. No.2
WB7 = 5-2"x12" (5-38x286) SPR. No.2
WB11 = 4-2"x10" (4-38x235) SPR. No.2
WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)

LOOSE STEEL LINTELS (L)

L1 = 3'-1/2" x 3'-1/2" x 1/4" (90x90x6.0L)
L2 = 4" x 3'-1/2" x 5/16" (100x90x8.0L)
L3 = 5" x 3'-1/2" x 5/16" (125x90x8.0L)
L4 = 6" x 3'-1/2" x 3/8" (150x90x10.0L)
L5 = 6" x 4" x 3/8" (150x100x10.0L)
L6 = 7" x 4" x 3/8" (180x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-0" OR CEILING	HEIGHT 10' OR CEILING	MORE	TYPE
1	2'-10"	6'-8"	8'-0"		INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"		INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"		WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"		EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"		INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"		INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"		INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"		INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER

(OBC 9.30.6)
SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0".
2 ROWS FOR SPANS GREATER THAN 7'0".

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

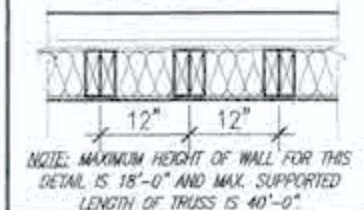
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING

REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS: UNLESS OTHERWISE NOTED.

TWO STOREY HEIGHT WALL DETAIL

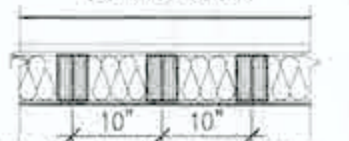
2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @ 12" O.C. FULL HEIGHT, 5/4" SOLID BLOCKING @ 4'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 15'-0" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

TWO STOREY HEIGHT WALL DETAIL

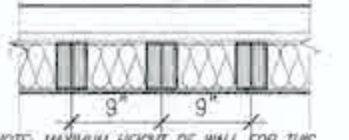
2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5F STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 10" O.C. FULL HEIGHT, 5/4" SOLID BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-0" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

TWO STOREY HEIGHT WALL DETAIL

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5F STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 9" O.C. FULL HEIGHT, 5/4" SOLID BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 21'-5" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56 (R60)	R20 at inner face of exterior walls
Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Ceiling without Attic Space	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Exposed Floor	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value	3.87 (R22)	6" R22 BATT
Walls Above Grade	3.52ci (R20ci)	OPTION TO USE R12+R10ci
Minimum RSI (R) value	1.76 (R10)	RIGID INSUL
Edge of Below Grade Slab <600mm below grade	0.28	
Minimum RSI (R) value	0.49	
Windows & Sliding glass Doors	96% Min.	NATURAL GAS
Maximum U-value	0.8	NATURAL GAS
Skylights	75%	
Maximum U-value		
Space Heating Equipment		
Minimum AFUE		
Hot Water Heater		
Minimum EF		
HRV		
Minimum Efficiency		
Drain Water Heat Recovery Unit (DWHR)		

ci— Denotes Continuous Insulation without framing interruption.

5153 SF.

UNINSULATED OPENINGS (PER OBC: SB-12.3.1.1(7))			
GRANDVILLE 9, EL. 1	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
ELEVATION	975.00 S.F.	216.82 S.F.	22.55 %
FRONT	1392.00 S.F.	110.00 S.F.	7.90 %
LEFT SIDE	1392.00 S.F.	53.50 S.F.	3.84 %
RIGHT SIDE	970.00 S.F.	170.28 S.F.	17.55 %
REAR			
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX. 18.0 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	4729.00 S.F.	360.60 S.F.	11.71 %
TOTAL SQ. M.	439.33 S.M.	33.43 S.M.	11.71 %

AREA CALCULATIONS		ELEV. '1'
GROUND FLOOR AREA	2420 SF	
SECOND FLOOR AREA	2733 SF	
TOTAL FLOOR AREA	5153 SF	(478.72 m ²)
FIRST FLOOR OPEN AREA	XX SF	
SECOND FLOOR OPEN AREA	XX SF	
ADD TOTAL OPEN AREAS	XX SF	
ADD FINISHED BSMT AREA	XX SF	
GROSS FLOOR AREA	5153 SF	(478.72 m ²)
GROUND FLOOR COVERAGE	2420 SF	
GARAGE COVERAGE/AREA	393 SF	
FRONT PORCH COVERAGE/AREA	62 SF	
COVERAGE W/ FRONT PORCH	2875 SF	(267.09 m ²)
COVERAGE W/O FRONT PORCH	2813 SF	(261.34 m ²)

UNINSULATED OPENINGS (PER OBC: SB-12.3.1.1(7))			
GRANDVILLE 9, EL. 2	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
ELEVATION	1008.00 S.F.	217.02 S.F.	21.53 %
FRONT	1392.00 S.F.	110.00 S.F.	7.90 %
LEFT SIDE	1392.00 S.F.	53.50 S.F.	3.84 %
RIGHT SIDE	970.00 S.F.	170.28 S.F.	17.55 %
REAR			
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX. 18.0 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	4762.00 S.F.	360.80 S.F.	11.57 %
TOTAL SQ. M.	442.40 S.M.	33.43 S.M.	11.57 %

AREA CALCULATIONS		ELEV. '2'
GROUND FLOOR AREA	2425 SF	
SECOND FLOOR AREA	2756 SF	
TOTAL FLOOR AREA	5181 SF	(481.33 m ²)
FIRST FLOOR OPEN AREA	XX SF	
SECOND FLOOR OPEN AREA	XX SF	
ADD TOTAL OPEN AREAS	XX SF	
ADD FINISHED BSMT AREA	XX SF	
GROSS FLOOR AREA	5181 SF	(481.33 m ²)
GROUND FLOOR COVERAGE	2425 SF	
GARAGE COVERAGE/AREA	393 SF	
FRONT PORCH COVERAGE/AREA	53 SF	
COVERAGE W/ FRONT PORCH	2871 SF	(266.72 m ²)
COVERAGE W/O FRONT PORCH	2818 SF	(261.80 m ²)

UNINSULATED OPENINGS (PER OBC: SB-12.3.1.1(7))			
GRANDVILLE 9, EL. 3	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
ELEVATION	1008.00 S.F.	263.02 S.F.	26.09 %
FRONT	1392.00 S.F.	136.83 S.F.	9.83 %
LEFT SIDE	1400.00 S.F.	72.167 S.F.	5.15 %
RIGHT SIDE	970.00 S.F.	170.28 S.F.	17.55 %
REAR			
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX. 18.0 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	4770.00 S.F.	542.30 S.F.	13.47 %
TOTAL SQ. M.	443.14 S.M.	50.67 S.M.	13.47 %

AREA CALCULATIONS		ELEV. '3'
GROUND FLOOR AREA	2425 SF	
SECOND FLOOR AREA	2750 SF	
TOTAL FLOOR AREA	5175 SF	(480.77 m ²)
FIRST FLOOR OPEN AREA	XX SF	
SECOND FLOOR OPEN AREA	XX SF	
ADD TOTAL OPEN AREAS	XX SF	
ADD FINISHED BSMT AREA	XX SF	
GROSS FLOOR AREA	5175 SF	(480.77 m ²)
GROUND FLOOR COVERAGE	2425 SF	
GARAGE COVERAGE/AREA	393 SF	
FRONT PORCH COVERAGE/AREA	60 SF	
COVERAGE W/ FRONT PORCH	2878 SF	(267.37 m ²)
COVERAGE W/O FRONT PORCH	2818 SF	(261.80 m ²)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architecture Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for oversteering or approving site setting plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.



STRUDET INC.
FOR STRUCTURE ONLY

CITY OF HAMILTON
Building Division

Permit No. 21-161913

THESE SPONSORED DRAWINGS SHOULD BE AVAILABLE ON SITE

THE CHIEF ENGINEER'S SIGNATURE SHALL COMPLY WITH THE CHIEF ENGINEERING ACT AND ITS REGULATIONS

These drawings are prepared by the firm of VAS Design Inc. and are not to be used for any other project without the written consent of VAS Design Inc.

DATE: NOV 24 2021
FOR CITY OF HAMILTON

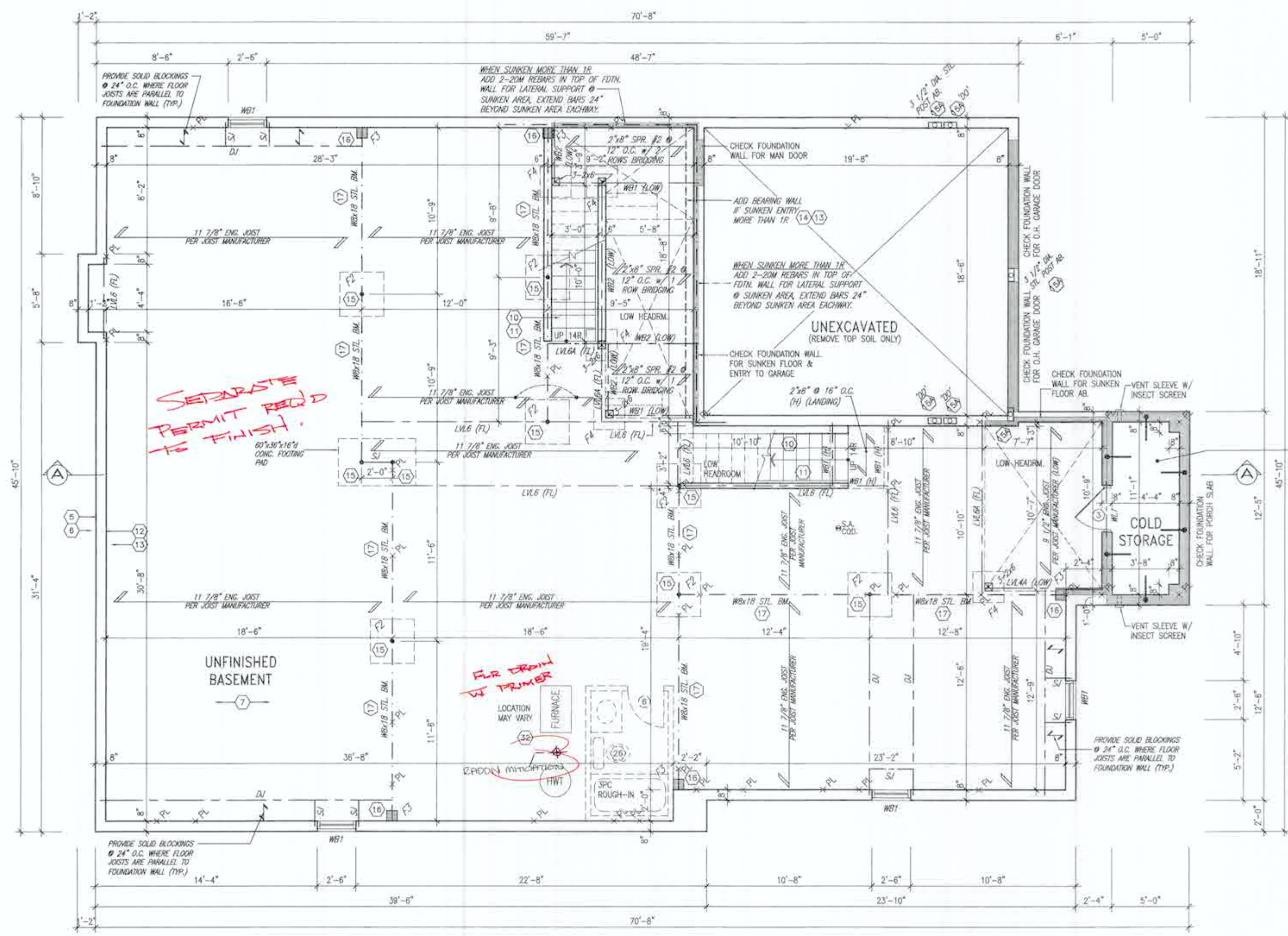
GRANDVILLE 9
COMPLIANCE PACKAGE 'A1'

18	9	The undersigned has reviewed and takes responsibility for this design and for the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	Richard Vink	24488	
17	8	qualification information	Richard Vink	24488	
16	7	name	Richard Vink	24488	
15	6	signature	Richard Vink	24488	
14	5	name	Richard Vink	24488	
13	4	signature	Richard Vink	24488	
12	3	ISSUED FOR PERMIT	JUN 21/21	ON	
11	2	REV. PER. CLIENT/PROF./T.E.C. COMMENTS	JUN 15/21	ON	
10	1	ISSUED FOR CLIENT REVIEW	APR 05/21	ON	
9		date			



255 Consumers Rd. Suite 120 Toronto, ON M2J 1R4 1.416.630.2255 / 1.416.630.4792 vasdesign.com	project name RUSSELL GARDENS PH. 4	municipality HAMILTON, ON.	project no. 20027
DATE MARCH 2021	checked by 3/16" = 1'-0"	scale 20027-GRANDVILLE-9	drawing no. A0

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BASEMENT PLAN ELEV. '1'

RADON OPTION 1

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving site (existing) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
DATE: JUL 15, 2022
The above attests compliance with the Architectural Guidelines and the Building Code of the City of Hamilton.



BASEMENT INSULATION AT STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION (RIGID OR SPRAY FOAM).
-2"x4" @ 16" o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

BASEMENT WALL INSULATION (TYP)
-6" (R20) CONTINUOUS BLANKET INSULATION, INSULATION UNINTERRUPTED BY FRAMING

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5			
13				4			
12				3	ISSUED FOR PERMIT	JUN 21/21	GW
11				2	REV. PER CLIENT/ROOF/FL/ENG. COMMENTS	JUN 16/21	GW
10				1	ISSUED FOR CLIENT REVIEW	APR 08/21	GW

The undersigned has reviewed and taken responsibility for this design and has the qualifications and assets for requirements set out in the Ontario Building Code for a Designer.

Richard Vink
VA3 Design Inc.
24486
42658

Contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer, which must be returned at the completion of the work. Drawings are not to be copied.



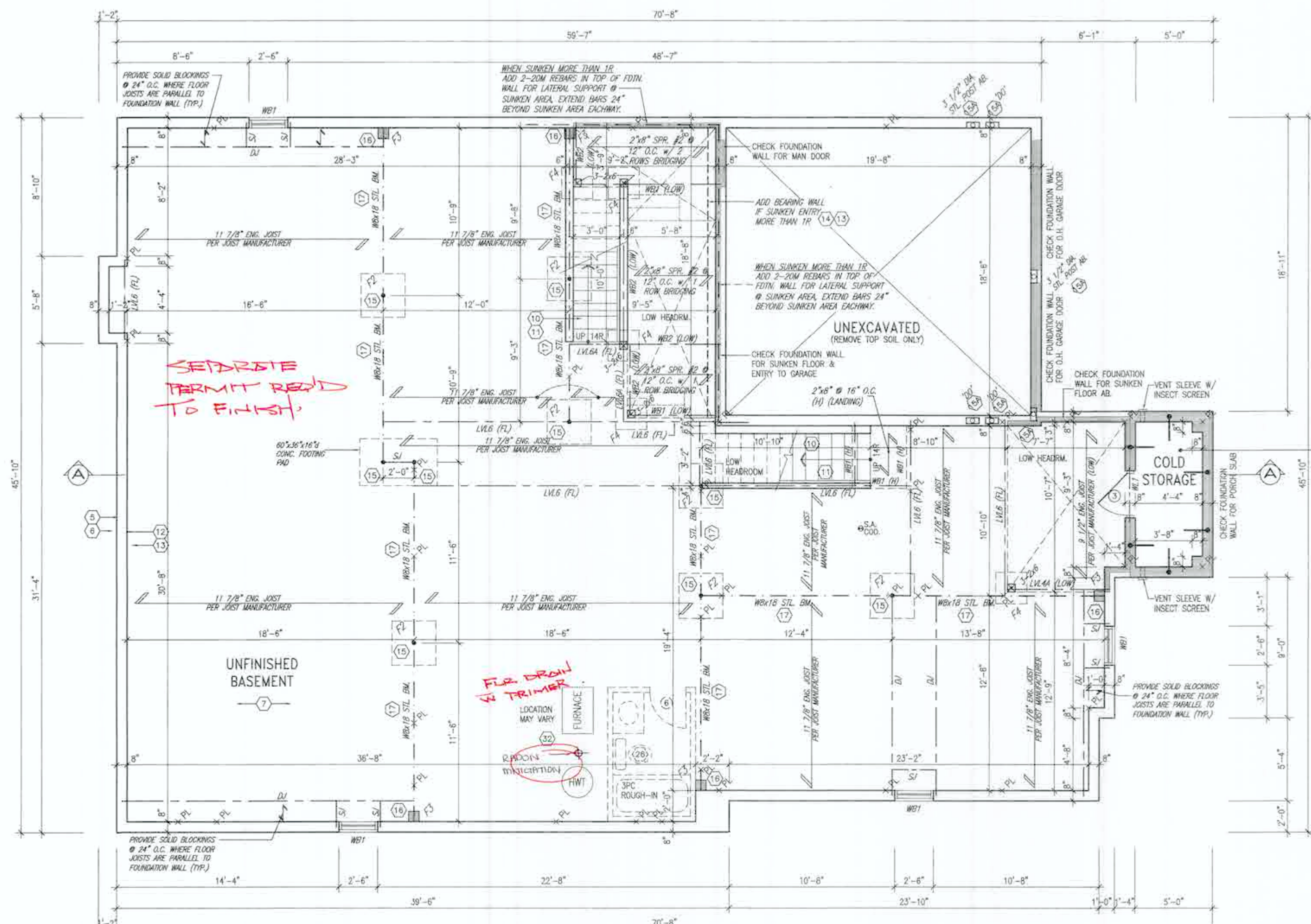
Greenpark. GRANDVILLE 9

project name: RUSSELL GARDENS PH. 4
location: HAMILTON, ON.
date: MARCH 2021
drawn by: 3/16" = 1'-0"
scale: 20027-GRANDVILLE-9
sheet: A1

project no: 20027
drawing no: A1

CITY OF HAMILTON
Building Division
Permit No. Z1-181913
THREE STAMPED DRAWINGS SHALL BE AVAILABLE ON WEB
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE DETAILED REGULATORY REQUIREMENTS OF THE CITY OF HAMILTON
This is a preliminary drawing and is not for construction.
JAN 24 2022

GRANDVILLE 9
COMPLIANCE PACKAGE 'A1'



BASEMENT PLAN ELEV. '2'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for engineering or approving site holding plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

EDWIN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONSULTING
DATE: JUN 21, 2021



STRUDET INC.
FOR STRUCTURE ONLY

BASEMENT INSULATION AT STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION (RIGID OR SPRAY FOAM).
-2"x4" @ 16" o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

BASEMENT WALL INSULATION (TYP)
-6" (R20) CONTINUOUS BLANKET INSULATION, INSULATION UNINTERRUPTED BY FRAMING

NO.	DESCRIPTION	DATE	BY	NO.	DESCRIPTION	DATE	BY
18				9			
17				8			
16				7			
15				6			
14				5			
13				4			
12				3	ISSUED FOR PERMIT	JUN. 21/21	GW
11				2	REV. PER CLIENT/ROOF/FL/ENG. COMMENTS	JUN. 16/21	GW
10				1	ISSUED FOR CLIENT REVIEW	APR. 08/21	GW
9							

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Richard Vink
V3 Design Inc.
signature
24488
42658

V3 DESIGN
255 Concession Rd. Suite 120
Toronto, ON M2J 1R4
1-416-630-2255 / 416-630-4762
v3design.com

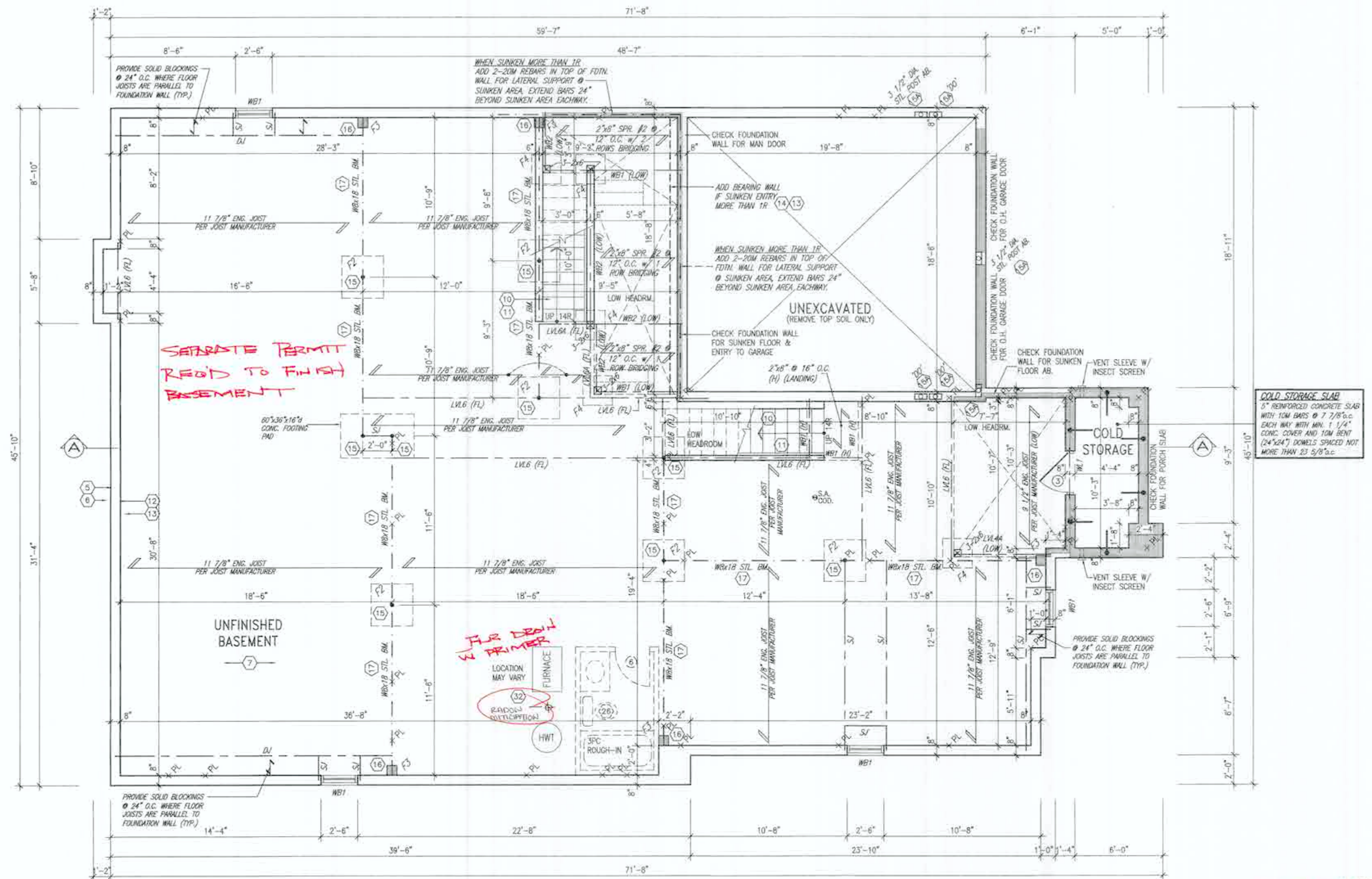
Greenpark.
RUSSELL GARDENS PH. 4
HAMILTON, ON.

GRANDVILLE 9
COMPLIANCE PACKAGE 'A1'

Project Name: RUSSELL GARDENS PH. 4
City: HAMILTON, ON.
Drawing No.: 20027
Scale: 3/16" = 1'-0"

CITY OF HAMILTON
Building Division
Permit No. 21-161913
THESE DRAWINGS AND SPECIFICATIONS SHALL COMPLY WITH THE CITY OF HAMILTON ZONING BY-LAW AND ALL OTHER APPLICABLE LAWS.
JAN 24, 2022

A1a



BASEMENT PLAN ELEV. '3'

RADON OPTION 1

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for obtaining or approving site (utility) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL, ZONING, SECTORS
SUB-DEVELOPMENT
DATE: AUG 22, 2021
The owner certifies that all applicable
Design Guidelines and zoning provisions
have been reviewed and approved.



STRUDET INC.
FOR STRUCTURE ONLY

BASEMENT INSULATION AT
STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION
(RIGID OR SPRAY FOAM).
-2"x4" @ 16" o.c. w/ R12 BATT
INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO
SUPPORT 2"x4" WALL WHERE LOAD
BEARING.

BASEMENT WALL INSULATION
(TYP)
-6" (R20) CONTINUOUS BLANKET
INSULATION, INSULATION
UNINTERRUPTED BY FRAMING

no.	description	date	by	no.	description	date	by
18				1	ISSUED FOR PERMIT	JUN. 21/21	GW
17				2	REV. PER CLIENT/ROOF/FL/ENG. COMMENTS	JUN. 16/21	GW
16				3	ISSUED FOR CLIENT REVIEW	APR. 08/21	GW
15				4			
14				5			
13				6			
12				7			
11				8			
10				9			
9				10			
8				11			
7				12			
6				13			
5				14			
4				15			
3				16			
2				17			
1				18			

Richard Viik
signature
24488
42658
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Toronto, ON M2J 1S4
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Greenpark.
RUSSELL GARDENS PH. 4

GRANDVILLE 9

project name: RUSSELL GARDENS PH. 4
location: HAMILTON, ON.
project no: 20027
drawing no: 20027-GRANDVILLE-9
drawing title: BASEMENT PLAN ELEV. '3'

scale: 3/16" = 1'-0"
date: JAN 24, 2022
drawing title: A1b

CITY OF HAMILTON
Building Division

Permit No. 21-161913

THE CHANGES APPROVED BY THE CITY OF HAMILTON BUILDING DIVISION ARE LIMITED TO THE TECHNICAL ASPECTS OF THE PERMIT. THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.

These drawings and specifications have been reviewed by the City of Hamilton Building Division and approved for issuance.

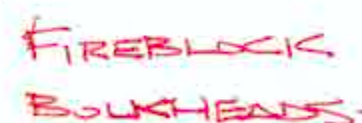
JAN 24, 2022

GRANDVILLE 9
COMPLIANCE PACKAGE 'A1'

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. 6- TABLE 6.2.3.12.

• KITCHEN EXHAUST	3.0m
• DRIVEWAY, PARKING SPACE, ROAD	1.5m
• SOLID FUEL APPLIANCE EXHAUST	3.0m

REC-73-1025-2006-06

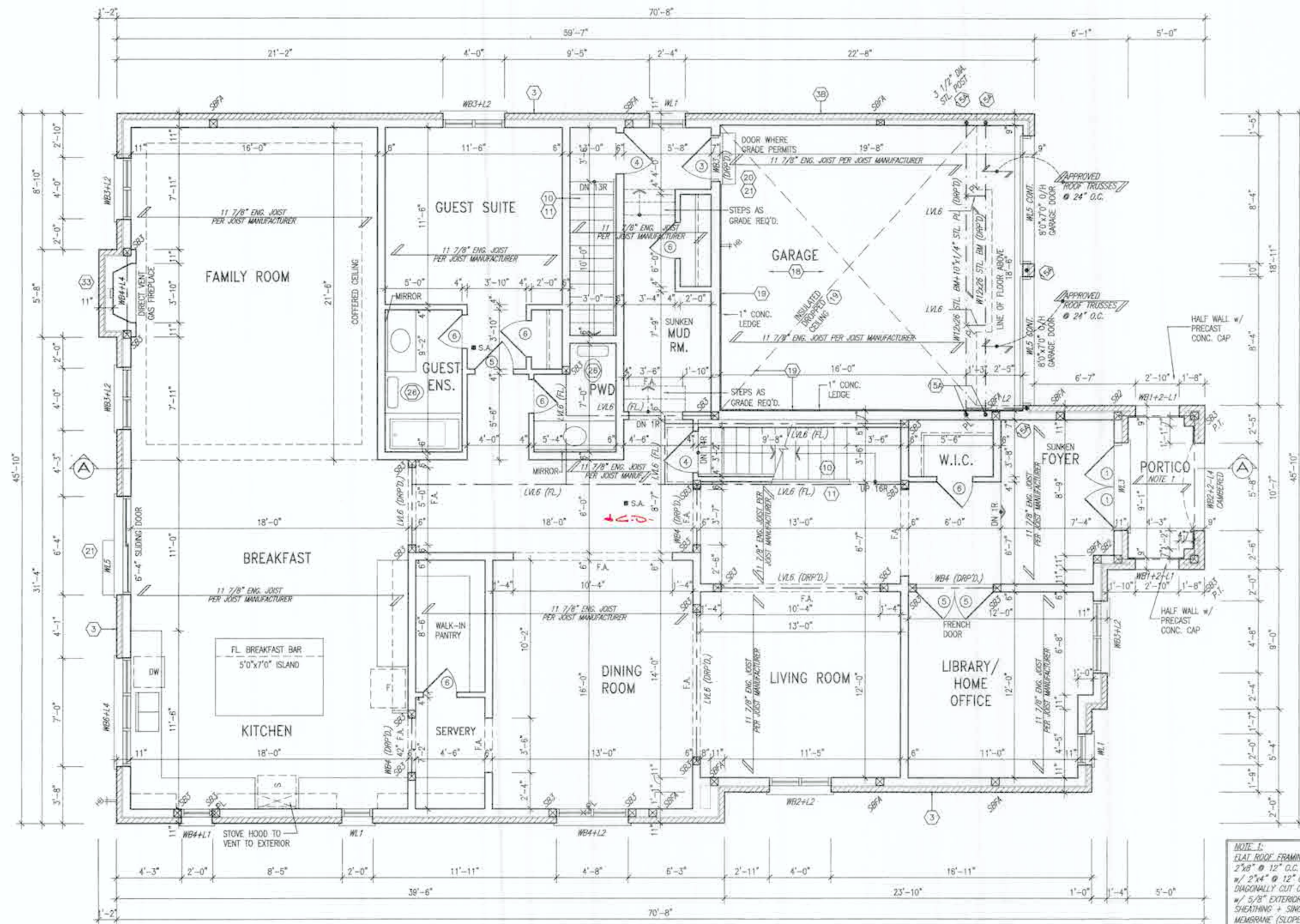


NOTE 1:
FLAT ROOF FRAMING (TYP.)
2"x8" @ 12" O.C. P.T. GLG. JS.
w/ 2"x4" @ 12" O.C. P.T.
DIAGONALLY CUT CROSS PURLINE
w/ 5/8" EXTERIOR GRADE
SHEATHING + SINGLE PLY ROOF
MEMBRANE (SLOPE TO DRAIN)

[illegible]

5153 SF.

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER CBC, DIV. B- TABLE 6.2.1.12.
• KITCHEN EXHAUST: 3.0m
• DRYWALL, PARKING SPACE, ROAD: 1.5m
• SOLID FUEL APPLIANCE EXHAUST: 3.0m
617-244-8871-2022/04/04



NOTE 1:
FLAT ROOF FRAMING (TYP.)
2"x8" @ 12" O.C. P.T. CLG. JST.
w/ 2"x4" @ 12" O.C. P.T.
DIAGONALLY CUT CROSS PURLINS
w/ 5/8" EXTERIOR GRADE
SHEATHING + SINGLE PLY ROOF
MEMBRANE (SLOPE TO DRAIN)

FIREBLOCK
BULKHEADS

GROUND FLOOR PLAN ELEV. '2'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for engineering or approving any (noting) plans or working drawings with respect to any zoning or building code or permit number or that any house can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD. ARCHITECT
1400 STEELES AVE. E. UNIT 10
SCARBOROUGH, ONTARIO M1V 5P6
DATE: AUG 27, 2022



STRUDET INC.
FOR STRUCTURE ONLY

CITY OF HAMILTON
Building Division

Project No. **21-161913**
THESE STAMPED DOCUMENTS ARE AVAILABLE ON SITE
THE COUNCIL RESOLUTION WITH MOTION SHALL CORRESPOND WITH
THE EXISTING RECORDING FILE NUMBER ALL OTHER APPLICABLE LAWS

GRANDVILLE 9
COMPLIANCE PACKAGE 'A1'

VA3 DESIGN 250 Commercial Rd Suite 120 Toronto, ON M2J 1R4 1 416.630.2255 / 416.630.4782 va3design.com		Greenpark. RUSSELL GARDENS PH. 4 HAMILTON, ON. project no. 20027 drawing no. A2a	
ISSUED FOR PERMIT JUN. 21/21 GW		ISSUED FOR PERMIT JUN. 21/21 GW	
REV. PER CLIENT/ROOF/FL/ENG. COMMENTS JUN. 16/21 GW		REV. PER CLIENT/ROOF/FL/ENG. COMMENTS JUN. 16/21 GW	
ISSUED FOR CLIENT REVIEW APR. 08/21 GW		ISSUED FOR CLIENT REVIEW APR. 08/21 GW	
date by no. description		date by no. description	

Richard Vink
signature
24488
42658

250 Commercial Rd Suite 120
Toronto, ON M2J 1R4
1 416.630.2255 / 416.630.4782
va3design.com

project no. 20027
drawing no. **A2a**

GROUND FLOOR PLAN - ELEV. '2'

3/16" = 1'-0"

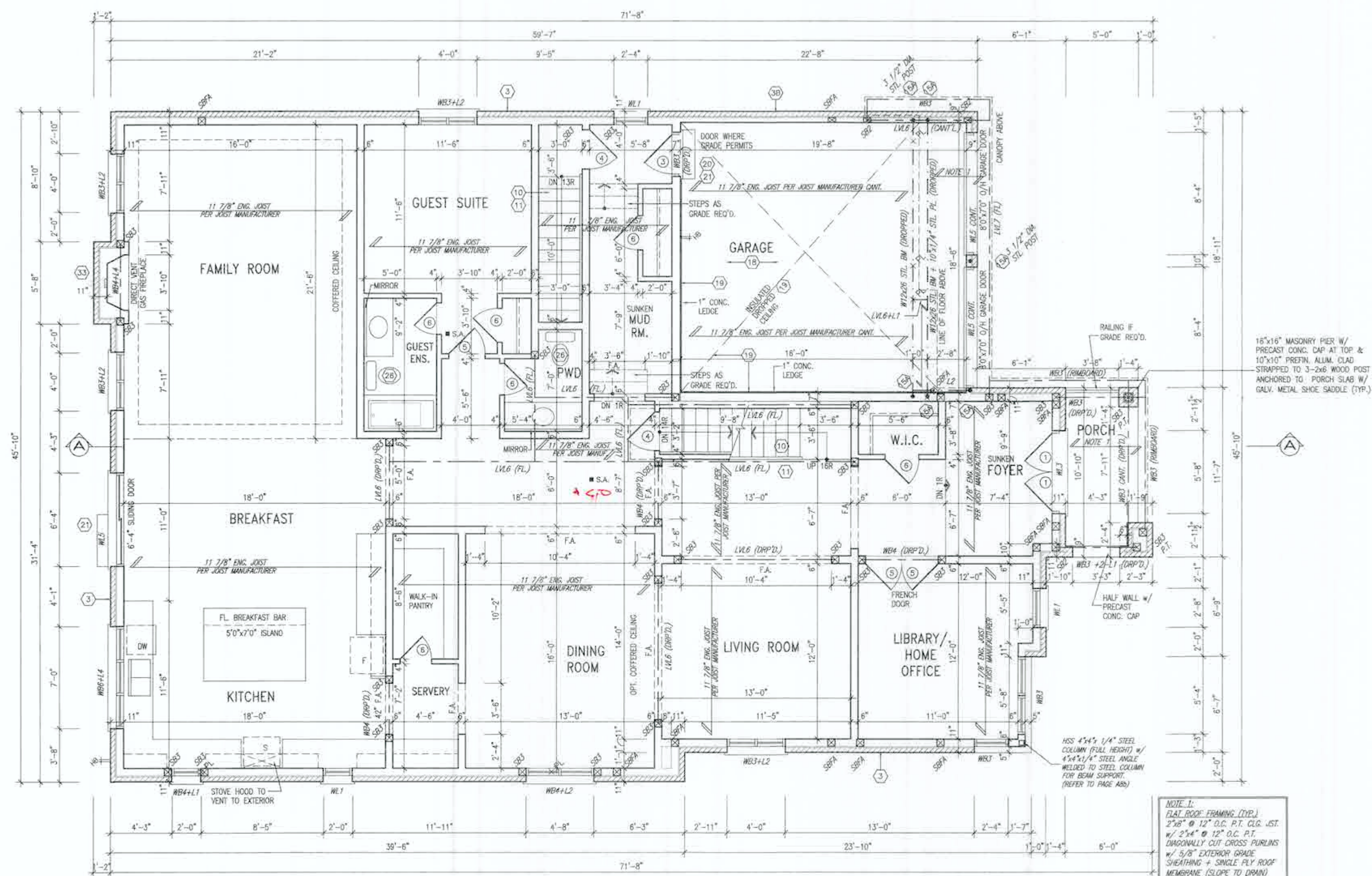
2022-GRANDVILLE-9

2022-GRANDVILLE-9

2022-GRANDVILLE-9

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER CBC, DIV. 9- TABLE 6.2.3.12.

* KITCHEN EXHAUST	3.0m
* DRIVENWAY, PARKING SPACE, ROAD	1.5m
* SOLID FUEL APPLIANCE EXHAUST	3.0m



FIREBLOCK
BULKHEAD

GROUND FLOOR PLAN ELEV. '3'

NOTE 1:
FLAT ROOF FRAMING (TYP.)
2"x8" @ 12" O.C. P.T. C.G. 1ST
w/ 2"x4" @ 12" O.C. P.T.
DIAGONALLY CUT CROSS PURLINS
w/ 5/8" EXTERIOR GRADE
SHEATHING + SINGLE PLY ROOF
MEMBRANE (SLOPE TO DRAIN)

CITY OF HAMILTON
Building Division

71-161913

2000 2001 2002 2003 2004 2005 2006 2007 2008 2009 2010 2011 2012 2013 2014 2015 2016 2017 2018 2019 2020 2021 2022 2023 2024 2025 2026 2027 2028 2029 2030 2031 2032 2033 2034 2035 2036 2037 2038 2039 2040 2041 2042 2043 2044 2045 2046 2047 2048 2049 2050 2051 2052 2053 2054 2055 2056 2057 2058 2059 2060 2061 2062 2063 2064 2065 2066 2067 2068 2069 2070 2071 2072 2073 2074 2075 2076 2077 2078 2079 2080 2081 2082 2083 2084 2085 2086 2087 2088 2089 2090 2091 2092 2093 2094 2095 2096 2097 2098 2099 2100 2101 2102 2103 2104 2105 2106 2107 2108 2109 2110 2111 2112 2113 2114 2115 2116 2117 2118 2119 2120 2121 2122 2123 2124 2125 2126 2127 2128 2129 2130 2131 2132 2133 2134 2135 2136 2137 2138 2139 2140 2141 2142 2143 2144 2145 2146 2147 2148 2149 2150 2151 2152 2153 2154 2155 2156 2157 2158 2159 2160 2161 2162 2163 2164 2165 2166 2167 2168 2169 2170 2171 2172 2173 2174 2175 2176 2177 2178 2179 2180 2181 2182 2183 2184 2185 2186 2187 2188 2189 2190 2191 2192 2193 2194 2195 2196 2197 2198 2199 2200 2201 2202 2203 2204 2205 2206 2207 2208 2209 2210 2211 2212 2213 2214 2215 2216 2217 2218 2219 2220 2221 2222 2223 2224 2225 2226 2227 2228 2229 2230 2231 2232 2233 2234 2235 2236 2237 2238 2239 2240 2241 2242 2243 2244 2245 2246 2247 2248 2249 2250 2251 2252 2253 2254 2255 2256 2257 2258 2259 2260 2261 2262 2263 2264 2265 2266 2267 2268 2269 2270 2271 2272 2273 2274 2275 2276 2277 2278 2279 2280 2281 2282 2283 2284 2285 2286 2287 2288 2289 2290 2291 2292 2293 2294 2295 2296 2297 2298 2299 2300 2301 2302 2303 2304 2305 2306 2307 2308 2309 2310 2311 2312 2313 2314 2315 2316 2317 2318 2319 2320 2321 2322 2323 2324 2325 2326 2327 2328 2329 2330 2331 2332 2333 2334 2335 2336 2337 2338 2339 2340 2341 2342 2343 2344 2345 2346 2347 2348 2349 2350 2351 2352 2353 2354 2355 2356 2357 2358 2359 2360 2361 2362 2363 2364 2365 2366 2367 2368 2369 2370 2371 2372 2373 2374 2375 2376 2377 2378 2379 2380 2381 2382 2383 2384 2385 2386 2387 2388 2389 2390 2391 2392 2393 2394 2395 2396 2397 2398 2399 2400 2401 2402 2403 2404 2405 2406 2407 2408 2409 2410 2411 2412 2413 2414 2415 2416 2417 2418 2419 2420 2421 2422 2423 2424 2425 2426 2427 2428 2429 2430 2431 2432 2433 2434 2435 2436 2437 2438 2439 2440 2441 2442 2443 2444 2445 2446 2447 2448 2449 2450 2451 2452 2453 2454 2455 2456 2457 2458 2459 2460 2461 2462 2463 2464 2465 2466 2467 2468 2469 2470 2471 2472 2473 2474 2475 2476 2477 2478 2479 2480 2481 2482 2483 2484 2485 2486 2487 2488 2489 2490 2491 2492 2493 2494 2495 2496 2497 2498 2499 2500 2501 2502 2503 2504 2505 2506 2507 2508 2509 2510 2511 2512 2513 2514 2515 2516 2517 2518 2519 2520 2521 2522 2523 2524 2525 2526 2527 2528 2529 2530 2531 2532 2533 2534 2535 2536 2537 2538 2539 2540 2541 2542 2543 2544 2545 2546 2547 2548 2549 2550 2551 2552 2553 2554 2555 2556 2557 2558 2559 2560 2561 2562 2563 2564 2565 2566 2567 2568 2569 2570 2571 2572 2573 2574 2575 2576 2577 2578 2579 2580 2581 2582 2583 2584 2585 2586 2587 2588 2589 2590 2591 2592 2593 2594 2595 2596 2597 2598 2599 2600 2601 2602 2603 2604 2605 2606 2607 2608 2609 2610 2611 2612 2613 2614 2615 2616 2617 2618 2619 2620 2621 2622 2623 2624 2625 2626 2627 2628 2629 2630 2631 2632 2633 2634 2635 2636 2637 2638 2639 2640 2641 2642 2643 2644 2645 2646 2647 2648 2649 2650 2651 2652 2653 2654 2655 2656 2657 2658 2659 2660 2661 2662 2663 2664 2665 2666 2667 2668 2669 2670 2671 2672 2673 2674 2675 2676 2677 2678 2679 2680 2681 2682 2683 2684 2685 2686 2687 2688 2689 2690 2691 2692 2693 2694 2695 2696 2697 2698 2699 2700 2701 2702 2703 2704 2705 2706 2707 2708 2709 2710 2711 2712 2713 2714 2715 2716 2717 2718 2719 2720 2721 2722 2723 2724 2725 2726 2727 2728 2729 2730 2731 2732 2733 2734 2735 2736 2737 2738 2739 2740 2741 2742 2743 2744 2745 2746 2747 2748 2749 2750 2751 2752 2753 2754 2755 2756 2757 2758 2759 2760 2761 2762 2763 2764 2765 2766 2767 2768 2769 2770 2771 2772 2773 2774 2775 2776 2777 2778 2779 2780 2781 2782 2783 2784 2785 2786 2787 2788 2789 2790 2791 2792 2793 2794 2795 2796 2797 2798 2799 2800 2801 2802 2803 2804 2805 2806 2807 2808 2809 2810 2811 2812 2813 2814 2815 2816 2817 2

may 21 2022

IAN?

GRANDVILLE 9
COMPLIANCE PACKAGE 'A1'

GRANDVILLE 9

VA3
DESIGN
Greenpark

GRANDVILLE 9

project name	municipality	project year
RUSSELL GARDENS PH. 4	HAMILTON, ON.	2002

255 Consumers Rd Suite 120

Toronto ON M2J 1R4
 # 416.630.2255 / 416.630.4782
 va3design.com

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It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements, including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for engineering or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of WASHINGTON

JOHN C. WILLIAMS LTD., ARCHITECTS
INTERNATIONAL CONTRACT SYSTEM
LTD-ARCHITECTS

DATE: AUGUST 1991
This design contract complies with the approved
Design Contracting Form No. 100-10-10-10
Contracting Responsibility.

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be its Designer.	
qualification information	
Richard Vink	<i>R Vink</i>
name	signature
registration information	

VA3 Design Inc.	421
Contractor must verify all dimensions on the job and report any	

discrepancy, the Designer bears proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

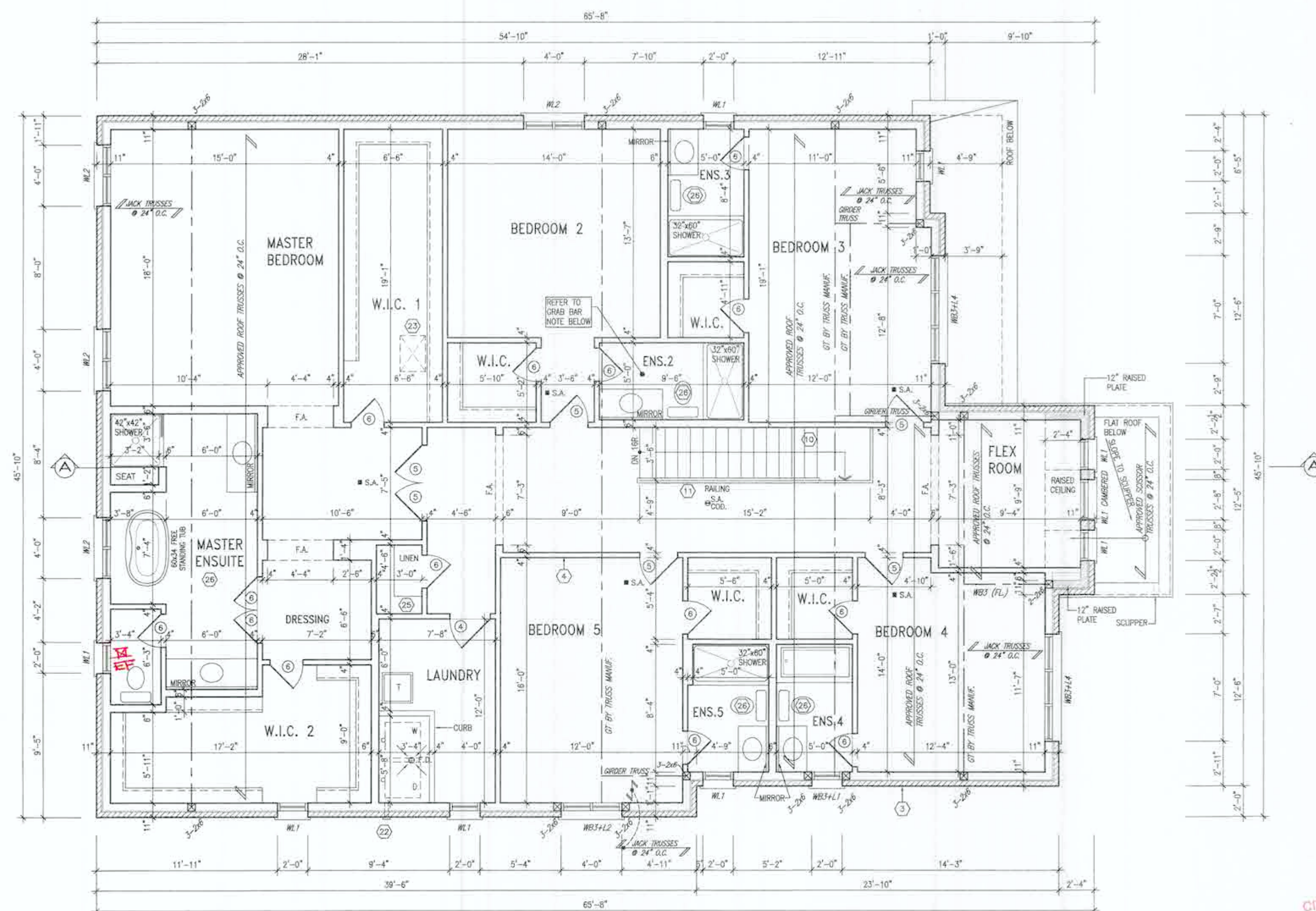
(All drawings specifications)

255 Consumers Rd Suite 120

Toronto ON M2J 1R4
 416.630.2255 f 416.630.4782
 va3design.com

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GRAB BAR NOTE:
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHUB IN MAIN BATHROOM PER CBC DIV. 9-9.5.2.3 REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8.(3/0) & 3.8.3.8.(3/0); SHOWER 3.8.3.13.(2/0); BATHUB 3.8.3.15.(4/0); FREE STANDING BATHUB EXCLUDED. SEE DETAILS PRODUCTS. (PL-MISC-2720)



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

[illegible]

STRUDET INC.
FOR STRUCTURE ONLY

CITY OF HAMILTON
Building Division

21-161913

Form No. 21-10
THREE STAMPED COPIES OF THIS APPLICATION ON FILE

THE CHANDLER

10/2/2022

IAN 24 2021

GRANDVILLE 9
COMPLIANCE PACKAGE 'A1'



Greenpark™

GRANDVILLE 9

project name	municipality	project no.
RUSSELL GARDENS PH. 4	HAMILTON, ON.	2002

date: SECOND FLOOR PLAN - ELEV. 1st Fl. Drawing no.:

SECOND FLOOR PLAN - ELEV. 1

WT 3/16" = 1'-0" 20027-GRANDVILLE-9 A3

QING - WILSON'S WORKING - 1001-1007 - SUNDAY - JANUARY 1987 - PAGES 1-6 - 1001-1007

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STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER DEC. DIV. 8-9.5.2. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED: WATER CLOSET: 3.8.3.8.(3)/(c) & 3.8.1.8.(3)/(c); SHOWER: 3.8.3.13.(2)/(c) & BATHTUB: 3.8.3.13.(4)/(c). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS FOR BATHTUB.

This architectural floor plan depicts a multi-unit residential building with the following layout and details:

- Bedrooms:** Five bedrooms are shown, including a Master Bedroom, Bedroom 2, Bedroom 3, Bedroom 4, and Bedroom 5. Each bedroom includes a window (WL) and a door (D).
- Bathrooms:** The plan features two Master Suites (each with a shower, seat, and mirror), two Ensuites (ENS. 1-2), and two additional Ensuites (ENS. 3-4). A central Laundry room is also present.
- Closets:** Numerous closets are distributed throughout, including Walk-In Closets (W.I.C.), a Linen closet, and a Dressing closet.
- Common Areas:** A central Flex Room and a Staircase (DN LVR) provide common space for the units.
- Structural & Construction Notes:** The plan includes detailed annotations for roof trusses (e.g., JACK TRUSSES @ 24" O.C.), approved roof trusses, and various ceiling types (e.g., RAISED CEILING, 16" RAISED PLATE). It also specifies window and door types (e.g., 42" x 42" SHOWER, 32" x 60" SHOWER).
- Dimensions:** Extensive linear dimensions are provided for all rooms and overall building footprints, such as 55'-10" and 65'-8" for the main sections.
- Orientation:** The plan is oriented with North indicated by an arrow pointing towards the top-left corner.



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECTS
ARCHITECTURAL OFFICE ROOM
2ND FLOOR
APPROVED BY: 
DATE: AUG 15, 1957
For Plans, Specifications, Estimates, etc., see separate sheet.
Details: Structural only, 2nd Floor - 44, 2nd Floor
Architect's office only.

CITY OF HAMILTON
Building Division

Form No. 21- 161913
 THESE FINANCIAL RECORDS SHALL BE AVAILABLE ON SITE
 TO THE PUBLIC AT THE OFFICE OF THE COMPTROLLER OF THE
 CITY OF NEW YORK, 100 WALL STREET, NEW YORK, N.Y. 10038
 FROM 9:00 A.M. TO 5:00 P.M. DURING THE FOLLOWING PERIODS:
 FROM 1/23/2012 TO 1/23/2012
 JAN 23

GRANDVILLE 9
COMPLIANCE PACKAGE 'A1'

GRANDVILLE 9



VA2
DESIGN

project name	municipality	project year
RUSSELL GARDENS PH. 4	HAMILTON, ON.	2002
date	SECOND FLOOR PLAN	drawing no.

A3a

181				3	The contractor has reviewed and owns responsibility for this design and also the specifications and clearly the requirements set out in the interim Building Code to be it Design.		
177				6	certification information:		
16				6	Richard Vink		24
15				6			
14				6	signature		
13				6	ingénieur en mécanique		
12				6	VAS Design Inc.		42
11				3	ISSUED FOR PERMIT	JUN 21/21	OK
10				2	REV. PER CLIENT/PROF./AL./ENG. COMMENTS	JUN 16/21	OK
9				1	ISSUED FOR CLIENT REVIEW	APR 09/21	OK
86	Description	Date	In	Description	Date	In	

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GRAB BAR NOTE:
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OGC, DIV. 6-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED: WATER CLOSET 3.8.1.3.(3)(c) & 3.8.1.3.(3)(c); SHOWER 3.8.1.3.(2)(g); BATHTUB 3.8.1.3.(4)(f). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED. (DB, NOTE-0003)

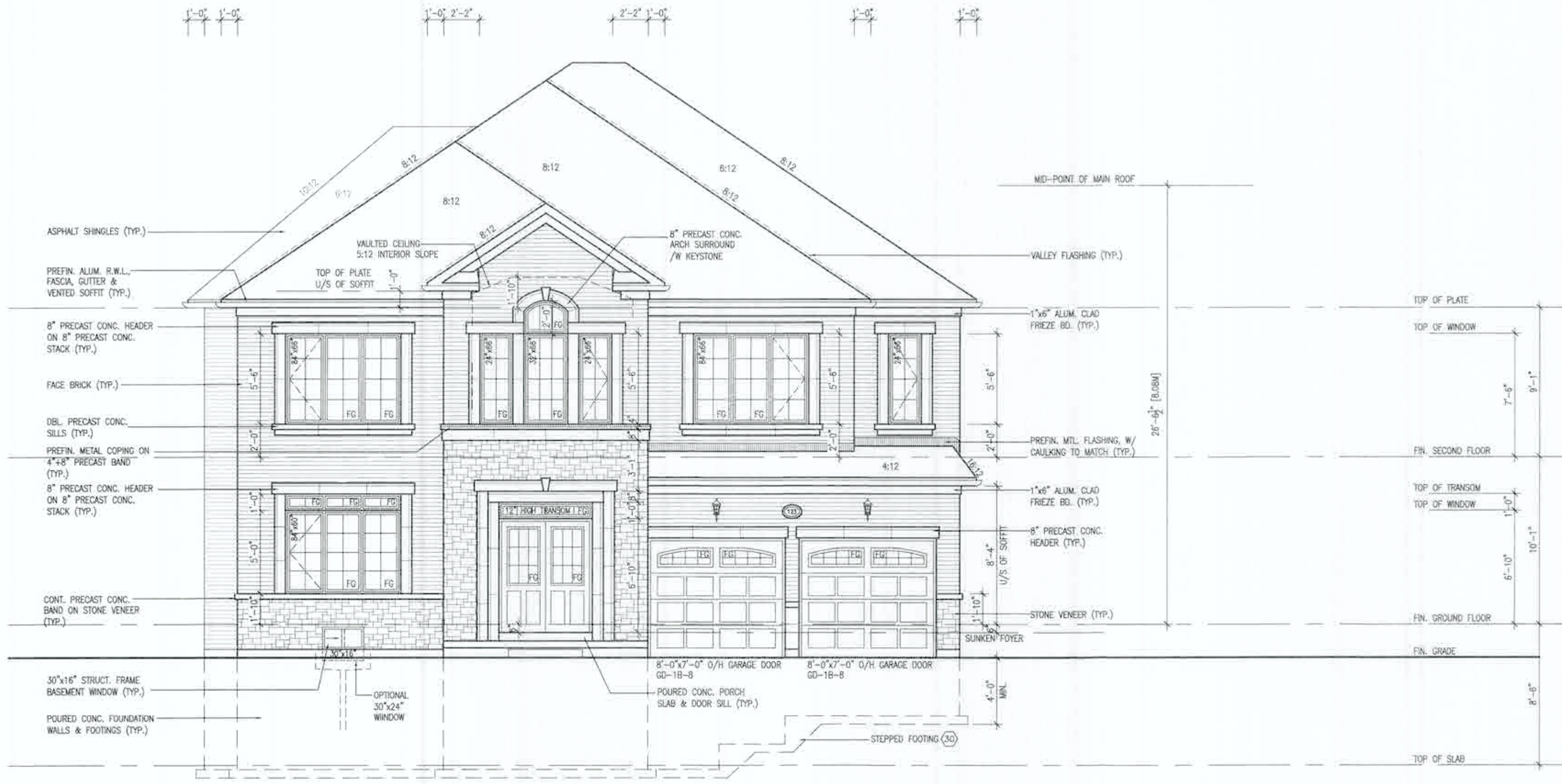
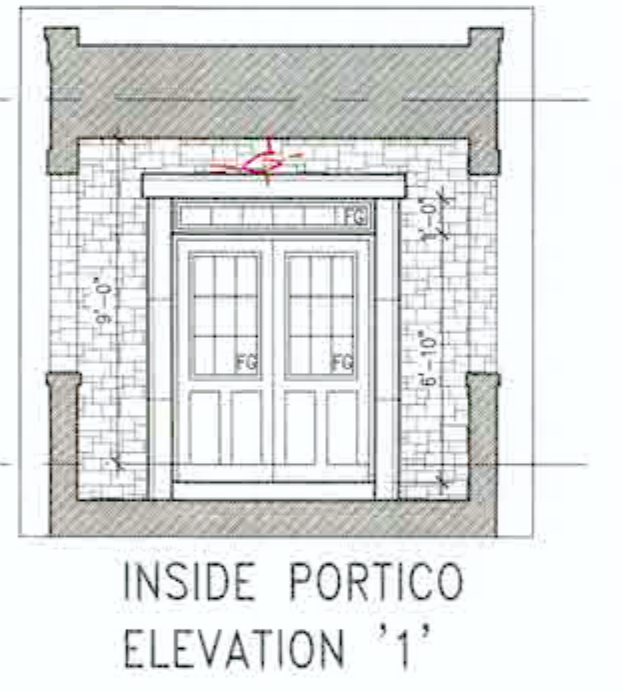
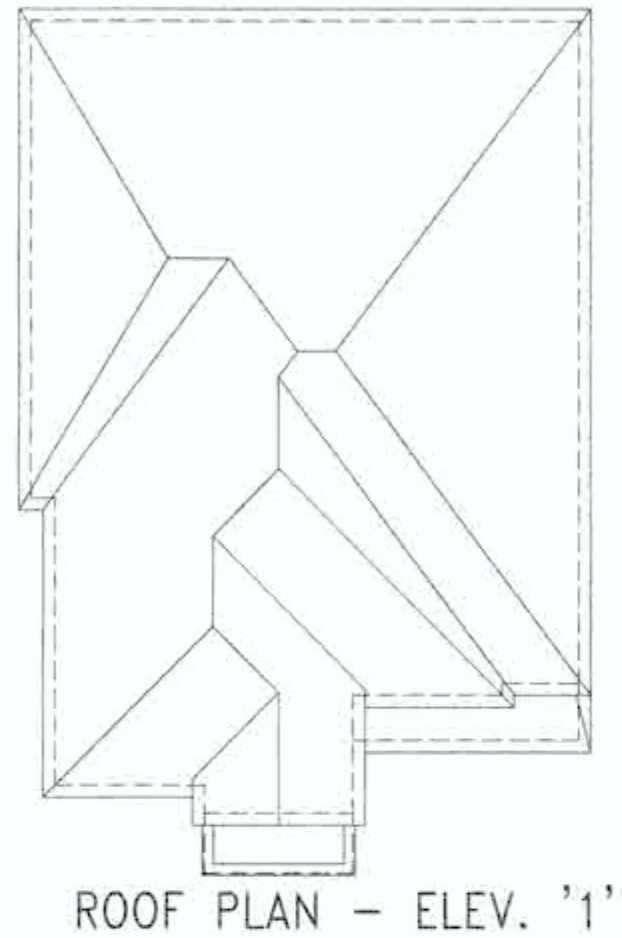


STRUDET INC.
FOR STRUCTURE ONLY

[illegible]

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5153 SF.



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the applicable Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving site (setting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

SCOTT C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONSULTING
1000 KENNEDY RD. #100
SCARBOROUGH, ONT. M1T 3B5
416-291-1111
www.scottwilliams.ca

PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
w/ MASONRY INSERTS WHERE
GRADE REQUIRES.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5			
13				4			
12				3	ISSUED FOR PERMIT	JUN. 21/21	GW
11				2	REV. PER CLIENT/ROOF/FL/ENG. COMMENTS	JUN. 16/21	GW
10				1	ISSUED FOR CLIENT REVIEW	APR. 05/21	GW

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Signature: Richard Vink
Registration Information: VAS Design Inc.
No. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VA3 DESIGN
250 Consumers Rd Suite 120
Toronto, ON M2J 1R4
416.630.2295 | 416.630.4782
vasdesign.com

Greenpark. GRANDVILLE 9

project name: RUSSELL GARDENS PH. 4
location: HAMILTON, ON.
date: MARCH 2021
scale: 3/16" = 1'-0"

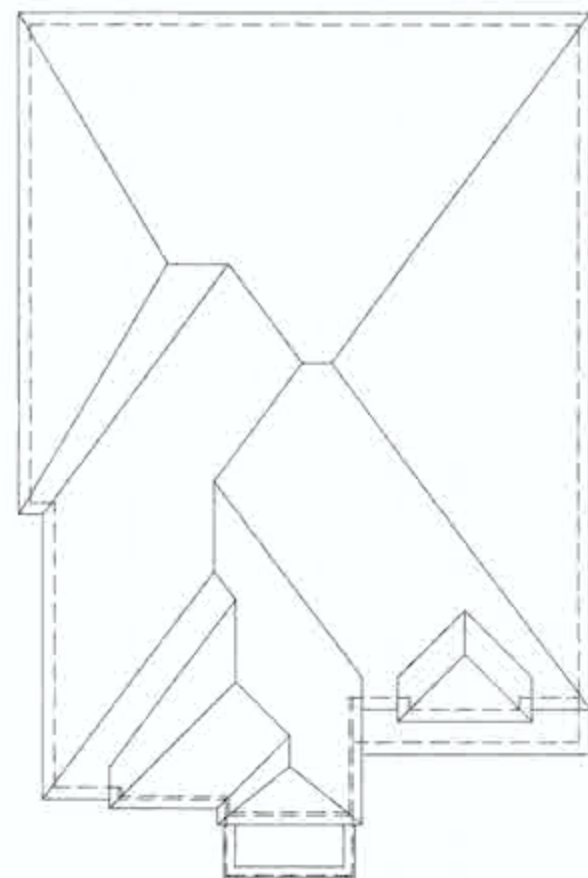
FRONT ELEVATION - ELEV. '1'

drawing no. A4

CITY OF HAMILTON
Building Division
Permit No. 21-161913
JAN 24 2022

GRANDVILLE 9
COMPLIANCE PACKAGE 'A1'

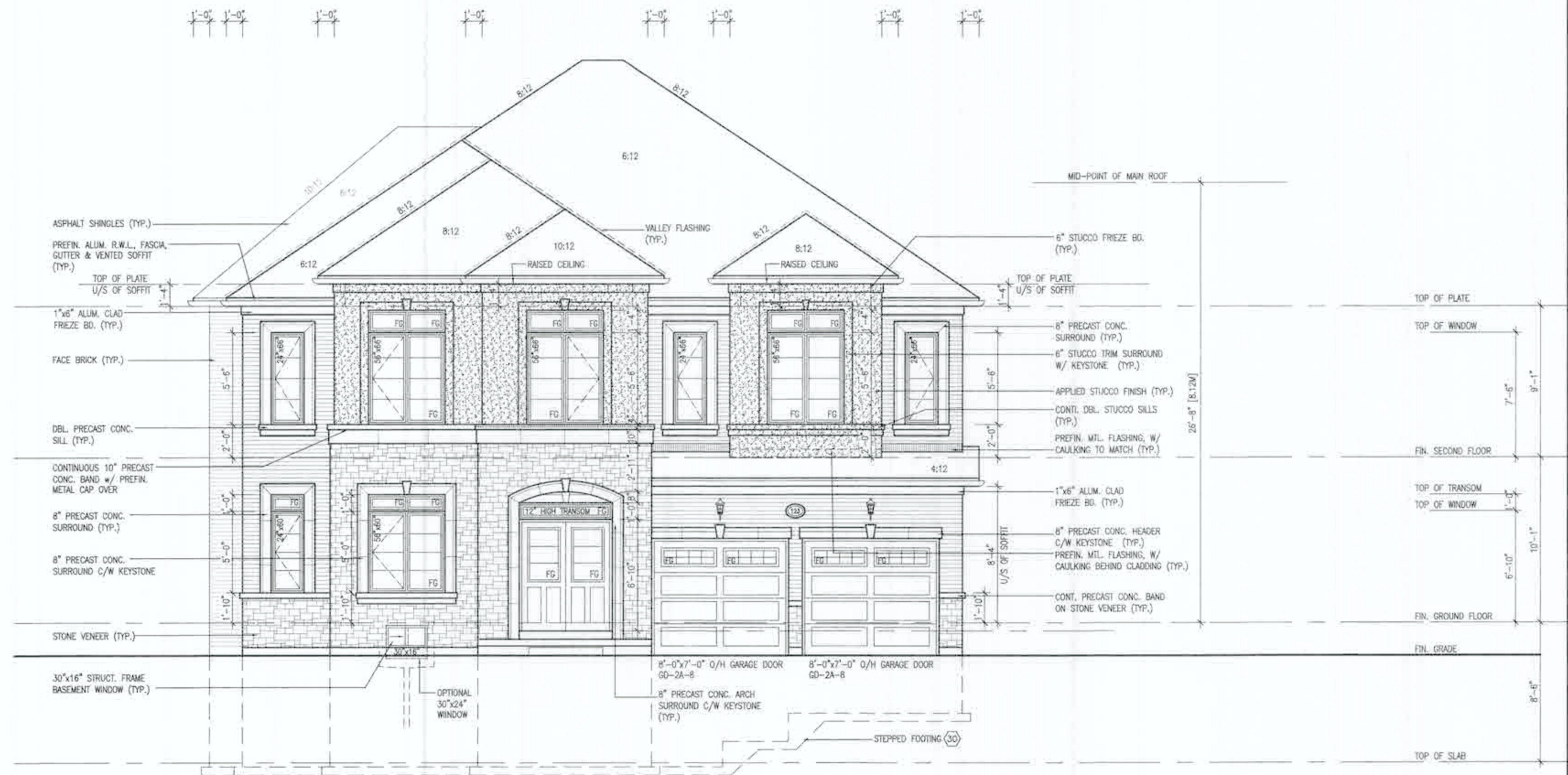
5153 SF.



ROOF PLAN - ELEV. '2'



INSIDE PORTICO
ELEVATION '2'



FRONT ELEVATION - ELEV. '2'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD. ARCHITECT
STRUCTURAL CONTROL DESIGN
AND APPRAISAL

10000 W. 10th Ave.
Suite 100
Denver, CO 80231

Phone: (303) 751-1111
Fax: (303) 751-1112

ELEVATIONS NOT DRAWN TO ACTUAL GRADE
REFER TO FINAL GRADING PLAN.

PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
w/ MASONRY INSERTS WHERE
GRADE REQUIRES.

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in Ontario Building Code to be a Designer.

Qualifications information

Richard Vink *R Vink* 2
signature

Home registration information

VAS Design Inc. 4

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the project.

VA3
DESIGN
255 Consumers Rd. Suite 101
Toronto, ON M2J 1L9
t: 416.630.2255 f: 416.630.2256
va3design.com

CITY OF HAMILTON
Building Division

Form No. ZI-161913

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NOV 14 2022

GRANDVILLE 9
COMPLIANCE PACKAGE 'A1'

 **Greenpark.** GRANDVILLE 9

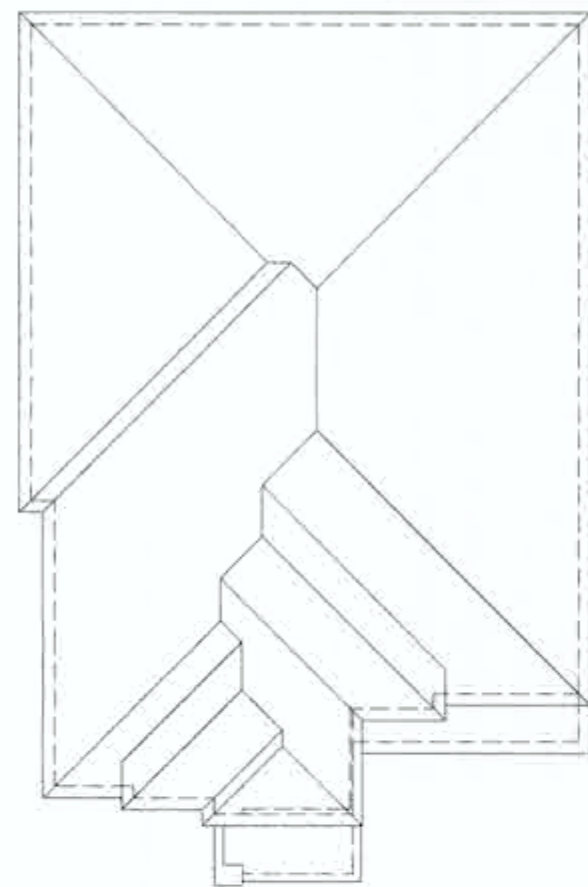
project name	municipality	project no.
RUSSELL GARDENS PH. 4	HAMILTON, ON.	20027

DATE: MARCH 2021 FRONT ELEVATION - ELEV. '2' DRAWING NO. 1

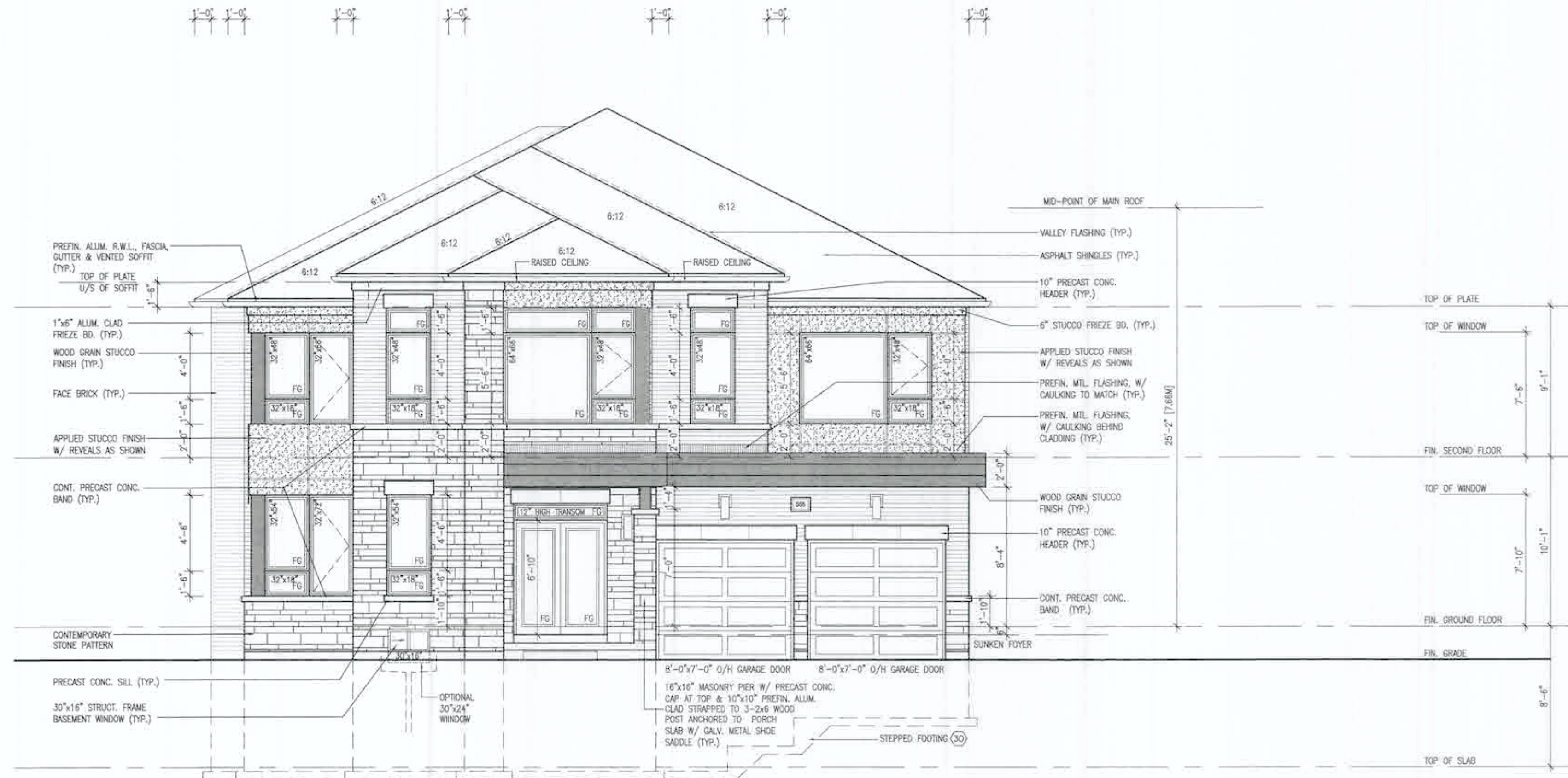
32 WT 3/16" = 3'-0" 20027-GRANDVILLE-9 A4a

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5153 SF.



ROOF PLAN - ELEV. '3'



FRONT ELEVATION - ELEV. '3'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architecture Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECTS
 ARCHITECTURAL CENTER, INCORPORATED
 400 N. MICHIGAN
 SUITE 1200
 ANN ARBOR, MI 48106-1500
 TEL: 734/761-1000
 FAX: 734/761-1001
 WWW: WWW.JCWILLIAMS.COM

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
w/ MASONRY INSERTS WHERE
GRADE REQUIRES.

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Qualification information: *R. Vink*

Richard Vink
name
signature
VA3 Design Inc.
organization

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer, which must be returned at the completion of the project. Dimensions are not to be varied.

**VA3
DESIGN**
255 Consumers Rd Suite 101
Toronto ON M2J 1L9
t. 416.630.2255 f. 416.630.2256
vo3design.com

 Greenpark.		GRANDVILLE 9
project name RUSSELL GARDENS PH. 4	city HAMILTON, ON.	project # 200227-GRANDVILLE-9
date MARCH 2021		drawing no. A4b
description FRONT ELEVATION - ELEV. '3'		
checked by cm	scale 3/16" = 1'-0"	file name 200227-GRANDVILLE-9
© 2021 Greenpark Inc. All rights reserved. Greenpark Inc. is a registered trademark of Greenpark Inc. in the Province of Ontario. Greenpark Inc. is a registered trademark of Greenpark Inc. in the Province of Ontario. Greenpark Inc. is a registered trademark of Greenpark Inc. in the Province of Ontario.		

CITY OF HAMILTON
Building Envision

21-161913

These results suggest that the *in vitro* and *in vivo* studies have been followed by




IAN 21.2

GRANDVILLE 9
COMPLIANCE PACKAGE 'A1'

 Greenpark.		GRANDVILLE 9
project name RUSSELL GARDENS PH. 4	municipality HAMILTON, ON.	project no. 20027
FRONT ELEVATION - ELEV. '3'		drawing no. A4b
date MARCH 2021	checked by 3/16/21 = 1-0"	file name 20027-GRANDVILLE-9
www.landscapearchitecture.com www.landscapearchitecture.com www.landscapearchitecture.com www.landscapearchitecture.com		

Architectural elevation drawing of a building facade. The drawing includes various windows, doors, and structural details. Key elements and dimensions are as follows:

- Roof:** Multiple gables with pitches of 6:12 and 10:12. Eave overhang is 1'-0".
- Windows:**
 - Top row: 24"x42" (3'-6" high), 24"x42" (3'-6" high), 48"x48" FG (4'-0" high), 24"x42" (3'-6" high), 24"x42" (3'-6" high).
 - Bottom row: 24"x48" (4'-0" high), 24"x48" (4'-0" high), 56"x60" FG (5'-0" high), 48"x60" FG (5'-0" high).
 - Optional basement windows: 30"x16" (4'-0" high).
- Doors:** 30"x24" (3'-10" high).
- Materials and Details:**
 - FACE BRICK (TYP.)
 - BRICK SOLDIER (TYP.)
 - PRECAST CONC. SILL (TYP.)
 - CONT. PRECAST CONC. BAND ON STONE VENEER (TYP.)
 - STONE VENEER (TYP.)
 - PRECAST CONC. CAP
 - POURED CONC. FOUNDATION WALLS & FOOTINGS (TYP.)
 - ASPHALT SHINGLES (TYP.)
 - VALLEY FLASHING (TYP.)
 - 1"x6" ALUM. CLAD FRIEZE BD. (TYP.)
 - PREFIN. METAL COPING ON 4"x8" PRECAST BAND (TYP.)
 - ROOF SCUPPER
 - 8" PRECAST CONC. HEADER C/W KEYSTONE ON 8" PRECAST CONC. STACK (TYP.)
 - 12"x1" (TOP OF PARAPET)
- Levels and Dimensions:**
 - TOP OF SLAB
 - FIN. GROUND FLOOR
 - FIN. SECOND FLOOR
 - TOP OF WINDOW
 - TOP OF PLATE
 - 8'-6" (Total height)
 - 7'-6" (Height from ground to second floor)
 - 9'-1" (Height from ground to roof)

<u>ALLOWABLE GLAZED OPENINGS</u>	
WALL AREA	1340.55 SQ. FT.
LIMITING DISTANCE	2.5 M (9%)
GLAZING ALLOWED	= 120.65 SQ. FT.
GLAZING PROVIDED	110.9 = 93.61 SQ. FT.
<u>WITH OPTIONAL 30"x24" BASEMENT WINDOWS</u>	
GLAZING PROVIDED W/ OPT.	
30"x24" BASEMENT WINDOWS	= 96.61 SQ. FT.

KORN G. WILLIAMS LTD., ARCHITECT
48CHITTENDEN, OXFORD, OX5 1BB
AND APPROVAL BY

DAVID H. JONES
DATE: 10/11/2017
Two copies of this certificate must be submitted with the application
Design Certificate only for the design of a building
or structure of any kind.

CITY OF HAMILTON
Building Division

Phone No. 21-161913

THIS PROPERTY OR INTEREST IS AVAILABLE ON SITE

THE APPLICANT'S INTEREST IN THE PROPERTY WITH
THE APPLICANT'S NAME AND ADDRESS FOR CONTACT

Signature of Applicant: [Signature] Date: May 16 2022

Signature of Building Official: [Signature] Date: JAN 24 2022

Greenpark.

GRANDVILLE 9	
project no. 20027	
- FLEV 11	drawing no.

[illegible]

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5153 SF.



LEFT SIDE ELEVATION - ELEV. '2'

ALLOWABLE GLAZED OPENINGS	
WALL AREA	1,340.55 SQ. FT.
LIMITING DISTANCE	2.5 M (8%)
GLAZING ALLOWED	= 120.85 SQ. FT.
GLAZING PROVIDED	= 93.61 SQ. FT.
WITH OPTIONAL 30"x24" BASEMENT WINDOWS	
GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS	= 96.61 SQ. FT.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor/Architect is not responsible in any way for obtaining or approving side (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or installed on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN C. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL, CONSULTING, DESIGN
AND INTERIOR
1000 KENNEDY RD. UNIT 100
SCARBOROUGH, ONTARIO M1T 3B4
TEL: (416) 291-1111
WWW.JCWILLIAMS.COM

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

CITY OF HAMILTON
Building Division
Permit No. 21-181913
THESE DRAWINGS AND PERMIT SHALL BE AVAILABLE ON SITE
THIS PERMIT IS VALID FOR 12 MONTHS FROM THE DATE OF ISSUANCE
IF THE PROJECT IS NOT COMPLETED WITHIN 12 MONTHS, THE PERMIT WILL EXPIRE
AND A NEW PERMIT MUST BE OBTAINED TO CONTINUE THE PROJECT

JAN 24 2022

GRANDVILLE 9
COMPLIANCE PACKAGE 'A1'

VA3 DESIGN 250 Conestoga Rd. Suite 120 Toronto, ON M2L 1G4 1-416-630-2235 / 416-630-4782 va3design.com		Greenpark. GRANDVILLE 9 project name: RUSSELL GARDENS PH. 4 location: HAMILTON, ON. project no: 20027 date: JAN MARCH 2021 drawn by: WT checked by: 3/18" = 1'-0" scale: 20027-GRANDVILLE-9 drawing no: A5a	
18. ISSUED FOR PERMIT. JUN. 21/21 GW		19. ISSUED FOR PERMIT. JUN. 21/21 GW	
17. REV. PER CLIENT/ROOF/ENG. COMMENTS. JUN. 16/21 GW		18. REV. PER CLIENT/ROOF/ENG. COMMENTS. JUN. 16/21 GW	
16. ISSUED FOR CLIENT REVIEW. APR. 08/21 GW		17. ISSUED FOR CLIENT REVIEW. APR. 08/21 GW	
15. ISSUED FOR CLIENT REVIEW. APR. 08/21 GW		16. ISSUED FOR CLIENT REVIEW. APR. 08/21 GW	
14. ISSUED FOR CLIENT REVIEW. APR. 08/21 GW		15. ISSUED FOR CLIENT REVIEW. APR. 08/21 GW	
13. ISSUED FOR CLIENT REVIEW. APR. 08/21 GW		14. ISSUED FOR CLIENT REVIEW. APR. 08/21 GW	
12. ISSUED FOR CLIENT REVIEW. APR. 08/21 GW		13. ISSUED FOR CLIENT REVIEW. APR. 08/21 GW	
11. ISSUED FOR CLIENT REVIEW. APR. 08/21 GW		12. ISSUED FOR CLIENT REVIEW. APR. 08/21 GW	
10. ISSUED FOR CLIENT REVIEW. APR. 08/21 GW		11. ISSUED FOR CLIENT REVIEW. APR. 08/21 GW	
9. ISSUED FOR CLIENT REVIEW. APR. 08/21 GW		10. ISSUED FOR CLIENT REVIEW. APR. 08/21 GW	
8. ISSUED FOR CLIENT REVIEW. APR. 08/21 GW		9. ISSUED FOR CLIENT REVIEW. APR. 08/21 GW	
7. ISSUED FOR CLIENT REVIEW. APR. 08/21 GW		8. ISSUED FOR CLIENT REVIEW. APR. 08/21 GW	
6. ISSUED FOR CLIENT REVIEW. APR. 08/21 GW		7. ISSUED FOR CLIENT REVIEW. APR. 08/21 GW	
5. ISSUED FOR CLIENT REVIEW. APR. 08/21 GW		6. ISSUED FOR CLIENT REVIEW. APR. 08/21 GW	
4. ISSUED FOR CLIENT REVIEW. APR. 08/21 GW		5. ISSUED FOR CLIENT REVIEW. APR. 08/21 GW	
3. ISSUED FOR CLIENT REVIEW. APR. 08/21 GW		4. ISSUED FOR CLIENT REVIEW. APR. 08/21 GW	
2. ISSUED FOR CLIENT REVIEW. APR. 08/21 GW		3. ISSUED FOR CLIENT REVIEW. APR. 08/21 GW	
1. ISSUED FOR CLIENT REVIEW. APR. 08/21 GW		2. ISSUED FOR CLIENT REVIEW. APR. 08/21 GW	

<u>ALLOWABLE GLAZED OPENINGS</u>	
WALL AREA	1334.27 SQ. FT.
LIMITING DISTANCE	2.5 M (9%)
GLAZING ALLOWED	=120.08 SQ. FT.
GLAZING PROVIDED	=116.52 SQ. FT.
<u>WITH OPTIONAL 30"x24" BASEMENT WINDOWS</u>	
GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS	=119.52 SQ. FT.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURE, INTERIOR DESIGN
AND INTERIORS

Submitted By _____
DATE: AUG 17, 2011

The undersigned hereby certifies that the foregoing is a true and correct copy of the original as shown to him/her.

Name: _____
Signature: _____

18				5		
17				8		
16				7		
15				6		
14				5		
13				4		
12				3	ISSUED FOR PERMIT	JUN 21/21
11				2	REV. PER CLIENT/ROOF/FL/ENG COMMENTS	AUG 18/21
10				1	ISSUED FOR CLIENT REVIEW	APR 08/21
no.	description	date	by	no.	description	date

This undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
qualification information	
Richard Vink	244
home	
registration information	
VAS Design Inc.	426
Contractor must verify all dimensions on the plan and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	

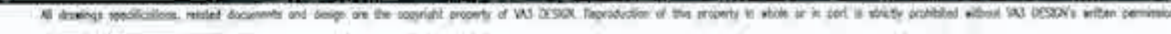
VA3
DESIGN
255 Consumers Rd. Suite 1
Toronto, ON M2J 1R4
t. 416.630.2255 f. 416.630.4
va3design.com

 Greenpark.		GRANDVILLE 9	
project name RUSSELL GARDENS PH. 4		municipality HAMILTON, ON.	
date MARCH 2021		project no. 20027	
drawing by WT		checked by AS	
scale 3/16" = 1'-0"		title LEFT ELEVATION - ELEV. '3'	
sheet 0021		drawing no. 20027-GRANDVILLE-9	

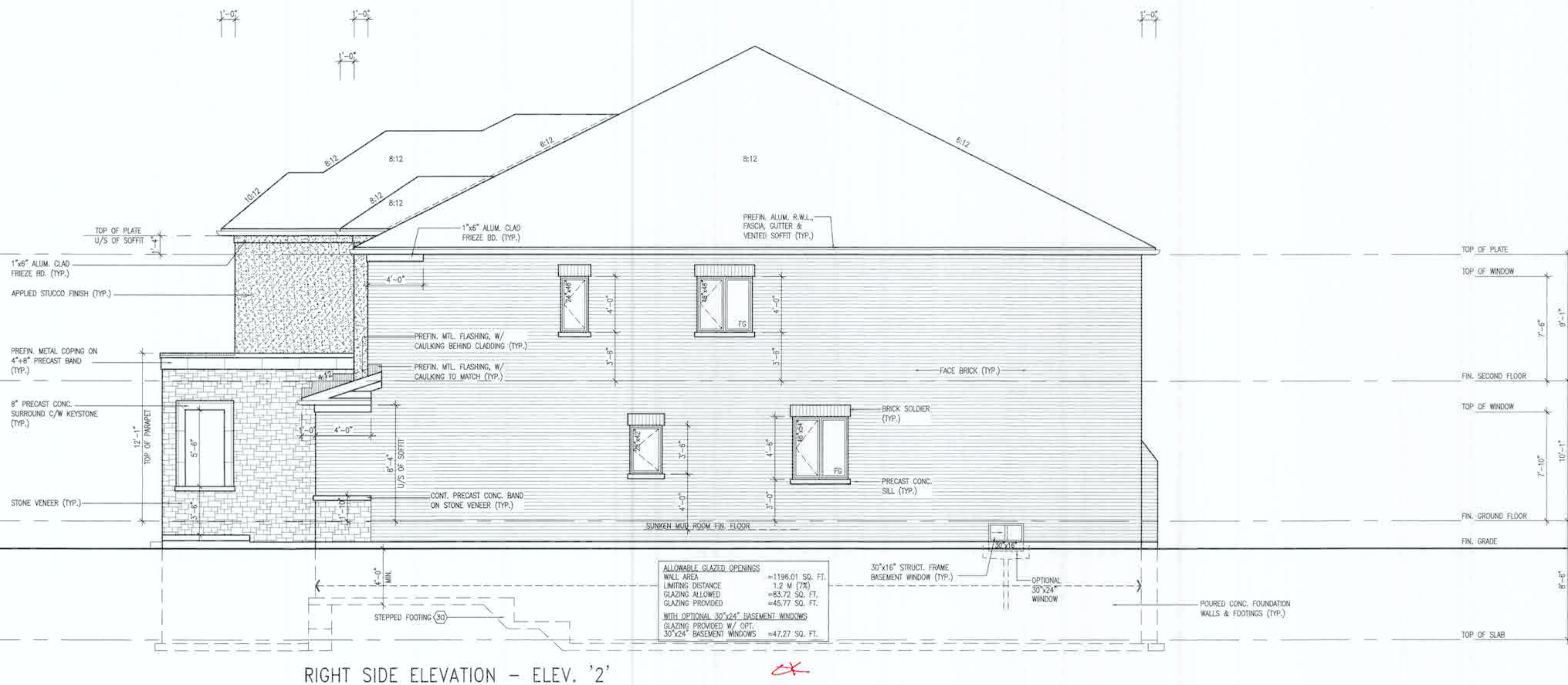
[illegible]

GRANDVILLE 9
COMPLIANCE PACKAGE 'A1'

 Greenpark.		GRANDVILLE 9	
project name RUSSELL GARDENS PH. 4		municipality HAMILTON, ON.	
date MARCH 2021		project no. 20027	
drawing no. 01		drawing no. A5b	
title LEFT ELEVATION - ELEV. '3'		drawing no. 20027-GRANDVILLE-9	
scale 3/16" = 1'-0"		drawing no. 20027-GRANDVILLE-9	



5153 SF.



RIGHT SIDE ELEVATION - ELEV. '2'

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL & ENGINEERING
130 ARLINGTON
APPROVED BY: 
DATE: APRIL 17, 1981
THIS DOCUMENT CONTAINS INFORMATION OF A PRELIMINARY NATURE.
IT IS SUBJECT TO CHANGE WITHOUT NOTICE.
IT IS NOT TO BE USED FOR CONSTRUCTION.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

[illegible]

CITY OF HAMILTON
Building Division

21-161913

THESE CASINOS ARE AVAILABLE ON SITE

703 NOV 26 2022

JAN 24 2017

GRANDVILLE 9
COMPLIANCE PACKAGE 'A1'

Greenpark.

GRANDVILLE 9

project name	municipality	project
RUSSELL GARDENS PH. 4	HAMILTON, ON.	2002

DATE: MARCH 2021 RIGHT SIDE ELEVATION - ELEV. '2'

32 WT from by checked by ACDE file name 3/10" = 1'-0" 20027-GRANDVILLE-9

All drawings, specifications, related documents and design are the copyright property of WAT DESIGN. Reproduction of this property in whole or in part is strictly prohibited without WAT DESIGN's written permission.

$$1 - 0 = 1$$


A6b

case by $\frac{3}{16}'' = 1^{\circ}-0''$ 20027-GRANDVILL

5153 SF.



REAR ELEVATION - ELEV. '1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings, with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

ICDA C. WILLIAMS LTD., ARCHITECTS
STRUCTURAL ENGINEERS, SURVEYORS
AND APPRAISERS
APPROVAL BY
DATE 25/06/2011

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

[illegible]

	The undersigned has reviewed and takes responsibility for this design and the information and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Richard Vink 24 name <i>R. Vink</i> registration information signature VAS Design Inc. 42	
GW	Contractor must verify dimensions on the job and report any discrepancy to the Designer before proceeding with work. All	
GW	drawings and specifications are instruments of service and the prop-	
GW	erty of the Designer which must be returned at the completion of the drawings may not be copied.	



Greenpark.

GRANDVILLE S

project name	municipality	project number
RUSSELL GARDENS PH. 4	HAMILTON, ON.	200

date MARCH 2021 REAR ELEVATION - ELEV. '1'

Drawn by: WT Checked by: Date: 3/16" = 1'-0" The name: 20027-GRANVILLE-S A7

All drawings, modifications, related documents and details are the copyright property of WAT DESIGN. Reproduction of this property in whole or in part is strictly prohibited without WAT DESIGN's written permission.

Architectural elevation drawing of a building facade. The roof is gabled with a central section of 6:12 pitch and side sections of 8:12 and 10:12 pitches. The facade features several windows and a door, all with face brick caps and flashing. Dimensions are provided for the roof pitches, window heights and widths, and door height. A precast concrete step is indicated at the base of the door.

Roof pitches: 8:12, 6:12, 10:12.

Windows (from left to right):

- 48" x 48" (FG) - 3'-6" wide, 4'-0" high
- 48" x 48" (FG) - 3'-6" wide, 4'-0" high
- 48" x 48" (FG) - 3'-6" wide, 4'-0" high
- 24" x 48" (FG) - 3'-6" wide, 4'-0" high

Door (center):

- 6'-0" SLIDING DOOR - 5'-10" high, 12" HIGH TRANSOM

Other details:

- FACE BRICK CAP W/ FLASHING FULL DEPTH
- PRECAST CONC. STEP (TYP.)
- 33

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for extending or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit master or that any

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMMILTON

KIRBY G. WILLIAMS LTD. ARCHITECTS
ARCHITECTS CONSULTANTS ENGINEERS
LANDSCAPE ARCHITECTS

APPROVED FOR THE
[Signature]

TOWN OF
MAY 19, 1978

A.C.A. design provided pursuant to City Ord. No. 100-100000
Design Commission only - Not Final City Approval
City of San Francisco, Department of Planning

ELEVATIONS NOT DRAWN TO ACTUAL GRADE
REFER TO FINAL GRADING PLAN.

18			9		
17			8		
16			7		
15			6		
14			5		
13			4		
12			3	ISSUED FOR PERMIT.	JUL 21/21
11			2	REV. PERI CLIENT/ROOF/FLY/ENG. COMMENTS	JUN 16/21
10			1	ISSUED FOR CLIENT REVIEW.	APR 09/21
9	description	date	by	description	date

The undersigned has reviewed and takes responsibility for this design and has the qualifications to meet the requirements set out in the Ontario building Code to be a Designer.	
qualification information	
Richard Vink	24
name	signature
registration information	
VA3 Design Inc.	42
GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer, which must be returned at the completion of the project.
GW	
GW	

VA3
DESIGN

Greenpark

GRANDVILLE 9

project name	project
RUSSELL GARDENS PH. 4	2002
date	drawing no.

A7d

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A graph of the function $y = 1 - 0.5x^2$ on a Cartesian coordinate system. The parabola opens downwards with its vertex at (0, 1). The x-axis is labeled from -2 to 2, and the y-axis is labeled from 0 to 1.5. The curve passes through the points (-2, 0), (0, 1), and (2, 0).



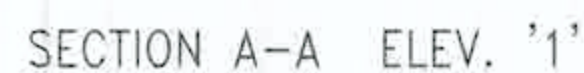
drawn by: WT checked by: 3/16" = 1'-0" 20027-GRANDVILLE--9

JAN 24 2021

GRANDVILLE 9
COMPLIANCE PACKAGE 'A1'

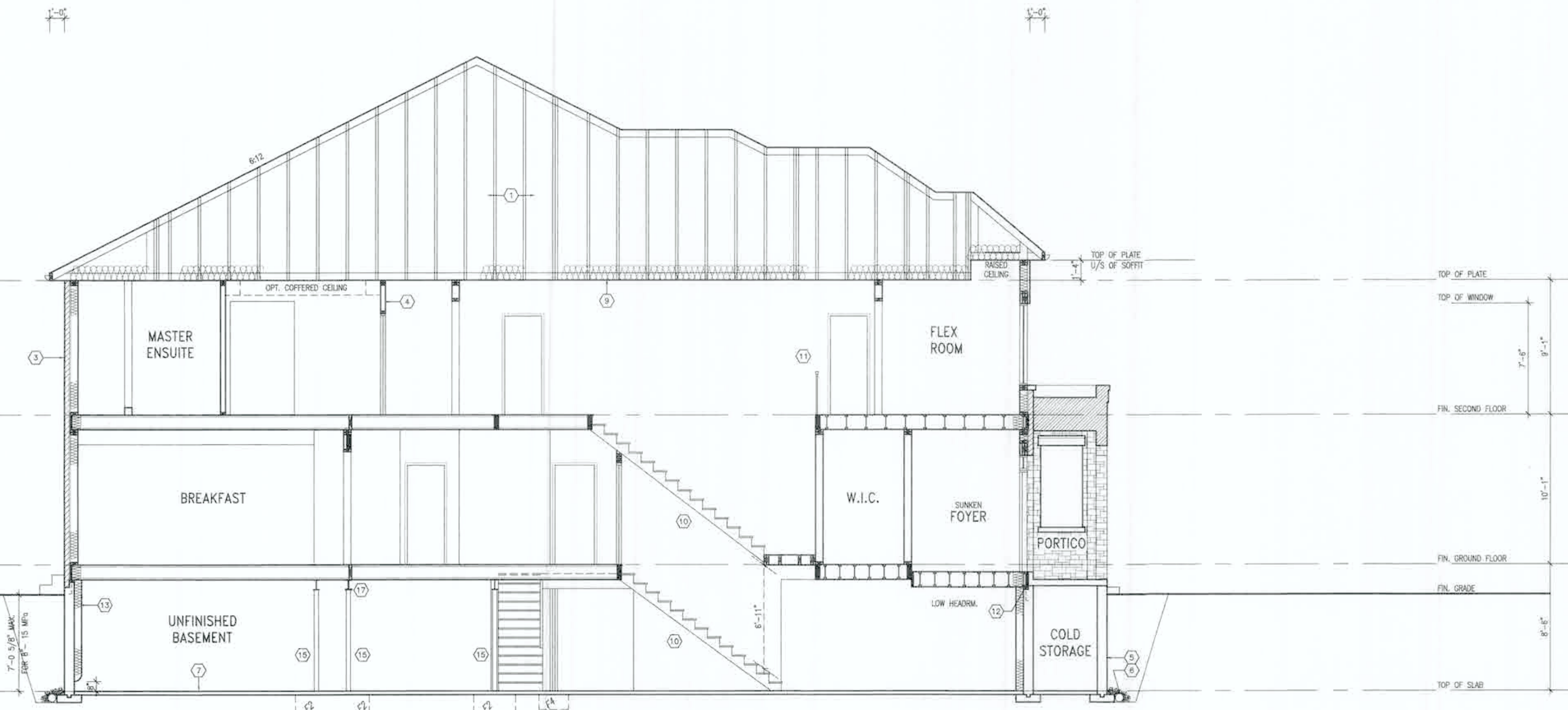
All driver specifications, listed documents and design are the copyright property of V&T DESIGN. Reproduction of this property in whole or in part is strictly prohibited without V&T DESIGN's written permission.

A Cartesian coordinate system showing a horizontal line at $y=0$. The line is labeled $f(x) = 0$ at its right end. The x-axis and y-axis are shown, with the origin marked.



18			3	The undersigned has reviewed and takes responsibility for this design and size the qualifications and master file requirements set out in the Ontario Building Code as it is designed.	
17			6	qualification information	
16			7	Rethard Vink	24
15			8	name	
14			9	signature	
13			10	qualification information	
12			11	VAS Design Inc.	426
11			12	ISSUED FOR PERMIT	JUN. 21/21 GW
10			13	REV. PER CLIENT/SOOF/VL/ENG. COMMENTS	JUN. 16/21 GW
9			14	ISSUED FOR CLIENT REVIEW	APR. 08/21 GW
8			15		
7			16		
6			17		
5			18		
4			19		
3			20		
2			21		
1			22		

5153 SF.



SECTION A-A ELEV. '2'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contract Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.



STRUDET INC.
FOR STRUCTURE ONLY

CITY OF HAMILTON
Building Division
21-161913
Permit No.
THESE DRAWINGS REQUIRE A SEPARATE REGULATION ON SITE
THE CONTRACTOR IS RESPONSIBLE FOR ALL COMPLIANCE WITH
THIS CITY'S BUILDING CODE AND ALL APPLICABLE LAWS
JAN 24 2022

GRANDVILLE 9
COMPLIANCE PACKAGE 'A1'

18		9	The undersigned has reviewed and takes responsibility for this design and the specifications and makes the requirements set out in the Ontario Building Code to be a Designer.	
17		8	qualification information	
16		7	Richard Vink 24485	
15		6	signature	
14		5	VAS Design Inc.	
13		4	24485	
12		3	ISSUED FOR PERMIT	
11		2	REV. PER CLIENT/ROOF/FL/ENG. COMMENTS	
10		1	ISSUED FOR CLIENT REVIEW	
9			date by no. description	
8			date by no. description	
7			date by no. description	
6			date by no. description	
5			date by no. description	
4			date by no. description	
3			date by no. description	
2			date by no. description	
1			date by no. description	

VA3 DESIGN
250 Commerce Rd Suite 120
Toronto, ON M5L 1B4
416.630.2255 • 416.630.4783
vasdesign.com

Greenpark.
RUSSELL GARDENS PH. 4
HAMILTON, ON.
project no. 20027
drawing no. A8a
SECTION A-A ELEV. '2'

DATE: 11/20/2021
DRAWN BY: [signature]
CHECKED BY: [signature]
DATE: 11/20/2021
SCALE: 3/16" = 1'-0"
PROJECT: 20027-GRANDVILLE-9
SHEET: 1 OF 1

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10" HIGH x 1 1/4" STEEL ANGLE WELDED TO STEEL COLUMN, BEAM BOLTED TO PLATE WITH 2-1 1/2" DIA. BOLTS.

HSS 4"x4"x 1/4" STEEL COLUMN (FULL HEIGHT)

WOOD BEAM

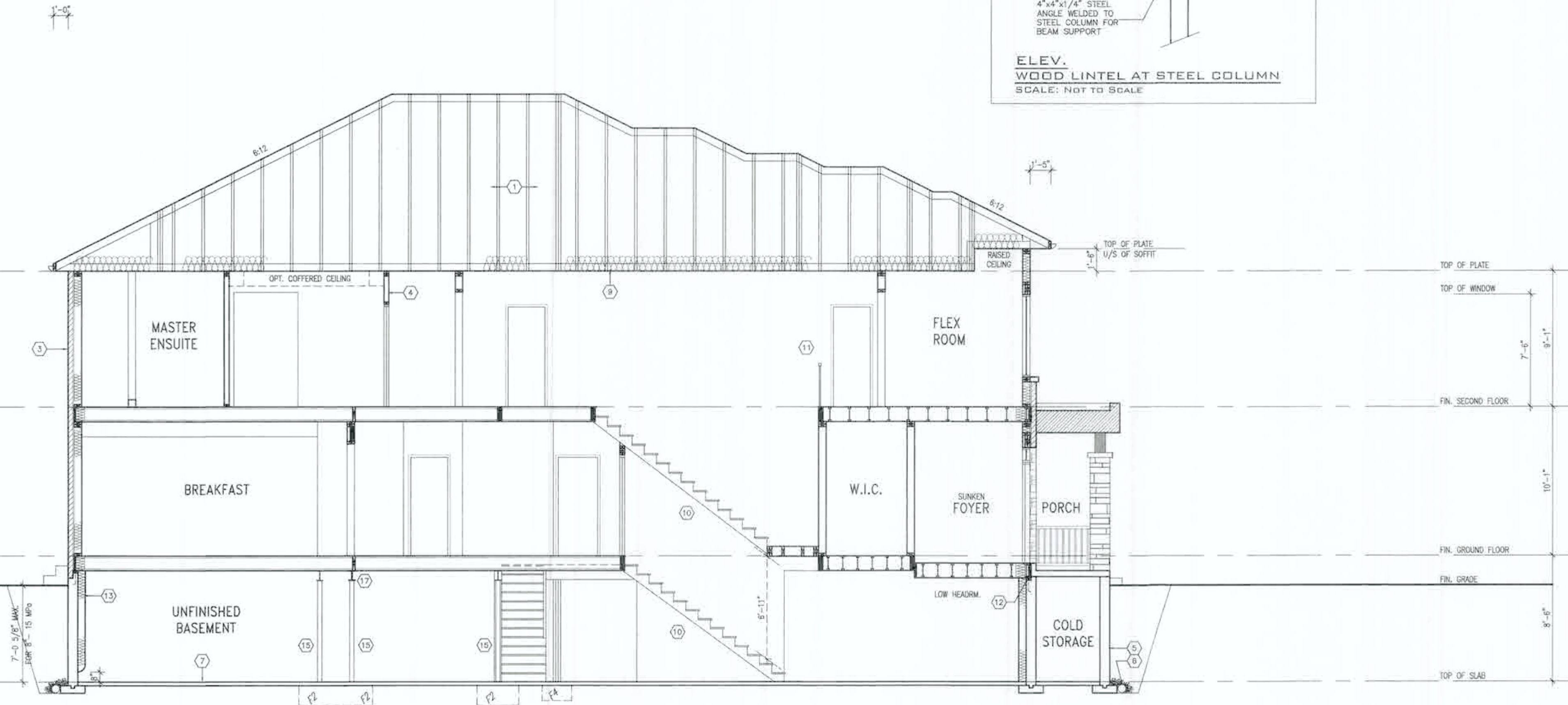
C.O. OF BOLT

4"x4"x1/4" STEEL ANGLE WELDED TO STEEL COLUMN FOR BEAM SUPPORT

ELEV.

WOOD LINTEL AT STEEL COLUMN

SCALE: NOT TO SCALE



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Central Architect is not responsible in any way for examining or approving site (90878) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON



CITY OF HAMILTON
Building Division

Permit No. 21-161913

~~THIS STAMPED LICENSED SHALL BE AVAILABLE ON SITE~~

THIS CARRIER OPERATES UNDER A LICENSE, COMPLY WITH
THE ONTARIO BUILDING CODE ACT AND OTHER APPLICABLE LAW.

This document is property of the City of Hamilton. It is loaned by
MOH 24 2022

For more information, please call 311 or visit www.hamilton.ca

JAN 24 2022

GRANDVILLE 9
COMPLIANCE PACKAGE 'A1'

[illegible]

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REFER TO STANDARD BASEMENT PLAN FOR WINDOWS THAT MAY BE ELIMINATED WITH UPGRADED REAR WINDOWS OF DECK CONDITION.

NOTE:
REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

PLANS AND ELEVATION ILLUSTRATE DECK CONDITIONS WHERE GRADE PERMITS. BASEMENT WINDOWS APPLY TO CONDITIONS OF A MINIMUM 4'-6" FROM FINISHED FIRST FLOOR TO GRADE.

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 5) FOR ADDITIONAL WOOD DECK INFORMATION.

BASEMENT WALL INSULATION (TYP.) (13)
-6" (R20) CONTINUOUS BLANKET INSULATION INSULATION UNINTERRUPTED BY FRAMING

BASEMENT INSULATION AT STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION (RIGID OR SPRAY FOAM).
-2"x4" @ 16" o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

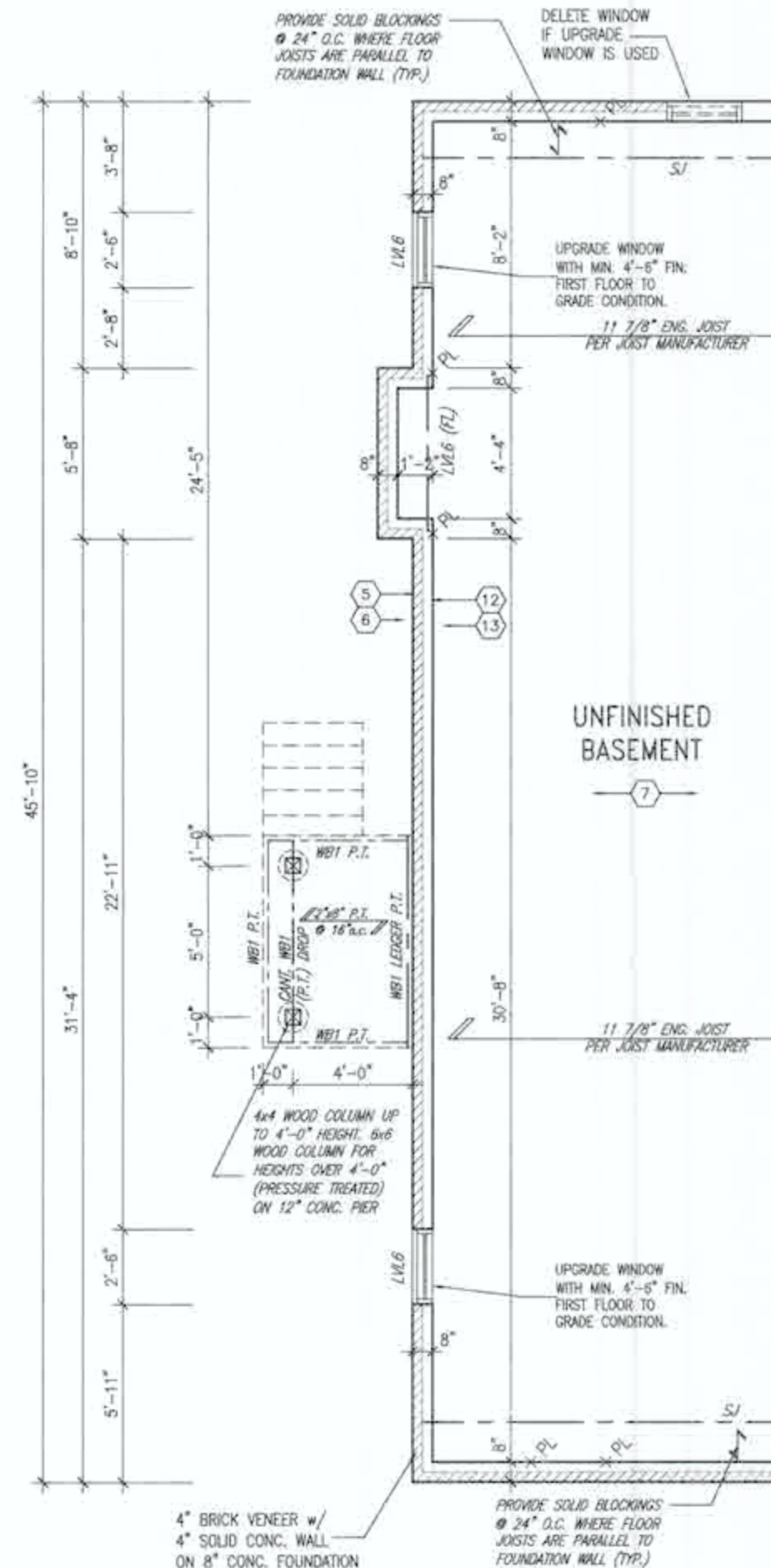
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Central Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

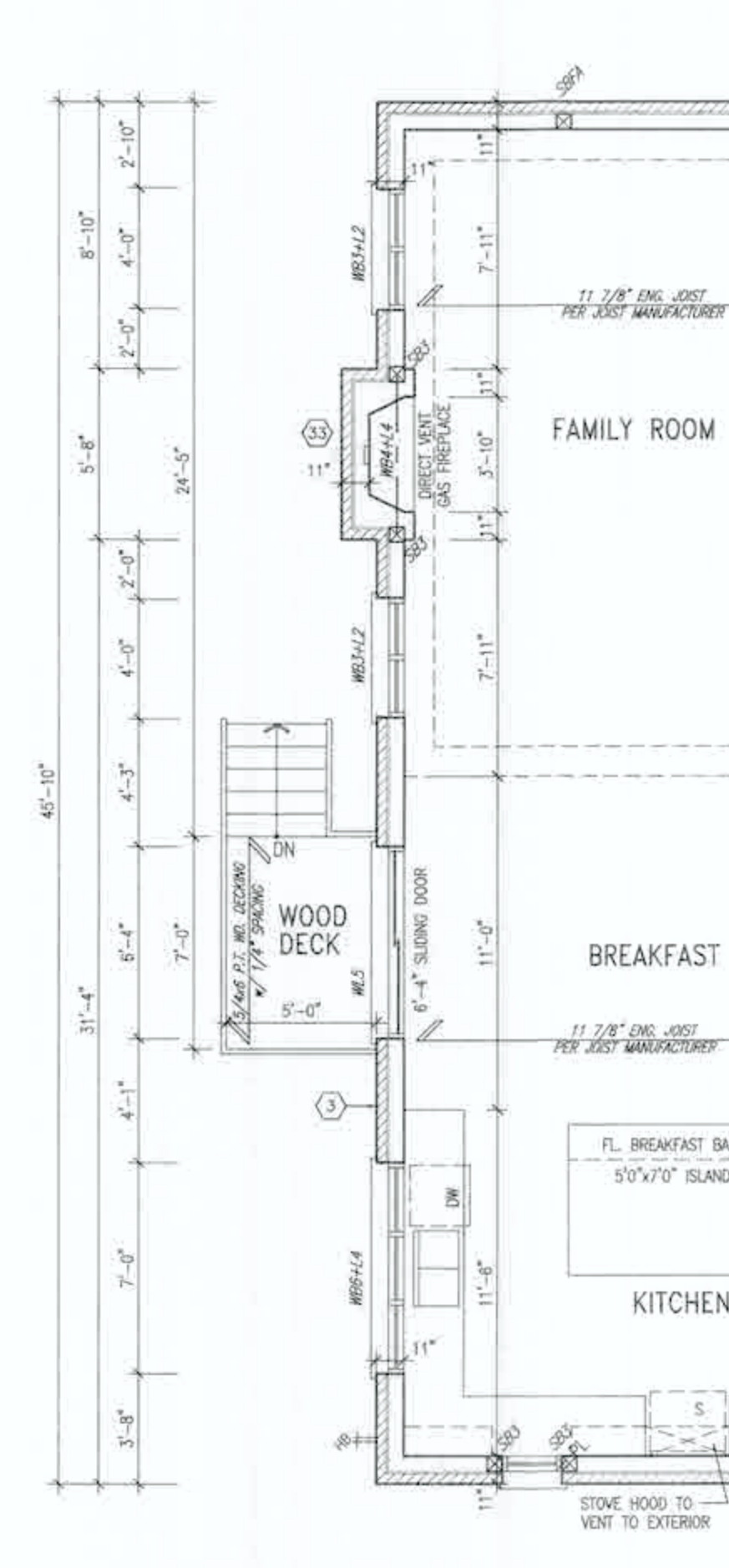
JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL SERVICES
APPROVED BY: [Signature]
DATE: 2022-01-10
The undersigned hereby certifies that the above design complies with the applicable Architectural Design Guidelines approved by the City of Hamilton.



STRUDET INC.
FOR STRUCTURE ONLY



PARTIAL BASEMENT PLAN
DECK CONDITION



PARTIAL GROUND FLOOR PLAN
DECK CONDITION

CITY OF HAMILTON
Building Division
21-161913
These drawings shall comply with the Ontario Building Code and all other applicable laws.
JAN 26 2022

GRANDVILLE 9
COMPLIANCE PACKAGE 'A1'

18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1 no. description	18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1 no. description	18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1 no. description	18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1 no. description	18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1 no. description
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VA3 DESIGN

250 Conquest Rd Suite 120
Toronto, ON M6J 1R4
1.416.630.2225 / 416.630.4782
va3design.com

Greenpark

GRANDVILLE 9

project name: RUSSELL GARDENS PH. 4

location: HAMILTON, ON.

date: MARCH 2021

drawn by: [Signature]

scale: 3/16" = 1'-0"

2022-GRANDVILLE-9

drawing no. A9

5153 SF.



3'-6" HIGH RAILING IF PORCH SLAB/DECK
IS MORE THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN PORCH
SLAB IS LESS THAN 5'-11" ABOVE
FINISHED GRADE.

REAR ELEVATION '1' - DECK CONDITION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD. ARCHITECTS
601 CENTRAL AVENUE, SUITE 200
ANN ARBOR, MI 48106-1500
419/763-1100
FAX 419/763-1101
E-MAIL info@jcwlliams.com
WWW www.jcwlliams.com

ELEVATIONS NOT DRAWN TO ACTUAL GRADE
REFER TO FINAL GRADING PLAN.

[illegible]

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5153 SF.



3'-6" HIGH RAILING IF PORCH SLAB/DECK
IS MORE THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN PORCH
SLAB IS LESS THAN 5'-11" ABOVE
FINISHED GRADE

REAR ELEVATION '2' - DECK CONDITION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

WILLIAM C. WILLIAMS LTD., ARCHITECTS
CONSTRUCTION CONTRACT ADMINISTRATION
CONSULTANTS

APPROVAL BY: 
DATE: 8/27/78

"The above-mentioned contract was approved by the undersigned on the date and for the purpose indicated." (Signature) (Typed Name)

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

CITY OF HAMILTON
Building Division

Parent No. 21-161913

THESE MATERIALS ARE AVAILABLE ON MICROFILM

1/24/2017

GRANDVILLE 9
COMPLIANCE PACKAGE 'A1'

Greenpark GRANDVILLE 9

project name	municipality	project no.
RUSSELL GARDENS PH. 4	HAMILTON, ON.	2002

REAL ELEVATION "2" - DECK CONDITION

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5153 SF.



3'-6" HIGH RAILING IF PORCH SLAB/DECK
IS MORE THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN PORCH
SLAB IS LESS THAN 5'-11" ABOVE
FINISHED GRADE

REAR ELEVATION '3' - DECK CONDITION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site skirting plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN L. WILLIAMS LTD., ARCHITECT
STRUCTURAL CONTROL DESIGN
AND APPROVAL
APPROVED BY: 
(Date) AUG 27, 2002
Not used, if used, compliance with the Association
Code of Ethics and Code of Practice
Professional Responsibility

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

18			9	The undersigned has reviewed and takes responsibility for this design and how the specifications and award the requirements are set in the relevant Building Code to be a Designer.	 255 Consumers Rd Suite T20 Toronto, ON M2J 1H4 +1 616.630.2295 / +1 616.630.4782 va3design.com	 GRANDVILLE 9	project name RUSSELL GARDENS PH. 4	municipality HAMILTON, ON.	project no. 2002.7	drawing no. A10b
17		8	specification information: <i>Richard Vink</i> signature 24485 DCM							
16		7	point registration information: VA3 Design Inc. 42855							
15		6								
14		5								
13		4								
12		3	ISSUED FOR PERMIT JUN. 21/21 CW	Contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work.						
11		2	REV. PER CLIENT/ROOF/FL/ENG. COMMENTS JUN. 16/21 CW	Drawings and specifications are instruments of service and the property of the Designer which will be retained at the completion of the work. Drawings are not to be used.						
10		1	ISSUED FOR CLIENT REVIEW APR. 08/21 CW							
9	description	date	by	description	date	by				

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5153 SF.



REAR ELEVATION '1'
WALKOUT CONDITION

6x6 WOOD COLUMN, 4x4
BRACING 24" LONG AT 45
DEGREES AT TOP SIDE FOR
POSTS OVER 7'-0" HIGH
ON 12" CONC. PIER

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN C. WILLIAMS LTD. ARCHITECTS
INTERIORS, CONTRACTS, RENOV
DESIGNS

DATE: 2002.12.20

TO: [illegible] FROM: [illegible]

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

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5153 SF.



REAR ELEVATION '2'
WALKOUT CONDITION

6x6 WOOD COLUMN, 4x4
BRACING 24" LONG AT 45
DEGREES AT TOP SIDE FOR
POSTS OVER 7'-0" HIGH
ON 12" CONC. PIER

CITY OF HAMILTON
Building Division

21-161913

There is a [complete book](#) available for purchase on Amazon.

173

JAN 26 2022

GRANDVILLE 9
COMPLIANCE PACKAGE 'A1'

 Greenpark.

GRANDVILLE 9

project name	municipality	project no.
RUSSELL GARDENS PH. 4	HAMILTON, ON.	20027

REAR ELEV. '2' - WALKOUT CONDITION

checked by scale file name 20027-GRANDVILLE-9

WI 3/16 = 1-0 20027-GRANDVILLE-9

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VA
DESIGN

255 Consumers Rd Suite 1
Toronto ON M2J 1R4
416.630.2255 / 416.630.4
vo3design.com

subscribed documents and designs are the copy-

... ..

GW GW GW GW	The undersigned has reviewed and takes responsibility for this design and use the quantities and made the requirements set out in the Ontario Building Code to be a Designer. qualification information Richard Vink name signature VA3 Design Inc.	24 42
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer, which must be returned at the completion of the project.		

By Drawings are not to be scaled. All drawings specifications.

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ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

18			9		
17			8		
16			7		
15			6		
14			5		
13			4		
12			3		
11			2	ISSUED FOR PERMIT.	JUN 21
10			1	REV. PER CLIENT/ROOF FL/ENG. COMMENTS	JUN 16
9			1	ISSUED FOR CLIENT REVIEW.	APR 08
Proj. Association	date	no	description	date	

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECTS
ARCHITECTURAL CONSULTING REVIEW
AND SIGNATURE

AUTHORIZED BY _____
DATE: 06/17/2021

This stamp certifies compliance with the applicable
[State] Securities Code [§§] by the undersigned.
[Signature] [Print Name]

5153 SF.



UPGRADED REAR ELEVATION '3'
WALKOUT w/ DECK CONDITION

6x8 WOOD COLUMN 4x4 BRACING
24" LONG AT 45 DEGREES AT TOP
SIDE FOR POSTS OVER 7'-0" HIGH
ON 12" CONC. PIER ON
24"x24"x12" CONC. FOOTING

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
DATE: AUG 11, 2021
BY: [Signature]

18		9	
17		8	
16		7	
15		6	
14		5	
13		4	
12		3	ISSUED FOR PERMIT JUN. 21/21 GW
11		2	REV. PER CLIENT/ROOF/PL/ENG. COMMENTS JUN. 16/21 GW
10		1	ISSUED FOR CLIENT REVIEW APR. 05/21 GW
9			
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Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are indicative of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

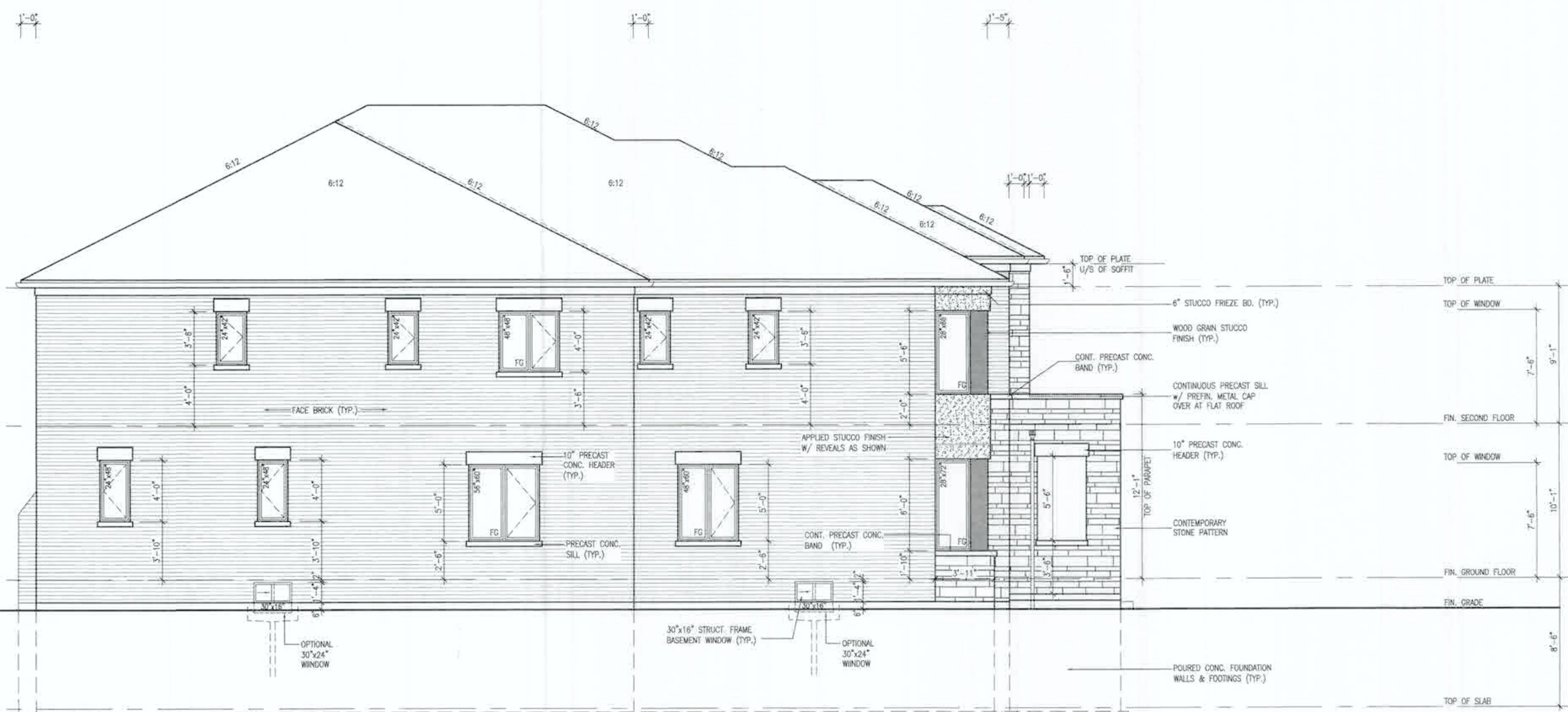
VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
1 416.630.2255 / 416.630.4782
vasdesign.com

Greenpark.
project name: RUSSELL GARDENS PH. 4
location: HAMILTON, ON.
date: MARCH 2021
drawn by: [Signature]
checked by: [Signature]
scale: 3/16" = 1'-0"

project no: 20027
drawing no: A14b
title: REAR ELEV. '3' - WALKOUT w/ DECK CONDITION
date: 2022-GRANDVILLE-9

CITY OF HAMILTON
Building Division
Permit No. 21-161913
THESE DRAWINGS ARE NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF VAS DESIGN.
GRANDVILLE 9
COMPLIANCE PACKAGE 'A1'
JAN 24 2022

5153 SF.



UPGRADED LEFT ELEVATION -
ELEV. '3'

ALLOWABLE GLAZED OPENINGS	
WALL AREA	1334.27 SQ. FT.
LIMITING DISTANCE	2.5 M (8%)
GLAZING ALLOWED	=120.08 SQ. FT.
GLAZING PROVIDED	=116.52 SQ. FT.
WITH OPTIONAL 30"x24" BASEMENT WINDOWS	
GLAZING PROVIDED W/ OPT.	
30"x24" BASEMENT WINDOWS	=119.52 SQ. FT.

It is the owner's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving any (setting) plans or working drawings with respect to any zoning or building code or permit number or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
DATE: AUG 22, 2021
The above certifies compliance with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

CITY OF HAMILTON
Building Division
Permit No. 21-161913
THESE STAMPS AND SIGNATURES ARE AVAILABLE ON THE
THESE STAMPS AND SIGNATURES SHALL COMPLY WITH
THE ONTARIO BUILDING ACT AND ALL APPLICABLE LAWS
These documents certify compliance with the Building Act and all applicable laws
JAN 26, 2022

GRANDVILLE 9
COMPLIANCE PACKAGE 'A1'

18		9		VAD		Greenpark.		GRANDVILLE 9	
17		8		DESIGN		RUSSELL GARDENS PH. 4		HAMILTON, ON.	
16		7		3 ISSUED FOR PERMIT		MARCH 2021		UPGRADED LEFT ELEVATION - ELEV. '3'	
15		6		2 REV. PER CLIENT/ROOF/FL/ENG. COMMENTS		JUN. 16/21		JUN. 16/21	
14		5		1 ISSUED FOR CLIENT REVIEW		APR. 08/21		APR. 08/21	
13		4		CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT THE DISCREPANCY TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND MODIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE DESIGNER WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK. DRAWINGS ARE NOT TO BE REPRODUCED.		255 Conestoga Rd. Suite 120 Toronto, ON M2J 1R4 416.630.2255 / 416.630.4782 vadesign.com		20027-GRANDVILLE-9	
12		3		NO. DESCRIPTION		DATE		BY	
11		2		1		3/16" = 1'-0"		A15b	
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