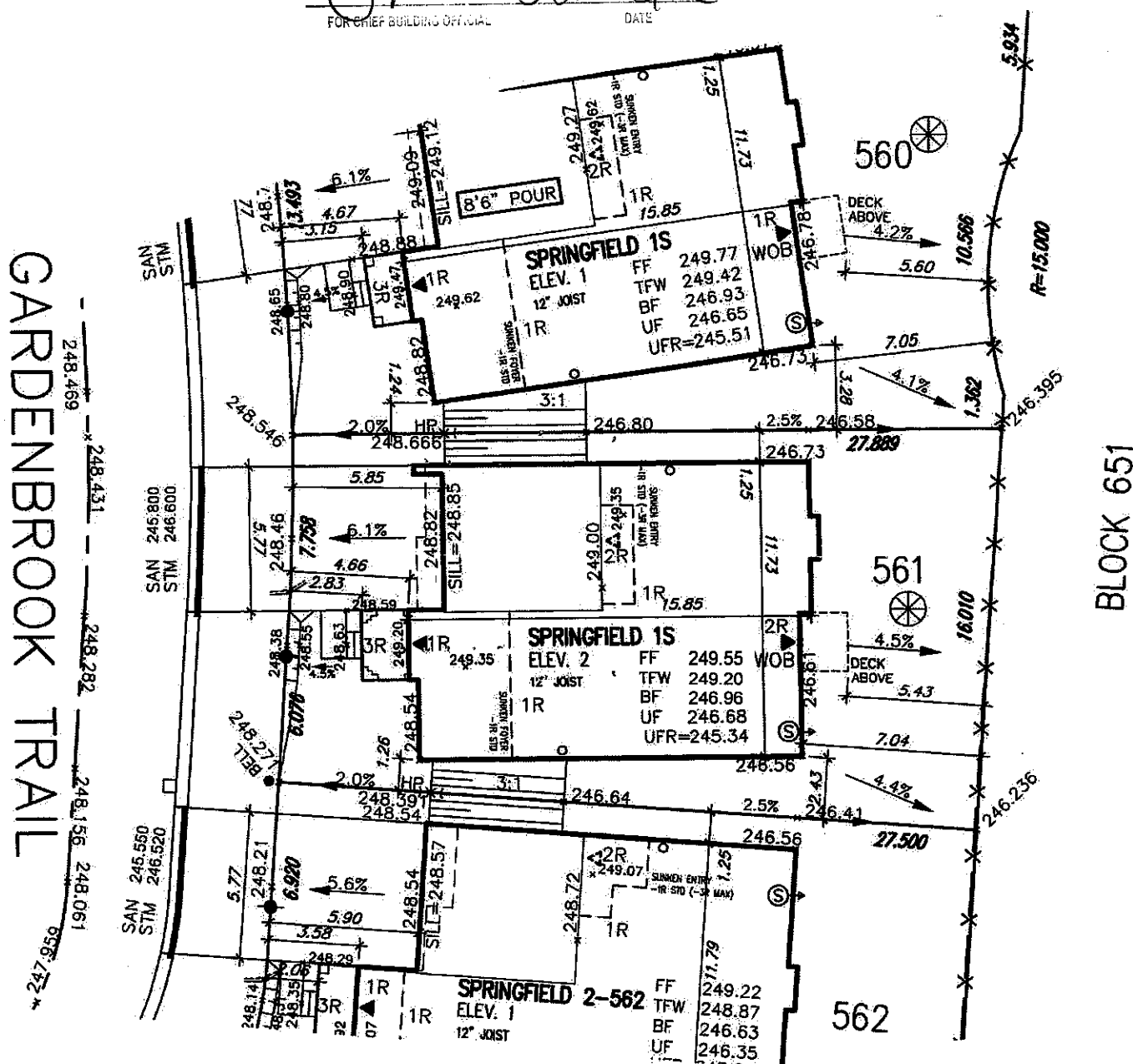


This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

DATE _____

REF'D TO _____ DATE _____



UPGRADE EXPOSED ELEVATION(S)
See Approved Sluifscan / 1 Inil Working Drawings

LOT 561		
LOT No.	LOT WIDTH (M) (@ 5.8m)	LOT AREA (M ²)
561	14.284	411.36

Grading Notes:
It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

V&J Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cast to V&J Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

These drawings are to be read in conjunction with municipal approved site engineering drawings prepared by Metropolitan Consulting Inc.

 PROPOSED VALVE
 LIGHT POLE
 HYDRANT
 WATER SERVICE
 TRANSFORMER
 DOUBLE SILL/SAN. CONNECTION
 SINGLE SILL/SAN. CONNECTION
☐ CATCH BASIN
☒ CABLE
☒ CABLE TELEVISION PEDESTAL
☒ BELL PEDESTAL

JR	No. OF RISERS
FF	FINISHED FLOOR ELEVATION
ML	FINISHED MAIN LEVEL ELEVATION
UF	UNDERSIDE FOOTING ELEVATION
BF	FIN. BASEMENT FLOOR SLAB
TFW	TOP OF FOUNDATION WALL
UFR	UNDERSIDE FOOTING AT REAR
UFF	UNDERSIDE FOOTING AT FRONT
UPS	UNDERSIDE FOOTING AT SIDE
W.O.D.	WALK OUT DECK
W.O.B.	WALK OUT BASEMENT
REV	REVERSE PLAN

	STREET SIGN
	MAIL BOX
	RETAINING WALL
	CHAIN LINK FENCE (SEE LANDSCAPE PLAN)
	ACOUSTICAL FENCE (SEE LANDSCAPE PLAN)
	WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)
	HYDRO SERVICE LATERAL
	HYDRO METER
	HYDRO METER
	GAS METER
	SHUTTLE DIRECTION
	ELEVATION (1:1 SCALE unless otherwise noted)

PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA.

THIS LOT CONTAINS ENGINEERED FILL

AIR CONDITIONER REQUIRED:

RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)

SIDE WINDOW LOCATION

OPT. DOOR LOCATION

EXTERIOR DOOR LOCATION

REDUCE SIDE YARD

north arrow

A simple line drawing of a north arrow. It consists of a circular head with a stylized 'N' inside, and a long, thin shaft pointing towards the top right corner of the page.

9			
8			
7			
6			
5			
4			
3			
2			
1	ISSUED FOR PERMIT:	AUG 27/21	GR
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and made the representations set out in the Ontario Building Code to be a designer.	
qualification information	
Richard Vink	24488
name	BCN
registration information	
VA3 Design Inc.	42638
Builder to verify location of all hydrants, street lights, transformers and other services. If minimum dimensions are not maintained, builder is to relocate at his own expense.	
Builder to verify service connection elevations prior to constructing foundations. ** Driveway NOT to be used **	

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

 Greenpark™		
project name	municipality	
RUSSELL GARDENS PHASE 4	HAMILTON	
date		
JUL 2021	LOT	
drawn by	checked by	scale
GW	--	1:250
REG - H:\ARCHIVE\WORKING\2020\20207 GREY SITE PLAN\20207-REG SITE LAYOUTS.dwg - P		

lot/block no. 561	
registered plan no. 62M-1266	
project no. 20027	
SITING/GRADING	drawing no. 1
file name 2027-RG4-SITE-LAYOUTS	
date: Aug. 27, 2021 - 9:50 AM	

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