3601 SF.

STRIP FOOTINGS – FOR SINGLES & SEMIS UP TO 2 STOREYS

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW PARTY WALLS.
(REFER TO ENGINEER FILL FOOTING DETAIL)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa. NATIVE SOIL	90 KPa. ENGINEERED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD	F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD	F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD	F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD	F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD	F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5–8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

WL1 =3-1/2" x 3-1/2" x 1/4"L (90x90x6.0L) + 2-2"x8" SPR. No.2
WL2 =4" x 3-1/2" x 5/16"L (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 =5" x 3-1/2" x 5/16"L (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 =6" x 3-1/2" x 3/8"L (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 =6" x 4" x 3/8"L (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 =5" x 3-1/2" x 5/16"L (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 =5" x 3-1/2" x 5/16"L (125x90x8.0L) + 3-2"x12" SPR. No.2
WL8 =5" x 3-1/2" x 5/16"L (125x90x8.0L) + 3-2"x10" SPR. No.2
WL9 =6" x 4" x 3/8"L (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 =2-2"x8" (2-38x184) SPR. No.2
WB2 =3-2"x8" (3-38x184) SPR. No.2
WB3 =2-2"x10" (2-38x235) SPR. No.2
WB4 =3-2"x10" (3-38x235) SPR. No.2
WB5 =2-2"x12" (2-38x286) SPR. No.2
WB6 =3-2"x12" (3-38x286) SPR. No.2
WB7 =5-2"x12" (5-38x286) SPR. No.2
WB11 =4-2"x10" (4-38x235) SPR. No.2
WB12 =4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A =1-1 3/4"x7 1/4" (1-45x184)
LVL1 =2-1 3/4"x7 1/4" (2-45x184)
LVL2 =3-1 3/4"x7 1/4" (3-45x184)
LVL3 =4-1 3/4"x7 1/4" (4-45x184)
LVL4A =1-1 3/4"x9 1/2" (1-45x240)
LVL4 =2-1 3/4"x9 1/2" (2-45x240)
LVL5 =3-1 3/4"x9 1/2" (3-45x240)
LVL5A =4-1 3/4"x9 1/2" (4-45x240)
LVL6A =1-1 3/4"x11 7/8" (1-45x300)
LVL6 =2-1 3/4"x11 7/8" (2-45x300)
LVL7 =3-1 3/4"x11 7/8" (3-45x300)
LVL8 =2-1 3/4"x14" (2-45x356)
LVL9 =3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)

L1 =3-1/2" x 3-1/2" x 1/4"L (90x90x6.0L)
L2 =4" x 3-1/2" x 5/16"L (100x90x8.0L)
L3 =5" x 3-1/2" x 5/16"L (125x90x8.0L)
L4 =6" x 3-1/2" x 3/8"L (150x90x10.0L)
L5 =6" x 4" x 3/8"L (150x100x10.0L)
L6 =7" x 4" x 3/8"L (180x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-9' CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	6'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER (OBC 9.30.6)
SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"–7'0".
2 ROWS FOR SPANS GREATER THAN 7'0".

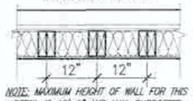
NOTE: ROOF FRAMING
REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING
REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

TWO STOREY HEIGHT WALL DETAIL

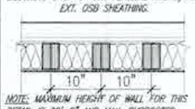
2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @ 12"o.c. FULL HEIGHT, c/w SOLID BLOCKING @ 4'-0" o.c. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

TWO STOREY HEIGHT WALL DETAIL

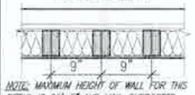
2-1 1/2"x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 10"o.c. FULL HEIGHT, c/w SOLID BLOCKING @ 8'-0" o.c. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

TWO STOREY HEIGHT WALL DETAIL

2-1 1/2"x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 9"o.c. FULL HEIGHT, c/w SOLID BLOCKING @ 8'-0" o.c. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 21'-5" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space Minimum RSI (R) value	10.56 (R60)	R20 at inner face of exterior walls
Ceiling without Attic Space Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Exposed Floor Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Walls Above Grade Minimum RSI (R) value	3.87 (R22)	6" R22 BATT
Basement Walls Minimum RSI (R) value	3.52ci (R20ci)	OPTION TO USE R12+R10ci.
Edge of Below Grade Slab ≤600mm below grade Minimum RSI (R) value	1.76 (R10)	RIGID INSUL
Windows & Sliding glass Doors Maximum U-value	0.28	
Skylights Maximum U-value	0.49	
Space Heating Equipment Minimum AFUE	96% Min.	NATURAL GAS
Hot Water Heater Minimum EF	0.8	NATURAL GAS
HRV Minimum Efficiency	75%	–
Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12. for information.	

ci– Denotes Continuous Insulation without framing interruption.

UNINSULATED OPENINGS (PER OBC SB-12,3.1.1(7))

SPRINGFIELD 3S, EL. 1	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	811.39 S.F.	167.389 S.F.	20.63 %
LEFT SIDE	1171 S.F.	66.000 S.F.	5.64 %
RIGHT SIDE	1171 S.F.	40.167 S.F.	3.43 %
REAR	811.39 S.F.	169.111 S.F.	20.84 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX. 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3964.78 S.F.	442.67 S.F.	11.16 %
TOTAL SQ. M.	368.34 S.M.	41.12 S.M.	11.16 %

AREA CALCULATIONS	ELEV '1'
GROUND FLOOR AREA	1547 SF
SECOND FLOOR AREA (4/5 BED)	2054 SF
TOTAL FLOOR AREA	**3601 SF** (334.5 m2)
FIRST FLOOR OPEN AREA	XX SF
SECOND FLOOR OPEN AREA	XX SF
ADD TOTAL OPEN AREAS	XX SF
ADD FINISHED BSMT AREA	XX SF
GROSS FLOOR AREA	**3601 SF** (334.5 m2)
GROUND FLOOR COVERAGE	1554 SF
GARAGE COVERAGE/AREA	399 SF
FRONT PORCH COVERAGE/AREA	48 SF
COVERAGE W/ FRONT PORCH	**2001 SF** (185.9 m2)
COVERAGE W/O FRONT PORCH	**1953 SF** (181.4 m2)

UNINSULATED OPENINGS (PER OBC SB-12,3.1.1(7))

SPRINGFIELD 3S, EL. 2	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	830.7 S.F.	168.937 S.F.	20.34 %
LEFT SIDE	1171 S.F.	66.000 S.F.	5.64 %
RIGHT SIDE	1171 S.F.	40.167 S.F.	3.43 %
REAR	811.39 S.F.	169.111 S.F.	20.84 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3984.09 S.F.	444.22 S.F.	11.15 %
TOTAL SQ. M.	370.13 S.M.	41.27 S.M.	11.15 %

AREA CALCULATIONS	ELEV '2'
GROUND FLOOR AREA	1547 SF
SECOND FLOOR AREA (4/5 BED)	2083 SF
TOTAL FLOOR AREA	**3630 SF** (337.2 m2)
FIRST FLOOR OPEN AREA	XX SF
SECOND FLOOR OPEN AREA	XX SF
ADD TOTAL OPEN AREAS	XX SF
ADD FINISHED BSMT AREA	XX SF
GROSS FLOOR AREA	**3630 SF** (337.2 m2)
GROUND FLOOR COVERAGE	1554 SF
GARAGE COVERAGE/AREA	401 SF
FRONT PORCH COVERAGE/AREA	56 SF
COVERAGE W/ FRONT PORCH	**2011 SF** (186.8 m2)
COVERAGE W/O FRONT PORCH	**1955 SF** (181.6 m2)

UNINSULATED OPENINGS (PER OBC SB-12,3.1.1(7))

SPRINGFIELD 3S, EL. 3	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	822.06 S.F.	224.722 S.F.	27.34 %
LEFT SIDE	1175.22 S.F.	66.000 S.F.	5.62 %
RIGHT SIDE	1175.22 S.F.	40.167 S.F.	3.42 %
REAR	811.39 S.F.	169.111 S.F.	20.84 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3983.89 S.F.	500.00 S.F.	12.55 %
TOTAL SQ. M.	370.11 S.M.	46.45 S.M.	12.55 %

AREA CALCULATIONS	ELEV '3'
GROUND FLOOR AREA	1543 SF
SECOND FLOOR AREA (4/5 BED)	2077 SF
TOTAL FLOOR AREA	**3620 SF** (336.3 m2)
FIRST FLOOR OPEN AREA	XX SF
SECOND FLOOR OPEN AREA	XX SF
ADD TOTAL OPEN AREAS	XX SF
ADD FINISHED BSMT AREA	XX SF
GROSS FLOOR AREA	**3620 SF** (336.3 m2)
GROUND FLOOR COVERAGE	1550 SF
GARAGE COVERAGE/AREA	401 SF
FRONT PORCH COVERAGE/AREA	53 SF
COVERAGE W/ FRONT PORCH	**2004 SF** (186.2 m2)
COVERAGE W/O FRONT PORCH	**1951 SF** (181.2 m2)

CITY OF HAMILTON
Planning & Economic Development
OCT 16 2021

21-161951

JM Jan 4/22

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (siting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
MAY 26/2021

STRUDET INC.
FOR STRUCTURE ONLY

SPRINGFIELD 3S
COMPLIANCE PACKAGE 'A1'

no.	description	date	by
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3	ISSUED FOR PERMIT	MAY 21/21	GW
2	REV. PER CLIENT/ROOF/FL./ENG. COMMENTS	MAR. 31/21	GW
1	PRELIMINARY ISSUED FOR CLIENT REVIEW	MAR. 12/21	GW

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
name: Richard Vink
signature: R Vink
registration information: VA3 Design Inc.
BCIN: 24458
BCIN: 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd, Suite 120
Toronto ON M2J 1R4
t 416.630.2250 f 416.630.4782
va3design.com

Greenpark.

SPRINGFIELD 3S
14.30m

project name: RUSSELL GARDENS PH.4
municipality: HAMILTON, ON
project no.: 20027
date: JANUARY, 2021
GENERAL NOTES AND CHART
drawn by: CL
checked by: –
scale: 3/16" = 1'-0"
file name: 20027-SPRINGFIELD-3S
drawing no.: A0

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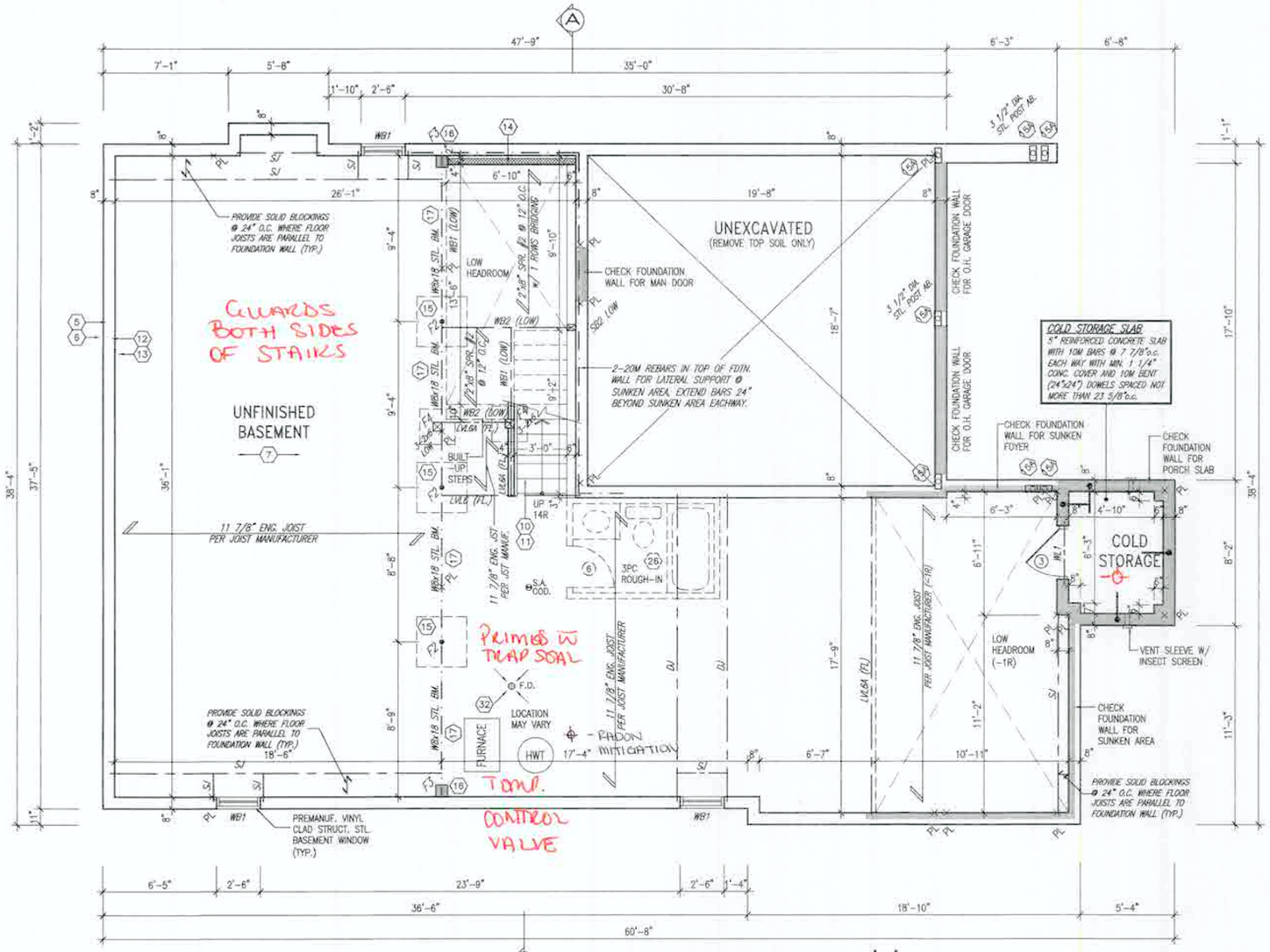
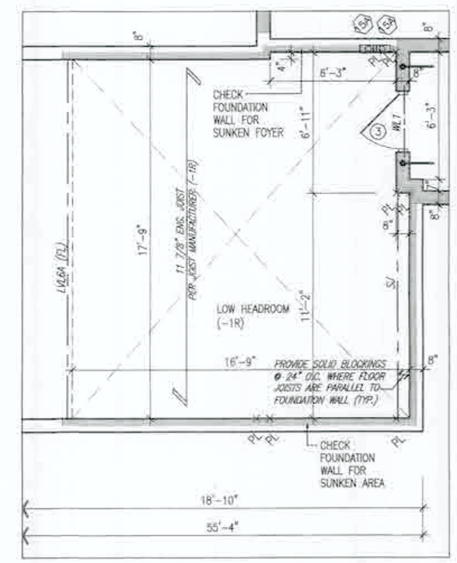
3601 SF.



BASEMENT PLAN ELEV. '1'



PART. BASEMENT PLAN ELEV. '1' FOR OPT. GUEST SUITE COND.

BASEMENT INSULATION AT STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

BASEMENT WALL INSULATION (TYP) (13)
-6" (R20) CONTINUOUS BLANKET INSULATION. INSULATION UNINTERRUPTED BY FRAMING

CITY OF HAMILTON
Building Division
Permit No. 21-161951

Sm Dec 4/22

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL REVIEW
HAS APPROVED
SIGNATURE
DATE AUG 17, 2021
It is same as comply with the applicable design guidelines, drawings and specifications approved for application.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
MAY 20/2021
STRUDET INC.
FOR STRUCTURE ONLY

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3	ISSUED FOR PERMIT.	MAY 21/21	GW
2	REV. PER CLIENT/ROOF/FL/ENG. COMMENTS	MAR. 31/21	GW
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	MAR. 12/21	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink — signature — 24488
name — BCIN
registration information
VA3 Design Inc. — 42658

Contractor must verify all dimensions on the job and report any discrepancy to the designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Commerment Rd Suite 120
Toronto ON M2J 1B4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark

SPRINGFIELD 3S
14.30m

project name: RUSSELL GARDENS PH.4
municipality: HAMILTON, ON
project no.: 20027
date: JANUARY, 2021
title: BASEMENT PLAN - ELEV. 1
drawn by: CL
checked by: –
scale: 3/16" = 1'-0"
file name: 20027-SPRINGFIELD-3S
drawing no.: A1

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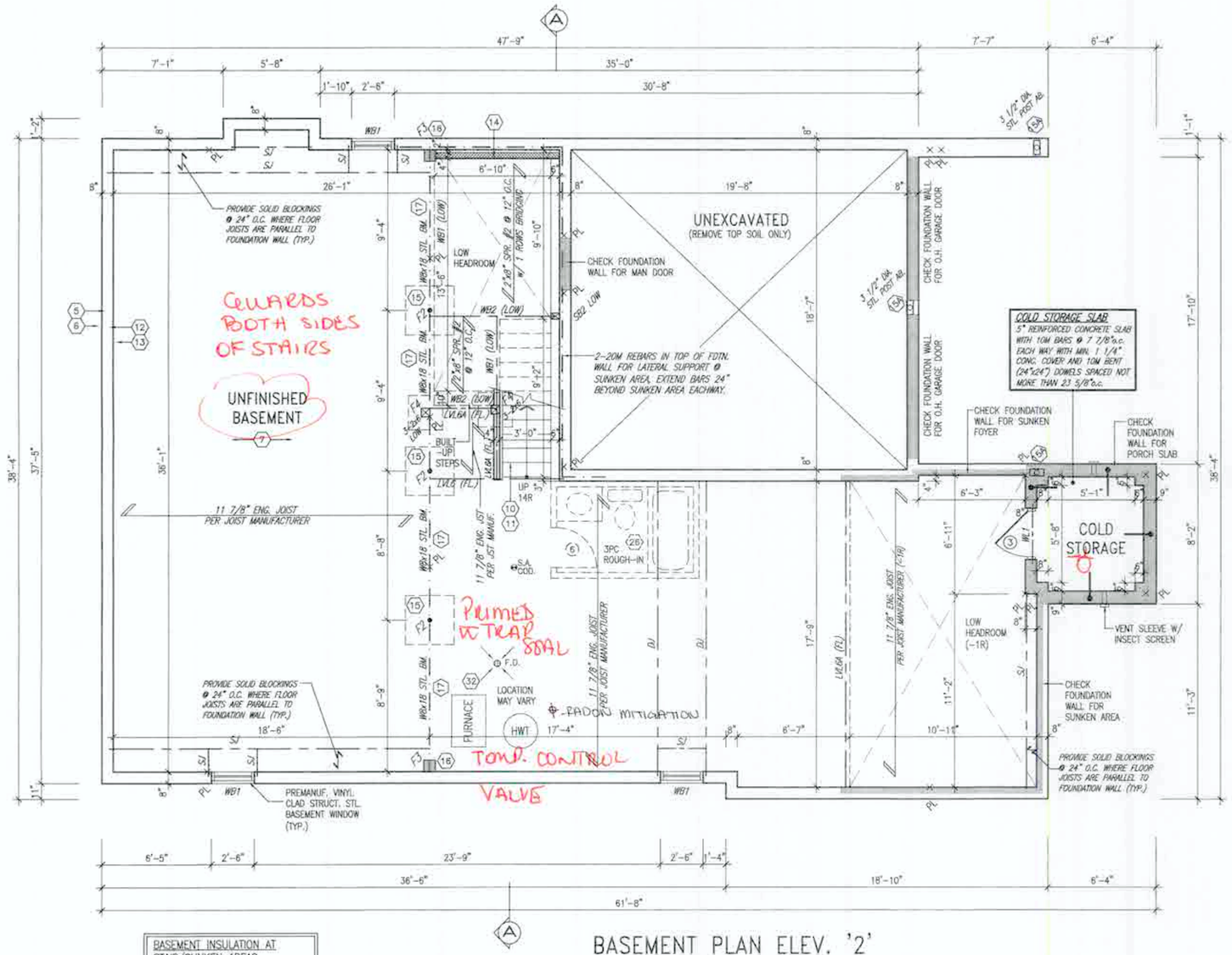
SPRINGFIELD 3S
COMPLIANCE PACKAGE 'A1'

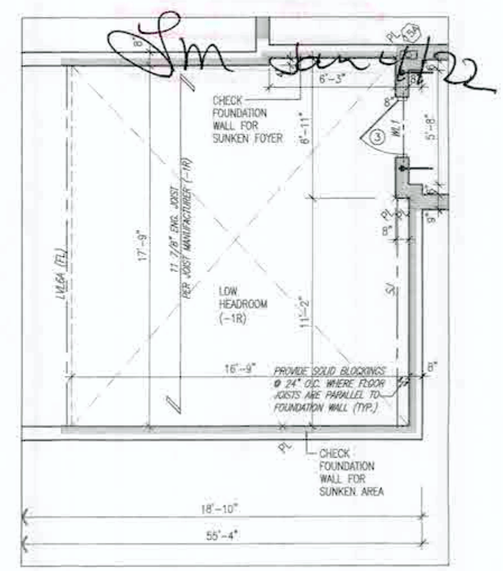
3601 SF.



BASEMENT PLAN ELEV. '2'

21-161951

Sm Jan 4/22



PART. BASEMENT PLAN ELEV. '2'
FOR OPT. GUEST SUITE COND.

BASEMENT INSULATION AT STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

BASEMENT WALL INSULATION (TYP) (13)
-6" (R20) CONTINUOUS BLANKET INSULATION. INSULATION UNINTERRUPTED BY FRAMING

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
APPROVED
DATE JULY 27, 2021

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
MAY 28/2021

STRUDET INC.
FOR STRUCTURE ONLY

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3	ISSUED FOR PERMIT.	MAY 21/21	GW
2	REV. PER CLIENT/ROOF/FL./ENG. COMMENTS	MAR. 31/21	GW
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW	MAR 12/21	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
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Greenpark.
SPRINGFIELD 3S
14.30m
project name: RUSSELL GARDENS PH.4
municipality: HAMILTON, ON
project no.: 20027
title: JANUARY, 2021 — BASEMENT PLAN - ELEV. 2
drawn by: CL
checked by: –
scale: 3/16" = 1'-0"
file name: 20027-SPRINGFIELD-3S
drawing no.: A1a

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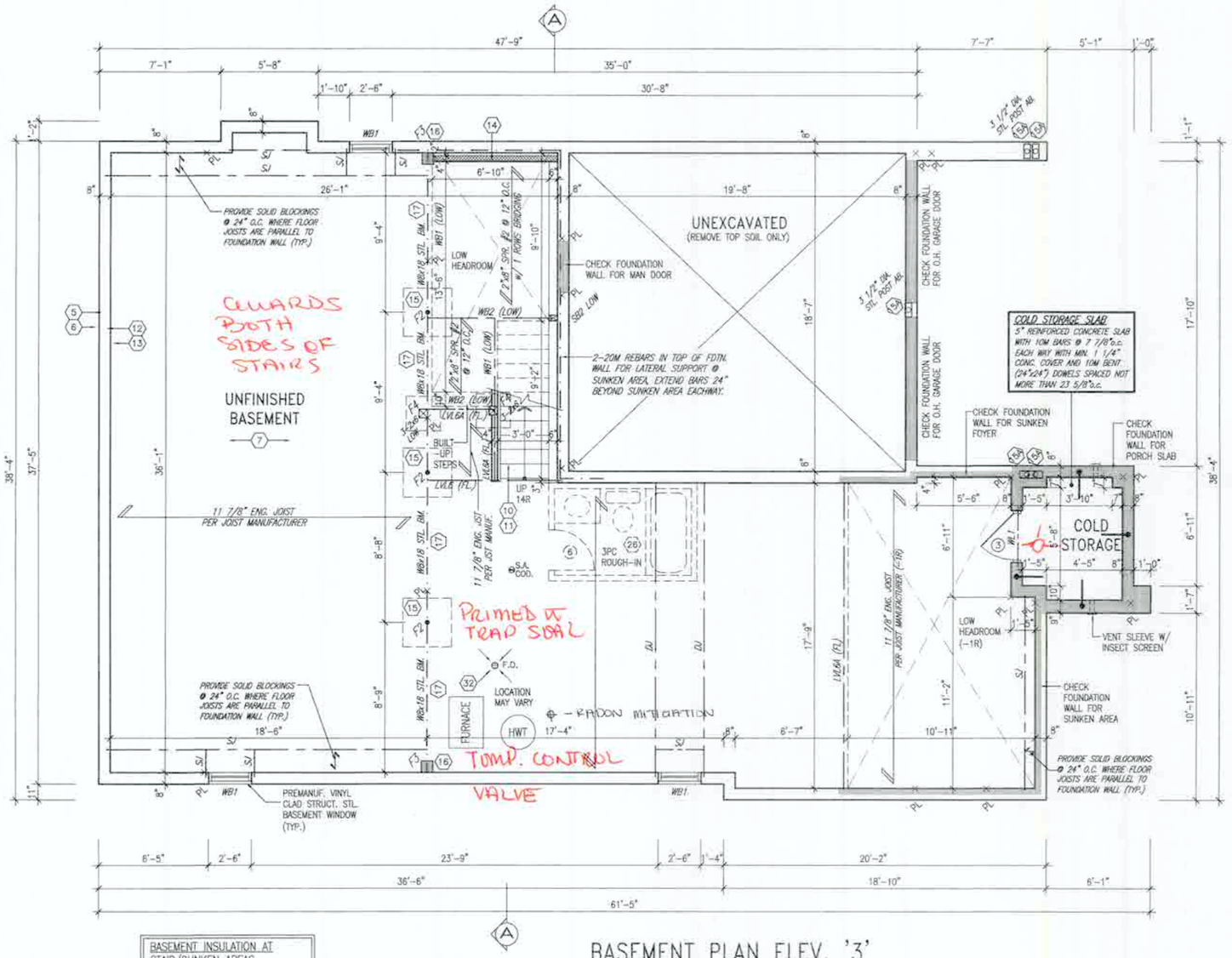
SPRINGFIELD 3S
COMPLIANCE PACKAGE 'A1'

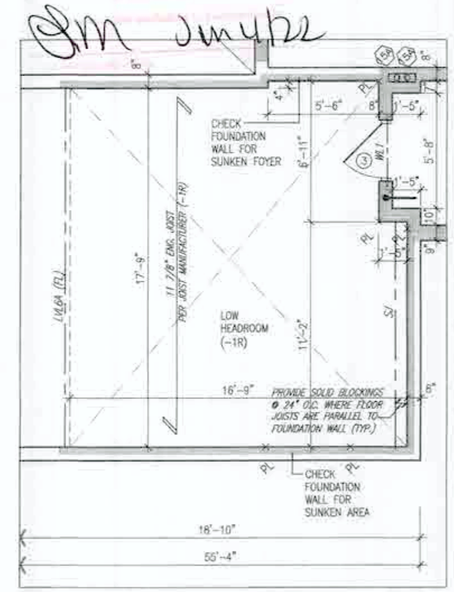
3601 SF.



BASEMENT PLAN ELEV. '3'

21-161957

Sm Jun 4/22



PART. BASEMENT PLAN ELEV. '3' FOR OPT. GUEST SUITE COND.

BASEMENT INSULATION AT STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

BASEMENT WALL INSULATION (TYP) (13)
-6" (R20) CONTINUOUS BLANKET INSULATION. INSULATION UNINTERRUPTED BY FRAMING

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
RIO-APPROVED
DATE AUGUST 2, 2021
This plan has been reviewed with the applicable Design Guidelines and plans information presented to Greenpark

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
MAY 26/2021
STRUDET INC.
FOR STRUCTURE ONLY

SPRINGFIELD 3S
COMPLIANCE PACKAGE 'A1'

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3	ISSUED FOR PERMIT	MAY 21/21	GW
2	REV. PER CLIENT/ROOF/FL/ENG. COMMENTS	MAR. 31/21	GW
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	MAR. 12/21	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
name: Richard Vink — signature: R Vink — BCIN: 24488
registration information
VA3 Design Inc. — 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
235 Centcomm Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark
project name: RUSSELL GARDENS PH.4 — municipality: HAMILTON, ON
SPRINGFIELD 3S 14.30m — project no. 20027
date: JANUARY, 2021 — drawn by: CL — checked by: - — scale: 3/16" = 1'-0" — file name: 20027-SPRINGFIELD-3S
BASEMENT PLAN – ELEV. 3
drawing no. A1b

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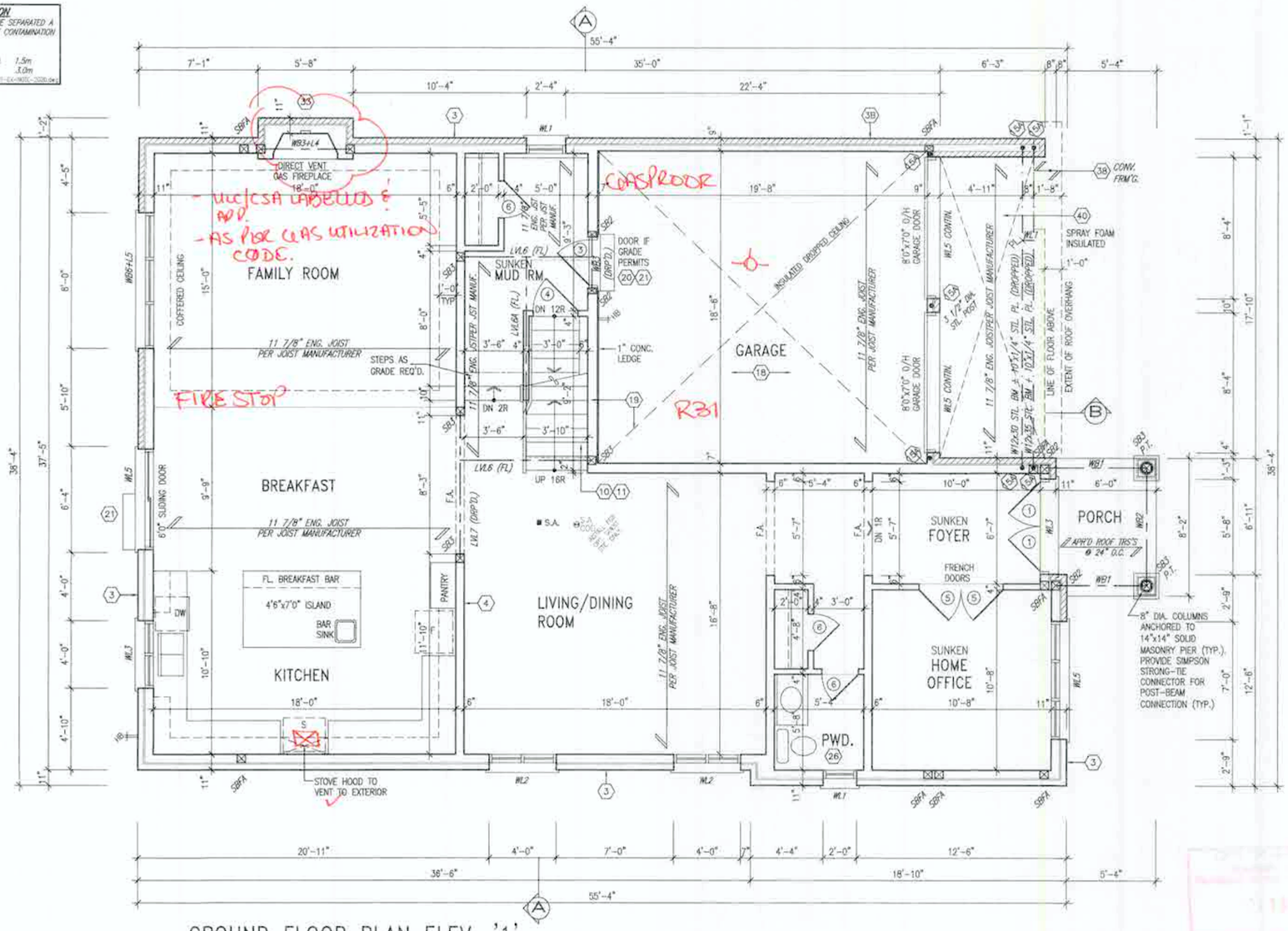
3601 SF.

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC. DIV. B– TABLE 6.2.3.12.
- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m



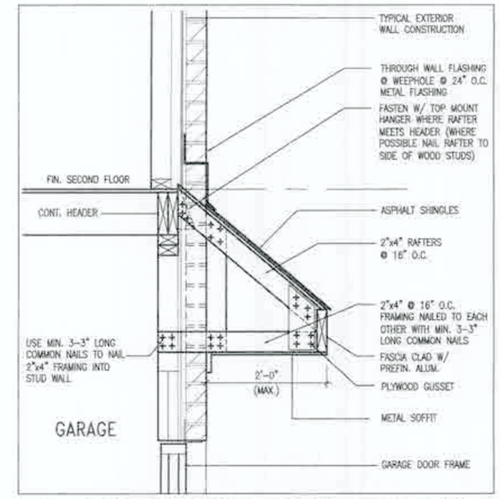
GROUND FLOOR PLAN ELEV. '1'

COASPROOF

FIRESTOP

R31

- UL/CSA LABELLED & APP.
- AS PER GAS UTILIZATION CODE.



B ROOF OVERHANG DETAIL OVER GARAGE

21-141951

Sm Jan 4/22

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
APPROVED
DATE AUG 17, 2021

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
MAY 26/2021
STRUDET INC.
FOR STRUCTURE ONLY

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2	REV. PER CLIENT/ROOF/FL./ENG. COMMENTS.	MAR. 31/21	GW
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	MAR. 12/21	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink — signature — 24458
name — registration information — BCIN
VA3 Design Inc. — 42858

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VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark
project name: RUSSELL GARDENS PH.4
municipality: HAMILTON, ON
SPRINGFIELD 3S
14.30m
project no.: 20027
date: JANUARY, 2021
GROUND FLOOR PLAN – ELEV. 1
drawn by: CL
checked by: –
scale: 3/16" = 1'-0"
file name: 20027-SPRINGFIELD-3S
drawing no.: A2

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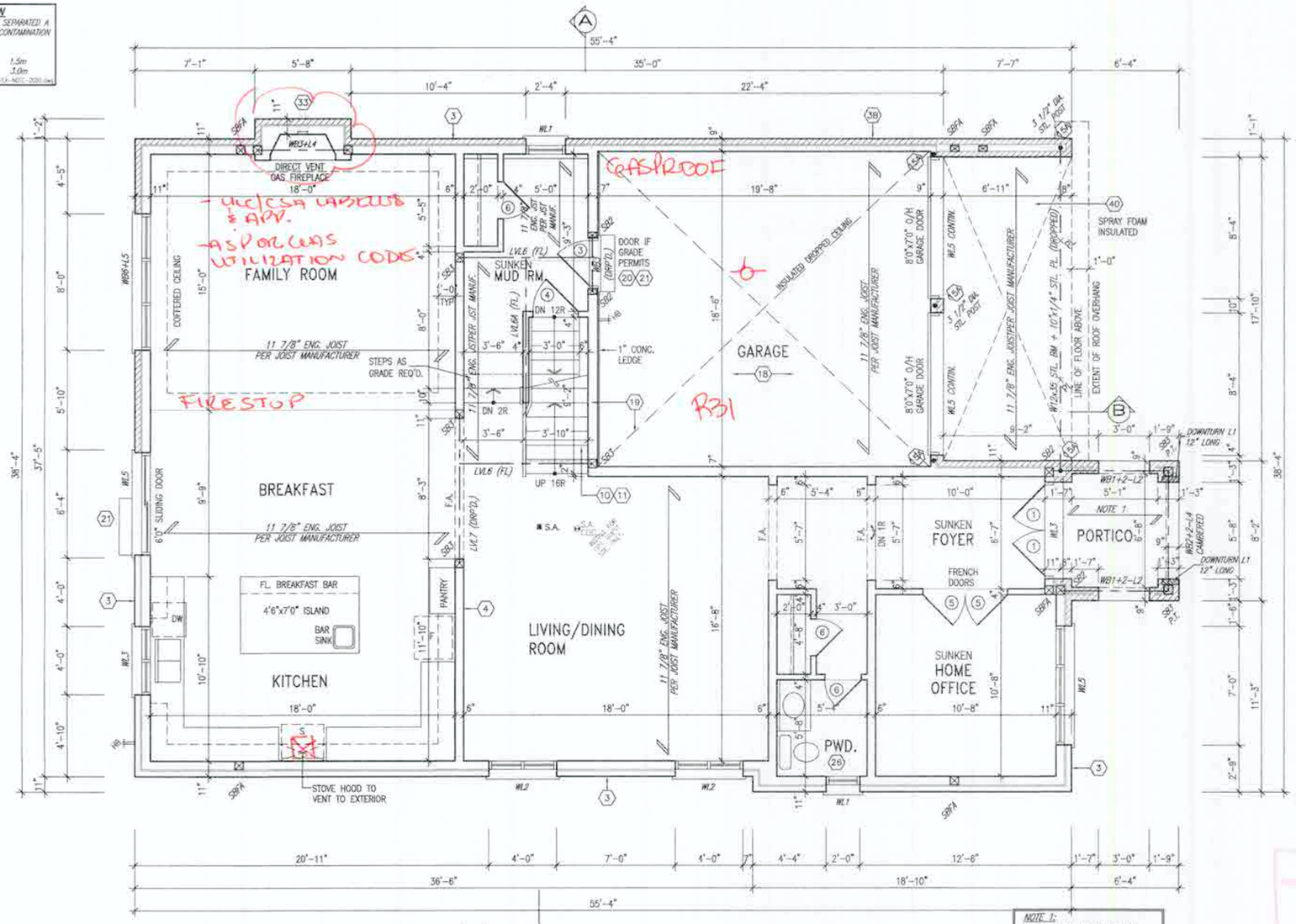
SPRINGFIELD 3S
COMPLIANCE PACKAGE 'A1'

3601 SF.

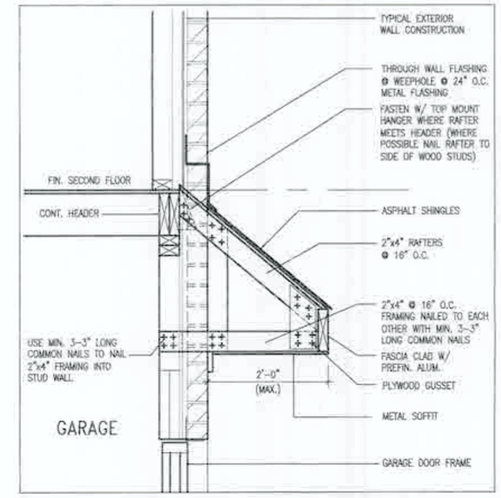
OUTDOOR AIR INTAKE SEPARATION

ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B– TABLE 6.2.3.12.

- KITCHEN EXHAUST 3.0m
- DRIVEWAY, PARKING SPACE, ROAD 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m



GROUND FLOOR PLAN ELEV. '2'



B ROOF OVERHANG DETAIL OVER GARAGE

21-161951

JM Jan 4/22

NOTE 1:
FLAT ROOF FRAMING (TYP.)
2"x8" @ 12" O.C. P.T. CLG. JST.
w/ 2"x4" @ 12" O.C. P.T.
DIAGONALLY CUT CROSS PURLINS
w/ 5/8" EXTERIOR GRADE
SHEATHING + SINGLE PLY ROOF
MEMBRANE (SLOPE TO DRAIN)

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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE AUG 17, 2021

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
MAY 20, 2021

STRUDET INC.
FOR STRUCTURE ONLY

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3	ISSUED FOR PERMIT.	MAY 21/21	GW
2	REV. PER CLIENT/ROOF/FL./ENG. COMMENTS.	MAR. 31/21	GW
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	MAR. 12/21	GW

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qualification information
Richard Vink — signature — 24488 — name — registration information — BCIN
VA3 Design Inc. — 42658
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VA3 DESIGN
256 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

SPRINGFIELD 3S
14.30m

project name: RUSSELL GARDENS PH.4 — municipality: HAMILTON, ON — project no. 20027
date: JANUARY, 2021 — GROUND FLOOR PLAN – ELEV. 2
drawn by: CL — checked by: — scale: 3/16" = 1'-0" — file name: 20027-SPRINGFIELD-3S — drawing no. A2a

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SPRINGFIELD 3S
COMPLIANCE PACKAGE 'A1'

3601 SF.

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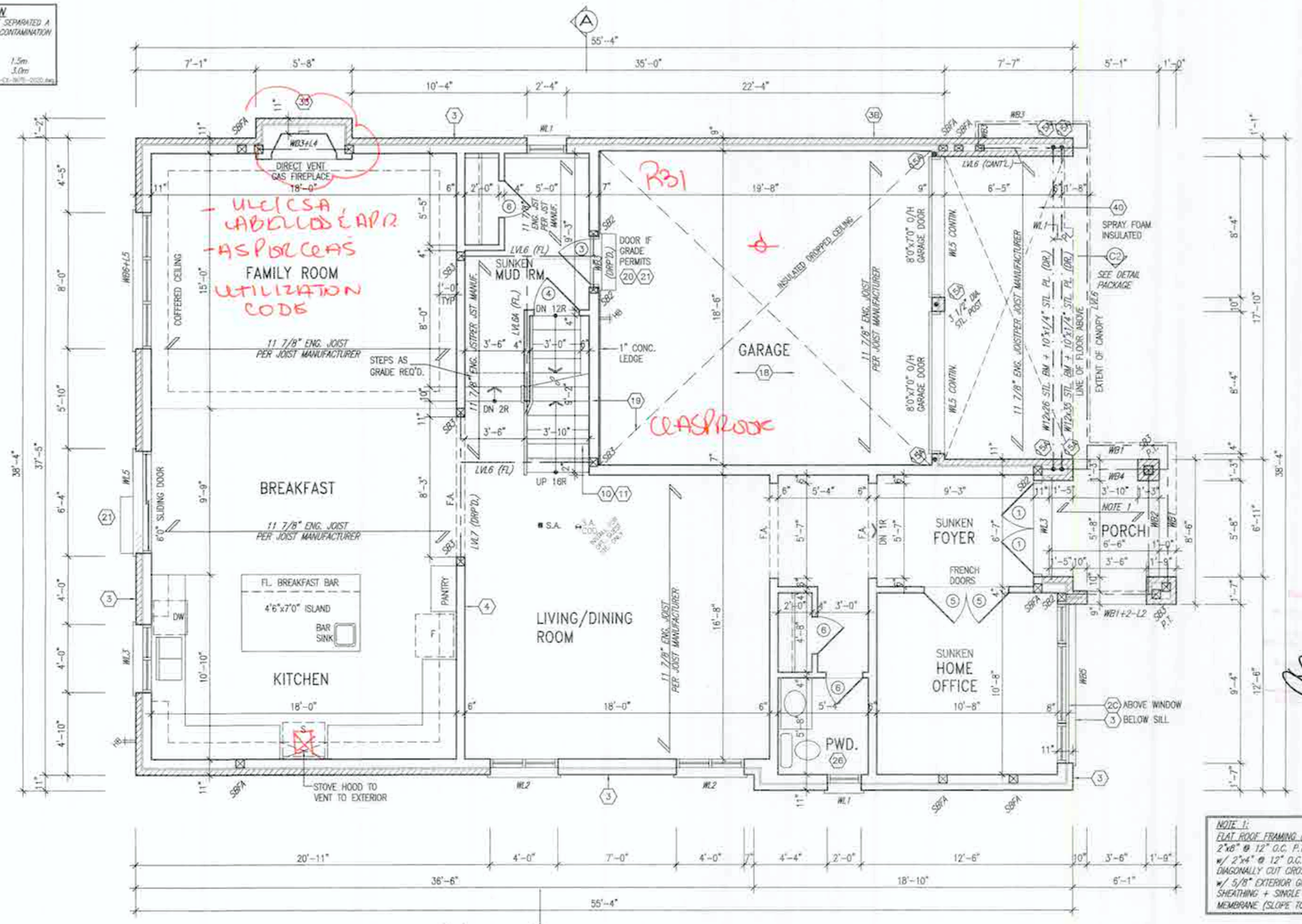
- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m



GROUND FLOOR PLAN ELEV. '3'

21-161951

Jan 4 22

NOTE 1:
FLAT ROOF FRAMING (TYP.)
2"x6" @ 12" O.C. P.T. C.G. JST.
w/ 2"x4" @ 12" O.C. P.T.
DIAGONALLY CUT GROSS PURLINS
w/ 5/8" EXTERIOR GRADE
SHEATHING + SINGLE PLY ROOF
MEMBRANE (SLOPE TO DRAIN)

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL AGENT
HAS APPROVED
APPROVED BY:
DATE: AUG 17, 2021
This stamp certifies compliance with the approved Design Guidelines only and does not imply building permission or approval.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
MAY 26, 2024
STRUDET INC.
FOR STRUCTURE ONLY

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3	ISSUED FOR PERMIT	MAY 21/21	GW
2	REV. PER CLIENT/ROOF/FL./ENG. COMMENTS	MAR. 31/21	GW
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	MAR 12/21	GW

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information: Richard Vink — signature — 24488
name — signature — BCIN
registration information: VA3 Design Inc. — 42658
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VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.830.2255 f 416.630.4782
va3design.com

Greenpark.

project name: RUSSELL GARDENS PH.4	municipality: HAMILTON, ON
SPRINGFIELD 3S 14.30m	project no: 20027
date: JANUARY, 2021	GROUND FLOOR PLAN – ELEV. 3
drawn by: CL	checked by: –
scale: 3/16" = 1'-0"	file name: 20027-SPRINGFIELD-3S
drawing no: A2b	

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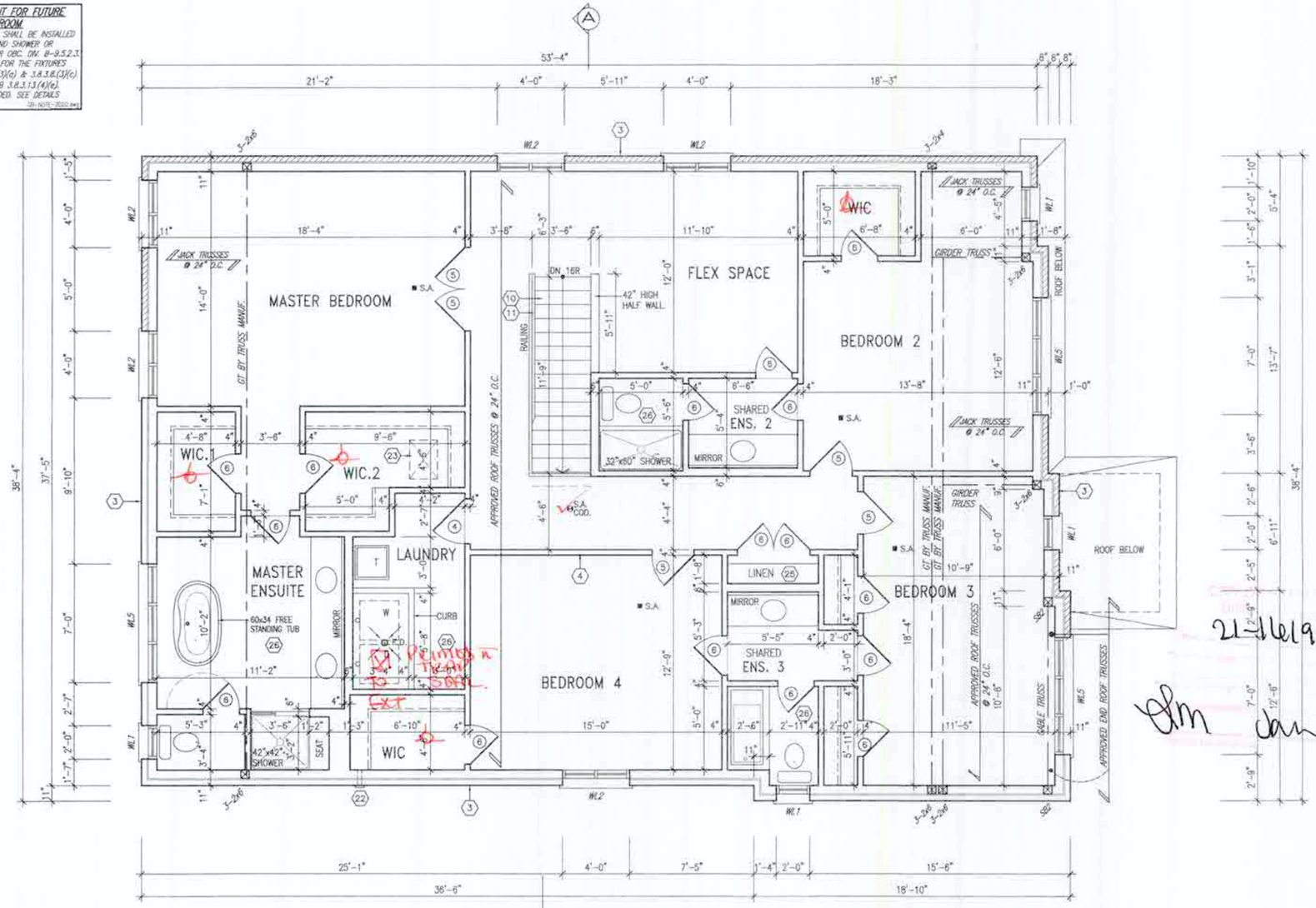
SPRINGFIELD 3S
COMPLIANCE PACKAGE 'A1'

3601 SF.

GRAB BAR NOTE:
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC. DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8.(3)(c) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(a). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.
GR-NOTE-2020.dwg



SECOND FLOOR PL. EL. '1'

21-116196
dm Jan 4/22

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN E. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL ENGINEER
ARC-APPROVAL
APPROVED BY
DATE AUG 27, 2021
This drawing certifies compliance with the Architectural Design Guidelines only and does not certify compliance with any other

REGISTERED PROFESSIONAL ENGINEER
R. MARINKOVIC
PROVINCE OF ONTARIO
MAY 26/2021

STRUDET INC.
FOR STRUCTURE ONLY

SPRINGFIELD 3S
COMPLIANCE PACKAGE 'A1'

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2	REV. PER CLIENT/ROOF/FL./ENG. COMMENTS	MAR. 31/21	CW
1	PRELIMINARY ISSUED FOR CLIENT REVIEW.	MAR. 12/21	CW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
name: Richard Vink — signature: R. Vink — 24468
registration information
VA3 Design Inc. — 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name: RUSSELL GARDENS PH.4	municipality: HAMILTON, ON
date: JANUARY, 2021	SECOND FLOOR PLAN – ELEV. 1
drawn by: CL	checked by: –
scale: 3/16" = 1'-0"	file name: 20027-SPRINGFIELD-3S
SPRINGFIELD 3S 14.30m	project no. 20027
drawing no. A3	

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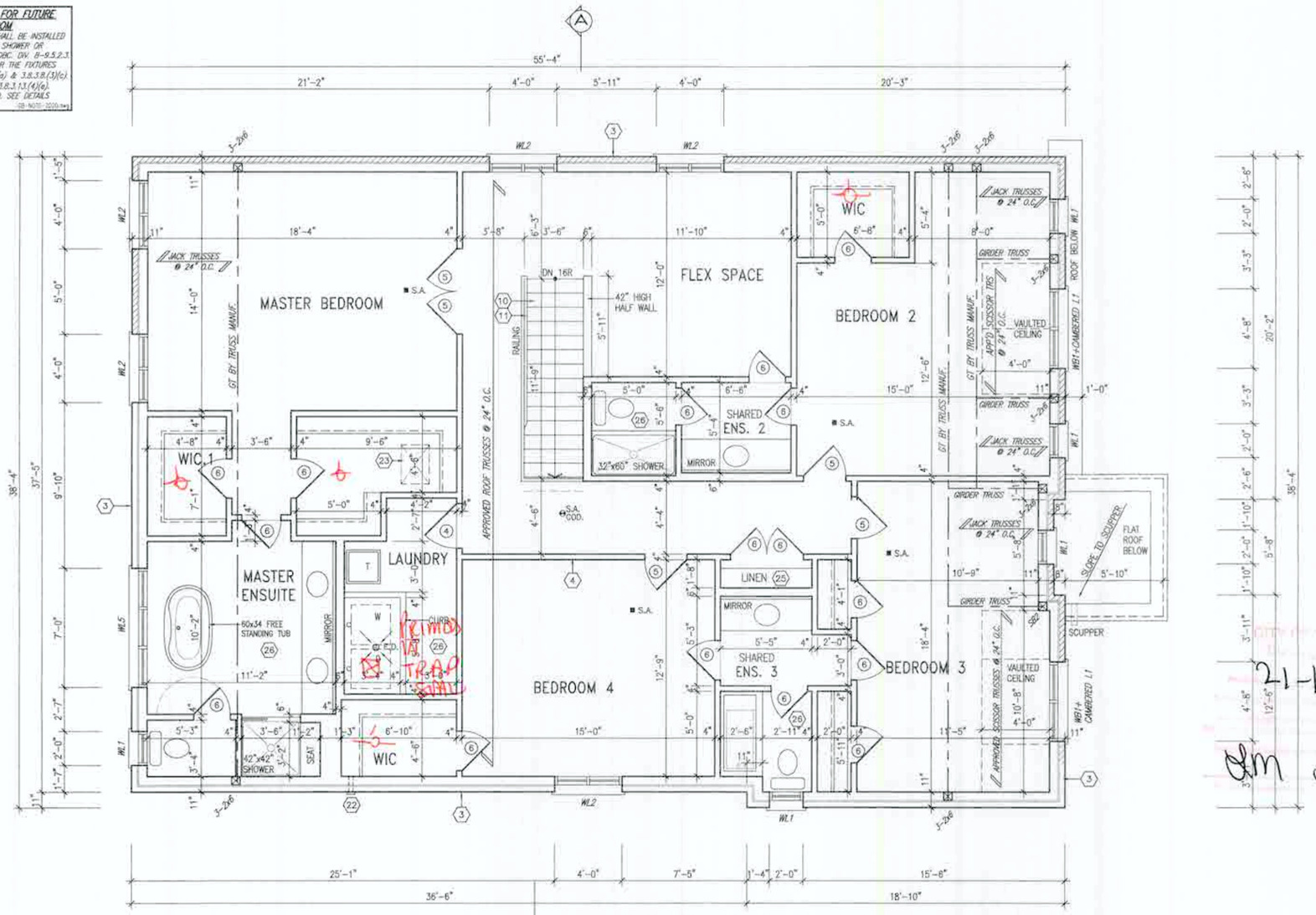
3601 SF.

GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC. DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(a). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.



SECOND FLOOR PL. EL. '2'

21-16/1951

JM 4/22

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JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL DIVISION
AND APPROVED

APPROVED BY

DATE AUGUST 2021

THIS PLAN COMPLIES WITH THE GUIDELINES

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

MAY 20/2021

STRUDET INC.
FOR STRUCTURE ONLY

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3	ISSUED FOR PERMIT	MAY 21/21	GN
2	REV. PER CLIENT/ROOF/FL/ENG. COMMENTS	MAR. 31/21	GN
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	MAR. 12/21	GN

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink — signature
name — 24488 — BCIN
registration information
VA3 Design Inc. — 42858

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VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2265 f 416.630.4782
va3design.com

Greenpark.

SPRINGFIELD 3S
14.30m

project name: RUSSELL GARDENS PH.4
municipality: HAMILTON, ON
project no.: 20027

date: JANUARY, 2021
SECOND FLOOR PLAN - ELEV. 2
drawn by: CL
checked by: –
scale: 3/16" = 1'-0"
file name: 20027-SPRINGFIELD-3S
drawing no.: A3a

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SPRINGFIELD 3S
COMPLIANCE PACKAGE 'A1'

3601 SF.

GRAB BAR NOTE:

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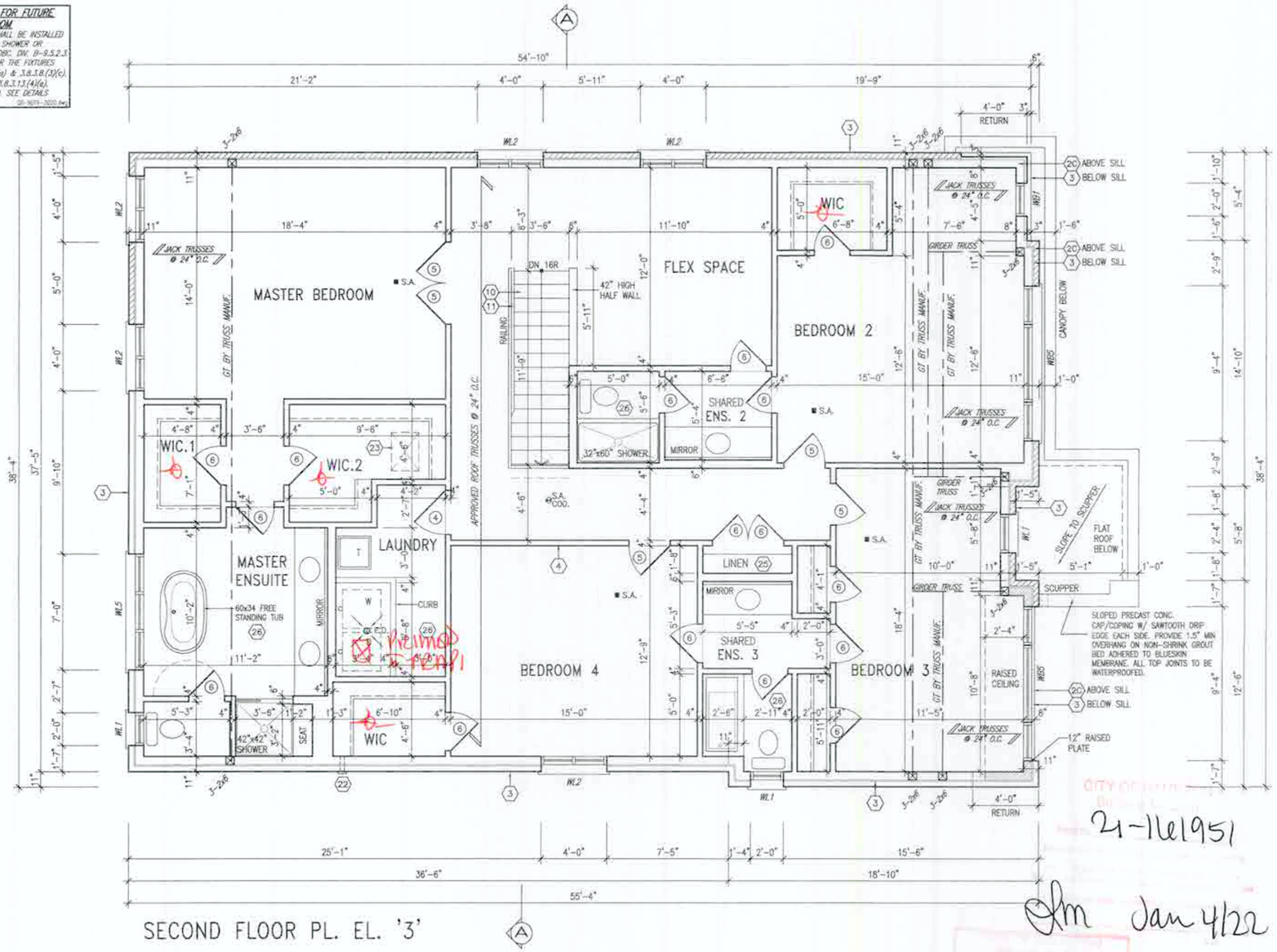

SECOND FLOOR PL. EL. '3'

CITY OF HAMILTON
21-161951
Jan 4/22

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (siting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY:
DATE: AUGUST 2021
This stamp certifies compliance with the applicable Design Guidelines only and does not imply approval of Building requirements

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
MAY 28/2021
STRUDET INC.
FOR STRUCTURE ONLY

SPRINGFIELD 3S
COMPLIANCE PACKAGE 'A1'

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name — signature — BCIN
registration information
VA3 Design Inc. — 42658

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va3design.com

Greenpark.

project name: RUSSELL GARDENS PH.4	municipality: HAMILTON, ON
SPRINGFIELD 3S 14.30m	project no. 20027
date: JANUARY, 2021	SECOND FLOOR PLAN – ELEV. 3
drawn by: CL	checked by: –
scale: 3/16" = 1'-0"	file name: 20027-SPRINGFIELD-3S
drawing no.: A3b	

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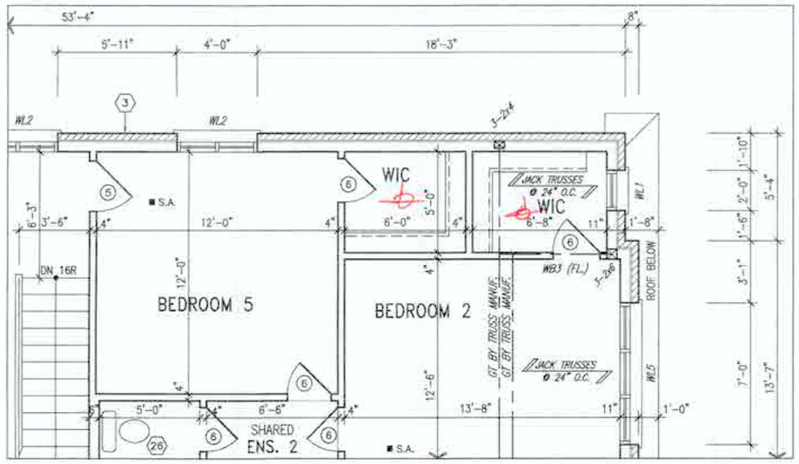
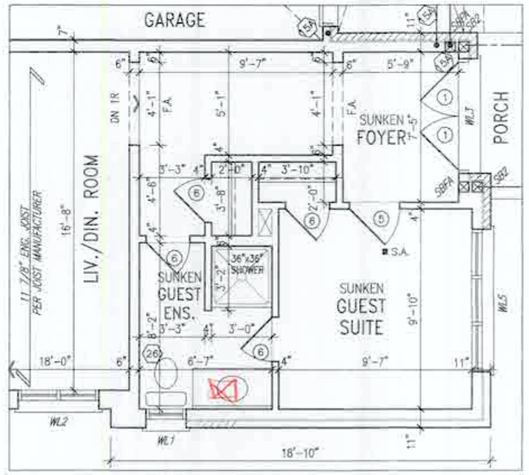
3601 SF.



PART. SECOND FLOOR PLAN- ELEV. 1
W/ OPT. BEDROOM 5

21-116/957

Jan 4/22



PART. GROUND FLOOR PLAN -ELEV. 1
W/ OPT. GUEST SUITE

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE AUG 27, 2021
This stamp certifies compliance with the applicable Design Guidelines only and does in no other respect or way imply

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
MAY 25/2021
PROVINCE OF ONTARIO

STRUDET INC.
FOR STRUCTURE ONLY

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3	ISSUED FOR PERMIT	MAY 21/21	GR
2	REV. PER CLIENT/ROOF/FL./ENG. COMMENTS	MAR. 31/21	GR
1	PRELIMINARY ISSUED FOR CLIENT REVIEW	MAR. 12/21	GR

The undersigned has reviewed and taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink — signature — 24482
name — registration information — BCIN
VA3 Design Inc. — 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
258 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

SPRINGFIELD 3S
14.30m

project name: RUSSELL GARDENS PH.4
municipality: HAMILTON, ON
project no: 20027
date: JANUARY, 2021
PART. PLANS - ELEV. 1
drawn by: CL
checked by: –
scale: 3/16" = 1'-0"
file name: 20027-SPRINGFIELD-3S
drawing no: A4

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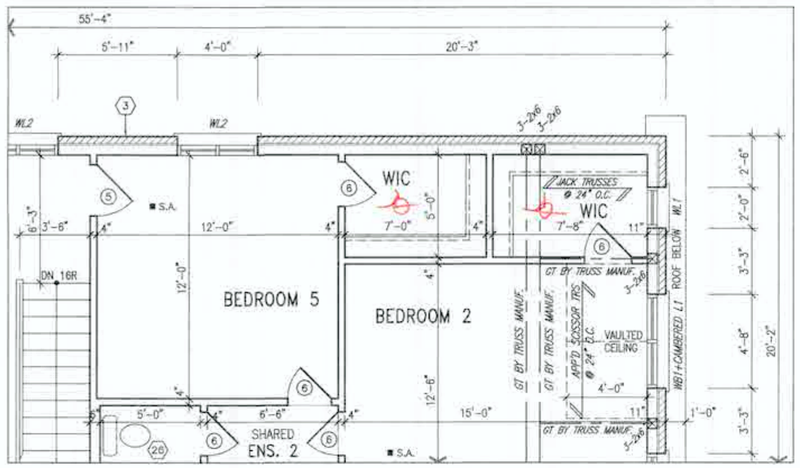
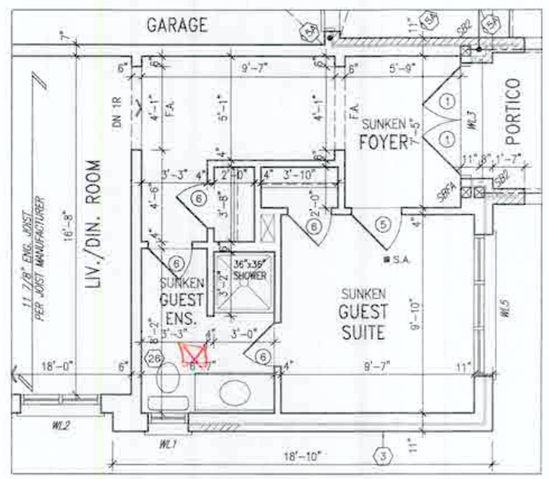
SPRINGFIELD 3S
COMPLIANCE PACKAGE 'A1'

3601 SF.



PART. SECOND FLOOR PLAN- ELEV. 2
W/ OPT. BEDROOM 5



PART. GROUND FLOOR PLAN -ELEV. 2
W/ OPT. GUEST SUITE

21-161951

Sm Jan 4/22

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JOHN C. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL AGENT
DATE AUG 17, 2021

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
MAY 26/2021
STRUDET INC.
FOR STRUCTURE ONLY

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3	ISSUED FOR PERMIT.	MAY. 21/21	GW
2	REV. PER CLIENT/ROOF/FL./ENG. COMMENTS	MAR. 31/21	GW
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	MAR. 12/21	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information: Richard Vink
name signature BCIN 24488
registration information: VA3 Design Inc. 42658

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VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

SPRINGFIELD 3S
14.30m

project name: RUSSELL GARDENS PH.4
municipality: HAMILTON, ON
project no: 20027
date: JANUARY, 2021
drawing title: PART. PLANS - ELEV. 2
drawn by: CL
checked by: -
scale: 3/16" = 1'-0"
file name: 20027-SPRINGFIELD-3S
drawing no: A4a

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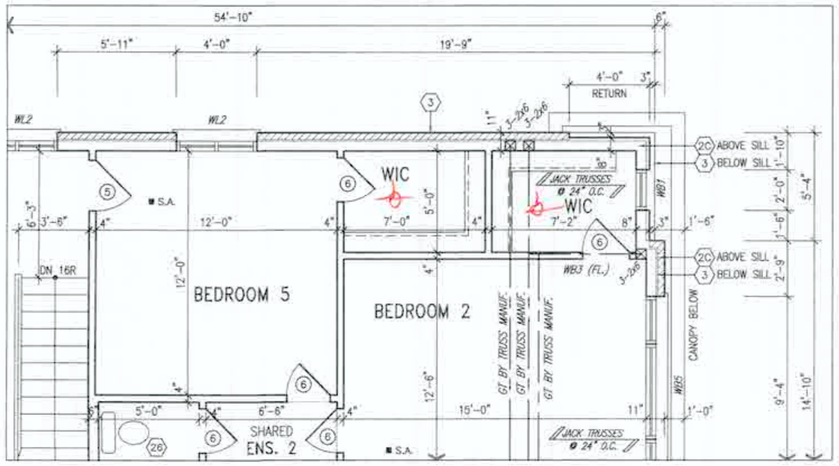
SPRINGFIELD 3S
COMPLIANCE PACKAGE 'A1'

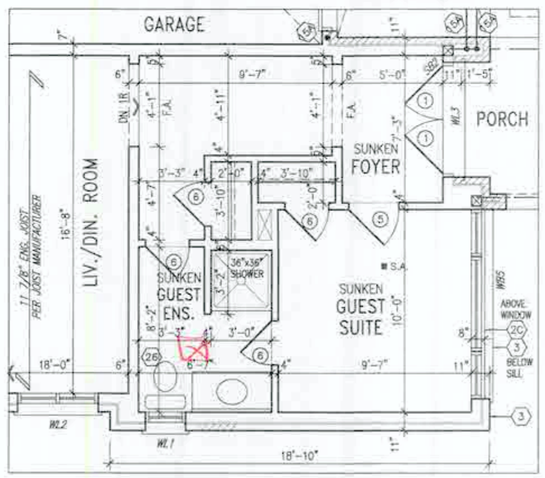
3601 SF.



PART. SECOND FLOOR PLAN– ELEV. 3
W/ OPT. BEDROOM 5

21-161957

Sm Jan 4/22



PART. GROUND FLOOR PLAN –ELEV. 3
W/ OPT. GUEST SUITE

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL NOTES
AND APPROVALS
APPROVED BY
DATE July 12, 2021
The name, initial, signature and seal are approval. Design deviations may be based on site conditions, etc. possible.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
MAY 26/2021
STRUDET INC.
FOR STRUCTURE ONLY

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3	ISSUED FOR PERMIT.	MAY. 21/21	GW
2	REV. PER CLIENT/ROOF/FL/ENG. COMMENTS	MAR. 31/21	GW
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	MAR. 12/21	GW

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qualification information
Richard Vink 24488
name signature BCIN
registration information
VA3 Design Inc. 42658

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VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name	municipality	SPRINGFIELD 3S 14.30m	project no.
RUSSELL GARDENS PH.4	HAMILTON, ON		20027

date		drawing no.
JANUARY, 2021	PART. PLANS – ELEV. 3	A4b

drawn by	checked by	scale	file name
CL	–	3/16" = 1'-0"	20027-SPRINGFIELD-3S

SPRING – G:\AUTO\RUSSELL\2020\20027-RUSSELL GARDENS PH.4\20027-SPRINGFIELD-3S.dwg – Wed May 27, 2021 – 3:46 PM

SPRINGFIELD 3S
COMPLIANCE PACKAGE 'A1'

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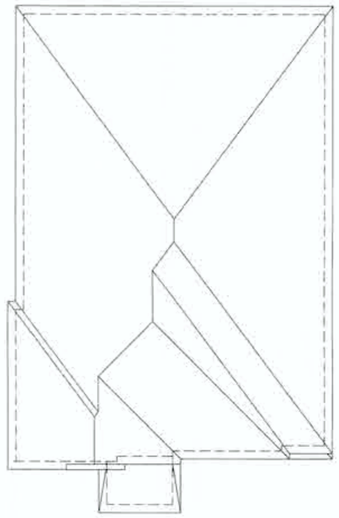
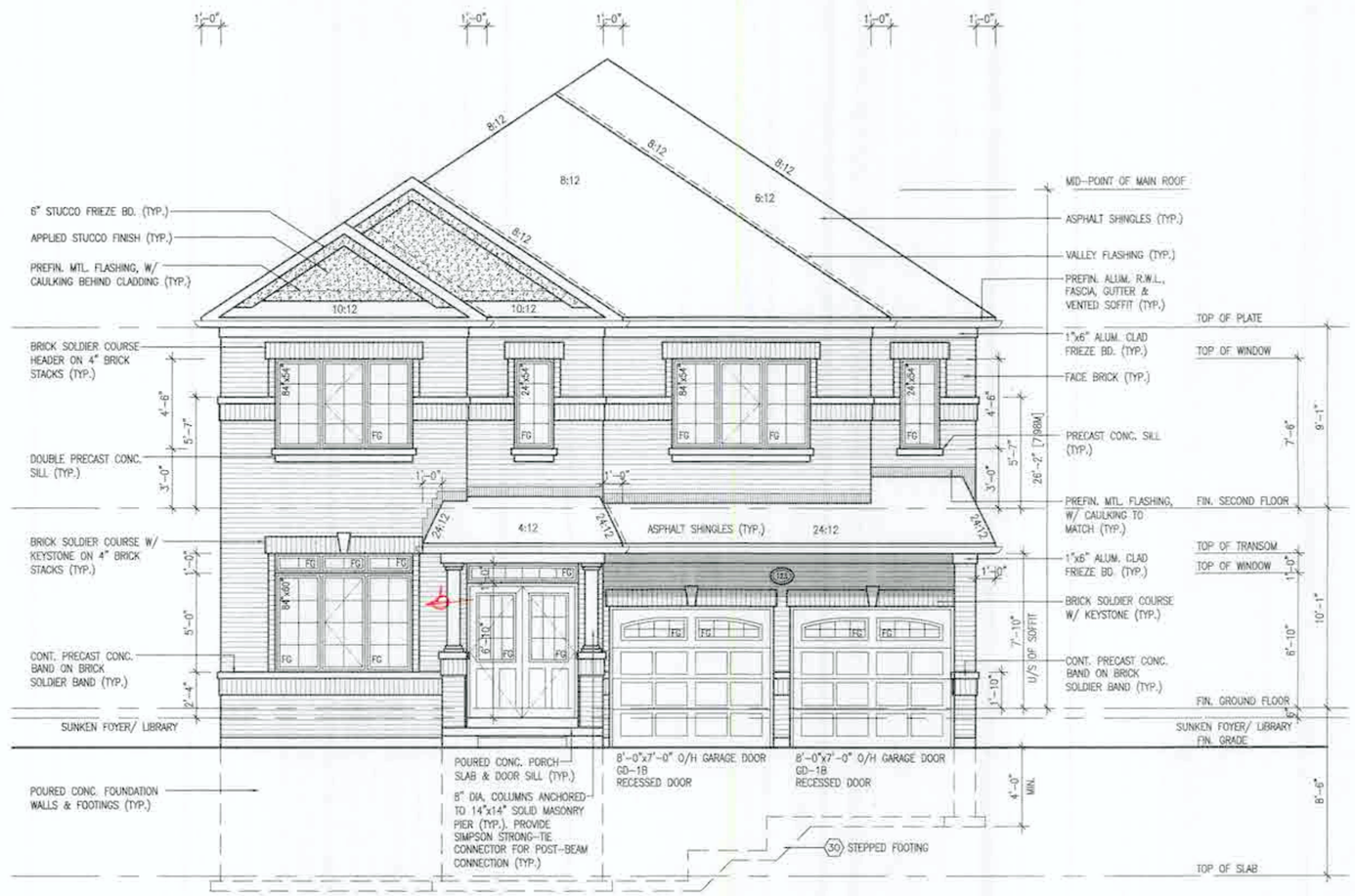
3601 SF.



ROOF PLAN – ELEV. '1'



FRONT ELEVATION – ELEV. '1'

PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS w/ MASONRY INSERTS WHERE GRADE REQUIRES

CITY OF HAMILTON
21-161951

Sm Jan 4/22

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JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL SECTION
CONDITIONAL APPROVAL
APPROVED BY
DATE AUG 17 2021
THIS APPROVAL CONSIDERS ARCHITECTURAL ASPECTS ONLY AND DOES NOT IMPLY APPROVAL OF OTHER DISCIPLINES

SPRINGFIELD 3S
COMPLIANCE PACKAGE 'A1'

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3	ISSUED FOR PERMIT.	MAY 21/21	CW
2	REV. PER CLIENT/ROOF/FL./ENG. COMMENTS	MAR. 31/21	CW
1	PRELIMINARY ISSUED FOR CLIENT REVIEW.	MAR 12/21	CW

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qualification information
name: Richard Visk — signature: R Visk — BCIN: 24488
registration information
VA3 Design Inc. — 42658

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VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name: RUSSELL GARDENS PH.4
municipality: HAMILTON, ON
SPRINGFIELD 3S
14.30m
project no. 20027
date: JANUARY, 2021
FRONT ELEVATION – ELEV. 1
drawn by: CL
checked by: –
scale: 3/16" = 1'-0"
file name: 20027-SPRINGFIELD-3S
drawing no. A5

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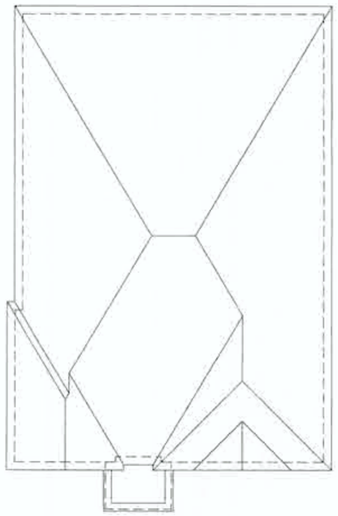
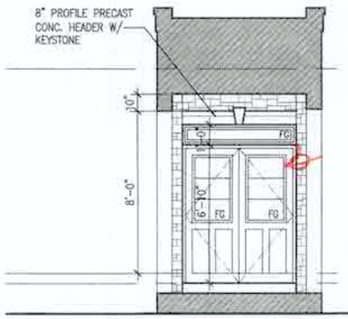
3601 SF.



ROOF PLAN – ELEV. '2'



INTERIOR PORTICO

FRONT ELEVATION – ELEV. '2'

PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS w/ MASONRY INSERTS WHERE GRADE REQUIRES

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL NUMBER
IAC APPROVED
APPROVED BY
DATE AUG 27, 2021
This strictly self-administration with the approved Design Guidelines and does not relieve any other development responsibility

SPRINGFIELD 3S
COMPLIANCE PACKAGE 'A1'

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3	ISSUED FOR PERMIT	MAY 21/21	GW
2	REV. PER CLIENT/ROOF/FL./ENG COMMENTS	MAR. 31/21	GW
1	PRELIMINARY ISSUED FOR CLIENT REVIEW.	MAR 12/21	GW

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qualification information
Richard Vink — signature — 24488
name — BCIN
registration information
VA3 Design Inc. — 42658

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VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name: RUSSELL GARDENS PH.4	municipality: HAMILTON, ON
SPRINGFIELD 3S 14.30m	project no. 20027
date: JANUARY, 2021	FRONT ELEVATION – ELEV. 2
drawn by: CL	checked by: –
scale: 3/16" = 1'-0"	file name: 20027-SPRINGFIELD-3S
drawing no. A5a	

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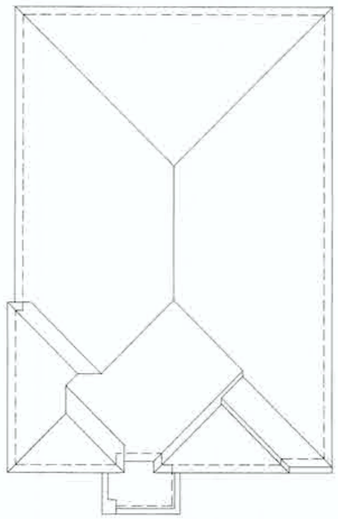
2021/12/951

Jan 4/22

3601 SF.



ROOF PLAN – ELEV. '3'

FRONT ELEVATION – ELEV. '3'

PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS w/ MASONRY INSERTS WHERE GRADE REQUIRES

2+1 161951

Sm Jan 4/22

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY:
DATE: AUG 24 2021
THIS WORK CERTIFIES COMPLIANCE WITH THE APPLICABLE DESIGN GUIDELINES ONLY AND TAKES NO TRADE OR PROFESSIONAL RESPONSIBILITY

SPRINGFIELD 3S
COMPLIANCE PACKAGE 'A1'

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3	ISSUED FOR PERMIT.	MAY 21/21	GW
2	REV. PER CLIENT/ROOF/FL./ENG. COMMENTS	MAR. 31/21	GW
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	MAR. 12/21	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
name signature BCIN
registration information
VA3 Design Inc. 42658

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VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4786
va3design.com

Greenpark

project name	RUSSELL GARDENS PH.4
municipality	HAMILTON, ON
project no.	20027
date	JANUARY, 2021
drawing title	FRONT ELEVATION – ELEV. 3
drawn by	CL
checked by	–
scale	3/16" = 1'-0"
file name	20027-SPRINGFIELD-3S
drawing no.	A5b

SPRINGFIELD 3S
14.30m

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3601 SF.

LEFT SIDE ELEVATION – ELEV. '1'

ALLOWABLE GLAZED OPENINGS

WALL AREA	=1171.22 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	=81.99 SQ. FT.
GLAZING PROVIDED	=82.20 SQ. FT.

WITH OPTIONAL 30"x24" BASEMENT WINDOWS

GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS	=65.20 SQ. FT.

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL BOARD AND ARTICHOKE
COORDINATOR
DATE AUG 27, 2021
The plans certified complement with the applicable Design Guidelines only and do not further represent any responsibility

SPRINGFIELD 3S
COMPLIANCE PACKAGE 'A1'

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12				3	ISSUED FOR PERMIT.	MAY 21/21	GW
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10				1	PRELIMINARY ISSUED FOR CLIENT REVIEW.	MAR 12/21	GW

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qualification information
name: Richard Vink — signature: R Vink — 24488
registration information
VA3 Design Inc. — BCIN 42658
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VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name: RUSSELL GARDENS PH.4	municipality: HAMILTON, ON	SPRINGFIELD 3S 14.30m — project no. 20027
date: JANUARY, 2021	LEFT SIDE ELEVATION – ELEV. 1	drawing no. A6
drawn by: CL	checked by: –	scale: 3/16" = 1'-0"
file name: 20027-SPRINGFIELD-3S		

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3601 SF.

LEFT SIDE ELEVATION – ELEV. '2'

ALLOWABLE GLAZED OPENINGS

WALL AREA	=1171.22 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	=81.99 SQ. FT.
GLAZING PROVIDED	=62.20 SQ. FT.

WITH OPTIONAL 30"x24" BASEMENT WINDOWS

GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS	=65.20 SQ. FT.

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL ALTERN.
DESIGN APPROVED
APPROVED BY
DATE AUG 22 2021

SPRINGFIELD 3S
COMPLIANCE PACKAGE 'A1'

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VA3 Design Inc. — 42658

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t. 416.630.2255 f. 416.630.4782
va3design.com

Greenpark.

project name	RUSSELL GARDENS PH.4
municipality	HAMILTON, ON
project no.	20027
SPRINGFIELD 3S	14.30m
date	JANUARY, 2021
drawn by	CL
checked by	–
scale	3/16" = 1'-0"
file name	20027-SPRINGFIELD-3S
drawing no.	A6a

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3601 SF.

21-161951

Sm Jan 4/22

LEFT SIDE ELEVATION – ELEV. '3'

ALLOWABLE GLAZED OPENINGS

WALL AREA	=1171.22 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	=81.99 SQ. FT.
GLAZING PROVIDED	=62.20 SQ. FT.

WITH OPTIONAL 30"x24" BASEMENT WINDOWS

GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS	=65.20 SQ. FT.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL SCHEME
CERTIFICATE
APPROVED BY
DATE AUG 27, 2021
THIS CERTIFICATE APPROVAL APPLIES ONLY TO THE ARCHITECTURAL CONTROL GUIDELINES AND NOT TO ANY OTHER APPROVALS OR REGULATIONS

SPRINGFIELD 3S
COMPLIANCE PACKAGE 'A1'

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3	ISSUED FOR PERMIT	MAY 21/21	GW
2	REV. PER CLIENT/ROOF/FL/ENG. COMMENTS	MAR. 31/21	GW
1	PRELIMINARY ISSUED FOR CLIENT REVIEW	MAR 12/21	GW

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
name Richard Vink signature R Vink
registration information: VA3 Design Inc. 24488 BCIN 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
T 416.630.2255, F 416.630.4782
va3design.com

Greenpark

SPRINGFIELD 3S
14.30m

project name: RUSSELL GARDENS PH.4
municipality: HAMILTON, ON
project no.: 20027
date: JANUARY, 2021
LEFT SIDE ELEVATION – ELEV. 3
drawn by: CL
checked by: –
scale: 3/16" = 1'-0"
file name: 20027-SPRINGFIELD-3S
drawing no.: A6b

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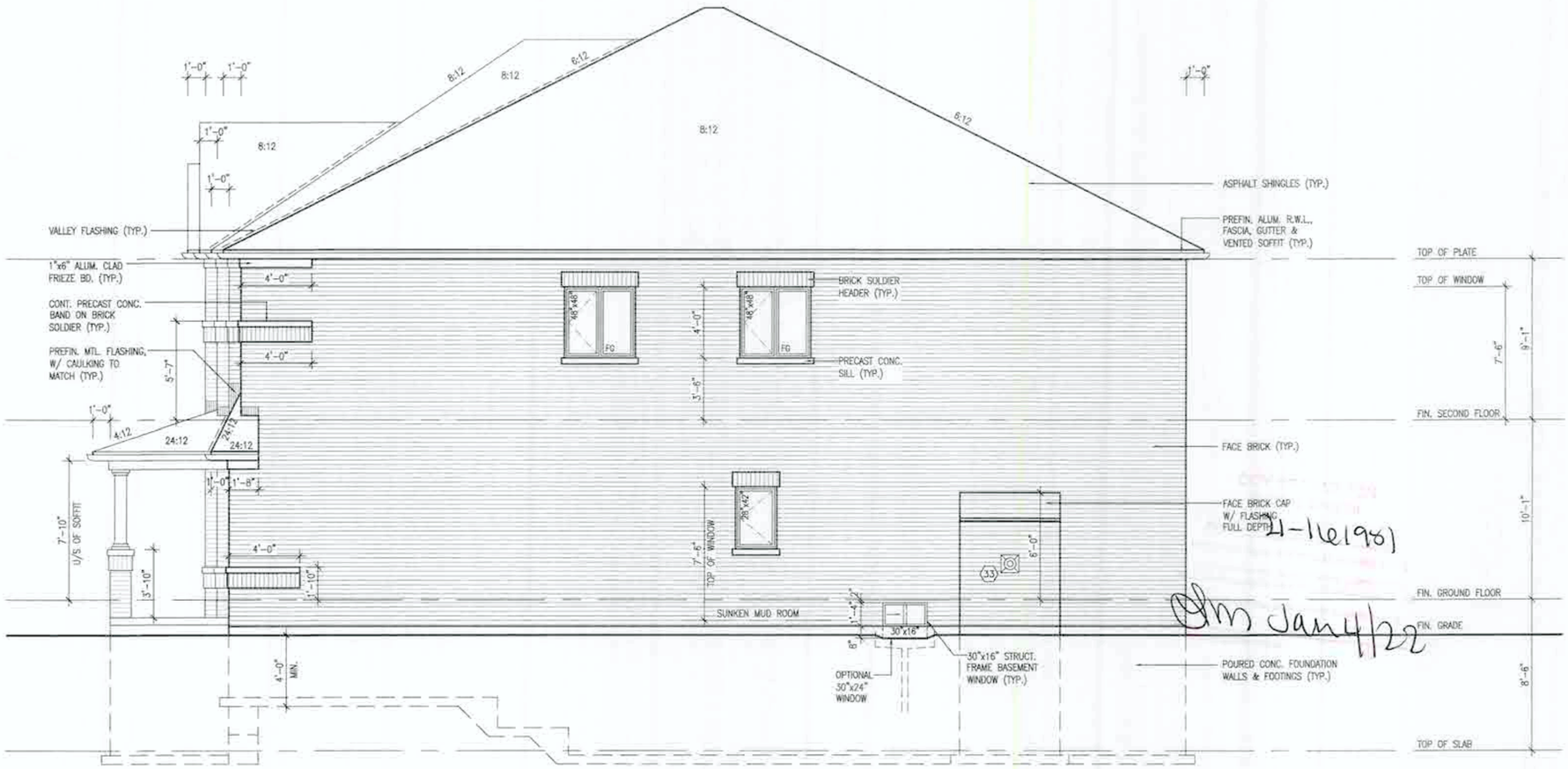
3601 SF.



21-116198

Cm Jan 4/22

RIGHT SIDE ELEVATION – ELEV. '1'

ALLOWABLE GLAZED OPENINGS

WALL AREA	=1059.62 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	=74.17 SQ. FT.
GLAZING PROVIDED	=37.33 SQ. FT.

WITH OPTIONAL 30"x24" BASEMENT WINDOWS

GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS	=38.83 SQ. FT.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL ARCHITECT
NEC APPROVAL
APPROVED BY:
DATE: AUG 2, 2021
This stamp confirms approval only for compliance with Design Guidelines for any aspect of house presented. Incomplete

SPRINGFIELD 3S
COMPLIANCE PACKAGE 'A1'

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3	ISSUED FOR PERMIT	MAY 21/21	CW
2	REV. PER CLIENT/ROOF/FL/ENG. COMMENTS	MAR. 31/21	CW
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW	MAR 12/21	CW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer
qualification information
name: Richard Vink signature: R Vink
registration information: 24468 (BCIN)
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t. 416.630.2255 f. 416.630.4782
va3design.com

Greenpark
project name: RUSSELL GARDENS PH.4
municipality: HAMILTON, ON
SPRINGFIELD 3S
14.30m
project no. 20027
date: JANUARY, 2021
RIGHT SIDE ELEVATION – ELEV. 1
drawn by: CL
checked by: –
scale: 3/16" = 1'-0"
file name: 20027-SPRINGFIELD-3S
drawing no. A7

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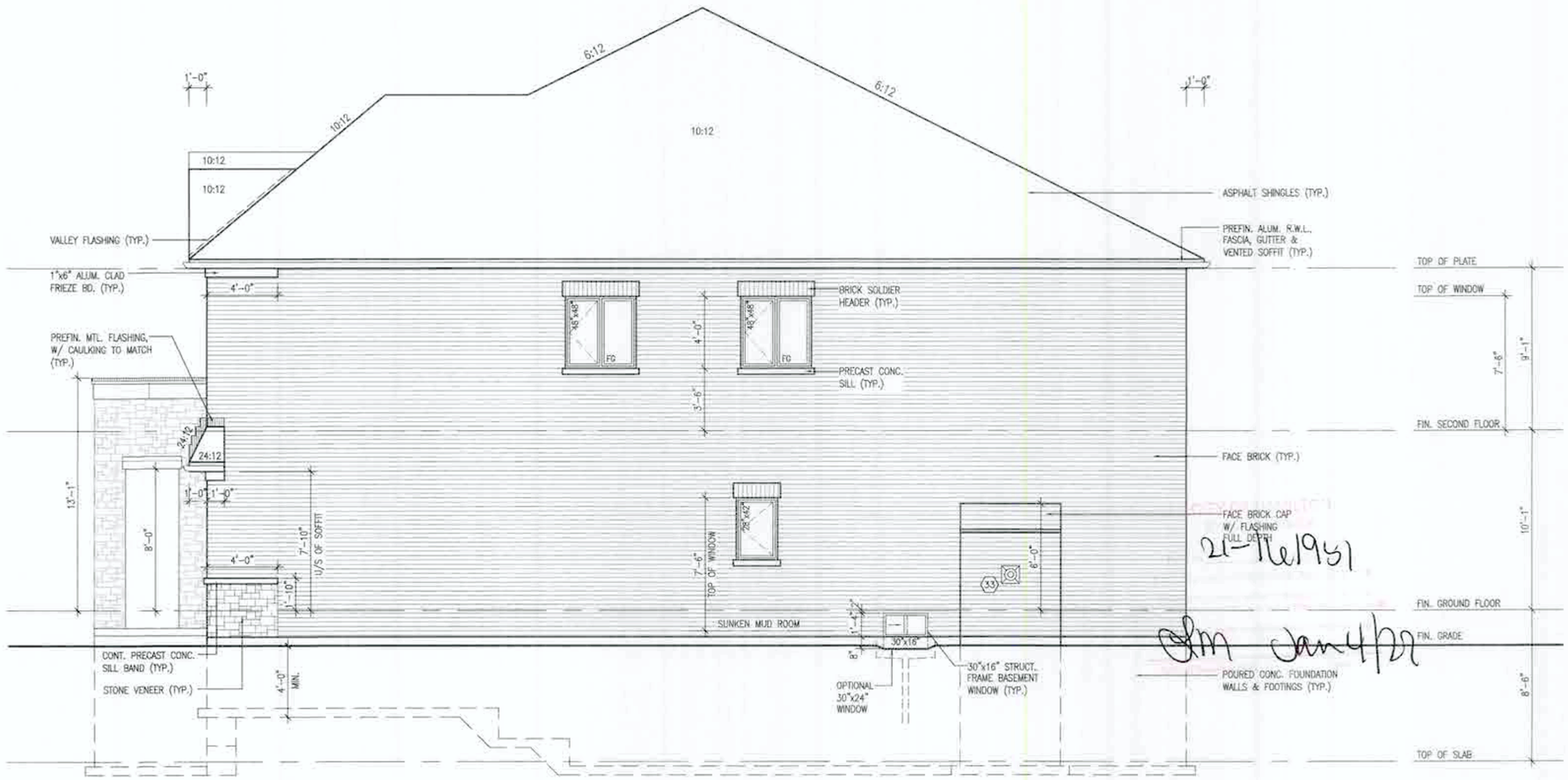

21-116/951

Jan 4/22

RIGHT SIDE ELEVATION – ELEV. '2'

ALLOWABLE GLAZED OPENINGS
WALL AREA =1079.78 SQ. FT.
LIMITING DISTANCE 1.2 M (7%)
GLAZING ALLOWED =75.58 SQ. FT.
GLAZING PROVIDED =37.33 SQ. FT.

WITH OPTIONAL 30"x24" BASEMENT WINDOWS
GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS =38.83 SQ. FT.

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE AUG 17 2021
This stamp denotes compliance with the approved Design Guidelines only, and does not imply compliance to Building Code.

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3	ISSUED FOR PERMIT.	MAY 21/21	GW
2	REV. PER CLIENT/ROOF/FL./ENG. COMMENTS.	MAR. 31/21	GW
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	MAR. 12/21	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink — signature — 24488
name — registration information — ZON
VA3 Design Inc. — 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

SPRINGFIELD 3S
14.30m

project name: RUSSELL GARDENS PH.4
municipality: HAMILTON, ON
project no.: 20027
date: JANUARY, 2021
RIGHT SIDE ELEVATION – ELEV. 2
drawn by: CL
checked by: –
scale: 3/16" = 1'-0"
file name: 20027-SPRINGFIELD-3S
drawing no.: A7a

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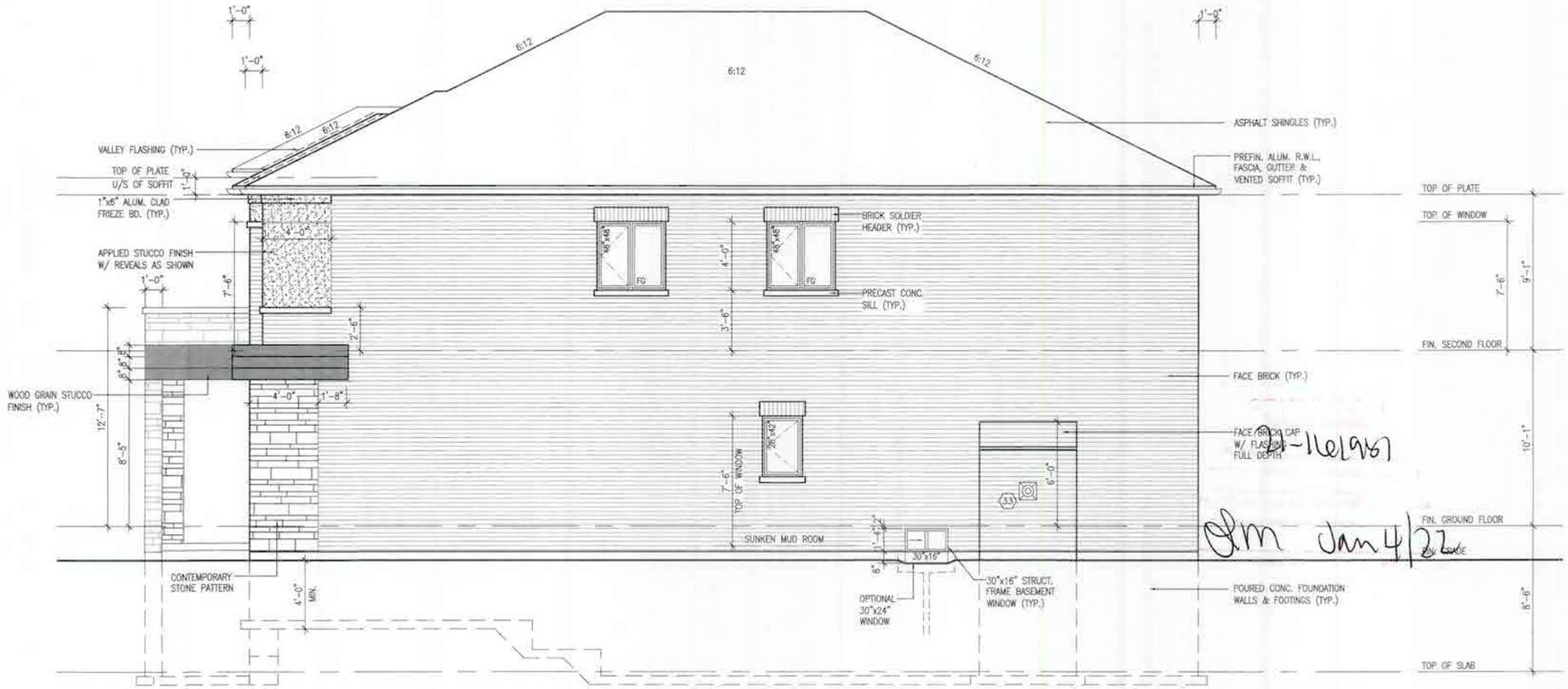
SPRINGFIELD 3S
COMPLIANCE PACKAGE 'A1'

3601 SF.



-116/957

Jan 4/22

RIGHT SIDE ELEVATION – ELEV. '3'

ALLOWABLE GLAZED OPENINGS

WALL AREA	=1074.74 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	=75.23 SQ. FT.
GLAZING PROVIDED	=37.33 SQ. FT.

WITH OPTIONAL 30"x24" BASEMENT WINDOWS

GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS	=38.83 SQ. FT.

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL BUILDER
DAR APPROVAL
AUTHORIZED BY
DATE AUG. 17, 2021
This plan conforms with the applicable Design Guidelines only and bears no other professional responsibility

SPRINGFIELD 3S
COMPLIANCE PACKAGE 'A1'

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3	ISSUED FOR PERMIT.	MAY. 21/21	GW
2	REV. PER CLIENT/ROOF/FL/ENG. COMMENTS.	MAR. 31/21	GW
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	MAR. 12/21	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink — signature — 24468
name — registration information — OCIA
VA3 Design Inc. — 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name	RUSSELL GARDENS PH.4
municipality	HAMILTON, ON
SPRINGFIELD 3S	14.30m
project no.	20027
date	JANUARY, 2021
drawn by	CL
checked by	–
scale	3/16" = 1'-0"
file name	20027-SPRINGFIELD-3S
drawing no.	A7b

RIGHT SIDE ELEVATION – ELEV. 3

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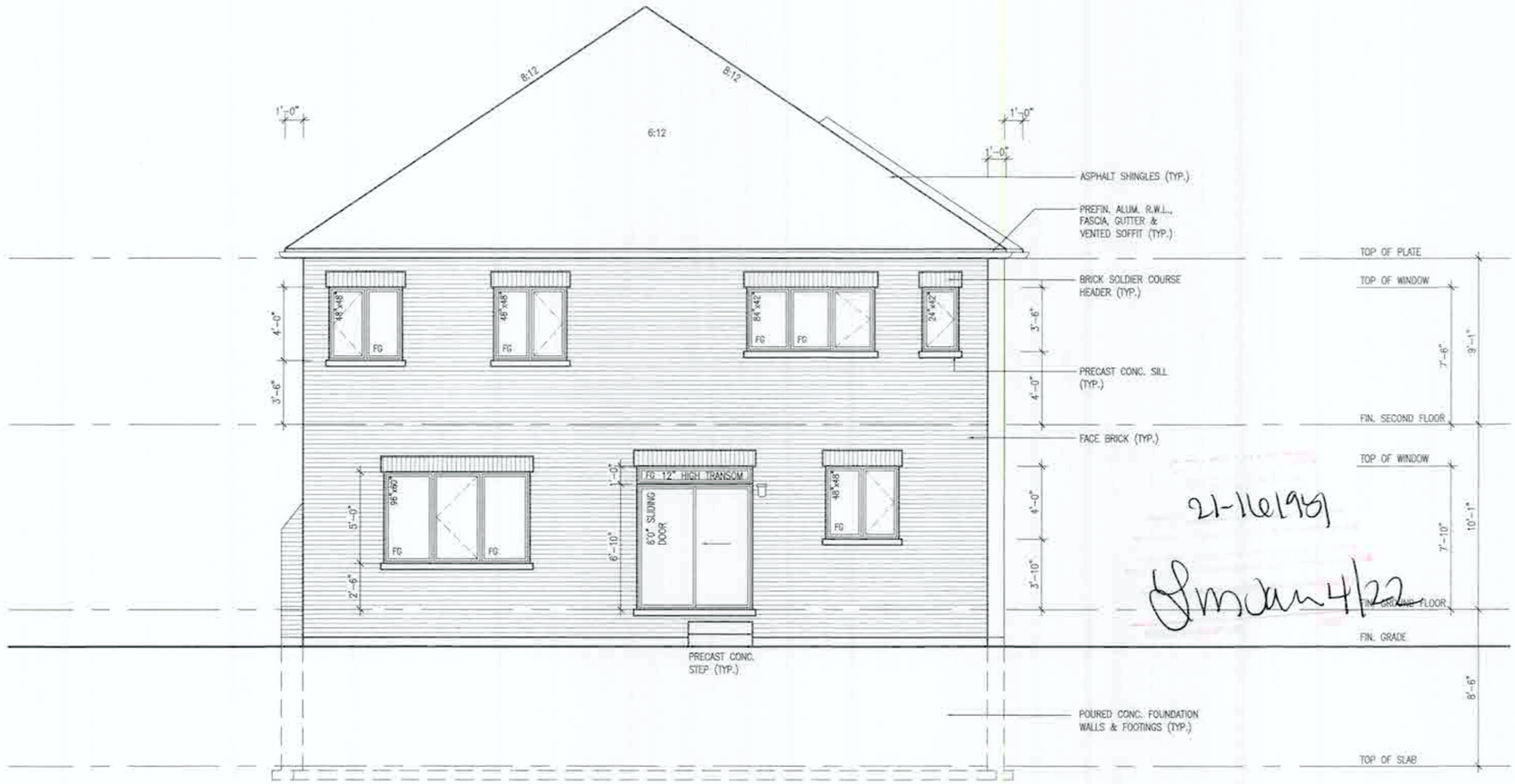
3601 SF.



21-161989
Gmcan 4/22

REAR ELEVATION – ELEV. '1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL ACCESS
DESIGNATION
APPROVED BY:
DATE AUG 27 2021
THIS PLAN CONFORMS WITH THE APPLICABLE DESIGN GUIDELINES APPLICABLE TO THIS ARCHITECTURAL CONTROL ACCESS

SPRINGFIELD 3S
COMPLIANCE PACKAGE 'A1'

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3	ISSUED FOR PERMIT.	MAY 21/21	GW
2	REV. PER CLIENT/ROOF/FL/ENG. COMMENTS	MAR. 31/21	GW
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW	MAR. 12/21	GW

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer:
qualification information
Richard Vink 24488
name signature registration
registration information
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
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Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name: RUSSELL GARDENS PH.4
municipality: HAMILTON, ON
SPRINGFIELD 3S
14.30m
project no. 20027
date: JANUARY, 2021
REAR ELEVATION – ELEV. 1
drawn by: CL
checked by: –
scale: 3/16" = 1'-0"
file name: 20027-SPRINGFIELD-3S
drawing no. A8

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3601 SF.

REAR ELEVATION – ELEV. '2'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN E. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL AUDITOR
AND APPROVAL

DATE: July 7, 2021

SPRINGFIELD 3S
COMPLIANCE PACKAGE 'A1'

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12				3	ISSUED FOR PERMIT.	MAY 21/21	GW
11				2	REV. PER CLIENT/ROOF/FL/ENG. COMMENTS	MAR. 31/21	GW
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	MAR 12/21	GW

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information: Richard Vink
signature: R Vink
name: RCDN
registration information: VA3 Design Inc.
42635

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

SPRINGFIELD 3S
14.30m

project name: RUSSELL GARDENS PH.4
municipality: HAMILTON, ON
project no.: 20027
date: JANUARY, 2021
REAR ELEVATION – ELEV. 2
drawn by: CL
checked by: –
scale: 3/16" = 1'-0"
file name: 20027-SPRINGFIELD-3S
drawing no.: A8a

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3601 SF.

REAR ELEVATION – ELEV. '3'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions to the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL DESIGN
ARCHITECTURAL CONTROL ARCHITECT
AUTHORIZED BY
DATE AUG 27 2020
This stamp certifies compliance with the applicable design guidelines as of the date it is affixed and does not certify compliance thereafter.

SPRINGFIELD 3S
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3	ISSUED FOR PERMIT.	MAY 21/21	GW
2	REV. PER CLIENT/ROOF/FL./ENG. COMMENTS	MAR. 31/21	GW
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	MAR 12/21	GW

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
name: Richard Vink
registration information: VA3 Design Inc.
signature: R Vink
BCIN 24488
42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark

SPRINGFIELD 3S
14.30m

project name: RUSSELL GARDENS PH.4
municipality: HAMILTON, ON
project no. 20027
date: JANUARY, 2021
REAR ELEVATION – ELEV. 3
drawn by: CL
checked by: –
scale: 3/16" = 1'-0"
file name: 20027-SPRINGFIELD-3S
drawing no. A8b

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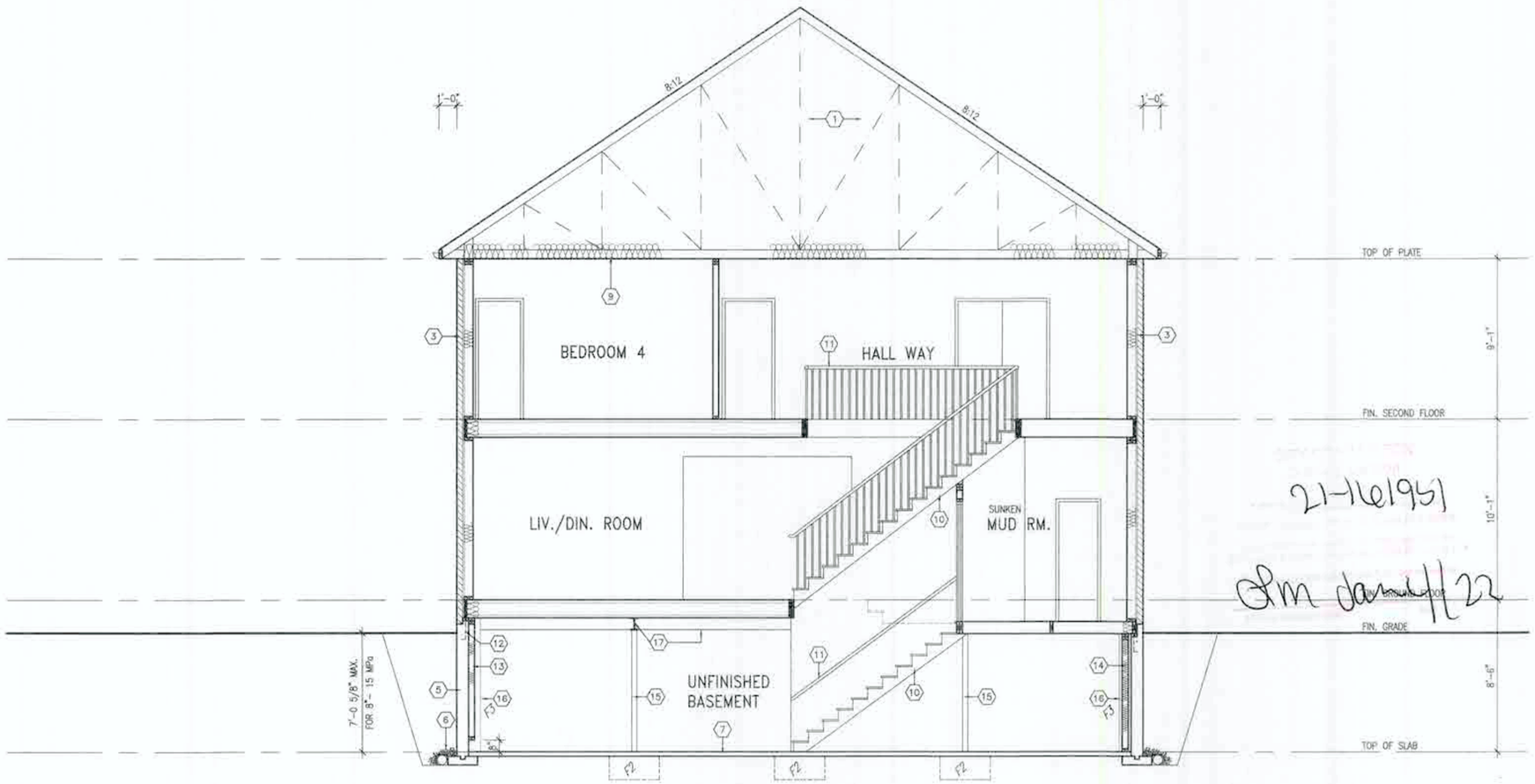

21-161951

Gm January 4/22

SECTION A-A ELEVATION '1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

MAY 6/2021

STRUDET INC.
FOR STRUCTURE ONLY

SPRINGFIELD 3S
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3	ISSUED FOR PERMIT	MAY 21/21	CW
2	REV. PER CLIENT/ROOF/FL/ENG. COMMENTS	MAR. 31/21	CW
1	PRELIMINARY ISSUED FOR CLIENT REVIEW	MAR. 12/21	CW

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink — R Vink — signature — 24488 BCIN
registration information
VA3 Design Inc. — 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name: RUSSELL GARDENS PH.4	municipality: HAMILTON, ON
project no.: 20027	SPRINGFIELD 3S 15.24m
date: JANUARY, 2021	SECTION A-A - ELEV. 1
drawn by: CL	checked by: –
scale: 3/16" = 1'-0"	file name: 20027-SPRINGFIELD-3S
drawing no.: A9	

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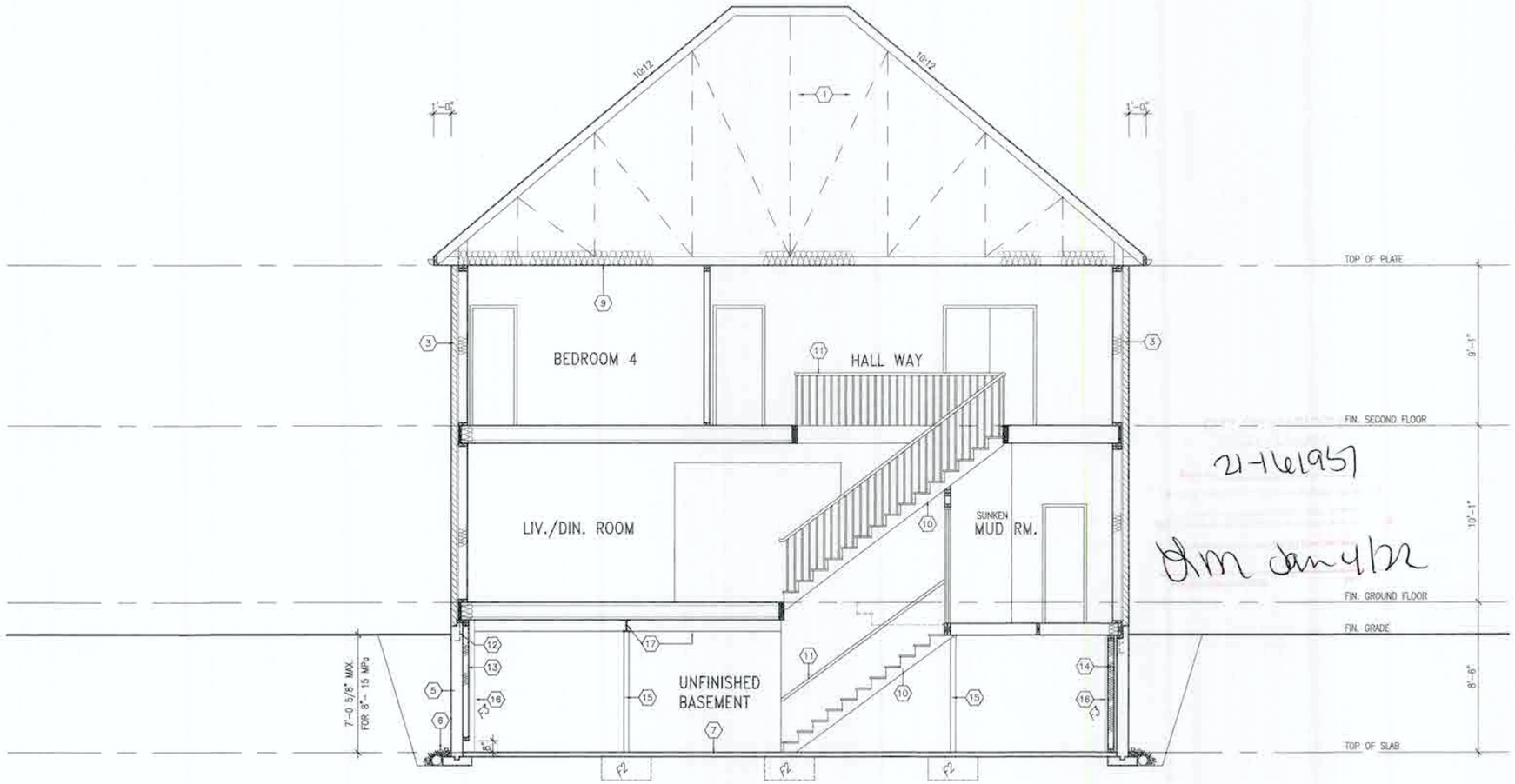
3601 SF.



21-161957

Dm Jan 4/22

SECTION A-A ELEVATION '2'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

MAY 28/2021

STRUDET INC.
FOR STRUCTURE ONLY

SPRINGFIELD 3S
COMPLIANCE PACKAGE 'A1'

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3	ISSUED FOR PERMIT	MAY 21/21	GW
2	REV. PER CLIENT/ROOF/FL./ENG. COMMENTS	MAR. 31/21	GW
1	PRELIMINARY ISSUED FOR CLIENT REVIEW	MAR 12/21	GW

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink — signature — 24488
name — BCIN
registration information
VA3 Design Inc. — 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.830.2255 f 416.630.4782
va3design.com

Greenpark

project name: RUSSELL GARDENS PH.4	municipality: HAMILTON, ON
project no.: 20027	SPRINGFIELD 3S 14.30m
date: JANUARY, 2021	SECTION A-A - ELEV. 2
drawn by: CL	checked by: —
scale: 3/16" = 1'-0"	file name: 20027-SPRINGFIELD-3S
drawing no.: A9a	

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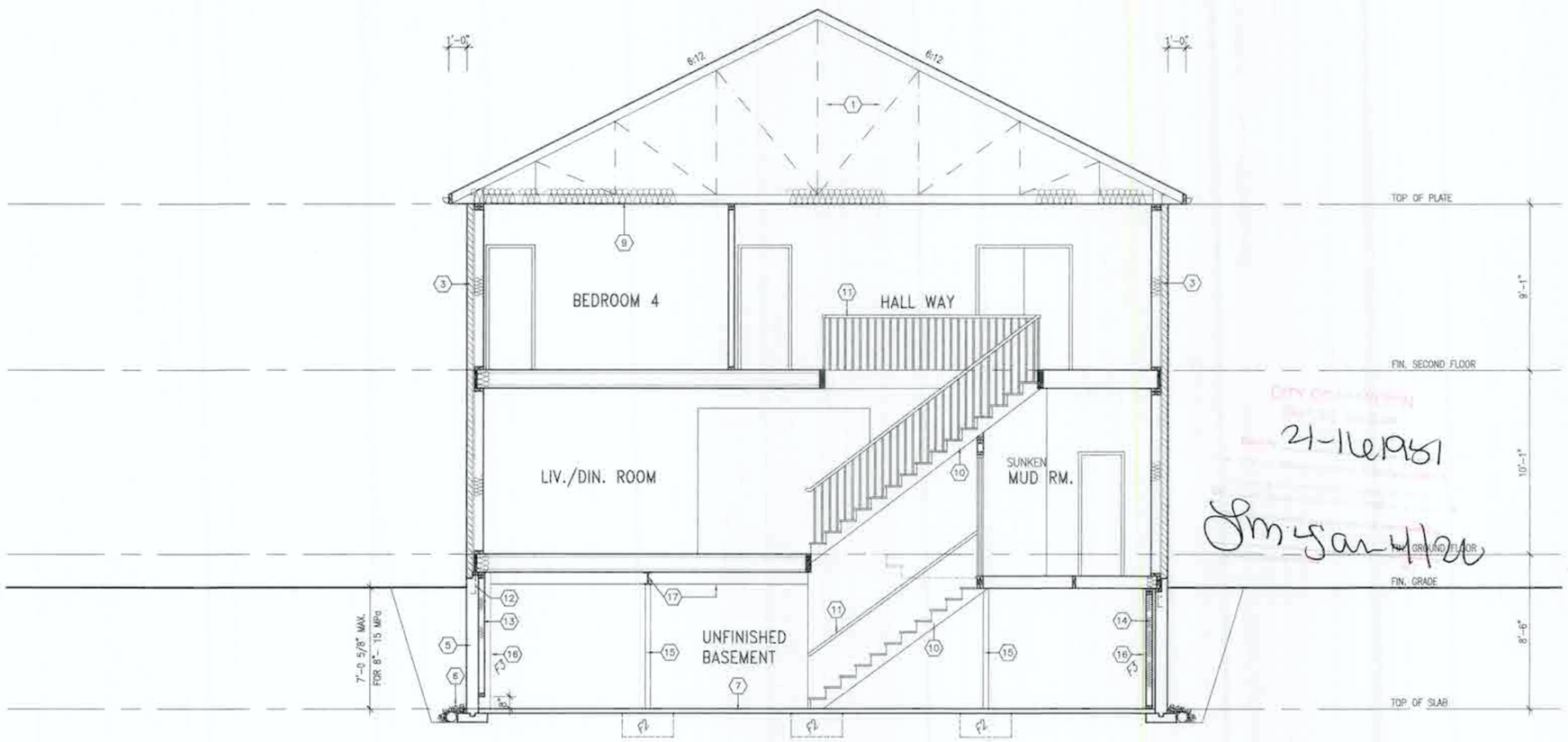
3601 SF.



SECTION A-A ELEVATION '3'

21-116951

Jm 4 Jan 4/21

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

MAY 26/2021

STRUDET INC.
FOR STRUCTURE ONLY

SPRINGFIELD 3S
COMPLIANCE PACKAGE 'A1'

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3	ISSUED FOR PERMIT.	MAY 21/21	GW
2	REV. PER CLIENT/ROOF/FL./ENG. COMMENTS	MAR. 31/21	GW
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	MAR. 12/21	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink — signature R Vink — 24458 OCN

registration information
VA3 Design Inc. — 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name: RUSSELL GARDENS PH.4
municipality: HAMILTON, ON

SPRINGFIELD 3S
14.30m

project no: 20027

date: JANUARY, 2021
drawing title: SECTION A-A - ELEV. 3
drawn by: CL
checked by: -
scale: 3/16" = 1'-0"
file name: 20027-SPRINGFIELD-3S
drawing no.: A9b

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3601 SF.

REFER TO STANDARD BASEMENT PLAN FOR WINDOWS THAT MAY BE ELIMINATED WITH UPGRADED REAR WINDOWS OF DECK CONDITION.

NOTE:
REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

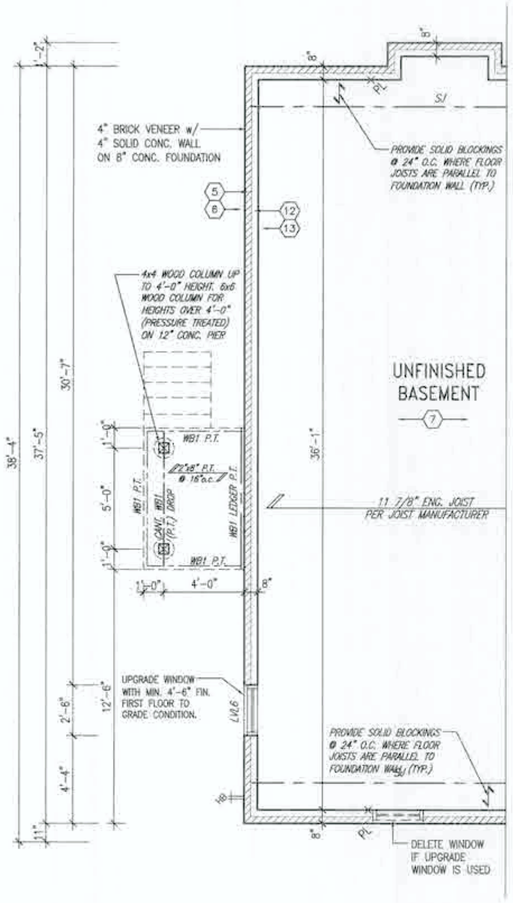
PLANS AND ELEVATION ILLUSTRATE DECK CONDITIONS WHERE GRADE PERMITS . BASEMENT WINDOWS APPLY TO CONDITIONS OF A MINIMUM 4'-6" FROM FINISHED FIRST FLOOR TO GRADE.

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

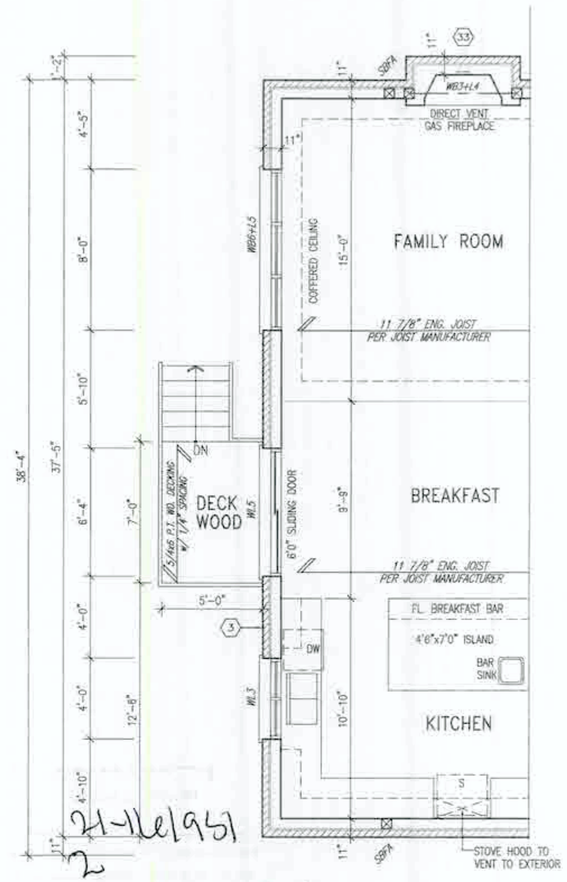
WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 5) FOR ADDITIONAL WOOD DECK INFORMATION.

BASEMENT WALL INSULATION (TYP) 13
-6" (R20) CONTINUOUS BLANKET INSULATION. INSULATION UNINTERRUPTED BY FRAMING

BASEMENT INSULATION AT STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.



PARTIAL BASEMENT PLAN
DECK CONDITION



21-116/951
2
Sm Jan 4/22

PARTIAL GROUND FLOOR PLAN
DECK CONDITION

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

DONALD WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL SUPERVISOR
AND APPROVING
APPROVED BY
DATE AUG 17 2021
THIS PLAN CONFORMS WITH THE APPROVED DESIGN GUIDELINES FOR THE ABOVE MENTIONED SUBDIVISION

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
MAY 28/2021
STRUDET INC.
FOR STRUCTURE ONLY

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3	ISSUED FOR PERMIT.	MAY. 21/21	GW
2	REV. PER CLIENT/ROOF/FL./ENG. COMMENTS	MAR. 31/21	GW
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	MAR. 12/21	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
name signature BCIN
registration information
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Centurnera Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

SPRINGFIELD 3S
14.30m

project name: RUSSELL GARDENS PH.4
municipality: HAMILTON, ON
project no. 20027
date: JANUARY, 2021
PART. PLANS W.O.D. CONDITION
drawn by: CL
checked by: —
scale: 3/16" = 1'-0"
file name: 20027-SPRINGFIELD-3S
drawing no. A10

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SPRINGFIELD 3S
COMPLIANCE PACKAGE 'A1'

3601 SF.

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE THAN 5'-11" ABOVE FINISHED GRADE AND 3'-0" HIGH RAILING WHEN LANDING IS LESS THAN 5'-11" ABOVE ADJACENT FINISHED GRADE.

REAR ELEVATION – ELEV. '1' W.O.D

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL GUIDE
AND APPROVED
DATE AUG 27 2021

SPRINGFIELD 3S
COMPLIANCE PACKAGE 'A1'

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qualification information
name: Richard Vink
signature: R Vink
BCIN: 24488
registration information
firm: VA3 Design Inc.
BCIN: 42858
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255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t. 416.630.2255 f. 416.630.4782
va3design.com

Greenpark.

project name: RUSSELL GARDENS PH.4	municipality: HAMILTON, ON
SPRINGFIELD 3S 14.30m	project no. 20027
date: JANUARY, 2021	REAR ELEVATION W.O.D. – ELEV. 1
drawn by: CL	checked by: –
scale: 3/16" = 1'-0"	file name: 20027-SPRINGFIELD-3S
drawing no. A11	

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3601 SF.

21-161951

Jan 4/21

EXTERIOR RAILINGS:
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REAR ELEVATION – ELEV. '2' W.O.D

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL ARCHITECT
APPROVED BY:
DATE: AUG 17, 2021

SPRINGFIELD 3S
COMPLIANCE PACKAGE 'A1'

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qualification information
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name — registration information — BCIN
VA3 Design Inc. — 42658

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t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name: RUSSELL GARDENS PH.4
municipality: HAMILTON, ON
SPRINGFIELD 3S
14.30m
project no.: 20027
date: JANUARY, 2021
REAR ELEVATION W.O.D. – ELEV. 2
drawn by: CL
checked by: –
scale: 3/16" = 1'-0"
file name: 20027-SPRINGFIELD-3S
drawing no.: A11a

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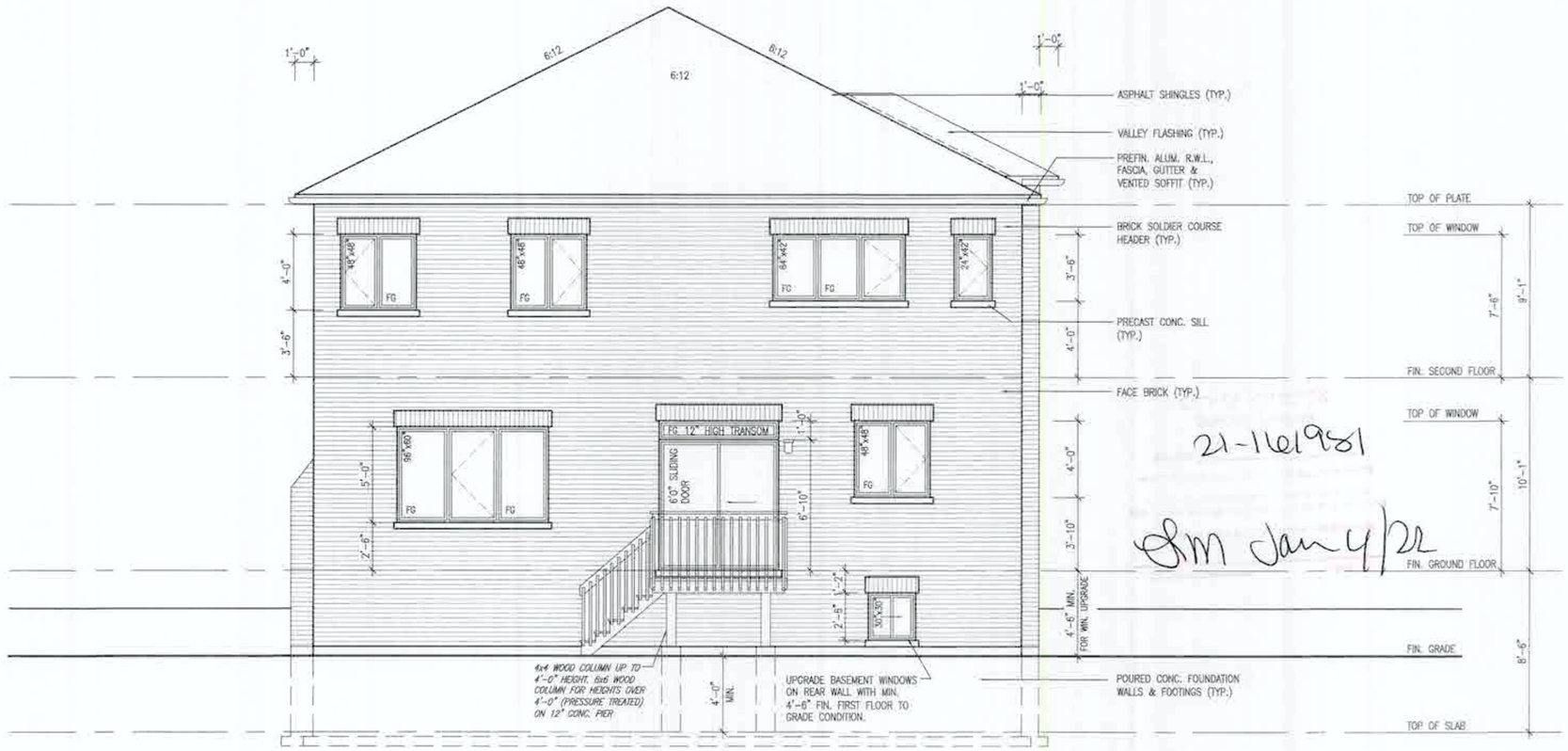
3601 SF.



21-161981

Sm Jan 4/22

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE THAN 5'-11" ABOVE FINISHED GRADE AND 3'-0" HIGH RAILING WHEN LANDING IS LESS THAN 5'-11" ABOVE ADJACENT FINISHED GRADE.

REAR ELEVATION – ELEV. '3' W.O.D

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
SIGNED BY
DATE AUG 17 2021
THE USING WITH COMPONENTS WITH THE APPLICABLE DESIGN GUIDELINES IS ACCEPTABLE ARCHITECTURAL CONTROL ARCHITECT

SPRINGFIELD 3S
COMPLIANCE PACKAGE 'A1'

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qualification information
Richard Vink
name signature BCIN
registration information
VA3 Design Inc. 42658

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VA3 DESIGN
255 Centennial Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

SPRINGFIELD 3S
14.30m

project name: RUSSELL GARDENS PH.4
municipality: HAMILTON, ON
project no. 20027
date: JANUARY, 2021
REAR ELEVATION W.O.D. – ELEV. 3
drawn by: CL
checked by: –
scale: 3/16" = 1'-0"
file name: 20027-SPRINGFIELD-3S
drawing no. A11b

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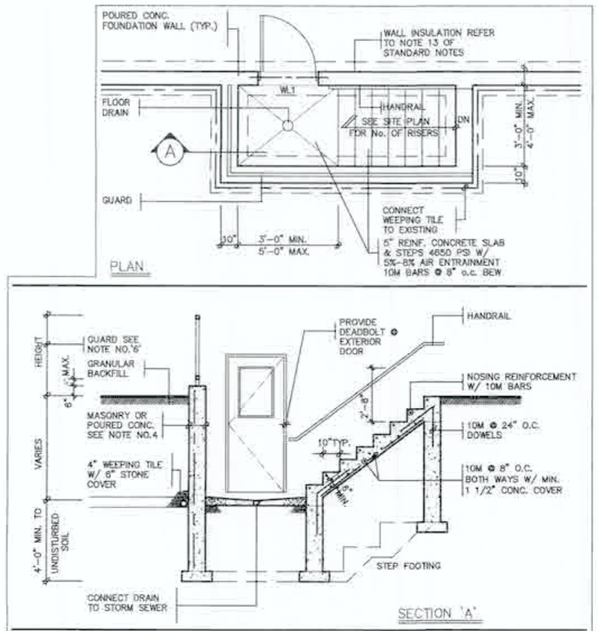


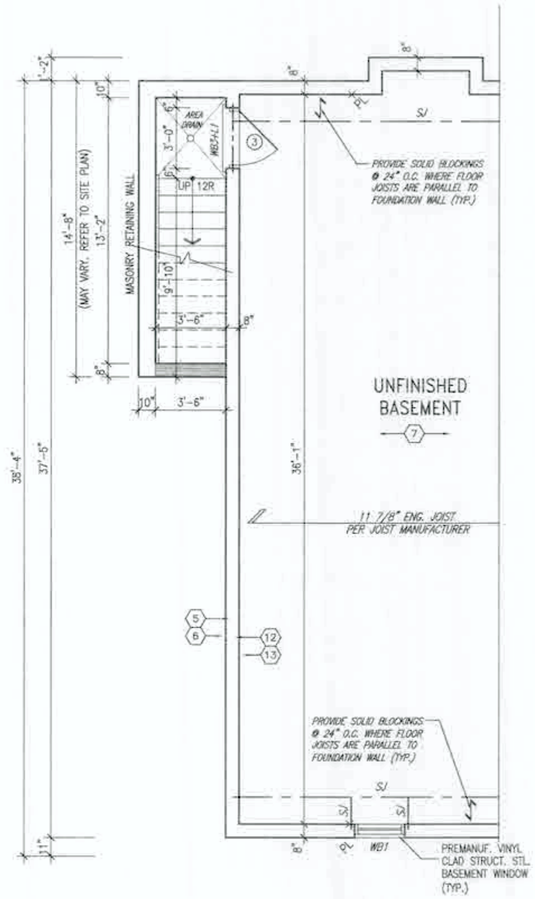
GENERAL NOTES

1. FOOTINGS
   24"x8" POURED CONCRETE FOOTING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL
2. CONCRETE
   MINIMUM COMPRESSIVE STRENGTH OF (32MPa) 4650 PSI @ 28 DAYS W/ 5% TO 8% AIR ENTRAINMENT
3. EXTERIOR STAIRS
   7 7/8" RISE MAXIMUM 4 7/8" MINIMUM
   8 1/4" RUN MINIMUM 14" MAXIMUM
   9 1/4" TREAD MINIMUM 14" MAXIMUM
4. INSULATION
   FOR INSULATION VALUE & VAPOUR BARRIER LOCATION, REFER TO NOTE 13 OF STANDARD NOTES.
5. RETAINING WALL
   10" POURED CONCRETE W/ NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 4'-7". PROVIDE 15M VERTICAL REINFORCEMENT @ 16" O.C. & 15M HORIZONTAL REINFORCEMENT @ 24" o.c. FOR WALL HEIGHTS FROM 4'-8" TO 7'-0". 15M HORIZONTAL EACH FACE @ 16" o.c. & 15M VERTICAL EACH FACE @ 12" o.c. FOR WALL HEIGHTS FROM 7'-0" TO 8'-6". WALL TO RESIST LATERAL DESIGN LOADS AS PER OBC DIVISION B SECTION 4.1.5.16.
6. GUARDS
   3'-6" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11", 2'-11" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS

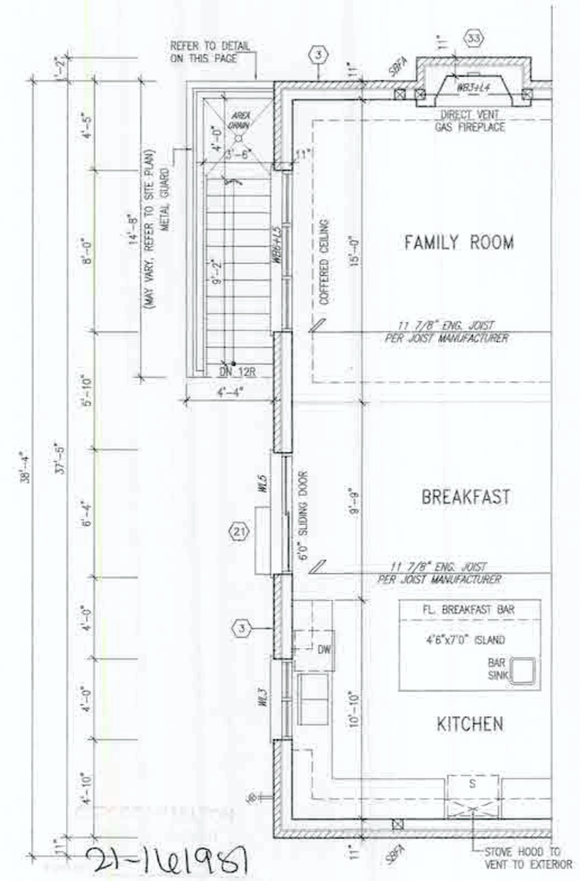
MARCH 2021

BASEMENT WALK-UP
PLAN, SECTION & NOTES

SCALE: N.T.S.



PARTIAL BASEMENT PLAN
w/ OPT. WALK-UP STAIRS



21-161981

Jan 4/21

PARTIAL GROUND FLOOR PLAN
w/ OPT. WALK-UP STAIRS

NOTE:
REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

BASEMENT WALL INSULATION (TYP) (13)
-6" (R20) CONTINUOUS BLANKET INSULATION, INSULATION UNINTERRUPTED BY FRAMING

BASEMENT INSULATION AT STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE AUG 27, 2021
This stamp denotes compliance with the applicable Design Guidelines only and is not a further Development Approval

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
MAY 26/2021
PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

CITY OF HAMILTON
BUILDING DIVISION
PLAN EXAMINER
JAN 18 2021

SPRINGFIELD 3S
COMPLIANCE PACKAGE 'A1'

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qualification information
Richard Vink — 24488
name — signature — BCIN
registration information
VA3 Design Inc. — 42858
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VA3 DESIGN
255 Centurian Rd Suite 120
Toronto ON M2J 1R4
t. 416.630.2255 f. 416.630.4782
va3design.com

Greenpark.

project name	RUSSELL GARDENS PH.4
municipality	HAMILTON, ON
SPRINGFIELD 3S	14.30m
project no.	20027
date	JANUARY, 2021
drawn by	CL
checked by	–
scale	3/16" = 1'-0"
PART. PLANS WALK-UP CONDITION	
file name	20027-SPRINGFIELD-3S
drawing no.	A12

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3601 SF.

21-161957

Sm Jan 4/22

REAR ELEVATION – ELEV. '1'
WALK-UP STAIRS

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

OCT 16 2021

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY:
DATE: AUG 27 2021
Final plans, lotting plans must be approved
Design Guidelines and been the Author
Compliance responsibility

SPRINGFIELD 3S
COMPLIANCE PACKAGE 'A1'

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qualification information
Richard Vink — signature — 24488
name — OCIA
registration information
VA3 Design Inc. — 42658

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Greenpark

project name	RUSSELL GARDENS PH.4
municipality	HAMILTON, ON
project no.	20027
SPRINGFIELD 3S	14.30m
date	JANUARY, 2021
REAR ELEVATION WALK-UP CONDITION – ELEV. 1	
drawn by	CL
checked by	–
scale	3/16" = 1'-0"
for issue	20027-SPRINGFIELD-3S
drawing no.	A13

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3601 SF.

21-116 1957

REAR ELEVATION WALK-UP STAIRS

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
CSO-07/952/00

APPROVED BY
DATE Aug 27 2021

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va3design.com

Greenpark.

SPRINGFIELD 3S
14.30m

project name: RUSSELL GARDENS PH.4
municipality: HAMILTON, ON
project no.: 20027

title: JANUARY, 2021 — REAR ELEVATION WALK-UP CONDITION - ELEV. 2
drawn by: CL
checked by: -
scale: 3/16" = 1'-0"
file name: 20027-SPRINGFIELD-3S
drawing no.: A13a

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SPRINGFIELD 3S
COMPLIANCE PACKAGE 'A1'

3601 SF.

21-161957

Jan 4/22

REAR ELEVATION – ELEV. '3'
WALK-UP STAIRS

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY
DATE AUG 27, 2021
This stamp applies exclusively with the approved Design Guidelines only and is not a building permit or municipal approval

SPRINGFIELD 3S
COMPLIANCE PACKAGE 'A1'

no.	description	date	by
18			
17			
16			
15			
14			
13			
12			
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10			

no.	description	date	by
9			
8			
7			
6			
5			
4			
3	ISSUED FOR PERMIT.	MAY. 31/21	CW
2	REV. PER CLIENT/ROOF/FL./ENG. COMMENTS	MAR. 31/21	CW
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	MAR. 12/21	CW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
name Richard Vink signature R Vink BCIN 24488
registration information
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

SPRINGFIELD 3S
14.30m

project name: RUSSELL GARDENS PH.4
municipality: HAMILTON, ON
project no. 20027

date: JANUARY, 2021
REAR ELEVATION WALK-UP CONDITION – ELEV. 3
drawn by: CL
checked by: –
scale: 3/16" = 1'-0"
file name: 20027-SPRINGFIELD-3S
drawing no. A13b

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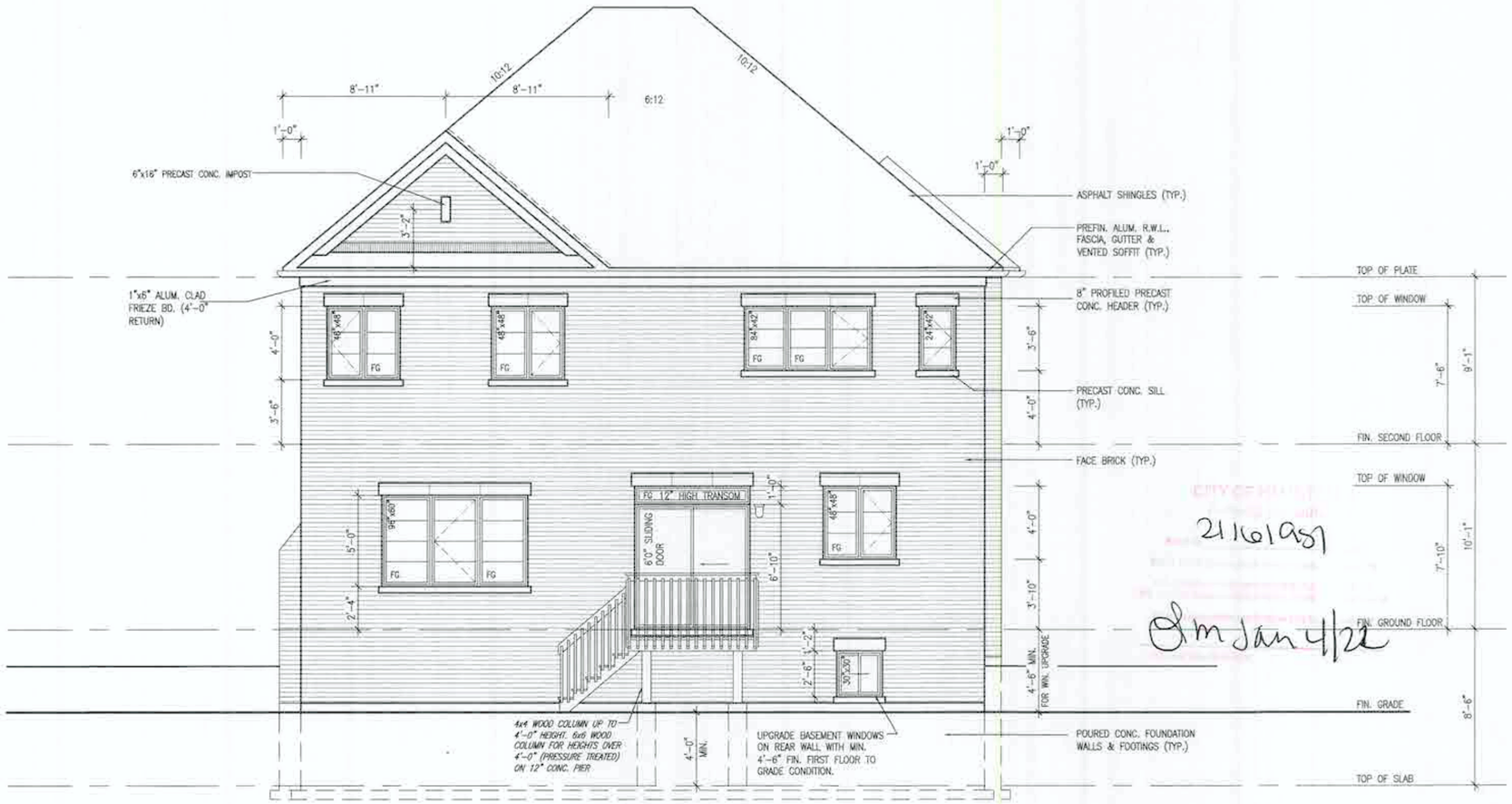
3601 SF.



21161957

Om Jan 4/22

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE THAN 5'-11" ABOVE FINISHED GRADE AND 3'-0" HIGH RAILING WHEN LANDING IS LESS THAN 5'-11" ABOVE ADJACENT FINISHED GRADE.

UPGRADED REAR ELEVATION – ELEV. '2' W.O.D

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JONES D. WEBSTAAR LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY
DATE: SEP 23 2021
This approval applies only to work with respect to applicable Design Guidelines only and based on the information provided.

no.	description	date	by
18			
17			
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no.	description	date	by
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7			
6			
5			
4			
3	ISSUED FOR PERMIT	MAY 21/21	GW
2	REV. PER CLIENT/ROOF/FL./ENG. COMMENTS	MAR. 31/21	GW
1	PRELIMINARY ISSUED FOR CLIENT REVIEW.	MAR. 12/21	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
name: Richard Vink — signature: R Vink
registration information: 24488 — BCIN
VA3 Design inc. — 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

SPRINGFIELD 3S
14.30m

project name: RUSSELL GARDENS PH.4	municipality: HAMILTON, ON
project no: 20027	
date: JANUARY, 2021	UPGRADED REAR ELEV. W.O.D. – ELEV. 2
drawn by: CL	checked by: –
scale: 3/16" = 1'-0"	file name: 20027-SPRINGFIELD-3S
drawing no: A14a	

SPRINGFIELD 3S
COMPLIANCE PACKAGE 'A1'

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