

A circular professional engineer license seal for the Province of Ontario. The outer ring contains the text "LICENSED PROFESSIONAL ENGINEER" at the top and "PROVINCE OF ONTARIO" at the bottom. The center of the seal features the name "N. R. POKHAREL" and the license number "100156322". Above the name is the date "2021-09-09" and below the name is a handwritten signature "N. Pokharel".

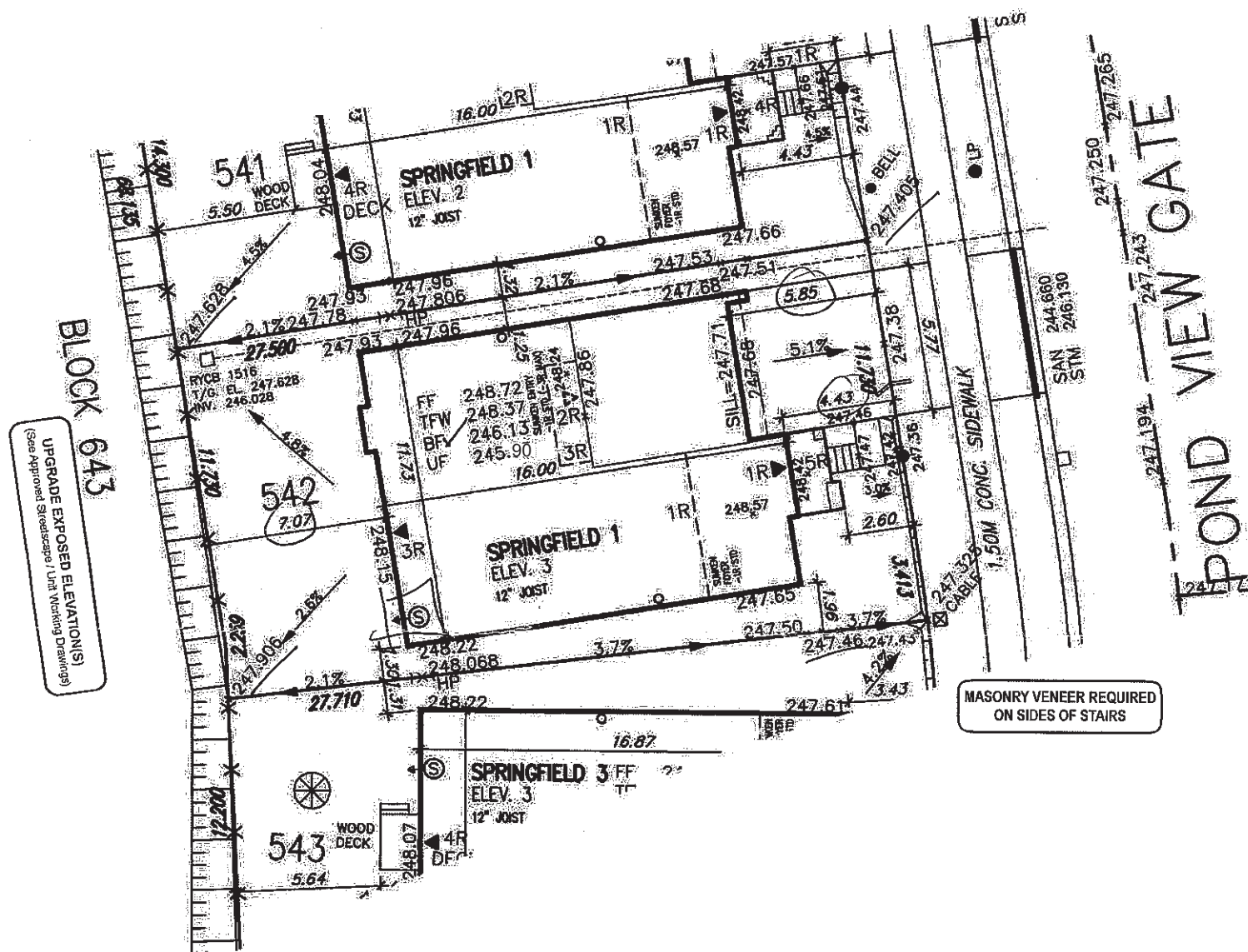
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

APPROVED BY: _____
DATE: SEP 10, 2021

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

NOV 16 2021

RECD BY _____ DATE _____
 _____ DATE _____



Permit No. 21-16736

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS

These drawings and/or specifications have been reviewed by
Carmen Chu Dec 8/21
 FOR CHIEF BUILDING OFFICIAL DATE











LOT 542		
LOT No.	LOT WIDTH (M) (@ 5.8m)	LOT AREA (M ²)
542	14.898	400.75

Grading Notes:
It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

VJ3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to VJ3 Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.










Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

These drawings are to be read in conjunction with municipal approved site engineering drawings prepared by Metropolitan Consulting Inc.

 PROPOSED VALVE
 LIGHT POLE
 WATER SERVICE
 DOUBLE STM/SAN CONNECTION
 SINGLE STM/SAN CONNECTION
 CATCH BASIN
 CABLE TELEVISION PEDESTAL
 BELL PEDESTAL
 HYDRANT
 TRANSFORMER

J	No. OF RISERS
FF	FINISHED FLOOR ELEVATION
MF	FINISHED MAIN LEVEL ELEVATION
UF	UNDERSIDE FOOTING ELEVATION
BF	FIN. BASEMENT FLOOR SLAB
TFW	TOP OF FOUNDATION WALL
UFR	UNDERSIDE FOOTING AT REAR
UFF	UNDERSIDE FOOTING AT FRONT
UFS	UNDERSIDE FOOTING AT SIDE
W.O.D.	WALK OUT DECK
W.O.B.	WALK OUT BASEMENT
REV	REVERSE PLAN

STREET SIGN
MAIL BOX
RETAINING WALL
CHAIN LINK FENCE (SEE LANDSCAPE PLAN)
ACOUSTICAL FENCE (SEE LANDSCAPE PLAN)
WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)
HYDRO-SERVICE LATERAL
HYDRO METER
GAS METER
EMBANKMENT

 PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA.
 OR  THIS LOT CONTAINS ENGINEERED FILL.
 AIR CONDITIONER REQUIRED.
 OR  PANK WATER DOWNSPOUT LOCATION (DISCHARGE OUTTO SPLASHING).
 SIDE WINDOW LOCATION.
 OPT. DOOR LOCATION.
 EXTERIOR DOOR LOCATION.
 INCLUDE SIDE YARD.

VAS Design Inc. 42658
Builder to verify location of all hydrants, street lights, transformers and

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drawn by: GW checked by:

LOT SITING/GRADING

20027-RG4-SITE-LAYOUT

Builder to verify service connection elevations prior to constructing

As shown in Figure 1, the first two steps of the process are the identification of the problem and the selection of the appropriate research design. The third step is the identification of the variables to be studied. The fourth step is the selection of the appropriate statistical test. The fifth step is the collection of data. The sixth step is the analysis of the data. The seventh step is the interpretation of the results. The eighth step is the presentation of the results. The ninth step is the conclusion. The tenth step is the evaluation of the study.