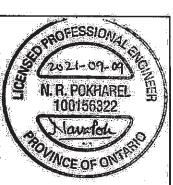
THIS LOT GRADING PLAN HAS BEEN REVIEWED BY METROPOLITAN CONSULTING INC. FOR CONFORMANCE WITH THE APPROVED SUBDIMISION GRADING DESIGN. THE PROPOSED GRADES ON THIS PLAN ARE IN GENERAL CONFORMITY WITH THE APPROVED GRADING PLAN AS IT RELATES TO THIS LOT AND ADJACENT LOTS, WHERE THE BASEMENT FLOOR OR OTHER FOLINDATION ELEVATIONS ARE PROPOSED AT A DIFFERENT ELEVATION THAN THAT SHOWN ON THE APPROVED SUBDIVISION PLANS THE SEWER LATERALS HAVE BEEN REVIEWED AND WE ARE SATISFIED THAT THE MINIMUM GRADES FOR THESE LATERALS CAN BE MAINTAINED IN ACCORDANCE WITH THE REQUIRMENTS OF THE O.B.C. AND CITY DESIGN CRITERIA NOTE, THIS CERTIFICATION DOES NOT REPLACE THE BUILDERS RESPONSIBILITY TO EXPOSE THE SEMER LATERALS AND CONFIRM ELEVATIONS PRIOR TO EXCAVATING FOR THE FOUNDATION, BY USE OF THIS PLAN THE BUILDER AGREES THAT THEY SHALL BE RESPONSIBLE FOR IMMEDIATELY REPORTING TO METROPOLITAN CONSULTING ANY DISCREPANCY OR VARIATION BETWEEN THE LATERAL INFORMATION AND GRADES DEPICTED ON THIS PLAN AND THE CONDITIONS FOUND IN THE FIELD.



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working dawings with respect to any zoning or building code or permit matter or that any house can be properly build or located on its for

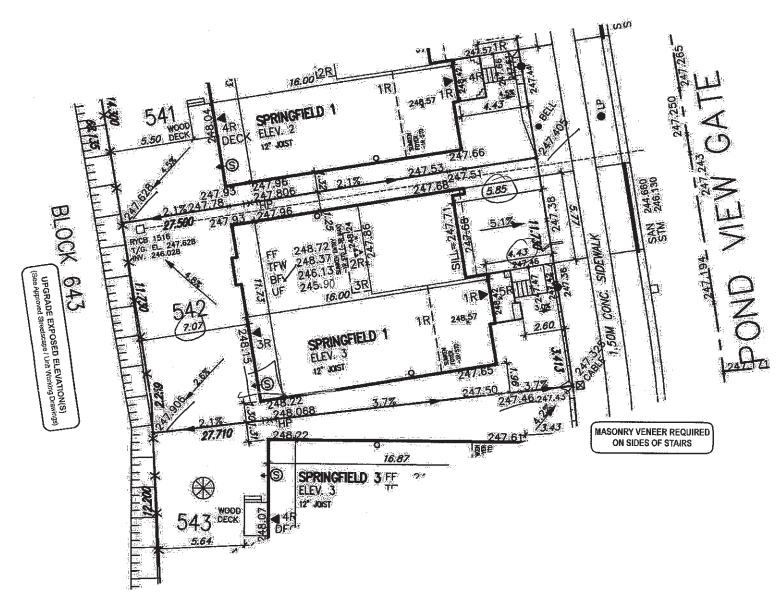
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT DATE: SEP 10, 2021 This stamp certifies compliance with the applicable Design Guidelines only and bears no further

professional responsibility

CITY OF HAMILION BUILDING DIVISION Planning & Davelopment Department

NOV 16 2021



CITY OF HAMILTON **Building Division**

21-16

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

emer Olly FOR CHIEF BUILDING OFFICIAL

date by

1 ISSUED FOR PERMIT.

no. description

	LO	T 542	
	LOT No.	LOT WIDTH (M) (6 5.8m)	AREA (M²)
Ì	542	14.898	400.75

Grading Notes.

It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services of the street are to meet the requirements of the municipality having jurisdiction.

(A3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited Failure to observe these conditions may require expensive remedial action that will not be the responsibility of cost to VA3 Design Inc. Foundation wall shall be poured to a minimum of 6 above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of

These drawings are to be read in conjunction with municipal approved site engineering drawings prepared by Metropolitan Consulting Inc.

20027-RG4-SHE-LAYOUTS

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