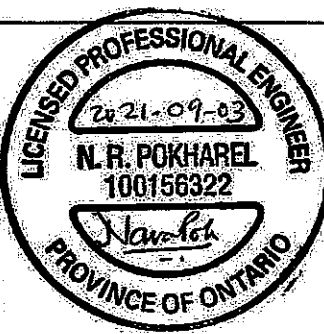


THIS LOT GRADING PLAN HAS BEEN REVIEWED BY METROPOLITAN CONSULTING INC. FOR CONFORMANCE WITH THE APPROVED SUBDIVISION GRADING DESIGN. THE PROPOSED GRADES ON THIS PLAN ARE IN GENERAL CONFORMITY WITH THE APPROVED GRADING PLAN AS IT RELATES TO THIS LOT AND ADJACENT LOTS. WHERE THE BASEMENT FLOOR OR OTHER FOUNDATION ELEVATIONS ARE PROPOSED AT A DIFFERENT ELEVATION THAN THAT SHOWN ON THE APPROVED SUBDIVISION PLANS THE SEWER LATERALS HAVE BEEN REVIEWED AND WE ARE SATISFIED THAT THE MINIMUM GRADES FOR THESE LATERALS CAN BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE O.B.C. AND CITY DESIGN CRITERIA. NOTE: THIS CERTIFICATION DOES NOT REPLACE THE BUILDER'S RESPONSIBILITY TO EXPOSE THE SEWER LATERALS AND CONFIRM ELEVATIONS PRIOR TO EXCAVATING FOR THE FOUNDATION. BY USE OF THIS PLAN THE BUILDER AGREES THAT THEY SHALL BE RESPONSIBLE FOR IMMEDIATELY REPORTING TO METROPOLITAN CONSULTING ANY DISCREPANCY OR VARIATION BETWEEN THE LATERAL INFORMATION AND GRADES DEPICTED ON THIS PLAN AND THE CONDITIONS FOUND IN THE FIELD.



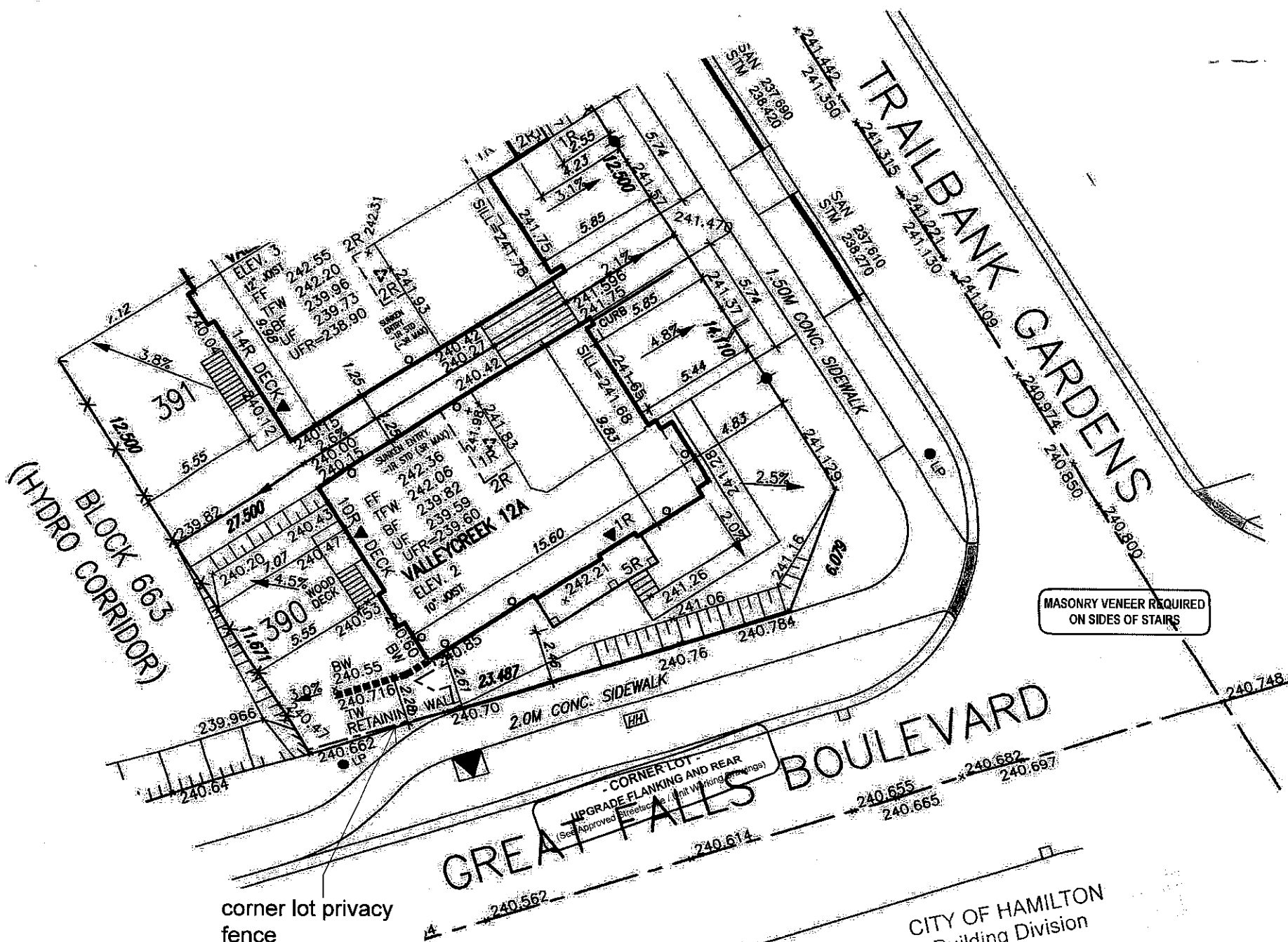
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:   
DATE: SEP 08, 2021

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



MASONRY VENEER REQUIRED  
ON SIDES OF STAIRS

corner lot privacy  
fence

CITY OF HAMILTON  
Building Division

Permit No. 21-154570

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE  
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH  
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by  
DATE Nov 1/21

FOR CHIEF BUILDING OFFICIAL

LOT 390		
LOT No.	LOT WIDTH (M) (@ 5.8m)	LOT AREA (M <sup>2</sup> )
390	17.541	411.17

#### Grading Notes:

It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

VA3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to VA3 Design Inc. Foundation wall shall be poured to a minimum of 5" above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

These drawings are to be read in conjunction with municipal approved site engineering drawings prepared by Metropolitan Consulting Inc.

NOTE: REFER TO LANDSCAPE DRAWINGS FOR ALL FENCING TYPES, HEIGHTS AND LOCATIONS. CONTRACTOR TO VERIFY PRIOR TO INSTALLATION.

<input checked="" type="checkbox"/> PROPOSED VALVE	<input checked="" type="checkbox"/> H. HYDRANT	<input checked="" type="checkbox"/> NO. OF RISERS	<input checked="" type="checkbox"/> STREET SIGN	<input checked="" type="checkbox"/> PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA
<input checked="" type="checkbox"/> LIGHT POLE	<input checked="" type="checkbox"/> TRANSFORMER	<input checked="" type="checkbox"/> FINISHED FLOOR ELEVATION	<input checked="" type="checkbox"/> MAIL BOX	<input checked="" type="checkbox"/> THIS LOT CONTAINS ENGINEERED FILL
<input checked="" type="checkbox"/> WATER SERVICE		<input checked="" type="checkbox"/> FINISHED MAIN LEVEL ELEVATION	<input checked="" type="checkbox"/> RETAINING WALL	<input checked="" type="checkbox"/> AIR CONDITIONER REQUIRED
<input checked="" type="checkbox"/> DOUBLE STM/SWL CONNECTION		<input checked="" type="checkbox"/> UNDERSIDE FOOTING ELEVATION	<input checked="" type="checkbox"/> CHAIN LINK FENCE (SEE LANDSCAPE PLAN)	<input checked="" type="checkbox"/> RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
<input checked="" type="checkbox"/> SINGLE STM/SWL CONNECTION		<input checked="" type="checkbox"/> FIN. BASEMENT FLOOR SLAB	<input checked="" type="checkbox"/> ACQUISITION FENCE (SEE LANDSCAPE PLAN)	<input checked="" type="checkbox"/> SIDE WINDOW LOCATION
<input checked="" type="checkbox"/> CATCH BASIN		<input checked="" type="checkbox"/> TOP OF FOUNDATION WALL	<input checked="" type="checkbox"/> WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)	<input checked="" type="checkbox"/> OPT. DOOR LOCATION
<input checked="" type="checkbox"/> CABLE TELEVISION PEDESTAL		<input checked="" type="checkbox"/> UNDERSIDE FOOTING AT REAR	<input checked="" type="checkbox"/> HYDRO SERVICE LATERAL	<input checked="" type="checkbox"/> EXTERIOR DOOR LOCATION
<input checked="" type="checkbox"/> BELL PEDESTAL		<input checked="" type="checkbox"/> UNDERSIDE FOOTING AT FRONT	<input checked="" type="checkbox"/> HYDRO METER	<input checked="" type="checkbox"/> REDUCE SIDE YARD
		<input checked="" type="checkbox"/> W.O.B. WALK OUT DECK	<input checked="" type="checkbox"/> GAS METER	
		<input checked="" type="checkbox"/> W.O.B. WALK OUT BASEMENT	<input checked="" type="checkbox"/> FIREARMOUNT (SET SLOPE UNLESS OTHERWISE NOTED)	
		<input checked="" type="checkbox"/> REV. REVERSE PLAN		



The undersigned has reviewed and takes responsibility for this design.  
signature  
Richard Vink 24488  
name  
VA3 Design Inc. 42658  
Builder to verify location of all hydrants, street lights, transformers and other services. If minimum dimensions are not maintained, builder is liable at his own expense.  
Builder to verify service connection elevations prior to constructing foundations. (Drawings NOT to be scaled)

**VA3 DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
416.630.2255 / 416.630.4782  
va3design.com

**Greenpark**  
project name  
RUSSELL GARDENS PHASE 4  
municipality  
HAMILTON  
date  
JUL 2021  
checked by  
scale  
1:250  
drawing no.  
20027-RG4-SITE-LAYOUTS  
GREG - H:\ARCHIVE\WORKING\2020\20027 GREY SITE PLAN\20027-RG4-SITE-LAYOUTS.dwg - Fri Aug 27, 2021 - 8:45 AM

lot/block no.  
390  
registered plan no.  
62M-1266  
project no.  
20027  
drawing no.  
1