

2742 SF.

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.
FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW PARTY WALLS.
(REFER TO ENGINEER FILL FOOTING DETAIL)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa
FOR ENGINEERED FILL TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa, NATIVE SOIL

90 KPa, ENGINEERED FILL SOIL

F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10"
POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
FLAT WORK) TO BE 32 MPa, WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

WL1 = 3-1/2" x 3-1/2" x 1/4" L (90x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4" x 3-1/2" x 5/16" L (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6" x 3-1/2" x 3/8" L (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6" x 4" x 3/8" L (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 3-2"x12" SPR. No.2
WL8 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 3-2"x10" SPR. No.2
WL9 = 6" x 4" x 3/8" L (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 = 2-2"x8" (2-38x184) SPR. No.2
WB2 = 3-2"x8" (3-38x184) SPR. No.2
WB3 = 2-2"x10" (2-38x235) SPR. No.2
WB4 = 3-2"x10" (3-38x235) SPR. No.2
WB5 = 2-2"x12" (2-38x286) SPR. No.2
WB6 = 3-2"x12" (3-38x286) SPR. No.2
WB7 = 5-2"x12" (5-38x286) SPR. No.2
WB11 = 4-2"x10" (4-38x235) SPR. No.2
WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)

LOOSE STEEL LINTELS (L)

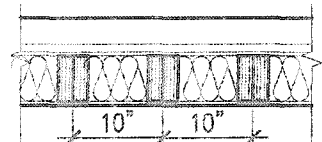
L1 = 3-1/2" x 3-1/2" x 1/4" L (90x90x6.0L)
L2 = 4" x 3-1/2" x 5/16" L (100x90x8.0L)
L3 = 5" x 3-1/2" x 5/16" L (125x90x8.0L)
L4 = 6" x 3-1/2" x 3/8" L (150x90x10.0L)
L5 = 6" x 4" x 3/8" L (150x100x10.0L)
L6 = 7" x 4" x 3/8" L (180x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-0" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1a	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
2	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
3	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
4	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

TWO STOREY HEIGHT WALL DETAIL

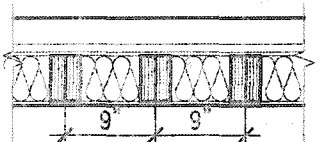
2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E
STUD WALL CLUED & NAILED TOGETHER AND
SPACED MAX. @ 10" o.c. FULL HEIGHT, c/w SOLID
BLOCKING @ 3'-0" o.c. VERTICAL AND 7/16"
EXT. OSB SHEATHING.



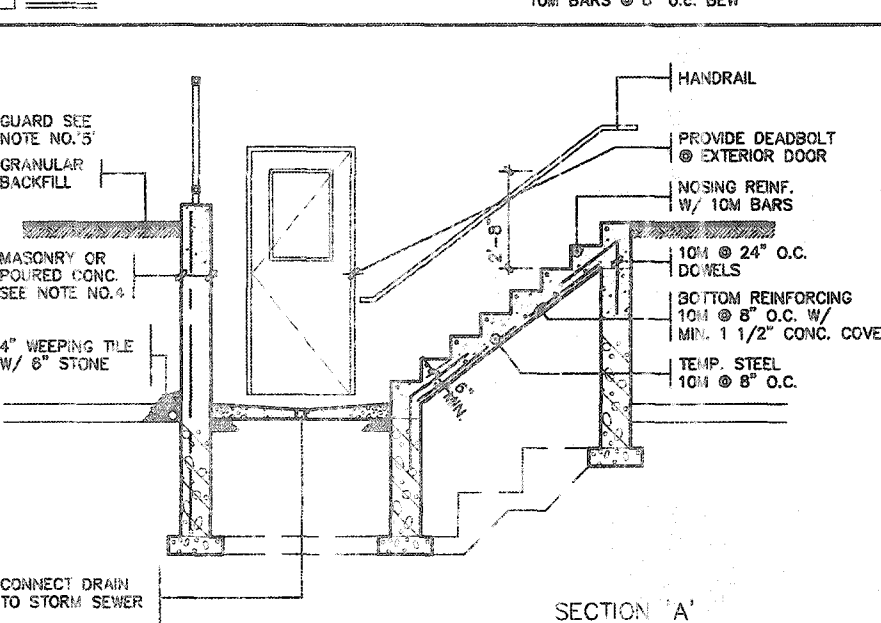
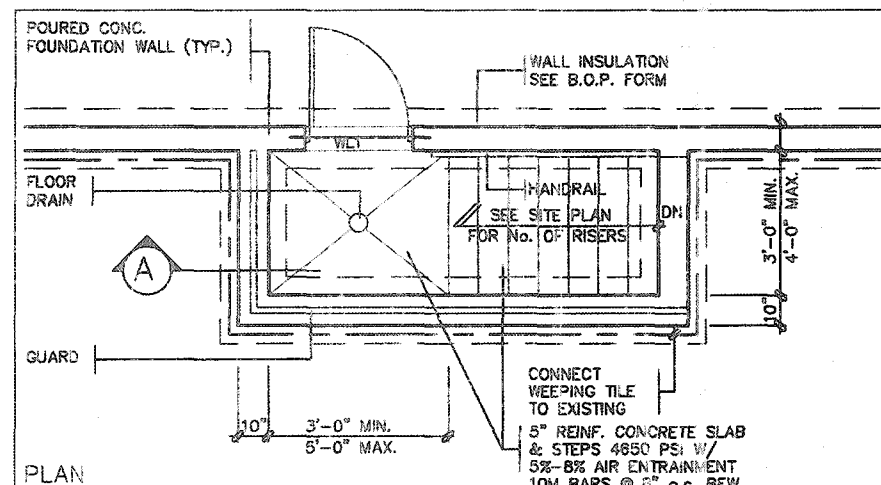
NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 20'-0" AND MAX. SUPPORTED
LENGTH OF TRUSS IS 40'-0".

TWO STOREY HEIGHT WALL DETAIL

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E
STUD WALL CLUED & NAILED TOGETHER AND
SPACED MAX. @ 9" o.c. FULL HEIGHT, c/w SOLID
BLOCKING @ 3'-0" o.c. VERTICAL AND 7/16"
EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 21'-5" AND MAX. SUPPORTED
LENGTH OF TRUSS IS 40'-0".



GENERAL NOTES

- FOOTINGS**
16"x8" POURED CONCRETE FOOTING.
ALL FOOTINGS SHALL REST ON
NATURAL UNDISTURBED SOIL OR
COMPACTED ENGINEERED FILL.
- CONCRETE**
MINIMUM COMPRESSIVE STRENGTH
OF (32MPa) 4650 PSI @ 28 DAYS W/
5% TO 8% AIR ENTRAINMENT
- EXTERIOR STAIRS**
7 7/8" RISE MAXIMUM 4 7/8" MINIMUM
8 1/4" RUN MINIMUM 14" MAXIMUM
9 1/4" TREAD MINIMUM 14" MAXIMUM
- RETAINING WALL**
10" POURED CONCRETE
W/ NO REINFORCING REQUIRED FOR
WALL HEIGHTS TO A MAX. OF 4'-7"
PROVIDE 15M VERTICAL REINFORCEMENT
@ 16" O.C. & 15M HORIZONTAL REINFORCEMENT
@ 24" o.c. FOR WALL HEIGHTS TO 7'-0". RETAINING
WALL TO RESIST LATERAL DESIGN LOADS AS PER
OBC DIVISION 8 SECTION 4.1.5.16.
- GUARDS**
3'-6" HIGH WHERE DISTANCE FROM GRADE
TO BOTTOM OF WALKOUT EXCEEDS 5'-11".
2'-11" FOR LESSER HEIGHTS. MAXIMUM 4"
BETWEEN VERTICAL PICKETS

BASEMENT WALK-UP

PLAN, SECTION & NOTES

SCALE: N.T.S.

THE MINIMAL THERMAL PERFORMANCE OF BUILDING
ENVELOPE AND EQUIPMENT SHALL CONFORM TO
THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS
PER OBC SUPPLEMENTARY STANDARD SB-12,
SECTION 3.1.1.1.

USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space Minimum RSI (R) value	10.56 (R60)	R20 at inner face of exterior walls
Ceiling without Attic Space Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Exposed Floor Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Walls Above Grade Minimum RSI (R) value	3.87 (R22)	6" R22 BATT
Basement Walls Minimum RSI (R) value	3.52ci (R20ci)	OPTION TO USE R12+R10ci.
Edge of Below Grade Slab ≤600mm below grade Minimum RSI (R) value	1.76 (R10)	RIGID INSUL
Windows & Sliding glass Doors Maximum U-value	0.28	
Skylights Maximum U-value	0.49	
Space Heating Equipment Minimum AFUE	96% Min.	NATURAL GAS
Hot Water Heater Minimum EF	0.8	NATURAL GAS
HRV Minimum Efficiency	75%	
Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information	

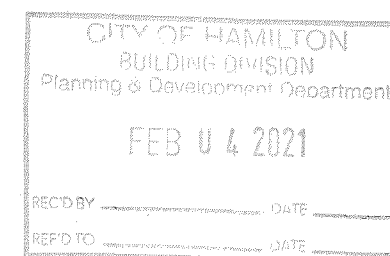
ci- Denotes Continuous Insulation without framing interruption.

UNINSULATED OPENINGS (PER OBC, SB-12,3.1.1(7))

ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	694.49 S.F.	129.00 S.F.	18.57 %
LEFT SIDE	1091.29 S.F.	259.03 S.F.	23.74 %
RIGHT SIDE	1059.53 S.F.	49.67 S.F.	4.69 %
REAR	726.32 S.F.	166.94 S.F.	22.98 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3571.63 S.F.	604.64 S.F.	16.93 %
TOTAL SQ. M.	331.81 S.M.	56.17 S.M.	16.93 %

AREA CALCULATIONS ELEV '3' LOT 71

GROUND FLOOR AREA	1179 SF
SECOND FLOOR AREA	1547 SF
TOTAL FLOOR AREA	2726 SF (253.25 m2)
FIRST FLOOR OPEN AREA	XX SF
SECOND FLOOR OPEN AREA	3 SF
ADD TOTAL OPEN AREAS	+3 SF
ADD FINISHED BSMT AREA	+XX SF
GROSS FLOOR AREA	2729 SF (253.53m2)
GROUND FLOOR COVERAGE	1186 SF
GARAGE COVERAGE/AREA	388 SF
PORCH COVERAGE/AREA	48 SF
COVERAGE W/ PORCH	1622 SF (150.69 m2)
COVERAGE W/O PORCH	1574 SF (146.23 m2)



STRUDET INC.
FOR STRUCTURE ONLY

VALLEYCREEK 12-071
COMPLIANCE PACKAGE 'A1'

1	CUSTOM DRAWING FOR PURCHASER REQUEST	AUG. 31/20	DR
2	ISSUED FOR PERMIT	APR 07/20	GW
3	UPDATED PER ENG & CLIENT COMMENTS	MAR 27/20	GW
4	REVISED AS PER ROOF AND FLOOR MANUF.	MAR 9/20	JM
5	PRELIMINARY, ISSUED FOR CLIENT REVIEW	FEB. 05/20	GW
6	DESCRIPTION	DATE	BY

The undersigned has reviewed and takes responsibility for this design
and has the qualifications and meets the requirements set out in the
Ontario Building Code to be a Designer.
Qualification Information
Richard Vink 24488
signature
VA3 Design Inc. 42658
signature
Contractor must verify all dimensions on the job and report any
discrepancy to the Designer before proceeding with the work. All
drawings and specifications are instruments of service and the property
of the Designer which must be returned at the completion of the work.
Drawings are not to be copied

VA3
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project name
RUSSELL GARDENS PH. 3
drawing no.
JANUARY 2020
checked by
scale
3/16" = 1'-0"
19014-VALLEYCREEK-12-071

VALLEYCREEK 12
12.5m
project no.
19014
drawing no.
A0
GENERAL NOTES & CHARTS

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2742 SF.

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
 20"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
 24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.
 FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
 24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
FOOTINGS ON ENGINEERED FILL
 24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
 BELOW EXTERIOR WALLS.
 30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
 BELOW PARTY WALLS.
 (REFER TO ENGINEER FILL FOOTING DETAIL)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa
 FOR ENGINEERED FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL **90 KPa ENGINEERED FILL SOIL**
 F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
 F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
 F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
 F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
 F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
 (REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10"
 POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
 FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

WL1 = 3-1/2" x 3-1/2" x 1/4" L (90x90x6.0L) + 2-2"x8" SPR. No.2
 WL2 = 4" x 3-1/2" x 5/16" L (100x90x8.0L) + 2-2"x8" SPR. No.2
 WL3 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 2-2"x10" SPR. No.2
 WL4 = 6" x 3-1/2" x 3/8" L (150x90x10.0L) + 2-2"x12" SPR. No.2
 WL5 = 6" x 4" x 3/8" L (150x100x10.0L) + 2-2"x12" SPR. No.2
 WL6 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 2-2"x12" SPR. No.2
 WL7 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 3-2"x12" SPR. No.2
 WL8 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 3-2"x10" SPR. No.2
 WL9 = 6" x 4" x 3/8" L (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 = 2-2"x8" (2-38x184) SPR. No.2
 WB2 = 3-2"x8" (3-38x184) SPR. No.2
 WB3 = 2-2"x10" (2-38x235) SPR. No.2
 WB4 = 3-2"x10" (3-38x235) SPR. No.2
 WB5 = 2-2"x12" (2-38x286) SPR. No.2
 WB6 = 3-2"x12" (3-38x286) SPR. No.2
 WB7 = 5-2"x12" (5-38x286) SPR. No.2
 WB11 = 4-2"x10" (4-38x235) SPR. No.2
 WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

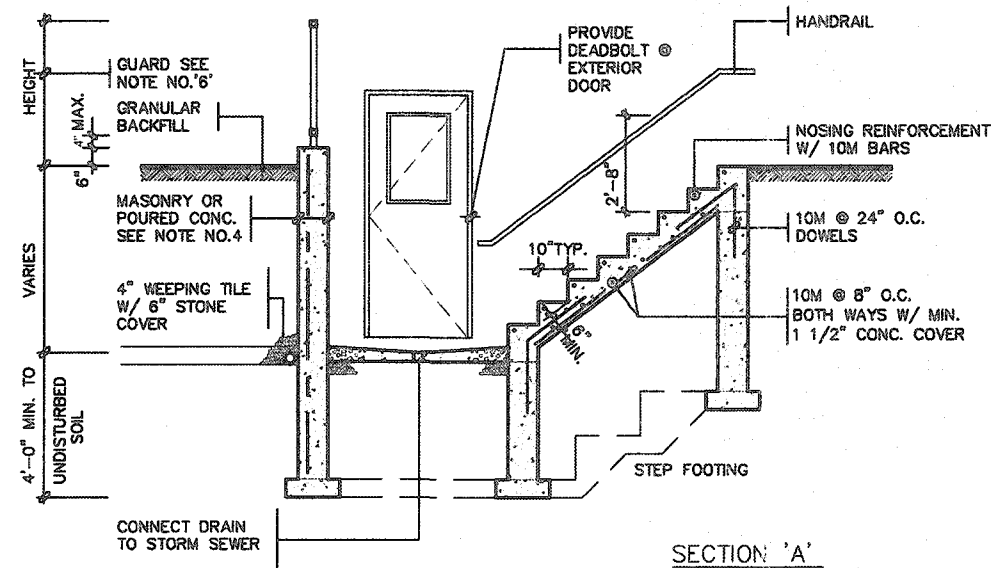
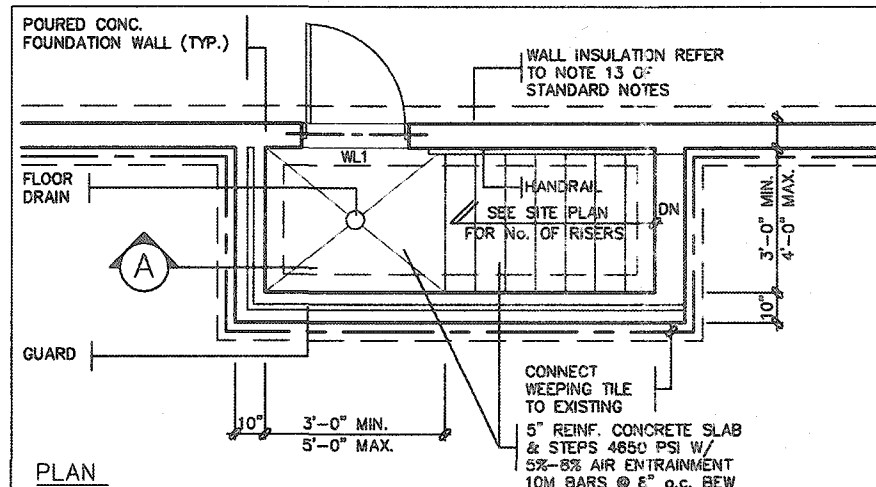
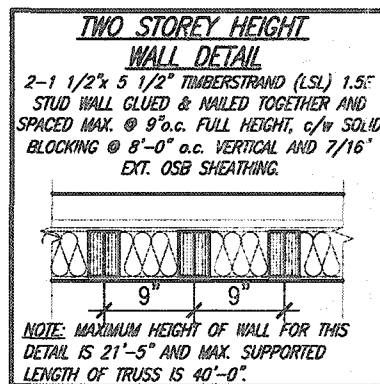
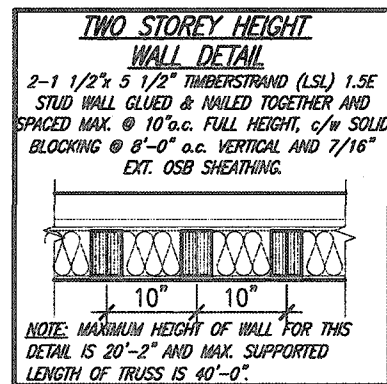
LVL1A = 1-1 3/4"x7 1/4" (1-45x184)
 LVL1 = 2-1 3/4"x7 1/4" (2-45x184)
 LVL2 = 3-1 3/4"x7 1/4" (3-45x184)
 LVL3 = 4-1 3/4"x7 1/4" (4-45x184)
 LVL4A = 1-1 3/4"x9 1/2" (1-45x240)
 LVL4 = 2-1 3/4"x9 1/2" (2-45x240)
 LVL5 = 3-1 3/4"x9 1/2" (3-45x240)
 LVL5A = 4-1 3/4"x9 1/2" (4-45x240)
 LVL6A = 1-1 3/4"x11 7/8" (1-45x300)
 LVL6 = 2-1 3/4"x11 7/8" (2-45x300)
 LVL7 = 3-1 3/4"x11 7/8" (3-45x300)
 LVL8 = 2-1 3/4"x14" (2-45x356)
 LVL9 = 3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)

L1 = 3-1/2" x 3-1/2" x 1/4" L (90x90x6.0L)
 L2 = 4" x 3-1/2" x 5/16" L (100x90x8.0L)
 L3 = 5" x 3-1/2" x 5/16" L (125x90x8.0L)
 L4 = 6" x 3-1/2" x 3/8" L (150x90x10.0L)
 L5 = 6" x 4" x 3/8" L (150x100x10.0L)
 L6 = 7" x 4" x 3/8" L (180x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-9" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

**GENERAL NOTES**

- FOOTINGS**
 24"x8" POURED CONCRETE FOOTING.
 ALL FOOTINGS SHALL REST ON
 NATURAL UNDISTURBED SOIL OR
 COMPACTED ENGINEERED FILL
- CONCRETE**
 MINIMUM COMPRESSIVE STRENGTH OF
 (32MPa) 4850 PSI @ 28 DAYS W/
 5% TO 8% AIR ENTRAINMENT
- EXTERIOR STAIRS**
 7 7/8" RISE MAXIMUM 4 7/8" MINIMUM
 8 1/4" RUN MINIMUM 14" MAXIMUM
 9 1/4" TREAD MINIMUM 14" MAXIMUM
- INSULATION**
 FOR INSULATION VALUE & VAPOUR BARRIER LOCATION,
 REFER TO NOTE 13 OF STANDARD NOTES.
- RETAINING WALL**
 10" POURED CONCRETE W/ NO REINFORCING REQUIRED FOR
 WALL HEIGHTS TO A MAX. OF 4'-7". PROVIDE 15M VERTICAL
 REINFORCEMENT @ 16" O.C. & 15M HORIZONTAL
 REINFORCEMENT @ 24" o.c. FOR WALL HEIGHTS FROM 4'-8"
 TO 7'-0". 15M HORIZONTAL EACH FACE @ 16" o.c. & 15M
 VERTICAL EACH FACE @ 12" o.c. FOR WALL HEIGHTS FROM
 7'-0" TO 8'-6". WALL TO RESIST LATERAL DESIGN LOADS
 AS PER OBC DIVISION B SECTION 4.1.5.16.
- GUARDS**
 3'-6" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM
 OF WALKOUT EXCEEDS 5'-11"; 2'-11" FOR LESSER
 HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS

BASEMENT WALK-UP

PLAN, SECTION & NOTES

SCALE: N.T.S.

THE MINIMAL THERMAL PERFORMANCE OF BUILDING
 ENVELOPE AND EQUIPMENT SHALL CONFORM TO
 THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS
 PER OBC SUPPLEMENTARY STANDARD SB-12,
 SECTION 3.1.1.1.

USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space Minimum RSI (R) value	10.56 (R60)	R20 at inner face of exterior walls
Ceiling without Attic Space Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Exposed Floor Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Walls Above Grade Minimum RSI (R) value	3.87 (R22)	6" R22 BATT
Basement Walls Minimum RSI (R) value	3.52ci (R20ci)	OPTION TO USE R12+R10ci.
Edge of Below Grade Slab ≤600mm below grade Minimum RSI (R) value	1.76 (R10)	RIGID INSUL
Windows & Sliding glass Doors Maximum U-value	0.28	
Skylights Maximum U-value	0.49	
Space Heating Equipment Minimum AFUE	96% Min.	NATURAL GAS
Hot Water Heater Minimum EF	0.8	NATURAL GAS
HRV Minimum Efficiency	75%	-
Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information	

ci- Denotes Continuous Insulation without framing interruption.

UNINSULATED OPENINGS (PER OBC, SB-12,3.1.1(7))

VALLEYCREEK 12, ELEV. 3 LOT 71	ENERGY EFFICIENCY - OBC 2012		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	694.49 S.F.	129.00 S.F.	18.57 %
LEFT SIDE	1091.29 S.F.	259.03 S.F.	23.74 %
RIGHT SIDE	1059.53 S.F.	49.67 S.F.	4.69 %
REAR	726.32 S.F.	166.944 S.F.	22.98 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3571.63 S.F.	604.64 S.F.	16.93 %
TOTAL SQ. M.	331.81 S.M.	56.17 S.M.	16.93 %

AREA CALCULATIONS ELEV '3' LOT 71

GROUND FLOOR AREA	1179 SF
SECOND FLOOR AREA	1547 SF
TOTAL FLOOR AREA	2726 SF (253.25 m2)
FIRST FLOOR OPEN AREA	XX SF
SECOND FLOOR OPEN AREA	3 SF
ADD TOTAL OPEN AREAS	+3 SF
ADD FINISHED BSMT AREA	+XX SF
GROSS FLOOR AREA	2729 SF (253.53m2)
GROUND FLOOR COVERAGE	1186 SF
GARAGE COVERAGE/AREA	388 SF
PORCH COVERAGE/AREA	48 SF
COVERAGE W/ PORCH	1622 SF (150.69 m2)
COVERAGE W/O PORCH	1574 SF (146.23 m2)

CERAMIC TILE FOR CONVENTIONAL LUMBER

(OBC 9.30.6)

SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C.
 BELOW ALL CERAMIC TILE AREAS.
 PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0",
 2 ROWS FOR SPANS GREATER THAN 7'0".

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL
 ROOF FRAMING INFORMATION UNLESS OTHERWISE
 NOTED.

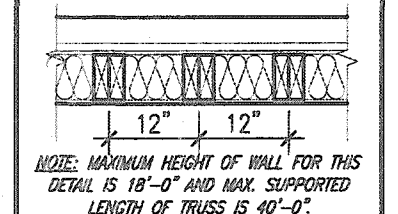
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO
 FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING

REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL
 ENGINEERED FLOOR FRAMING INFORMATION AND
 DETAILS. UNLESS OTHERWISE NOTED.

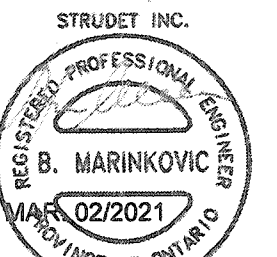
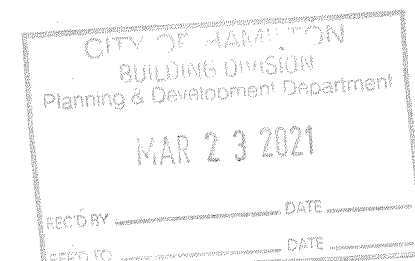
**TWO STOREY HEIGHT
WALL DETAIL**

2-2"x6" STUD WALL NAILED TOGETHER AND
 SPACED @ 12" o.c. FULL HEIGHT, c/w SOLID
 BLOCKING @ 4'-0" o.c. VERTICAL AND 7/16"
 EXT. PLYWOOD SHEATHING.



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 ensure that all plans submitted for approval
 fully comply with the Architectural Guidelines
 and all applicable regulations and requirements
 including zoning provisions and any provisions
 in the subdivision agreement. The Control
 Architect is not responsible in any way for
 examining or approving site (lotting) plans or
 working drawings with respect to any zoning or
 building code or permit matter or that any
 house can be properly built or located on its lot.

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 HAMILTON



FOR STRUCTURE ONLY

VALLEYCREEK 12-071
COMPLIANCE PACKAGE 'A1'

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8.				qualification information
7.				
6.	WALKUP STAIR UPDATED.	MAR. 01/21	GW	Richard Vink 24488
5.	CUSTOM DRAWING FOR PURCHASER REQUEST.	AUG. 31/20	DB	
4.	ISSUED FOR PERMIT.	APR 07/20	GW	VA3 Design Inc. 42658
3.	UPDATED PER ENG & CLIENT COMMENTS.	MAR 27/20	GW	
2.	REVISED AS PER ROOF AND FLOOR MANUF.	MAR. 9/20	JM	
1.	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	FEB. 05/20	GW	
no.	description	date	by	

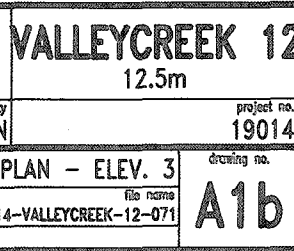
VA3 DESIGN
 255 Consumers Rd Suite 120
 Toronto ON M2J 1R4
 t 416.630.2255 f 416.630.4782
 va3design.com

Greenpark.

project name	RUSSELL GARDENS PH. 3	city	HAMILTON, ON	project no.	19014
date	JANUARY 2020	checked by	3/16" = 1'-0"	GENERAL NOTES & CHARTS	
drawn by	CL	scale		19014-VALLEYCREEK-12-071	
drawing no.					A0

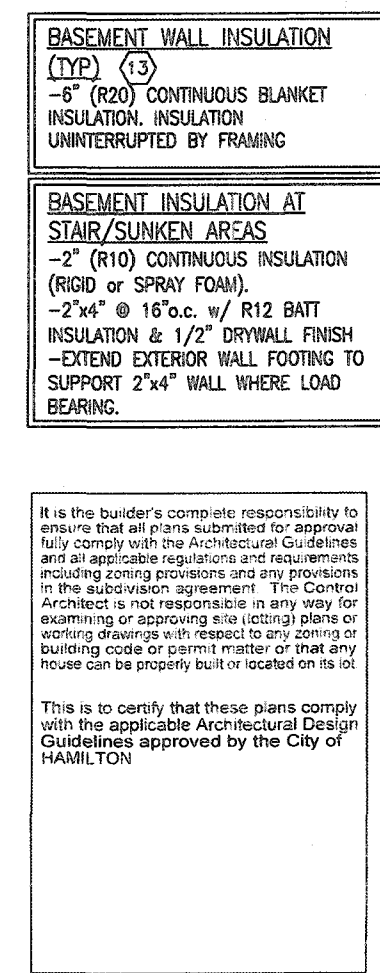
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Handwritten signature "J. S. R." appears twice, once above and once below a vertical line. To the left of the vertical line, the angle $18^{\circ}-10^{\circ}$ is written.



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* OPTION #1
RADON
MITIGATION



BASEMENT PLAN ELEV. 3

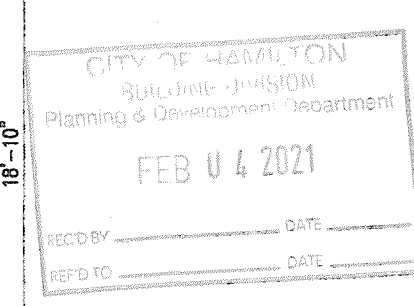


1b1

		VALLEYCREEK 12 12.5m	
project name RUSSELL GARDENS PH. 3		municipality HAMILTON, ON	project no. 19014
date JANUARY 2020		BASEMENT PLAN - ELEV. 3	
drawn by CL	checked by -	scale 3/16" = 1'-0"	drawing no. A1b
file name 19014-VALLEYCREEK-12-071			

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SEE
REVISED



NOTE 2: FLAT ROOF OVER LIVING SPACE
2"x4" @ 12" O/C DIAGONALLY CUT CROSS
PURLINS ON SINGLE PLY WATERPROOFING
MEMBRANE ON 5/8" EXTERIOR GRADE SHEATHING
ON 2"x4" CROSS PURLINS (CUT DIAGONALLY)
@ 12" O/C ON 2"x8" JOISTS @ 12" O/C. W/
BATT INSULATION (RSI 5.40 R31)

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APPROVED BY [Signature]
DATE DEC 08 2020
This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

VALLEYCREEK 12
12.5m

municipality HAMILTON, ON	project no. 19014
GROUND FLOOR PLAN - ELEV. 3 file name 19014-VALLEYCREEK-12-071	drawing no. A2b

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
00023-2020

9				The undersigned hereby renders and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8					
7				qualification information	
6				Richard Vink	24488
5	CUSTOM DRAWING FOR PURCHASER REQUEST.	AUG. 31/20	DB		
4	ISSUED FOR PERMIT.	APR 07/20	GW	signature	BON
3	UPDATED PER ENG & CLIENT COMMENTS.	MAR 27/20	GW	registration information	
2	REVISED AS PER ROOF AND FLOOR MANUF.	MAR. 9/20	JM	VAS Design Inc.	42658
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va3design.com

Greenpark.

project name
RUSSELL GARDENS PH. 3

date JANUARY 2020		
drawn by CL	checked by -	scale 3/16" = 1'-0"

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This is a detailed architectural floor plan for a single-story house. The plan includes the following rooms and features:

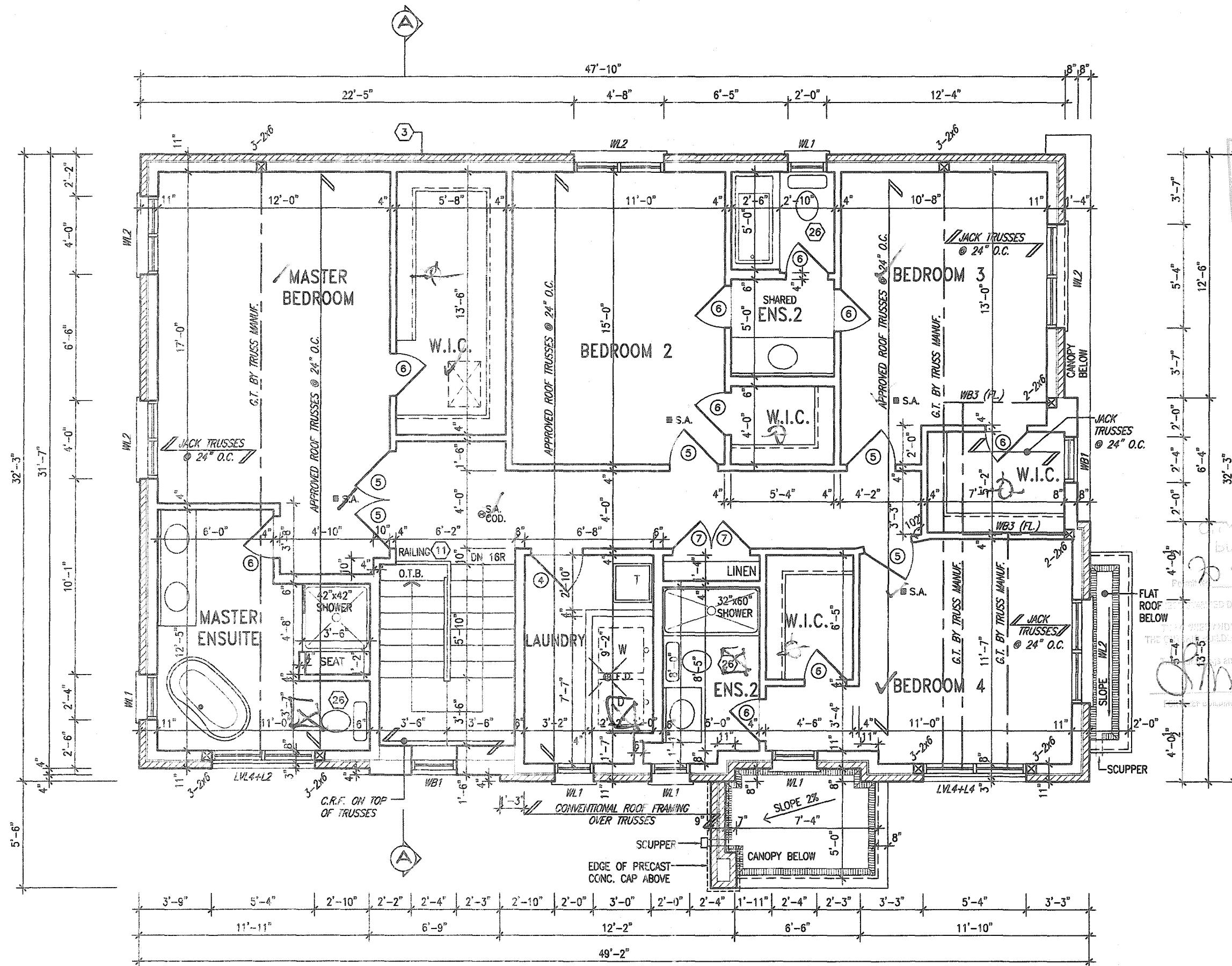
- Kitchen:** Located at the top center, featuring a stove hood vented to the exterior, a 6'6" x 3'0" island with a flush break bar, and a dishwasher (DW). Dimensions include 11'-6" and 9'-0".
- Breakfast:** Adjacent to the kitchen, featuring a 6'0" sliding door and a fireplace (F.A.). Dimensions include 9'-0" and 12'-0".
- Family Rm.:** Located on the left side, featuring a direct vent gas fireplace, a coffered ceiling, and a metal guard. Dimensions include 17'-3" and 11'-0".
- Dining Rm.:** Located in the center, featuring a built-up step and a 2'x8" @ 16" O.C. (low) landing. Dimensions include 10'-0" and 9'-10".
- Foyer:** Located at the bottom center, featuring a precast concrete stairs and a railing. Dimensions include 7'-4" and 5'-8".
- Library/Home Office:** Located on the right side, featuring a 3 1/2" dia. post and a 9 1/2" eng. joist. Dimensions include 10'-0" and 11'-7".
- Garage:** Located at the top right, featuring a 9 1/2" eng. joist and a 3 1/2" dia. post. Dimensions include 18'-5" and 17'-9".
- Porch:** Located at the bottom right, featuring a precast concrete stairs and a railing. Dimensions include 5'-8" and 3'-8".
- Other Features:** The plan includes various structural notes such as "9 1/2" ENG. JOIST PER JOIST MANUFACTURER", "1" CONC. LEDGE", "INSULATED DROPPED CEILING", "CANT'L LVL 4 (FL)", "CANT'L 9 1/2" ENG. JOIST PER JOIST MANUFACTURER", "8"x8" COLUMN ANCHORED TO 14"x14" SOLID MASONRY PIER (TYP.)", and "PROVIDE SIMPSON STRONG-TIE CONNECTOR FOR POST-BEAM CONNECTION (TYP.)". It also includes a north arrow and a reference to page AO for detail.

CITY OF TAMPA
 BUILDING DIVISION
 Planning & Development Department
 MAR 23 2021
 REC'D BY _____ DATE _____
 RECD TO _____ DATE _____

A2b

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2742 SF.



CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
FFS U 4 2021
RECD BY _____ DATE _____
RECD BY _____ DATE _____

CITY OF HAMILTON
Building Division
199022

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND ADVICE ONLY

APPROVED BY: [Signature]
DATE: DEC 08, 2020

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SECOND FLOOR PLAN - ELEV. 3

VALLEYCREEK 12-071
COMPLIANCE PACKAGE 'A1'

VALLEYCREEK 12
12.5m

Project no.
9014

SECOND FLOOR PLAN - ELEV. 3

A3b

GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM PER GBC. DIV. 8-9.5.2.3.
REFER TO FOLLOWING SECTIONS FOR THE FIGURES
LISTED WATER CLOSET: 3.8.3.8.(3)/(4) & 3.8.3.8.(3)/(4).
SHOWER: 3.8.3.13.(2)/(4). BATHTUB: 3.8.3.13.(4)/(6).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED. CB-NOTE: 2002.000

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
23.2026
PROVINCE OF ONTARIO

STRUDET INC.
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8					qualification information	
7					Richard Vink	24488
6					name	
5	CUSTOM DRAWING FOR PURCHASER REQUEST.	AUG. 31/20	DS		signature	BCN
4	ISSUED FOR PERMIT.	APR 07/20	GW		registration information	
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rc.	Description	date	by			

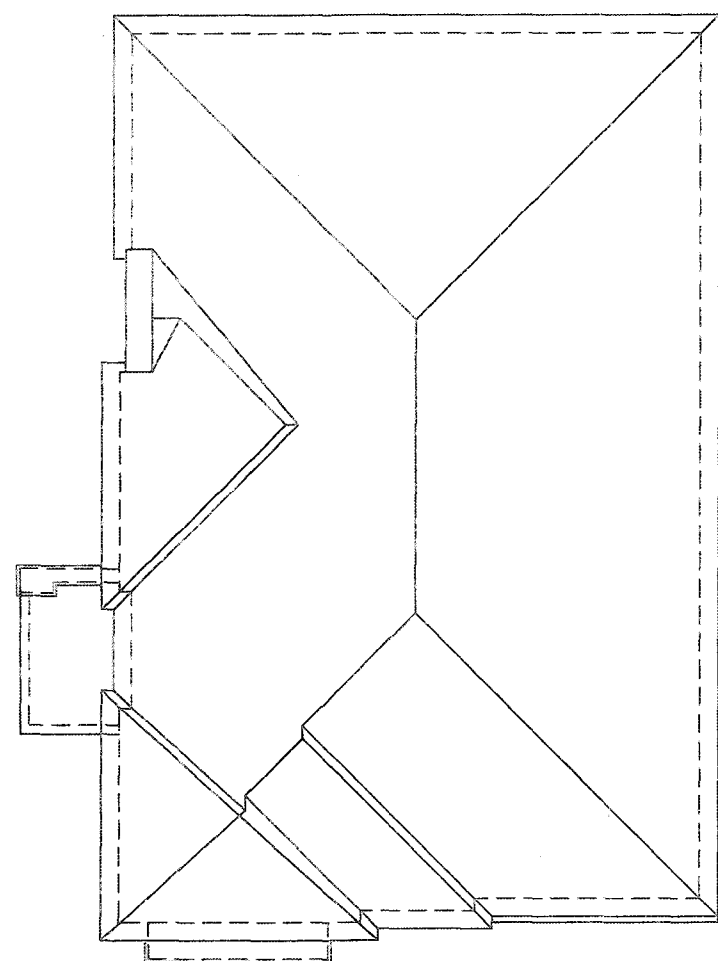
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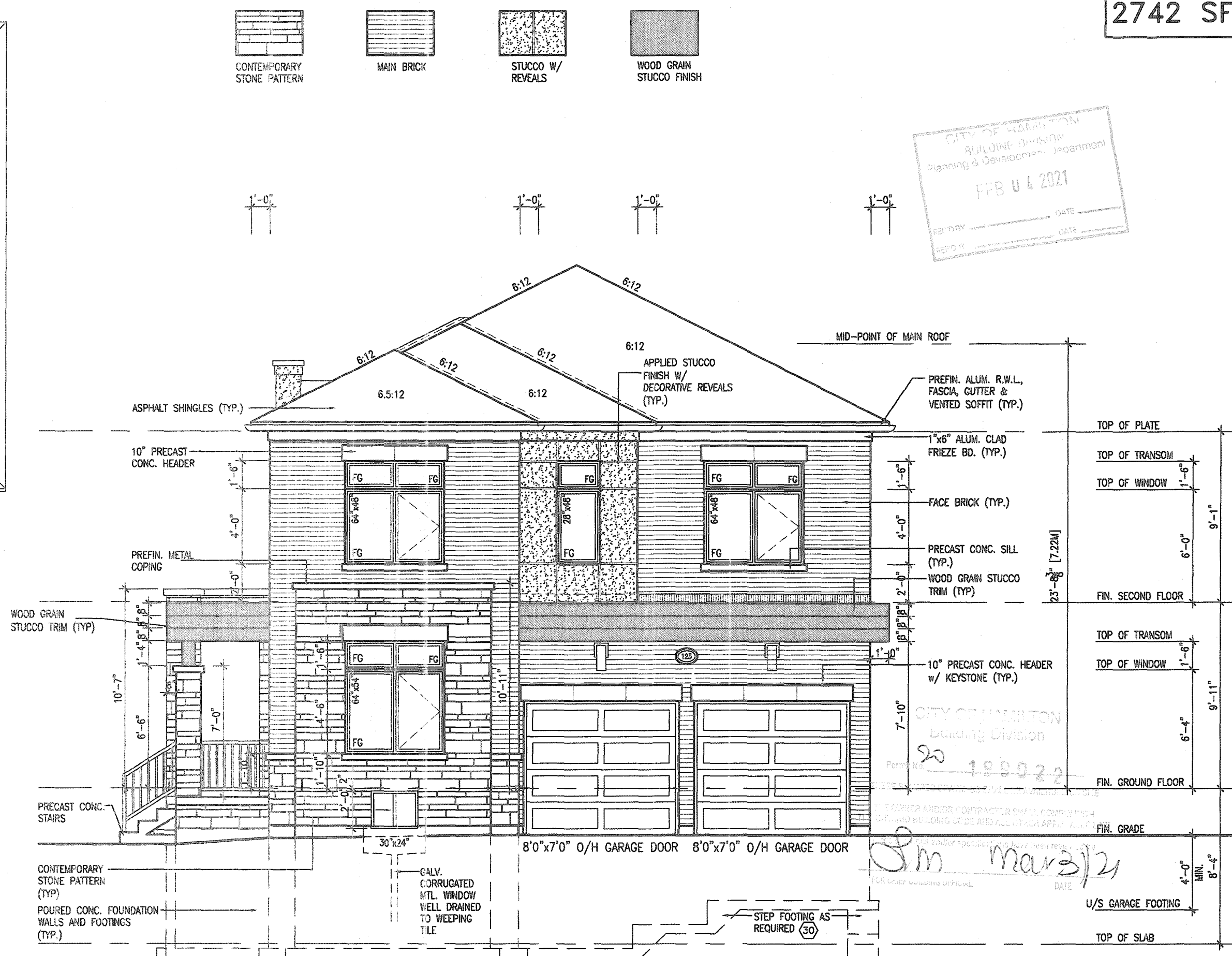
project name RUSSELL GARDENS PH. 3	municipality HAMILTON, ON	project no. 19014
date JANUARY 2020		drawing no. A3b
second floor plan - elev. 3 drawn by _____ checked by _____ scale 3/16" = 1'-0"		file name 19014-VALLEYCREEK-12-071
URL - http://www.cityofhamilton.ca/files/19014-VALLEYCREEK-12-071		

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2742 SF.



ROOF PLAN-3



FRONT ELEVATION '3'

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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: DEC 10/2020
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PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
w/ MASONRY INSERTS WHERE
GRADE REQUIRES.

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

9.				The undersigned has retained and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8.				qualification information
7.				Richard Vink 24488
6.				signature
5.	CUSTOM DRAWING FOR PURCHASER REQUEST.	AUG. 31/20	DB	name registration information
4.	ISSUED FOR PERMIT.	APR 07/20	GW	VAS Design Inc. 42658
3.	UPDATED PER ENG & CLIENT COMMENTS.	MAR 27/20	GW	
2.	REVISED AS PER ROOF AND FLOOR MANUF.	MAR. 9/20	JM	
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t 416.630.2255 f 416.630.4782
vasdesign.com

VALLEYCREEK 12-071 COMPLIANCE PACKAGE 'A1'

Greenpark.

VALLEYCREEK 12
12.5m

project name
RUSSELL GARDENS PH. 3

city
HAMILTON, ON

project no.
19014

date
JANUARY 2020

drawn by
CL

checked by
3/16" = 1'-0"

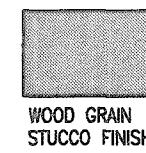
scale
3/16" = 1'-0"

FRONT ELEVATION - ELEV. 3

file name
19014-VALLEYCREEK-12-071

drawing no.
A4b

CITY OF HARTFORD
BUILDING DIVISION
Planning & Development Department
FEB 04 2021
REC'D BY _____ DATE _____
REC'D BY _____ DATE _____



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CONTEMPORARY
STONE PATTERN

MAIN BRICK

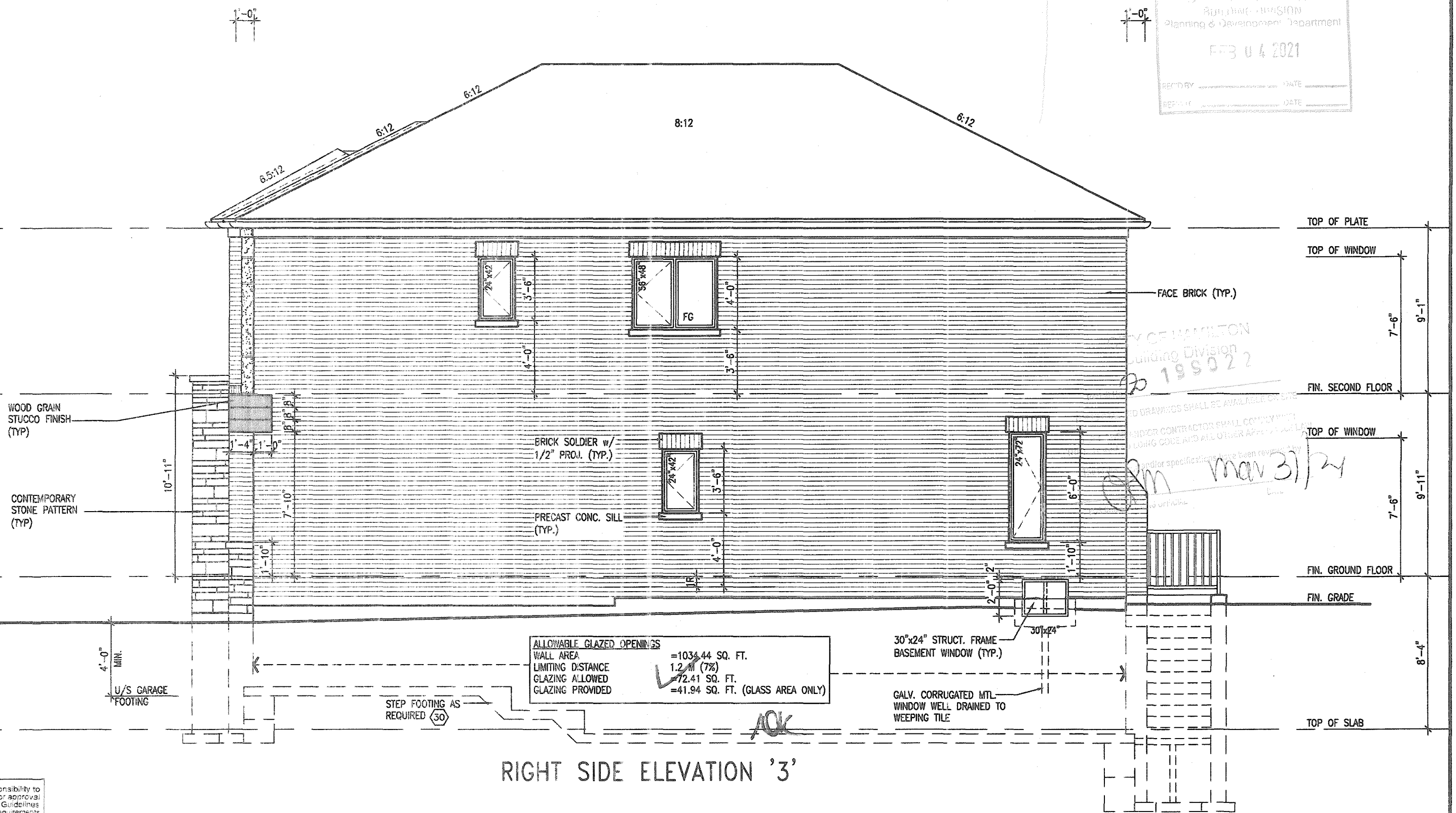
STUCCO w/
REVEALS

WOOD GRAIN
STUCCO FINISH

CITY OF FARMINGTON
BUILDING DIVISION
Planning & Development Department

FEB 04 2021

RECEIVED _____ DATE _____
RECEIVED _____ DATE _____



RIGHT SIDE ELEVATION '3

VALLEYCREEK 12-071
COMPLIANCE PACKAGE 'A1'


Greenpark.

VALLEYCREEK 12
12.5m

project name RUSSELL GARDENS PH. 3	city HAMILTON, ON	project no. 19014
date JANUARY 2020	RIGHT SIDE ELEVATION - ELEV. 3	
drawn by CL	checked by -	scale 3/16" = 1'-0"
sheet no. 19014-VALLEYCREEK-12-071		drawing no. A6b

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HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 

DATE: DEC 08, 2020

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8			qualification information	
7			Richard Vink	
6			R. Vink	2448
5	CUSTOM DRAWING FOR PURCHASER REQUEST.	AUG. 31/20 DB	name registration information	BC
4	ISSUED FOR PERMIT.	APR 07/20 GW	VAS Design Inc.	4265
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	no description	date by		



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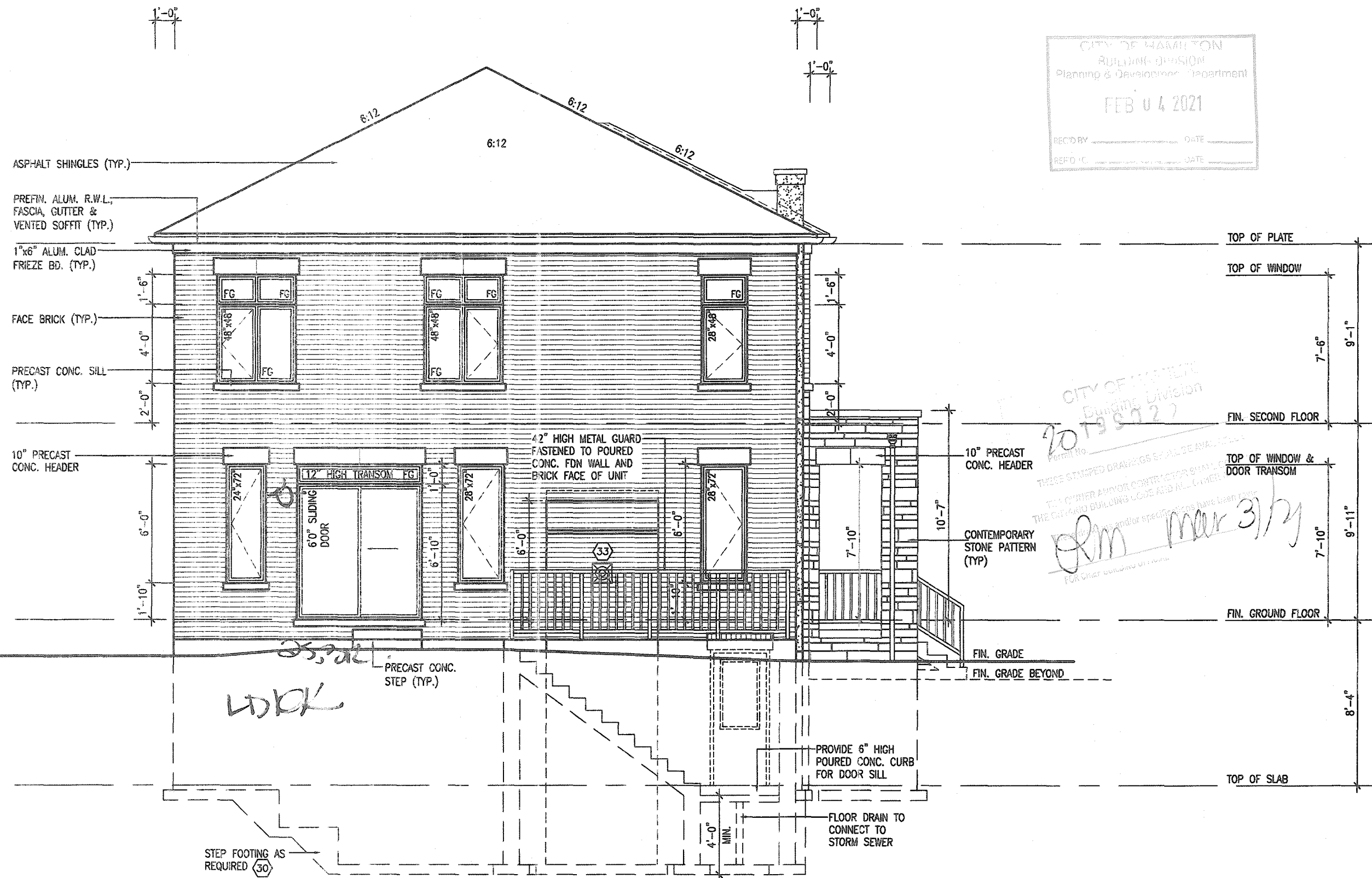
CONTEMPORARY
STONE PATTERN

MAIN BRICK

STUCCO W/
REVEALS

WOOD GRAIN
STUCCO FINISH

CITY OF HAMMILTON
BUILDING DIVISION
Planning & Development Department
FEB 04 2021
REC'D BY: cityplanning@hamilton.ca DATE: cityplanning@hamilton.ca
REF ID: cityplanning@hamilton.ca DATE: cityplanning@hamilton.ca



VALLEYCREEK 12-071
COMPLIANCE PACKAGE 'A1'

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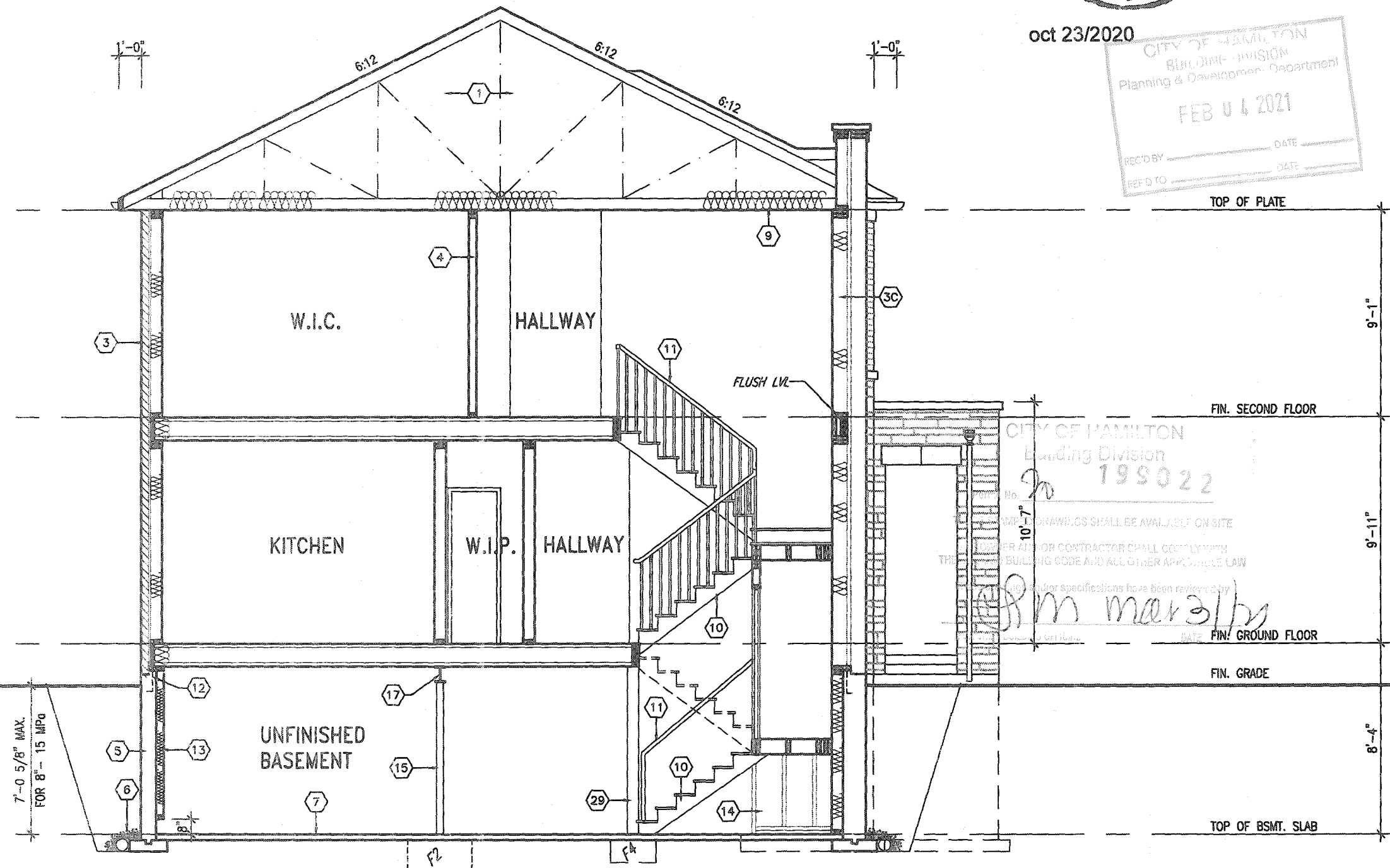
JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: DEC 08, 2000
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9	-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	 VA3 DESIGN		VALLEYCREEK 12 12.5m	project no. 19014
8	-	-	qualification information				
7	-	-	Richard Vink <i>R Vink</i> 24488				
6	-	-	name VA3 Design Inc. 42658 registration information				
5	CUSTOM DRAWING FOR PURCHASER REQUEST.	AUG. 31/20	DB	255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 v3design.com	date JANUARY 2020 drawn by CL checked by - scale 3/16" = 1'-0"	REAR ELEVATION - ELEV. 3 this name 19014-VALLEYCREEK-12-071	drawing no. A7b
4	ISSUED FOR PERMIT	APR 07/20	GM				
3	UPDATED PER ENG & CLIENT COMMENTS.	MAR 27/20	GM				
2	REVISED AS PER ROOF AND FLOOR MANUF.	MAR. 9/20	JH				
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no. description		date	by				

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A circular professional engineer seal for the Province of Ontario. The outer ring contains the text "LICENSED PROFESSIONAL ENGINEER" at the top and "PROVINCE OF ONTARIO" at the bottom. In the center, the name "B. MARINKOVIC" is printed below a stylized signature. A semi-circular design element is positioned below the name.

oct 23/2020



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HAMILTON

VALLEYCREEK 12-071
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9	-	-	The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 T 416.630.2255 F 416.630.4782 va3design.com	 VALLEYCREEK 12 12.5m	project no. 19014	
8	-	-	qualification information				
7	-	-	Richard Vink <i>R Vink</i> 24488 name signature BCIN				
6	-	-	registration information VAS Design Inc. 42658				
5	CUSTOM DRAWING FOR PURCHASER REQUEST.	AUG. 31/20 DB					
4	ISSUED FOR PERMIT	APR 07/20 GW					
3	UPDATED PER ENG & CLIENT COMMENTS.	MAR 27/20 GW		255 Consumers Rd Suite 120 Toronto ON M2J 1R4 T 416.630.2255 F 416.630.4782 va3design.com	municipality HAMILTON, ON	project no. 19014	
2	REVISED AS PER ROOF AND FLOOR MANUF.	MAR. 9/20 JMF					
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	FEB. 05/20 GW					
no	description	date by:			SECTION A-A - ELEV. 3	drawing no. 19014-VALLEYCREEK-12-071	A8b

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