

--- STORM CONNECTION

--- SANITARY CONNECTION

W- WATER CONNECTION

H- HYDRO CONNECTION

DOUBLE CATCH BASIN

CATCH BASIN

HYDRANT

VALVE AND CHAMBER

ENTRANCE DOOR LOCATION

GARAGE DOOR LOCATION

ENGINEERED FILL LOT

SANITARY MANHOLE

STORM MANHOLE

COMMUNITY MAILBOX

DOWNSPOUT LOCATION

SWALE DIRECTION

STREET LIGHT

TRANSFORMER

CABLE TV PEDESTAL

BELL PEDESTAL

BELL/ROG. FLUSH TO GRADE

HYDRO METER

GAS METER

AIR-CONDITIONING UNIT

SUMP PUMP

F.F.L.R. FINISHED FLOOR ELEVATION

T/WALL TOP OF FOUNDATION WALL

F.SLAB FIN. BASEMENT FLOOR SLAB

U/FTG. UNDERSIDE FOOTING ELEVATION

PROPOSED 3:1 SLOPE

PROPOSED GRADE

100.00 SW

PROPOSED SWALE GRADE

NORTH

Doing electrical work? A notification must be filed with the Electrical Safety Authority. Hiring someone to do electrical work? They must be a Licensed Electrical Contractor. It's the law. For more information go to [essafe.com](http://essafe.com) or call 1-877-372-7233

Electrical Safety Authority

be safe  
NO MATTER HOW BIG  
CALL OR CLICK  
BEFORE YOU  
DIG

ONTARIO ONECALL

1.800.400.2255

OntarioOneCall.ca

**TOWN OF EAST GWILLIMBURY**  
**BUILDING STANDARDS BRANCH**  
THIS PERMIT APPLICATION HAS BEEN REVIEWED FOR COMPLIANCE WITH THE ZONING BY-LAW 2018-043, AS AMENDED

FOR .....

BY .....

DATE .....

These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-24
Sewage System			
Zoning			

BUILDING HEIGHT (FROM AVERAGE GRADE)		
LOT No.	AVERAGE GRADE	BUILD'G HEIGHT (MAX.)
21	257.96	8.46m

SITE STATISTICS				
LOT No.	LOT AREA	COV. PERMITTED (55%)	COV. PROPOSED	% COV. PROPOSED
21	335.50 m <sup>2</sup>	184.53 m <sup>2</sup>	159.51 m <sup>2</sup>	47.54%

NOTE:  
BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AND HIS OWN EXPENSE.

NOTE:  
BUILDER TO VERIFY SANITARY AND STORM INVERT ELEVATIONS PRIOR TO EXCAVATION FOR FOOTINGS.

BUILDING PERMIT

PRBD 2021-0040

TOWN OF EAST GWILLIMBURY

Building Standards Branch

W Architect Inc.

DESIGN CONTROL REVIEW

NOV. 12, 2020

PRELIM BY: MMI

This stamp is only for the purposes of design control and carries no other professional obligations.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of East Gwillimbury.

NOTICE DURING THE COVID-19 PANDEMIC

1. Notwithstanding the issuance of this Building Permit pursuant to the Building Code Act, Ontario Regulation 82/20, as amended, made pursuant to the Emergency Management and Civil Protection Act, orders the closure of all places of non-essential business, including certain construction projects. It is the responsibility of those involved in any business to comply with this Order. Ontario Regulation 82/20, as amended, can be found at <https://www.ontario.ca/laws/regulation/200862>.

2. These businesses and persons that provide and/or deliver essential services within the meaning of Ontario Regulation 82/20, as amended, shall operate in compliance with the Occupational Health and Safety Act and related Regulations and the advice, recommendations and instructions of public health officials, including any advice, recommendations or instructions on physical distancing, cleaning, or disinfecting. Notwithstanding compliance with these matters, our safe workplace operational policies may preclude our inspection staff from attending a construction site and our inspection staff, on their own determination, may refuse to attend a construction site should they have any concerns with respect to their own life and/or health safety.

CONSULTANTS CERTIFICATE

I HAVE REVIEWED THE SITE AND GRADING PLAN FOR THE PROPOSED BUILDING TO BE CONSTRUCTED AND I HEREBY CERTIFY THAT:

1) THE PROPOSED GRADING AND APPURTENANT DRAINAGE WORKS COMPLY WITH SOUND ENGINEERING PRINCIPLES

2) THE PROPOSED GRADING IS IN CONFORMITY WITH THE GRADING PLAN APPROVED FOR THIS SUBDIVISION AND WILL NOT ADVERSELY AFFECT ADJACENT LANDS

3) THE PROPOSED BUILDING IS COMPATIBLE WITH THE PROPOSED GRADING

4) THE BUILDER IS RESPONSIBLE FOR RELOCATION OF ALL UTILITIES ON THE SITE

5) WATER SERVICE TO BE LOCATED IN THE GRASSED PORTION OF THE YARD

SCHAEFFER & ASSOCIATES

Jan 20, 2021

DATE :

■ ■ ■ ■ : 45 MINUTE RATED WALL WITH SIDE YARD < 1.2m

5		
4		
3		
2	OCT. 14, 2020	ISSUED FOR PERMIT
1	OCT. 5, 2020	ISSUED TO ENGINEER FOR GRADING REVIEW

Greenpark

SCALE 1:250

5m 0m

TRINAR HALL HOMES INC.

PROJ. No. 17-28 MUNICIPAL ADDRESS

LOT No. 21

BILD

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

Walter Bofe

NAME

21031

SIGNATURE

BCIN

REGISTRATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc.

27763

FIRM NAME

BCIN

jardin

DESIGN GROUP INC.

64 JARDIN DR. SUITE 3A

VAUGHAN ONT. L4K 3P3

TEL: 905 660-3377 FAX: 905 660-3713

EMAIL: info@jardindesign.ca

PLAN OF SUBDIVISION OF PART OF LOT 15, CONCESSION 2, (GEOGRAPHIC TOWNSHIP OF EAST GWILLIMBURY) THE REGIONAL MUNICIPALITY OF YORK TOWN OF EAST GWILLIMBURY, PLAN 65M-

REG. PLAN