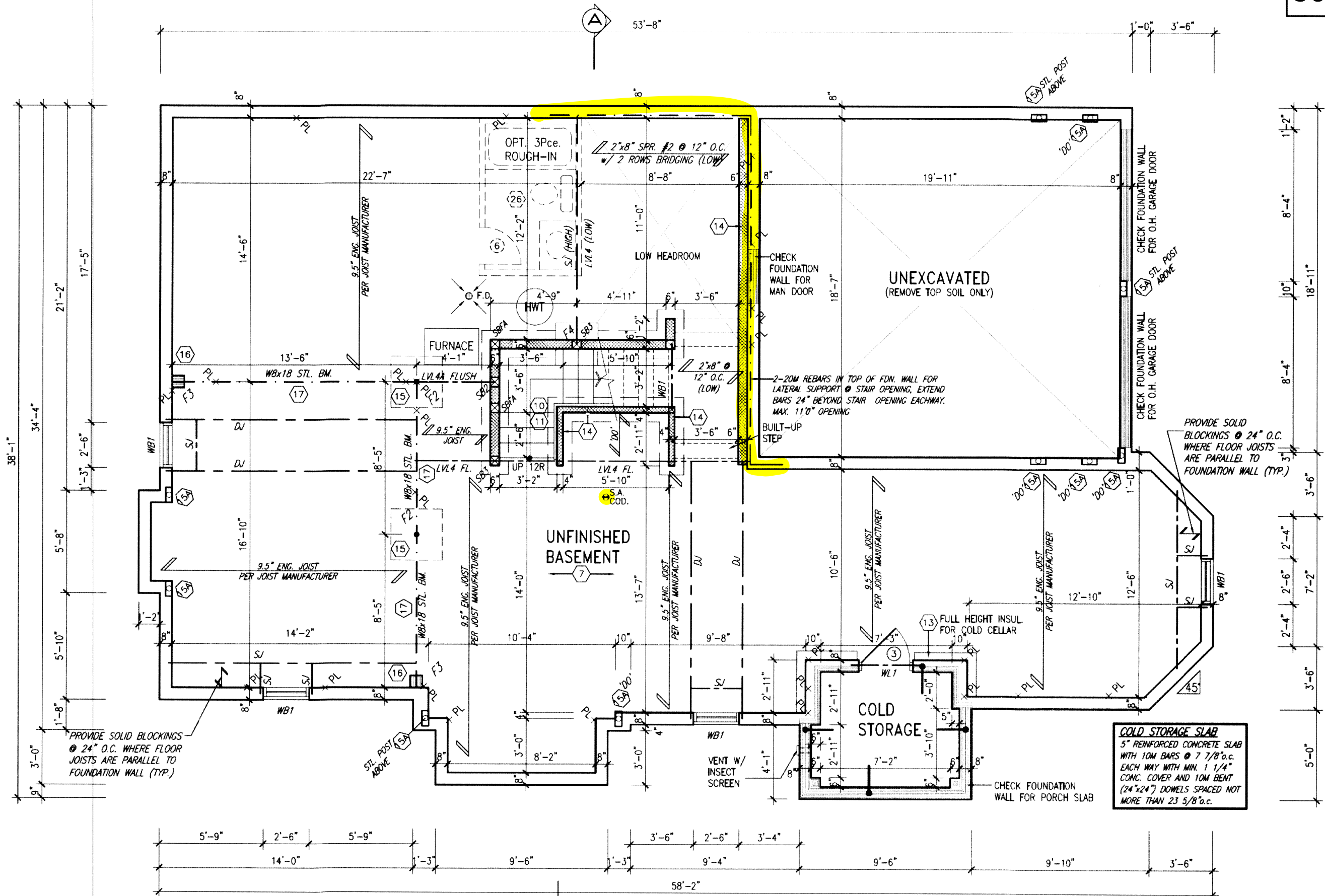


All drawings, specifications, related documents and design are the copyright property of V&S DESIGN. Reproduction of this property in whole or in part is strictly prohibited without V&S DESIGN's written permission.

3042 SF.



BASEMENT PLAN - ELEV. 1



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of East Gwillimbury.



These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-24
Sewage System			
Zoning			



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

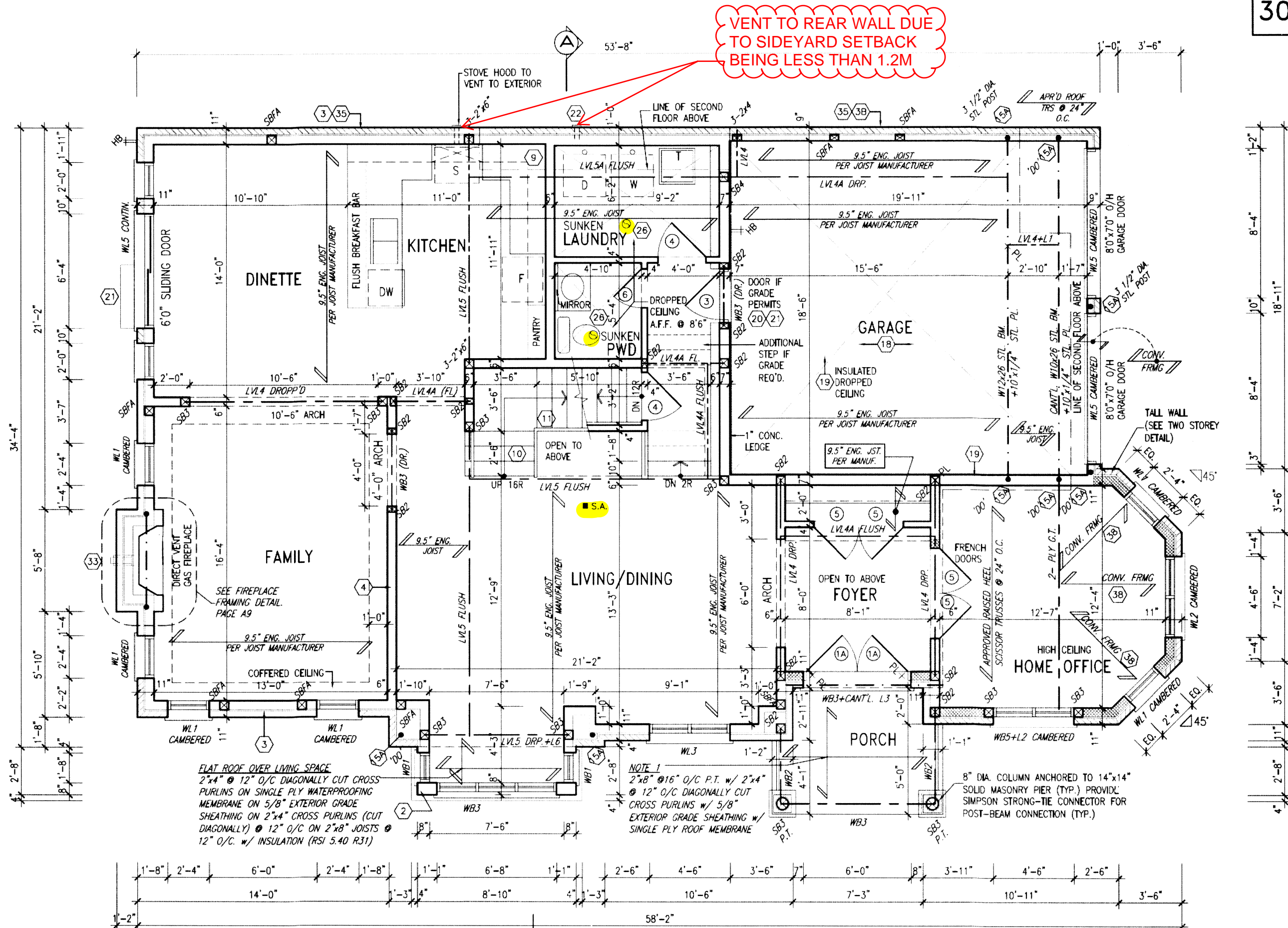
NOV 24 2017 For Lot 14
GLENWAY 12A
ENERGY STAR



project name TRINAR HALL HOMES INC.	municipality Town of EAST GWILLIMBURY	project no. 17026
date AUG. 2017	checked by GW	scale 3/16" = 1'-0"
drawing no. A1	file name 17026-GLENWAY-12A	

All drawings, specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

3042 SF.



GROUND FLOOR PLAN - ELEV. 1



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of East Gwillimbury.



These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-24
Sewage System			
Zoning			

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
1 416.630.2255 • 416.630.4782
va3design.com



project name
TRINAR HALL HOMES INC.

date
AUG. 2017
drawn by
GW
checked by
3/16" = 1'-0"

For Lot 14

NOV 24 2017

**GLENWAY 12A
ENERGY STAR**

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5	ISSUED FOR PERMIT	NOV. 23/17	GW
13				4	ROOF SLOPE OVER OTB CHANGED TO 8:12	OCT. 04/17	GW
12				3	REV. PER CLIENT COMMENTS	SEP. 05/17	GW
11				2	REVISED AS PER CLIENT COMMENTS	AUG. 30/17	WT
10				1	ISSUED FOR CLIENT REVIEW	AUG. 14/17	GW

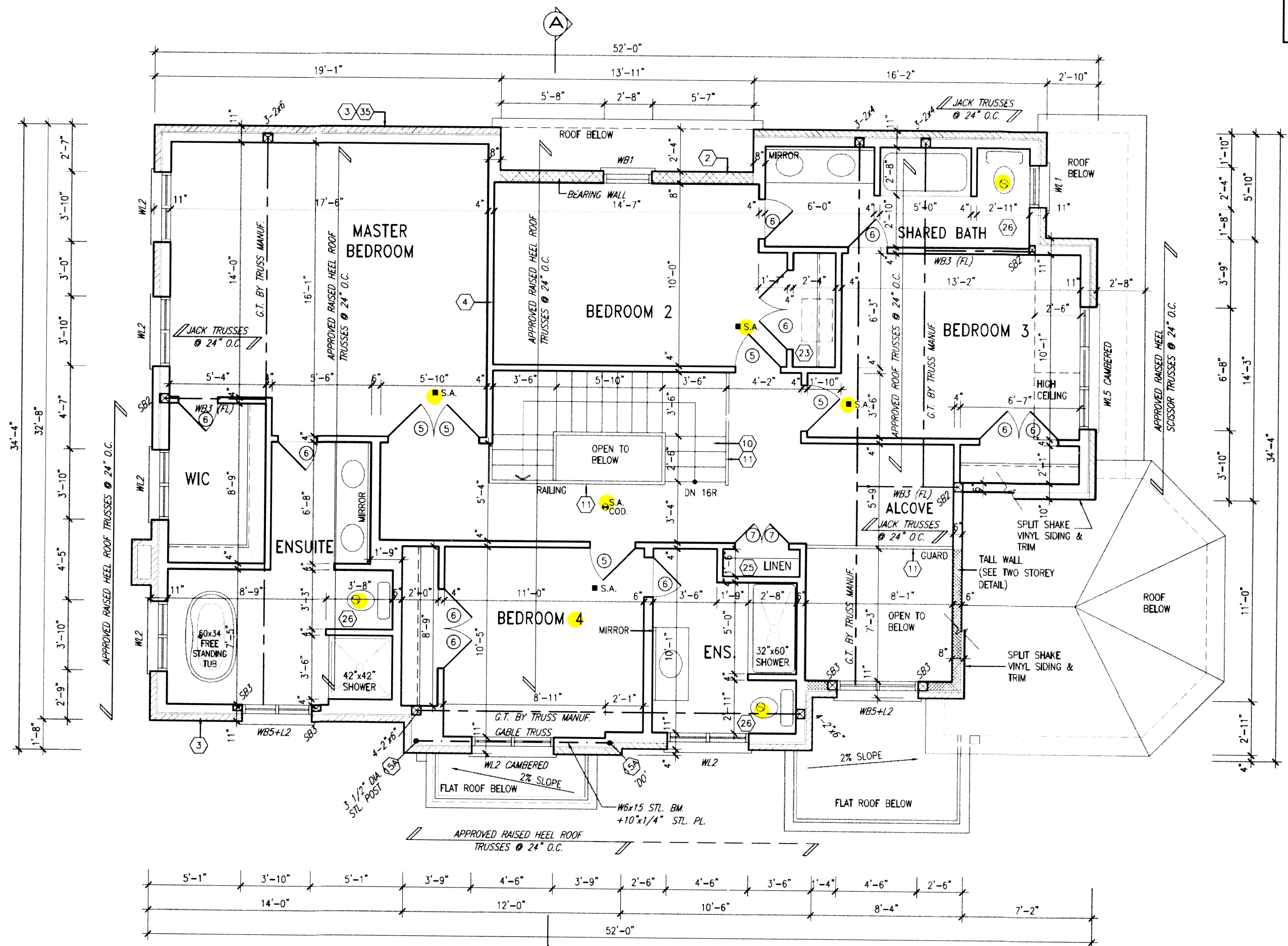
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
name
registration information
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

project name
TRINAR HALL HOMES INC.
date
AUG. 2017
drawn by
GW
checked by
3/16" = 1'-0"

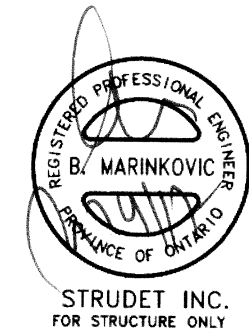
project no.
17026
drawing no.
A2

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

3042 SF.



SECOND FLOOR PLAN - ELEV. 1



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.



These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-24
Sewage System			
Zoning			

no.	description	date	by
18			
17			
16			
15			
14			
13			
12			
11			
10			

no.	description	date	by
9			
8			
7			
6			
5	ISSUED FOR PERMIT	NOV. 23/17	GW
4	ROOF SLOPE OVER OTB CHANGED TO 8:12	OCT. 04/17	GW
3	REV. PER CLIENT COMMENTS	SEP. 05/17	GW
2	REVISED AS PER CLIENT COMMENTS	AUG. 30/17	WT
1	ISSUED FOR CLIENT REVIEW	AUG. 14/17	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink 24488
signature
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.



project name TRINAR HALL HOMES INC.	municipality Town of EAST GWILLIMBURY	project no. 17026
date AUG. 2017	checked by GW	scale 3/16" = 1'-0"
SECOND FLOOR PLAN - ELEV. 1		file name 17026-GLENWAY-12A
		drawing no. A3

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.



Town of
East Gwillimbury
Building Standards Branch BCIN #16487

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-24
Sewage System			
Zoning			



For Lot 14
GLENWAY 12A
ENERGY STAR

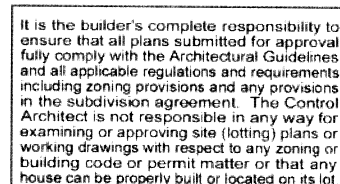
All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.



Town of
East Gwillimbury
Building Standards Branch BCIN #16487

These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with the Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-25
Sewage System			
Zoning			



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

3'-6" HIGH RAILING IF PORCH SLAB
IS MORE THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN PORCH
SLAB IS LESS THAN 5'-11" ABOVE
FINISHED GRADE

W Architect Inc.
DESIGN CONTROL REVIEW

DEC. 04, 2020

FINAL BY: ALL

This stamp is only for the purposes of design control and carries no other professional obligations

NOV 24 2017

For Lot 14
GLENWAY 12A
ENERGY STAR

				9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		
18				8			qualification information		
17				7			Richard Vink	R Vink	2448
16				6			name	signature	BC
15				5	ISSUED FOR PERMIT.	NOV. 23/17 GW	registration information	VAS Design Inc.,	4265
14				4	ROOF SLOPE OVER OTB CHANGED TO 8:12	OCT. 04/17 GW			
13				3	REV. PER CLIENT COMMENTS	SEP. 05/17 GW			
12				2	REVISED AS PER CLIENT COMMENTS.	AUG. 30/17 WT			
11				1	ISSUED FOR CLIENT REVIEW.	AUG. 14/17 GW			
no.	description	date	by	no.	description	date	by		

**VA3
DESIGN**
255 Consumers Rd Suite 101
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.2255
va3design.com



GLENWAY 12A

drawing on

FLANKAGE ELEVATION - ELEV. 1

drawing no.
A5

project name
TRINAR HALL HOMES INC.

Town of EAST GWILLIMBURY ^{municipality}

date
AUG. 2017

drawn by

checked by _____ scale _____
- $3/16" = 1'-0"$

GREG - HARRISON WORKING ON THE 17026 GLENWAY CLEWAY - 19417026 - GLENWAY-12A.dwg - Thu - Nov 23 2017 - 9:49 AM

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.



Town of
East Gwillimbury
Building Standards Branch BCIN #16487

These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with the Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-24
Sewage System			
Zoning			

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
 PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
 (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

WALL AREA	105.51 SQ. FT.
LIMITING DISTANCE	1.2 M (8%)
GLAZING ALLOWED	8.44 SQ. FT.
GLAZING PROVIDED	7.85 SQ. FT.

SPLIT SHAKE VINYL
SIDING & CAPE COD
TRIM

VINYL WINDOW SURROUND

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

ASPHALT SHINGLES

TOP OF PLATE

TOP OF WINDOW

FACE BRICK (TYP.)

FLASHING w/ CAULKING
BEHIND SIDING (TYP.)

FIN. SECOND FLOOR

FIN. GROUND FLOOR

FIN. GRADE

U/S GARAGE FOOTING

TOP OF SLAB

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.


(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE) 45 MINUTE
FIRE RATING @ HEADER
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST
AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR
JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

DEC. 04, 2020

FINAL BY:

This stamp is only for the purposes of design control and carries no other professional obligations.

For Lot 14
GLENWAY 12A
ENERGY STAR

18				9	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  Richard Vink 24488
17				8	.	.	
16				7	.	.	
15				6	.	.	
14				5	ISSUED FOR PERMIT.	NOV. 23/17 GW	
13				4	ROOF SLOPE OVER OTB CHANGED TO 8:12.	OCT. 04/17 GW	name registration information VAS Design Inc. 42658
12				3	REV. PER CLIENT COMMENTS.	SEP. 05/17 GW	
11				2	REVISED AS PER CLIENT COMMENTS.	AUG. 30/17 WT	
10				1	ISSUED FOR CLIENT REVIEW.	AUG. 14/17 GW	
no. description	date	by	no. description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	

The logo for VA3 DESIGN. It features the letters 'VA3' in a large, bold, serif font. A horizontal line is positioned below the 'VA3' text. Below the line, the word 'DESIGN' is written in a smaller, bold, sans-serif font.

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com



project name
TRINAR HALL HOMES INC.

Town of EAST GWILLIMBURY ^{municipality}

date
AUG 2017

drawn by

checked by

17\17026.G

RIGHT SIDE ELEVATION - ELEV. 1

file name

17026-GLENWAY-12A

19 2018 - 8:11 AM

drawing no.

AC

AO

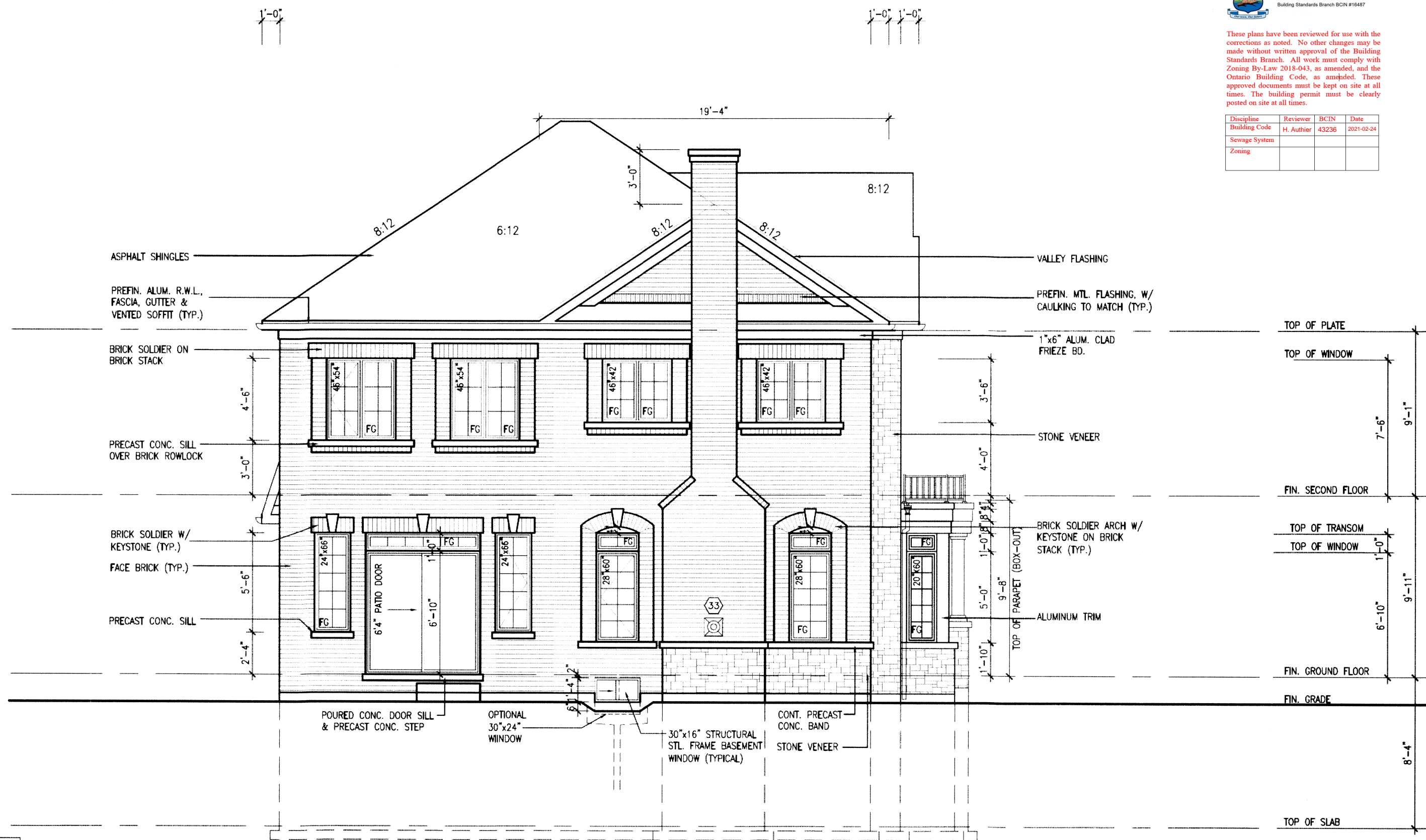
All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission

3042 SF.



These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-24
Sewage System			
Zoning			



REAR ELEVATION '1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

W Architect Inc.
DESIGN CONTROL REVIEW
DEC. 04, 2020
FINAL BY: *ACE*
This stamp is only for the purposes of design control and carries no other professional obligations.

NOV 24 2017

For Lot 14
GLENWAY 12A
ENERGY STAR

18			9				
17			8				
16			7				
15			6				
14			5	ISSUED FOR PERMIT.	NOV. 23/17	GW	
13			4	ROOF SLOPE OVER OTB CHANGED TO 8:12.	OCT. 04/17	GW	
12			3	REV. PER CLIENT COMMENTS.	SEP. 05/17	GW	
11			2	REVISED AS PER CLIENT COMMENTS.	AUG. 30/17	WT	
10			1	ISSUED FOR CLIENT REVIEW.	AUG. 14/17	GW	
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
signature
name
registration information
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

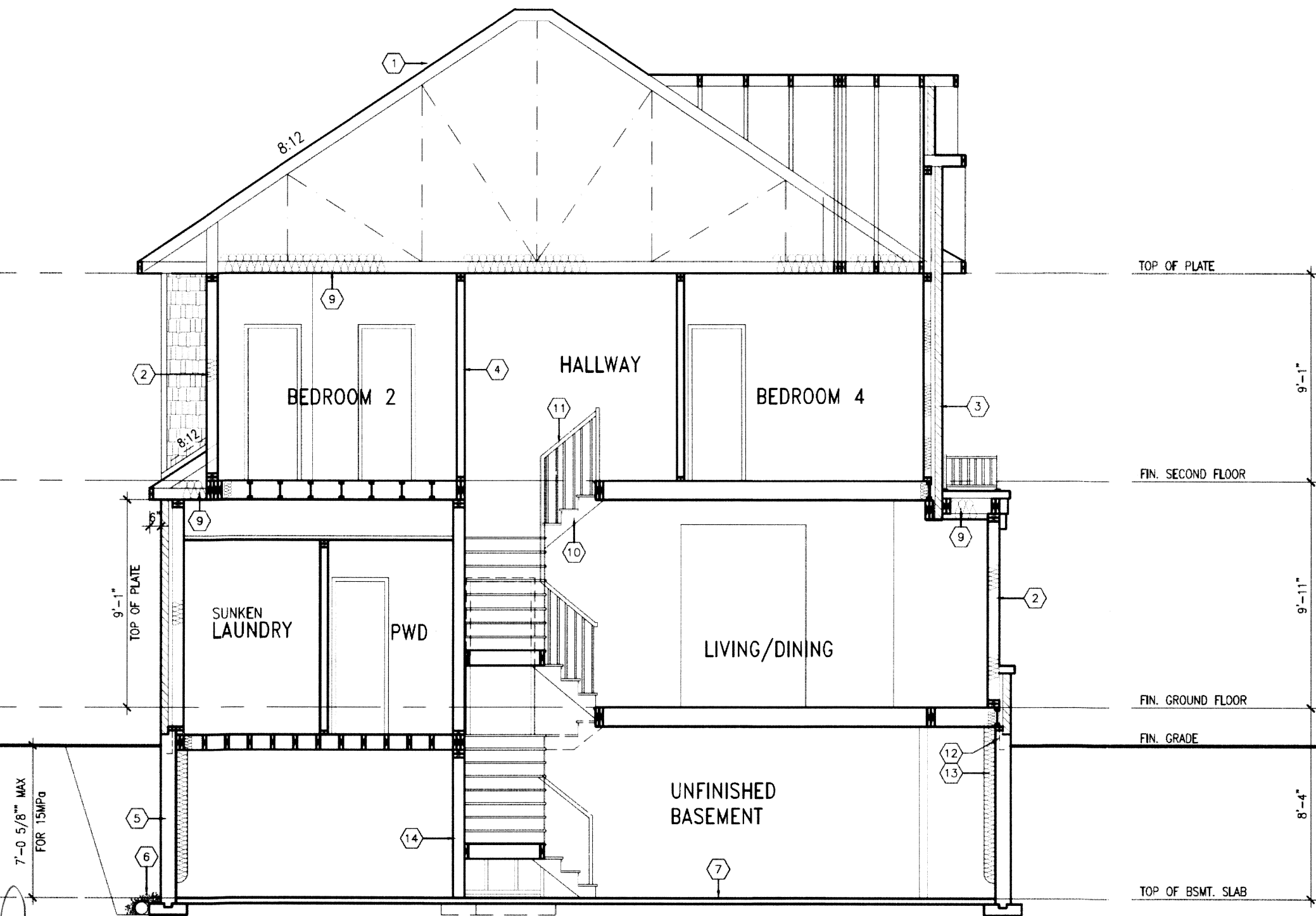
Greenpark.		- GLENWAY 12A	
project name TRINAR HALL HOMES INC.	municipality Town of EAST GWILLIMBURY	project no. 17026	drawing no. A7
date AUG. 2017	checked by GW	scale 3/16" = 1'-0"	REAR ELEVATION - ELEV. 1
17026-GLENWAY-12A			

All drawings, specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

 **Town of
East Gwillimbury**
Building Standards Branch BCIN #16487

These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-24
Sewage System			
Zoning			



NOV 24 2017

For Lot 14
GLENWAY 12A
ENERGY STAR

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.



STRUDET INC.
FOR STRUCTURE ONLY

[illegible]

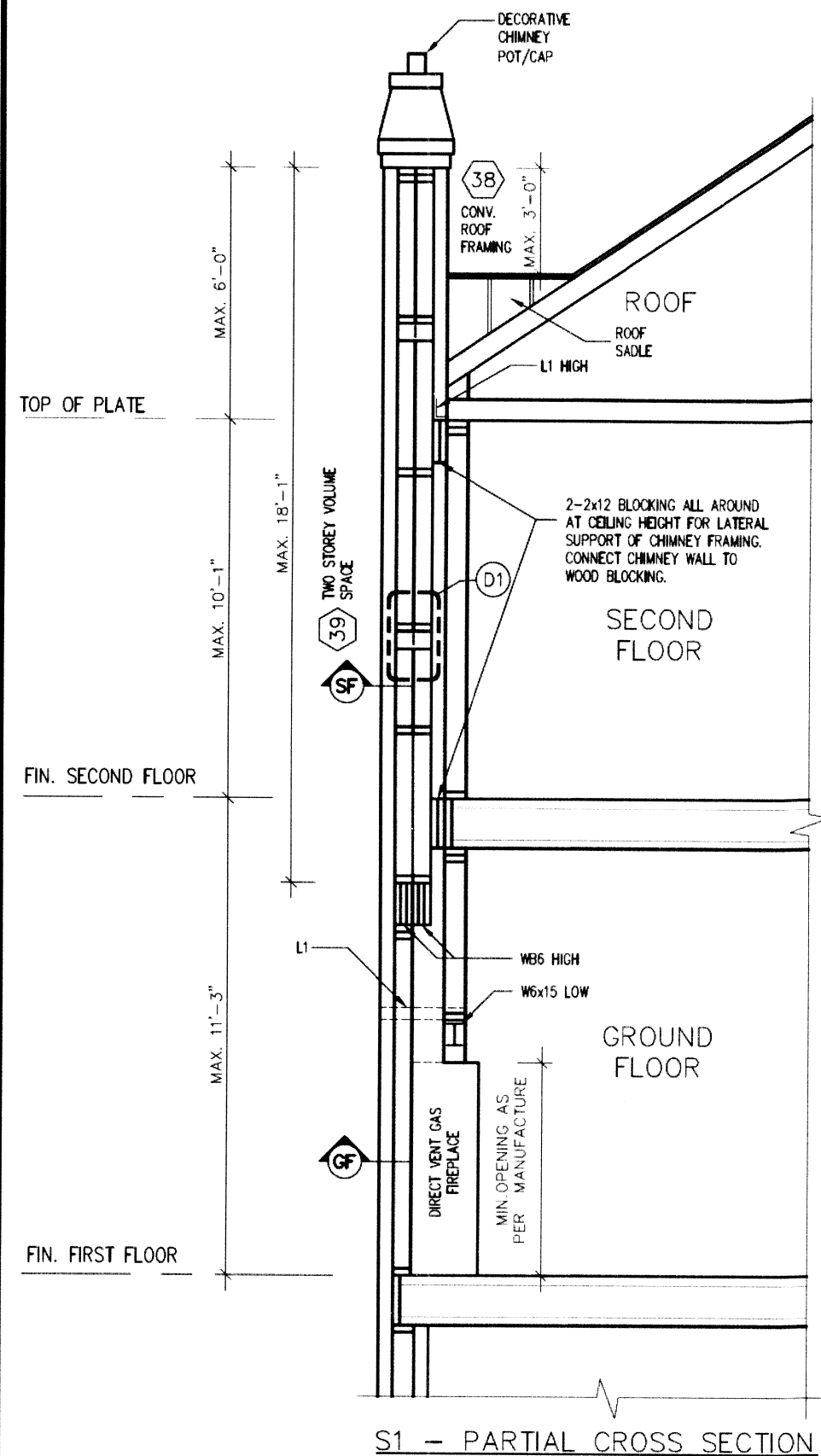
All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.



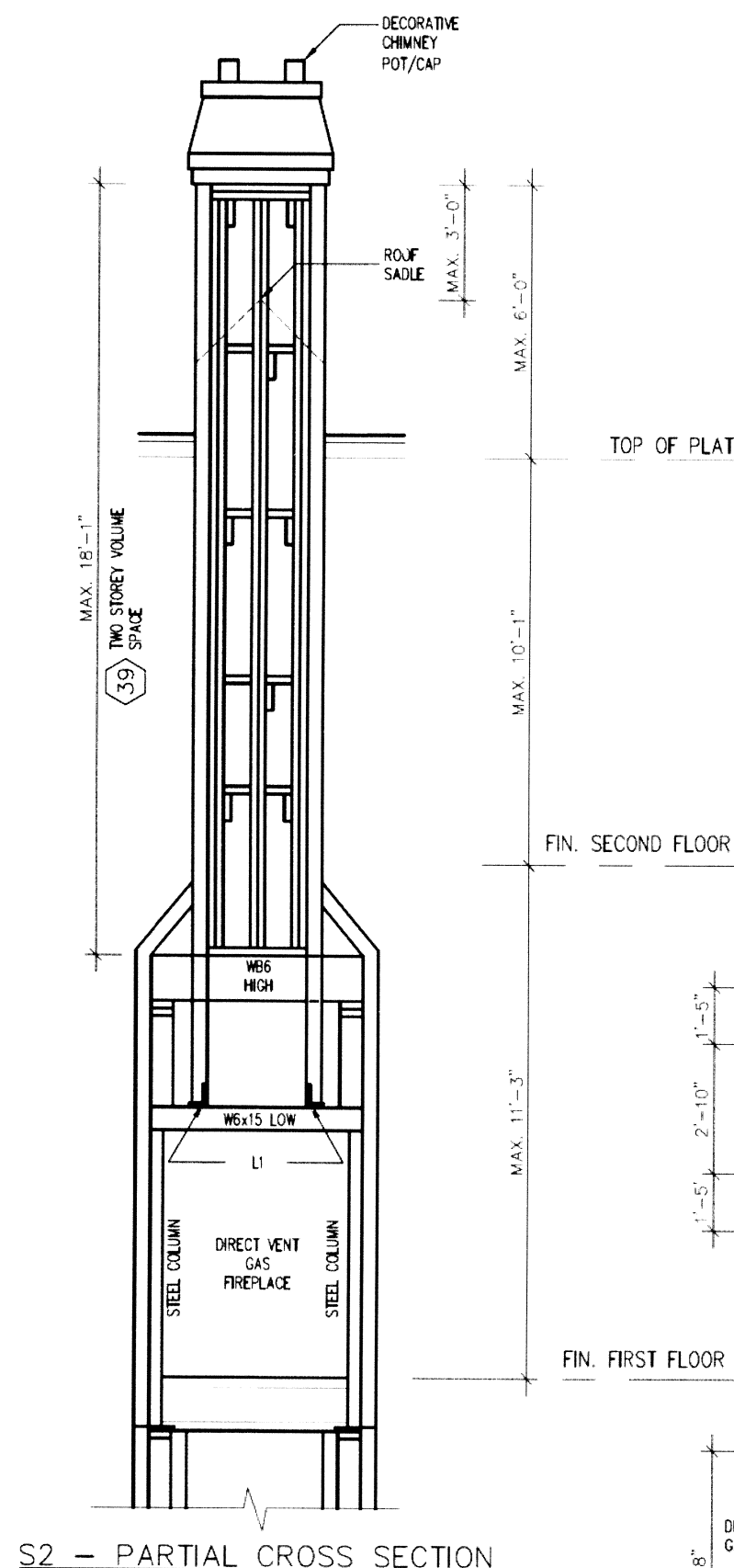
Town of
East Gwillimbury
Building Standards Branch BCIN #16487

These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

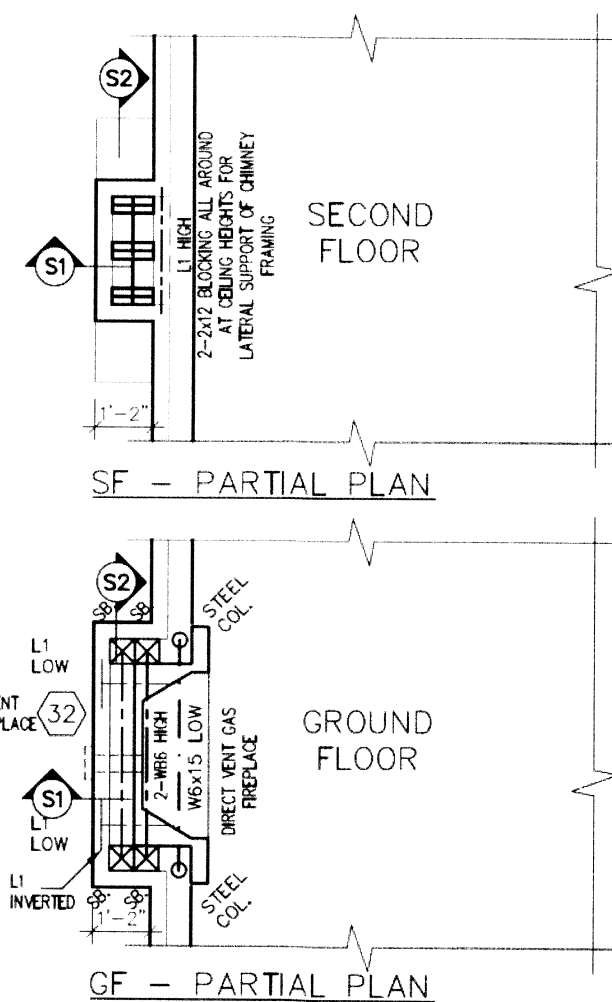
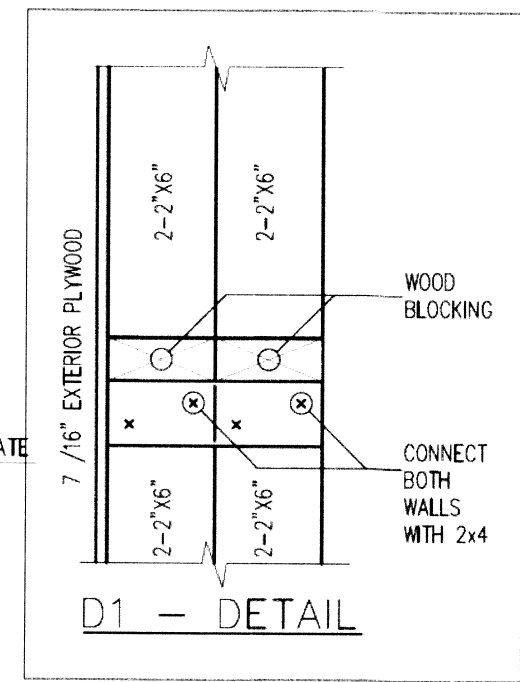
Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-24
Sewage System			
Zoning			



S1 - PARTIAL CROSS SECTION



S2 - PARTIAL CROSS SECTION



NOTES:

32 DIRECT VENT GAS FIREPLACE
DIRECT VENT GAS FIREPLACE. VENT
TO BE A MINIMUM 300mm (12")
FROM ANY OPENING AND ABOVE
FIN. GRADE. REFER TO GAS
UTILIZATION CODE

38 CONVENTIONAL ROOF FRAMING

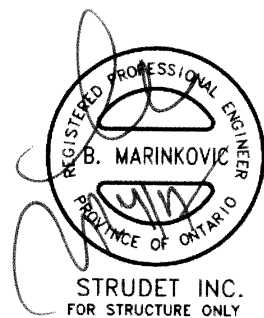
FOR MAX. 2240mm (7'-4") SPAN,
38x89 (2"x4") RAFTERS @400mm
(16") o.c.. FOR MAX. 3530mm
(11'-7") SPAN, 38x140 (2"x6")
RAFTERS @400mm (16") o.c.. RIDGE
BOARD TO BE 51mm (2") DEEPER.
38x39 (2"x4") COLLAR TIES AT
MIDSPANS. CEILING JOISTS TO BE
38x89 (2"x4") @400mm (16") o.c..
FOR MAX. 2830mm (9'-3") SPAN &
38x140 (2"x6") @ 400 (16") o.c. FOR
MAX. 4450mm (14'-7") SPAN.
RAFTERS FOR BUILT-UP ROOF TO BE
38x89 (2"x4") @600mm (24") o.c..
WITH A 38x89 (2"x4") CENTER POST
TO THE TRUSS BELOW, Laterally
BRACED @1800mm (6'-0") o.c..
VERTICALLY.

39 TWO STOREY VOLUME SPACES
 FOR A MAXIMUM 5490mm (18'-0")
 HEIGHT, PROVIDE 2-38x140 (2-2"x6")
 CONTINUOUS STUDS @300mm (12")
 o.c. FOR BRICK AND 400mm (16")
 o.c. FOR SIDING. PROVIDE SOLID
 WOOD BLOCKING BETWEEN STUDS
 @1220mm (4'-0") o.c. VERT. 7/16"
 EXT. PLYWOOD.

NOV 24 2017 **For Lot 14**
GLENWAY 12A
 ENERGY STAR

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.



18					9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		
17					8			qualification information		
16					7					
15					6					
14					5	ISSUED FOR PERMIT	NOV. 23/17	GW	Richard Vink <i>R Vink</i>	24480
13					4	ROOF SLOPE OVER OTB CHANGED TO 8:12.	OCT. 04/17	GW	Name: Registration Information:	BUL
12					3	REV. PER CLIENT COMMENTS.	SEP. 05/17	GW	VAS3 Design Inc.	42658
11					2		AUG. 30/17			
10					1	ISSUED FOR CLIENT REVIEW.	AUG. 14/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.	
no.	description				date	by	no.	description	date	by



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com



Greenpark™

project name	municipality
TRINAR HALL HOMES INC.	Town of EAST GWILLIMBURY

date
AUG 2017

AUG. 2017

drawn by _____ checked by _____ scale _____

GW - $3/16" = 1'-0"$

GLENWAY 12A

proj

17

DETAILS	drawing n
---------	-----------

DETAILS	AC
File name:	

ENWAY-12A

76	
----	--

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

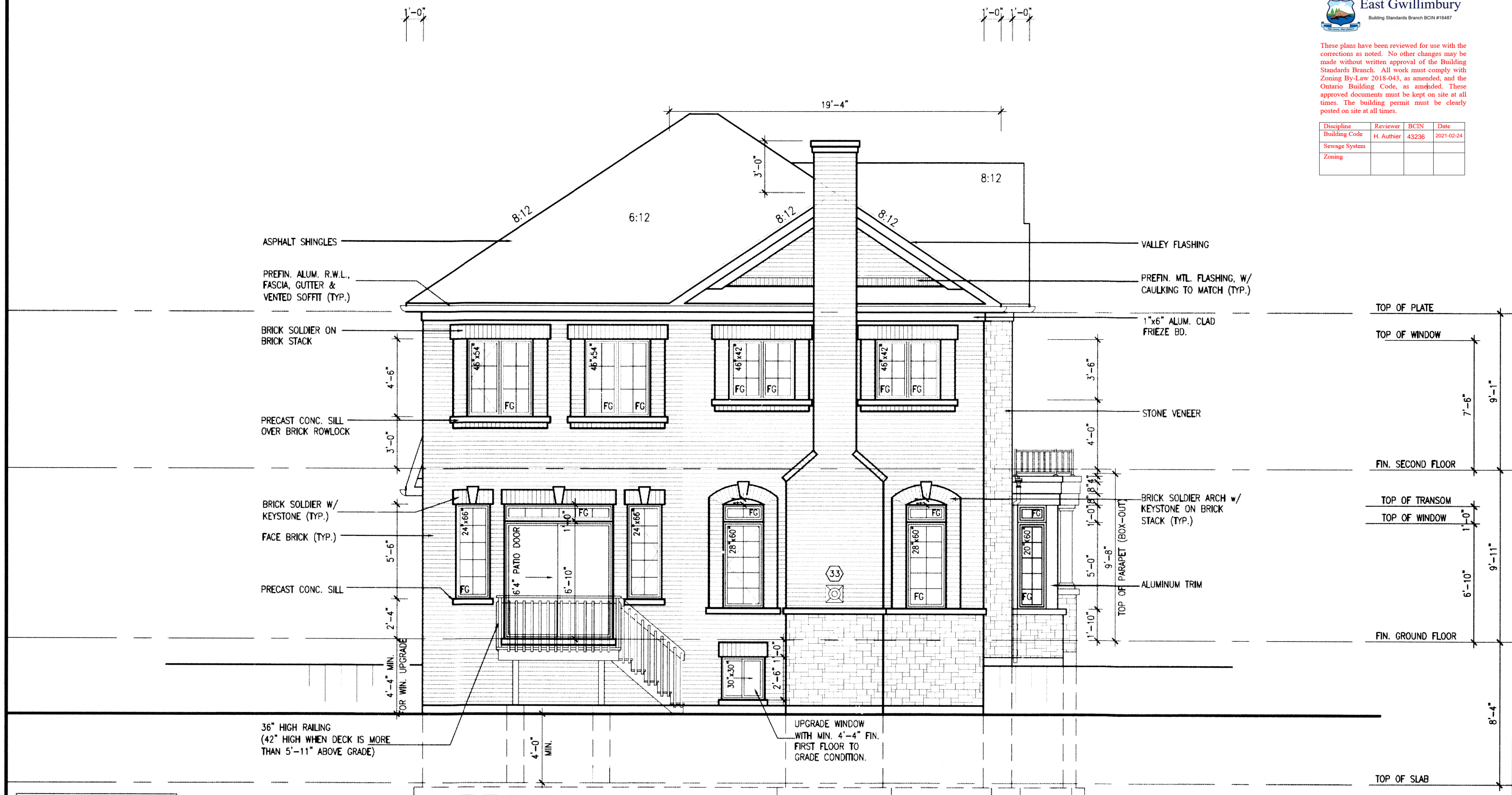
18				9			
17				8			
16				7			
15				6			
14				5	ISSUED FOR PERMIT	NOV. 23/17	GW
13				4	ROOF SLOPE OVER OTB CHANGED TO 8:12	OCT. 04/17	GW
12				3	REV. PER CLIENT COMMENTS.	SEP. 05/17	GW
11				2		AUG. 30/17	
10				1	ISSUED FOR CLIENT REVIEW	AUG. 14/17	GW
no.	description	date	by	no.	description	date	by

3042 SF.



These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-24
Sewage System			
Zoning			



REAR ELEVATION '1'
DECK CONDITION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

W Architect Inc.
DESIGN CONTROL REVIEW
DEC. 04, 2020
FINAL BY: *ALL*
This stamp is only for the purposes of design control and carries no other professional obligations.

NOV 24 2017
For Lot 14
GLENWAY 12A
ENERGY STAR

18		9			
17		8			
16		7			
15		6			
14		5	ISSUED FOR PERMIT	NOV. 23/17	GW
13		4	ROOF SLOPE OVER DTB CHANGED TO 8:12	OCT. 04/17	GW
12		3	REV. PER CLIENT COMMENTS	SEP. 05/17	GW
11		2		AUG. 30/17	GW
10		1	ISSUED FOR CLIENT REVIEW	AUG. 14/17	GW
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488 BCIN
name
signature
VA3 Design Inc. 42658
registration information
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name
TRINAR HALL HOMES INC.
date
AUG. 2017
checked by
scale
3/16" = 1'-0"
drawing no.
A11
file name
17026-GLENWAY-12A
project no.
17026
Town of EAST GWILLIMBURY
GLENWAY 12A
REAR ELEVATION - ELEV. 1- DECK CONDITION