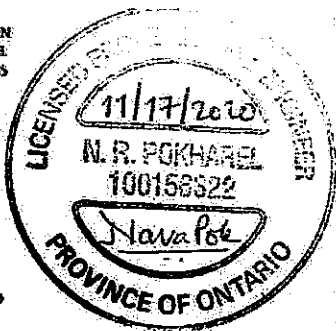


THIS LOT GRADING PLAN HAS BEEN REVIEWED BY METROPOLITAN CONSULTING INC. FOR CONFORMANCE WITH THE APPROVED SUBDIVISION GRADING DESIGN. THE PROPOSED GRADES ON THIS PLAN ARE IN GENERAL CONFORMITY WITH THE APPROVED GRADING PLAN AS IT RELATES TO THIS LOT AND ADJACENT LOTS. WHERE THE BASEMENT FLOOR OR OTHER FOUNDATION ELEVATIONS ARE PROPOSED AT A DIFFERENT ELEVATION THAN THAT SHOWN ON THE APPROVED SUBDIVISION PLANS THE SEWER LATERALS HAVE BEEN REVIEWED AND WE ARE SATISFIED THAT THE MINIMUM GRADES FOR THESE LATERALS CAN BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE O.B.C. AND CITY DESIGN CRITERIA. NOTE: THIS CERTIFICATION DOES NOT REPLACE THE BUILDER'S RESPONSIBILITY TO EXPOSE THE SEWER LATERALS AND CONFIRM ELEVATIONS PRIOR TO EXCAVATING FOR THE FOUNDATION. BY USE OF THIS PLAN THE BUILDER AGREES THAT THEY SHALL BE RESPONSIBLE FOR IMMEDIATELY REPORTING TO METROPOLITAN CONSULTING ANY DISCREPANCY OR VARIATION BETWEEN THE LATERAL INFORMATION AND GRADES DEPICTED ON THIS PLAN AND THE CONDITIONS FOUND IN THE FIELD.



CITY OF HAMILTON  
BUILDING DIVISION  
Planning & Development Department

JAN 26 2021

REC'D BY \_\_\_\_\_ DATE \_\_\_\_\_  
REF'D TO \_\_\_\_\_ DATE \_\_\_\_\_

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: \_\_\_\_\_  
DATE: DEC 07 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

CITY OF HAMILTON  
Building Division

Permit No. 20-103415

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

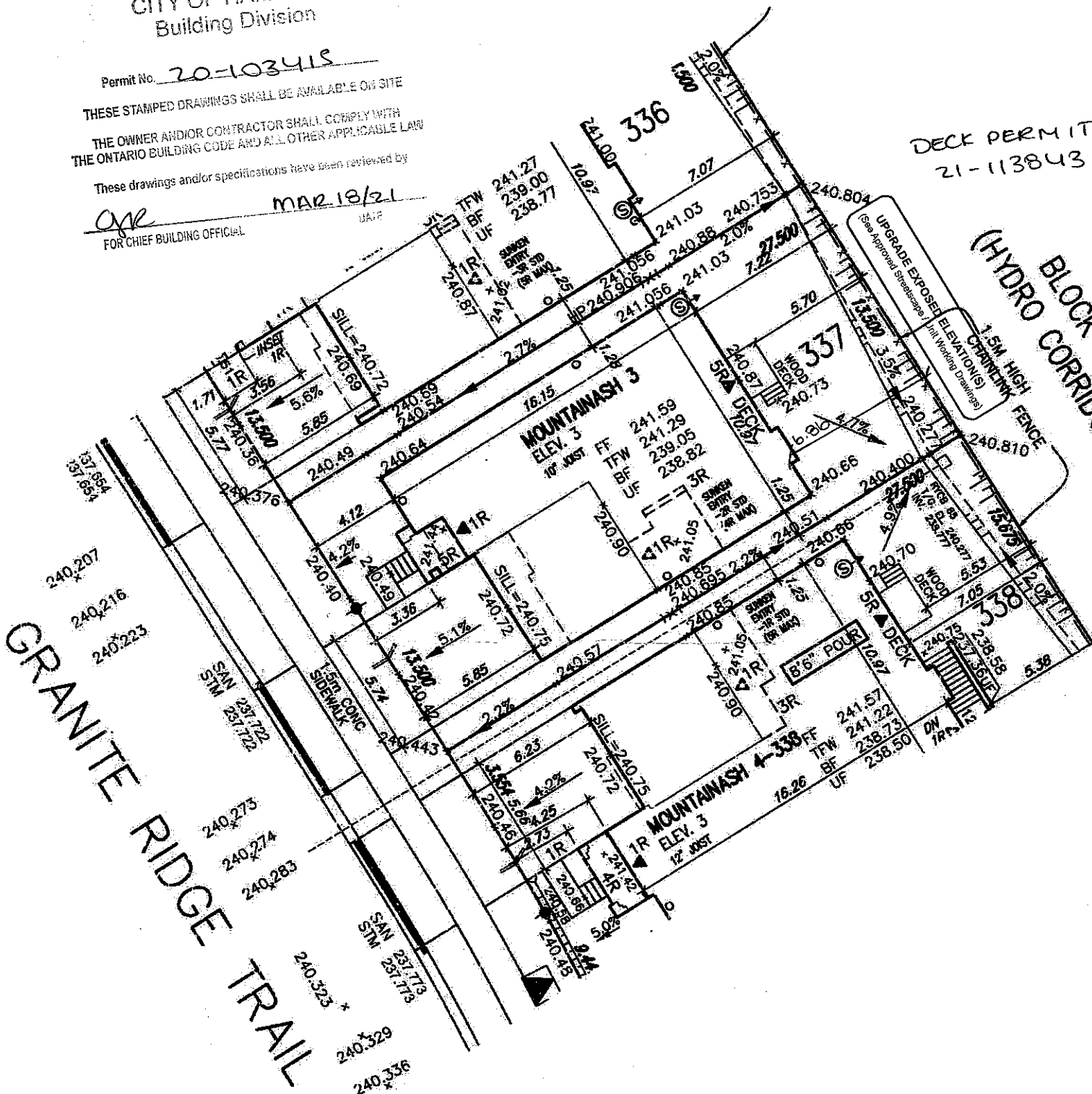
These drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL

MAR 18/21

DECK PERMIT  
21-113843

BLOCK 662  
(HYDRO CORRIDOR)



### LOT 337

| LOT No. | LOT WIDTH (M) | LOT AREA (M <sup>2</sup> ) |
|---------|---------------|----------------------------|
| 337     | 13.50         | 371.25                     |

**NOTE: SUMP PUMP REQUIRED**  
SUMP PUMPS CONNECTED TO STORM SEWER ARE REQUIRED AS PER THE APPROVED SITE ENGINEERING DRAWINGS. REFER TO DRAWINGS PREPARED BY METROPOLITAN CONSULTING INC. SHEET W14017-V1.

NOTE: REFER TO LANDSCAPE DRAWINGS FOR ALL FENCING TYPES, HEIGHTS AND LOCATIONS. CONTRACTOR TO VERIFY PRIOR TO INSTALLATION.

|                           |                                  |
|---------------------------|----------------------------------|
| PROPOSED VALVE            | NO. OF RISERS                    |
| LP LIGHT POLE             | FF FINISHED FLOOR ELEVATION      |
| HYDRANT                   | FL FINISHED MAIN LEVEL ELEVATION |
| WATER SERVICE             | UF UNDERSIDE FOOTING ELEVATION   |
| TRANSFORMER               | RF FIN. BASEMENT FLOOR SLAB      |
| DOUBLE STL/SWL CONNECTION | UFR UNDERSIDE FOOTING AT REAR    |
| SINGLE STL/SWL CONNECTION | UFF UNDERSIDE FOOTING AT FRONT   |
| CATCH BASIN               | UFS UNDERSIDE FOOTING AT SIDE    |
| CABLE TELEVISION PEDestal | W.O.D. WALK OUT DECK             |
| DELL. PEDestal            | W.O.D. WALK OUT BASEMENT         |
|                           | REV REVERSE PLAN                 |

|                                               |                                                          |
|-----------------------------------------------|----------------------------------------------------------|
| STREET SIGN                                   | PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA               |
| MAIL BOX                                      | THIS LOT CONTAINS ENGINEERED FILL                        |
| RETAINING WALL                                | AK AIR CONDITIONER REQUIRED                              |
| CHAIN LINK FENCE (SEE LANDSCAPE PLAN)         | RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD) |
| ADDITIONAL FENCE (SEE LANDSCAPE PLAN)         | SIDE WINDOW LOCATION                                     |
| WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)        | OPT. DOOR LOCATION                                       |
| HYDRO SERVICE LATERAL                         | EXTERIOR DOOR LOCATION                                   |
| HYDRO METER                                   | REDUCE SIDE YARD                                         |
| GAS METER                                     |                                                          |
| EMBANKMENT (3:1 SLOPE UNLESS OTHERWISE NOTED) |                                                          |

|                                            |                                                          |
|--------------------------------------------|----------------------------------------------------------|
| PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA | THIS LOT CONTAINS ENGINEERED FILL                        |
| AK AIR CONDITIONER REQUIRED                | RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD) |
| SIDE WINDOW LOCATION                       | OPT. DOOR LOCATION                                       |
| EXTERIOR DOOR LOCATION                     | REDUCE SIDE YARD                                         |



| no. | description       | date      | by |
|-----|-------------------|-----------|----|
| 1   | ISSUED FOR PERMIT | NOV 06/20 | GW |

|                           |           |       |
|---------------------------|-----------|-------|
| qualification information | signature | 24498 |
| name                      | signature | 42658 |
| name                      | signature | 42658 |

**VAS DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
416.830.2255 / 416.630.4782  
vasdesign.com

|              |                         |              |                        |
|--------------|-------------------------|--------------|------------------------|
| project name | RUSSELL GARDENS PHASE 3 | municipality | HAMILTON               |
| date         | SEPT. 2020              | scale        | 1:250                  |
| drawn by     | GW                      | checked by   |                        |
| date         | SEPT. 2020              | date         | 19014-RG3-SITE-LAYOUTS |

|                     |          |
|---------------------|----------|
| lot/block no.       | 337      |
| registered plan no. | 62M-1266 |
| project no.         | 19014    |
| drawing no.         | 1        |