

--- STORM CONNECTION

--- SANITARY CONNECTION

W--- WATER CONNECTION

H--- HYDRO CONNECTION

□ DOUBLE CATCH BASIN

□ CATCH BASIN

⊕ HYDRANT

⊗ VALVE AND CHAMBER

△ ENTRANCE DOOR LOCATION

▲ GARAGE DOOR LOCATION

* ENGINEERED FILL LOT

● SANITARY MANHOLE

○ STORM MANHOLE

MAIL COMMUNITY MAILBOX

▽ DOWNSPOUT LOCATION

SWALE DIRECTION

● STREET LIGHT

▲ TRANSFORMER

⊠ CABLE TV PEDESTAL

■ BELL PEDESTAL

FG BELL/ROG. FLUSH TO GRADE

HM HYDRO METER

⊙ GAS METER

⊠ AIR-CONDITIONING UNIT

SP SUMP PUMP

F.F.L.R. SHED FLOOR ELEVATION

T.WALL TOP OF FOUNDATION WALL

F.SLAB FIN. BASEMENT FLOOR SLAB

U.FTG. UNDERSIDE FOOTING ELEVATION

PROPOSED 3:1 SLOPE

PROPOSED GRADE

PROPOSED SWALE GRADE

APPROVED

For construction as per the Ontario Building Code

Town of Caledon Building Department

Initial J.S. SNELL SAN: 260.17 STM: 260.44

Date Aug. 29/19 SAN: 260.10 STM: 260.38

File # BA/19/2505

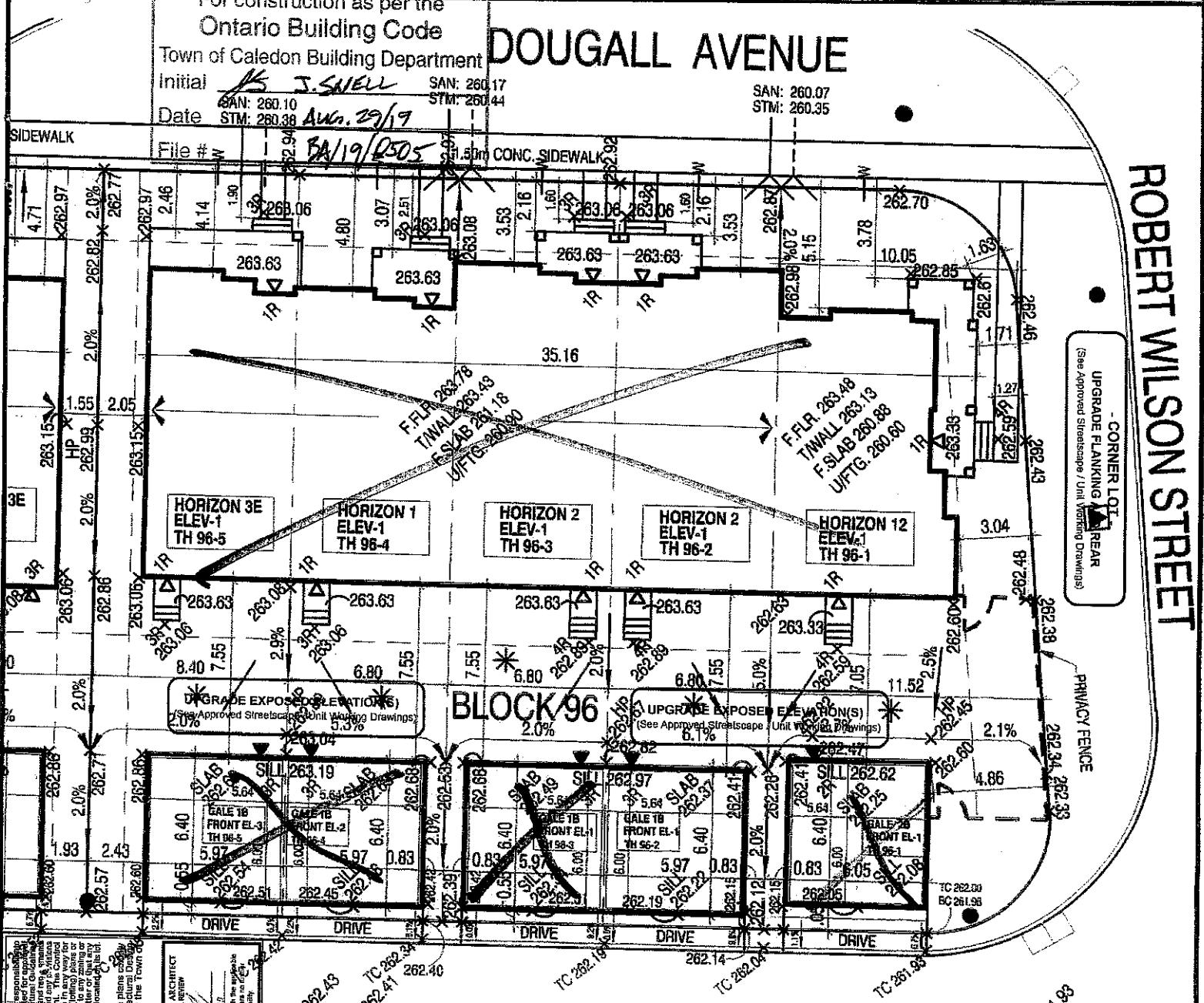
DOUGALL AVENUE

ROBERT WILSON STREET

PHINACY FENCE

CORNER LOT (REAR)

UPGRADE FLANKING (See Approved Streetscape / Unit Working Drawings)



NOTE: THE AS-CONSTRUCTED STORM AND SANITARY CONNECTION INVERTS HAVE BEEN PROVIDED BY CON-DRAIN GROUP

NOTE: ANY ENGINEERED FILL LOTS NOTED ARE ESTIMATED AND FOR THE ENGINEER'S REVIEW AND THE ENGINEER'S CERTIFICATE PROVIDED BY THE PROJECT GEOTECHNICAL CONSULTANT WILL GOVERN

NOTE: IT IS THE BUILDER'S RESPONSIBILITY TO CONFIRM IN THE FIELD THAT ALL SANITARY AND STORM LATERALS ELEVATIONS ARE ACCEPTABLE PRIOR TO POURING FOOTINGS

APPROVED BY: JOHN W. WILSON, ARCHITECT

DATE: JUN 25, 2019

THIS CERTIFICATE IS VALID FOR THE PROJECT ONLY AND DOES NOT CONSTITUTE A PROFESSIONAL RESPONSIBILITY.

RECEIVED

AUG 23 2019

CALEDON BUILDING SECTION

DSEL

david schaeffer engineering ltd

LOT GRADING REVIEW

WE CERTIFY THAT THE PROPOSED GRADES AT THE LOT CORNERS ARE CORRECT, AND THAT THE LOT GRADING OF THE SUBJECT LOT IS IN CONFORMITY TO THE APPROVED SUBDIVISION GRADING PLANS AND TOWN STANDARDS. THE UNDERSIGNED ASSUMES NO RESPONSIBILITY FOR THE CORRECTNESS OF THE BUILDING DIMENSIONS AND/OR CONFORMITY TO ANY APPLICABLE ZONING BY-LAWS.

Registered Plan No. 43M-2071

Lot No(s). Block 96

Date: JUNE/20/2019

REVISIONS:

9	JUNE 24, 2019	REMOVED TC/BC ELEVATIONS & RE-ISSUED FOR PERMIT
8	JUNE 20, 2019	ADJUSTED DRIVEWAY SLOPES & RE-ISSUED FOR PERMIT
7	JUNE 12, 2019	REV. AS PER ENGINEER'S COMMENTS & RE-ISSUED FOR PERMIT
6	MAY 29, 2019	ISSUED FOR PERMIT
5	APR. 16, 2019	ISSUED TO CLIENT FOR REVIEW.
4	MAR. 28, 2019	ISSUED TO CLIENT FOR REVIEW.
3	MAR. 27, 2019	ISSUED TO CLIENT FOR REVIEW.
2	DEC. 16, 2018	UPDATED & ISSUED FOR REVIEW
1	DEC. 3, 2018	ISSUED FOR ENGINEERS GRADING REVIEW.

Greenpark.

SCALE 1:250

5m 0m 5m 10m

LAMBERTS LANE HOME CORP. PH-2

PROJ. No. 18-18 MUNICIPAL ADDRESS

LOT No. BLK. 96

BILD

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRATA PLAN, OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

jardin

DESIGN GROUP INC.

64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3

TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca

PLAN OF SUBDIVISION OF PART OF LOTS 21 AND 22 CONCESSION 1 EAST OF HURONTARIO STREET REGIONAL MUNICIPALITY OF PEEL (GEOGRAPHIC TOWNSHIP OF CHINGACOUSY) TOWN OF CALEDON REGISTERED PLAN 43M.