

STRIP FOOTINGS FOR SINGLES AND SEMIS UP TO 2 STOREY

120 KPa NATIVE SOIL

20"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS

100 KPa NATIVE SOIL

22"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS
28"x10" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS
OR
28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS

90 KPa ENGINEERED FILL SOIL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW FOUNDATION WALLS
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS

GENERAL NOTE:

ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa
FOR ENGINEERED FILL, TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL
FOOTING DETAIL FOR REINFORCEMENT

(REFER TO ENG. FILL FOOTING DETAIL)

BUILDING INSPECTOR IS REQUIRED TO BE ON SITE
FOR ALL MANDATORY INSPECTIONS. REFER TO
ATTACHED BUILDING PERMIT FOR DETAILS

APPROVED
For construction as per the
Ontario Building Code
Town of Caledon Building Department
Initial *J. S. NEUL*
Date *SEP 5/19*
BA/19/0571

AREA CALCULATIONS EL-2

FIRST FLOOR AREA	=	1166 Sq. Ft.
SECOND FLOOR AREA	=	1458 Sq. Ft.
TOTAL FLOOR AREA	=	2624 Sq. Ft.
ADD OPEN AREAS	=	3 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2627 Sq. Ft.
GROUND FLOOR COVERAGE	=	1166 Sq. Ft.
GARAGE COVERAGE / AREA	=	377 Sq. Ft.
PORCH COVERAGE / AREA	=	60 Sq. Ft.
COVERAGE W/ PORCH	=	1603 Sq. Ft.
COVERAGE W/O PORCH	=	1469 Sq. Ft.
COVERAGE W/O PORCH	=	1543 Sq. Ft.
COVERAGE W/O PORCH	=	143.3 Sq. Ft.

2638

11.0m LOTS

BARTON 3-35 (GR)
ELEVATION 2

ENERGY STAR

O.REG. 332/12

STRUDET INC.



FOR STRUCTURAL ONLY

THE CONTRACTOR SHALL CHECK THE QUALITY OF ALL MATERIALS AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING CODE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE AND PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ROADS AND DRIVEWAYS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING FENCES AND BARRIERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE AND PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ROADS AND DRIVEWAYS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING FENCES AND BARRIERS.

7		
6		
5		
4		
3	JULY 22, 2018	PREPARED DRAWING FOR LOT 35
2	JAN. 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018	COMPLETED TO PRECOORDINATION
		STAGE ISSUED TO CLIENT

No. DATE WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION:
Required unless design is exempt under Division C, Subsection 2.2.1 of the Building Code.

Walker Boller *WBB* 21031
NAME SIGNATURE BCN

REGISTRATION INFORMATION:
Required unless design is exempt under Division C, Subsection 2.2.1 of the Building Code.

Jardin design group inc. 27763
FIRM NAME BCN

TITLE SHEET

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

TYPE I AREA

SCALE: 3/16" = 1'-0"

PROJ. NO. 18-18 DWG. No. 0

PAD FOOTING

120 KPa NATIVE SOIL

F1 = 42"x42"x18" CONCRETE PAD
F2 = 38"x38"x18" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD

90 KPa ENGINEERED FILL SOIL

F1 = 48"x48"x20" CONCRETE PAD
F2 = 40"x40"x18" CONCRETE PAD
F3 = 34"x34"x14" CONCRETE PAD
F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD

100 KPa NATIVE SOIL

F1 = 48"x48"x20" CONCRETE PAD
F2 = 38"x38"x18" CONCRETE PAD
F3 = 32"x32"x14" CONCRETE PAD
F4 = 26"x26"x12" CONCRETE PAD
F5 = 17"x17"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

NOTE:

WHEN VENEER CUT IS GREATER THAN 28" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.

NOTE:

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa
WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS:

WL1 = 3'1 1/2" x 3'1 1/2" x 14" (100x90x6) - 2' 2" x 8" SPR.
WL2 = 4' x 3'1 1/2" x 14" (100x90x6) - 2' 2" x 8" SPR.
WL3 = 5' x 3'1 1/2" x 14" (125x90x6) - 2' 2" x 10" SPR.
WL4 = 6' x 3'1 1/2" x 14" (150x90x6) - 2' 2" x 12" SPR.
WL5 = 6' x 4' x 3'1 1/2" (150x100x6) - 2' 2" x 12" SPR.
WL6 = 5' x 3'1 1/2" x 14" (125x90x6) - 2' 2" x 12" SPR.
WL7 = 5' x 3'1 1/2" x 14" (125x90x6) - 3' 2" x 10" SPR.
WL8 = 5' x 3'1 1/2" x 14" (125x90x6) - 3' 2" x 12" SPR.
WL9 = 6' x 4' x 3'1 1/2" (150x100x6) - 3' 2" x 12" SPR.

WOOD LINTELS:

WB1 = 2' 2" x 8" SPRUCE BEAM
WB2 = 3' 2" x 8" SPRUCE BEAM
WB3 = 2' 2" x 10" SPRUCE BEAM
WB4 = 3' 2" x 10" SPRUCE BEAM
WB5 = 2' 2" x 12" SPRUCE BEAM
WB6 = 3' 2" x 12" SPRUCE BEAM
WB7 = 5' 2" x 12" SPRUCE BEAM
WB8 = 4' 2" x 8" SPRUCE BEAM
WB9 = 4' 2" x 10" SPRUCE BEAM
WB10 = 4' 2" x 10" SPRUCE BEAM
WB11 = 4' 2" x 10" SPRUCE BEAM

STEEL LINTELS:

L1 = 3'1 1/2" x 3'1 1/2" x 14" (100x90x6)
L2 = 4' x 3'1 1/2" x 14" (100x90x6)
L3 = 5' x 3'1 1/2" x 14" (125x90x6)
L4 = 6' x 3'1 1/2" x 14" (150x90x6)
L5 = 6' x 4' x 3'1 1/2" (150x100x6)
L6 = 7' x 4' x 3'1 1/2" (180x100x6)

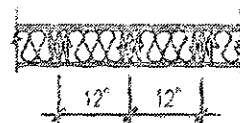
LAMINATED VENEER LUMBER (LVL BEAMS)

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m)
(45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED
OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE
- LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

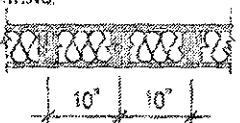
2-2"x8" STUD WALL NAILED TOGETHER AND SPACED @12" O.C.
FULL HT. CW SOLID BLOCKING 4'-0" O.C. VERTICAL AND 7'-0" EXT. PLYWOOD SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

TWO STOREY HEIGHT WALL DETAIL

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSJ) 1 SE STUD WALL GLUED
AND NAILED TOGETHER AND SPACED MAX. @10" O.C. FULL HT.
CW SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL AND 7'-0" EXT.
CSB SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

TWO STOREY HEIGHT WALL DETAIL

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS
PROVIDE 1 ROW BRIDGING FOR SPANS OF 8'-7". 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN

OPENINGS WITHIN GUARDS AND SPACERS
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

ALL SPECIFICATIONS MUST BE KEPT ON SITE AT ALL TIMES
DURING CONSTRUCTION AS PER O.B.C.

BARTON 3 ELEV.-2	ENERGY EFFICIENCY-ENERGY STAR		
ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	629.00	69.00	10.97 %
LEFT SIDE	1280.00	54.00	4.29 %
RIGHT SIDE	1255.00	55.00	4.35 %
REAR	688.00	106.00	15.97 %
TOTAL	3852.00	284.00	7.45 %

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE BUILDING CODE

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND
EQUIPMENT SHALL CONFORM TO THE FOLLOWING

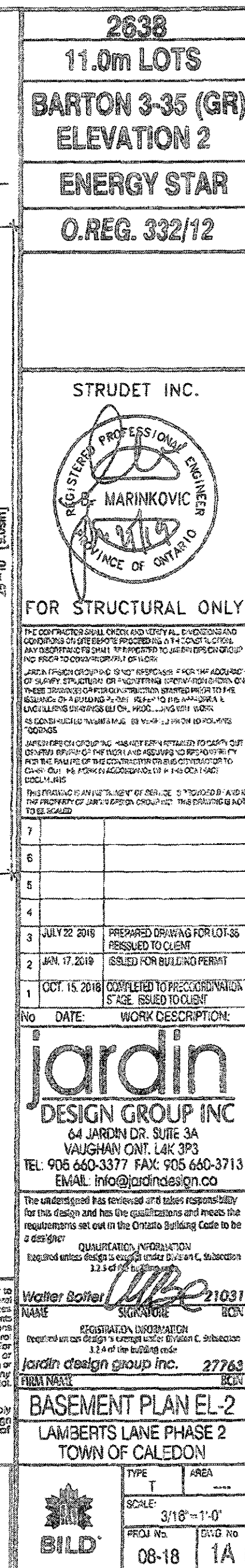
ENERGY STAR V-17	
COMPONENT	NOTE
CEILING WITH ATTIC SPACE	10.36 (R60)
MINIMUM RSI (R) VALUE	
CEILING WITHOUT ATTIC SPACE	5.46 (R31)
MINIMUM RSI (R) VALUE	
EXPOSE FLOOR	5.46 (R31)
MINIMUM RSI (R) VALUE	
WALLS ABOVE GRADE	4.75 (R22-RS)
MINIMUM RSI (R) VALUE	
BASEMENT WALLS	3.52 (R20 BLANKET)
MINIMUM RSI (R) VALUE	
EDGE OF BELOW GRADE SLAB	1.76 (R10)
< 80mm BELOW GRADE	
MINIMUM RSI (R) VALUE	
SLAB < 600mm BELOW GRADE	1.76 (R10)
MINIMUM RSI (R) VALUE	
WINDOWS & SLIDING GLASS DOORS	ENERGY STAR ® ZONE 2 (R 28/20/14 4)
MAXIMUM U-VALUE	
SPACE HEATING EQUIPMENT	MIN. 98% AFUE
MINIMUM AFUE	
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HRV	TIER 2 75% SRE ENERGY STAR ® HRV TO BE INTERCONNECTED TO THE FURNACE FAN MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/AIR
MINIMUM EFFICIENCY	
HOT WATER TANK	CONDENSING HOT WATER TANK 90% TE EFFICIENCY
DRAIN WATER HEAT RECOVERY	TWO SHOWERS > 42% STEADY R3-42 OR T1342
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (2.5 ACH/0.18 NLP) ATTACHED LEVEL 1 (3.0 ACH/0.23 NLP)
DUCT SEALING	ALL SUPPLY DUCTS AND 1 m OF RETURN DUCTS
LIGHTS	75% CFLS OR LEDS

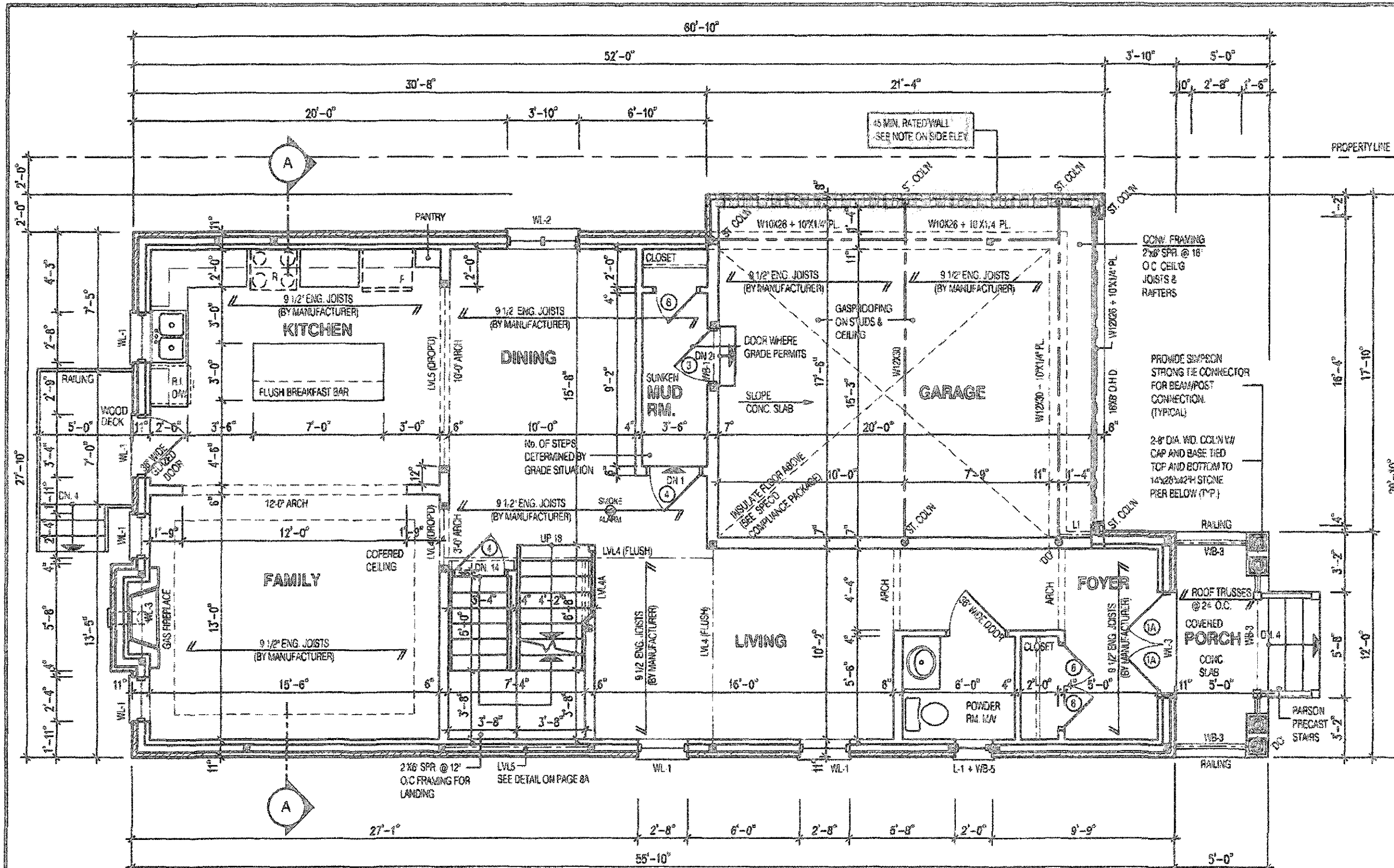
Energy
ESCC MODEL
ENERGY STAR - V 17

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor is not responsible in any way for obtaining or approving a building permit or for any building code or permit matter or that any laws can be properly built or located on the site.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

APPLICANT COPY





SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

NOTE:
REFER TO SHEET NO. 0-1 FOR UNTEL, BEAMS AND DOOR SIZE

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12 O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5-7. 2 ROWS FOR SPANS GREATER THAN 7

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:

SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m) (15 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE LAMINATED VENEER LUMBER
- SJ SINGLE JOIST
- DJ DOUBLE JOIST
- TJ TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving site (lotting) plans or building drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Caledon.

MURRAY WILLIAMS LTD., ARCHITECT
PROFESSIONAL ARCHITECT
AND APPROVAL
APPROVED BY: [Signature]
DATE: 24th Oct. 2018

2638

11.0m LOTS

BARTON 3-35 (GR)
ELEVATION 2

ENERGY STAR

O.REG. 332/12

STRUDET INC.



FOR STRUCTURAL ONLY

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF EXISTING STRUCTURAL OR MECHANICAL INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF THESE DRAWINGS. WHILE IT IS THE CONTRACTOR'S OBLIGATION TO VERIFY THE EXISTING CONDITIONS, JARDIN DESIGN GROUP INC. WILL MARK AS CONFLICTED DIMENSIONS, EXISTING STRUCTURE IDENTIFYING "TODAYS".
JARDIN DESIGN GROUP INC. HAS NOT DESIGNED TO CARRY OUT OTHER PARTS OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK AS APPROVED BY THE DESIGNER.
THIS DRAWING IS THE PROPERTY OF JARDIN DESIGN GROUP INC. AND IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF JARDIN DESIGN GROUP INC.

7		
6		
5		
4		
3	JULY 22, 2018	PREPARED DRAWING FOR LOT-35
2	JAN. 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018	COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT

No. DATE WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 2.2.5 of the building code.

Walter Botter [Signature] 21031
NAME SIGNATURE BCN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 2.2.4 of the building code.

Jardin design group inc. 27763
FIRM NAME BCN

FIRST FLOOR PLAN EL-2

LAMBERTS LANE PHASE 2

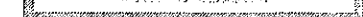
TOWN OF CALEDON

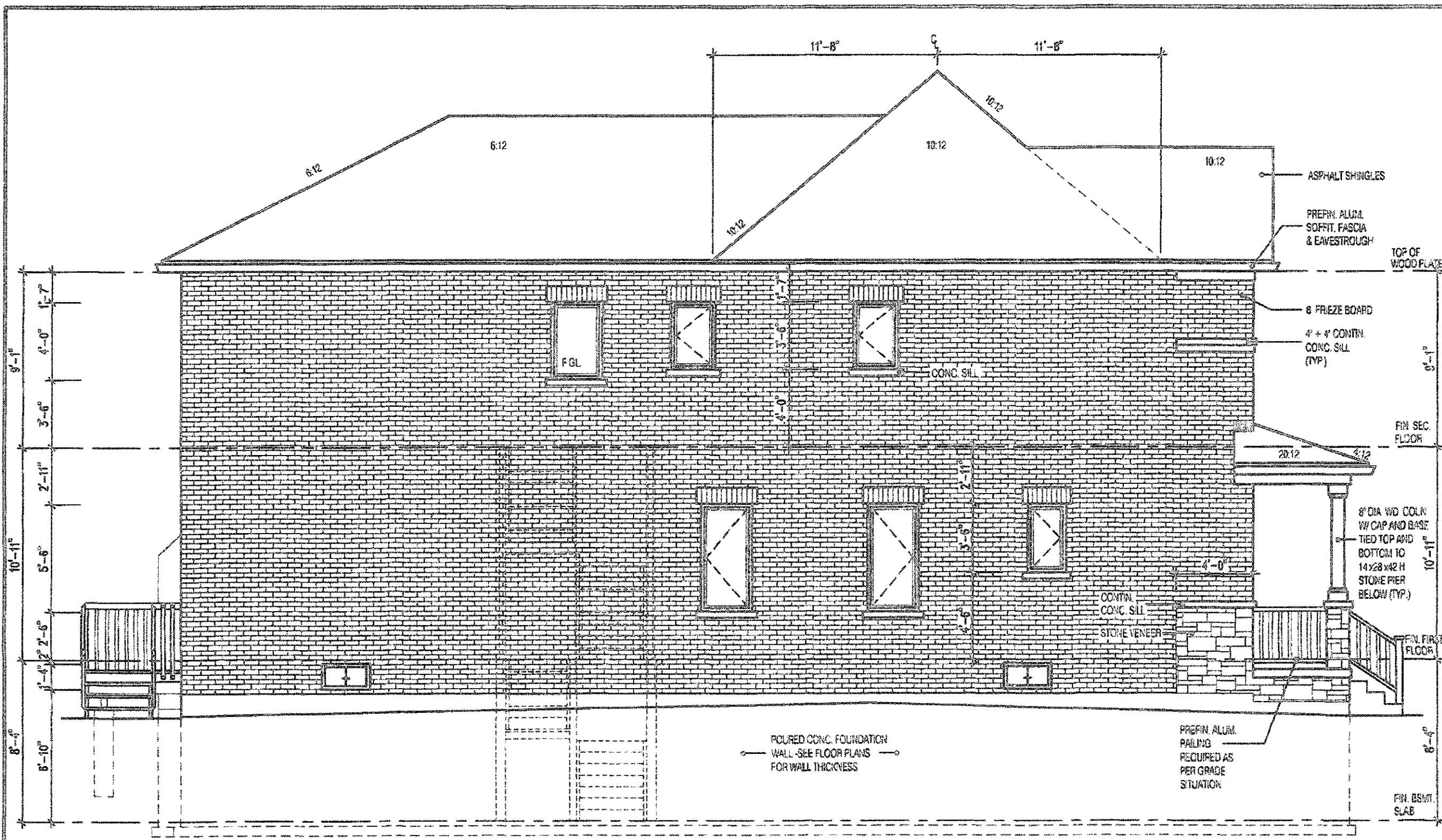
TYPE AREA

SCALE: 3/16" = 1'-0"

PROJ. NO. 08-18

DATE 2A





SIDE ELEVATION-2

UNPROTECTED OPENINGS

WALL AREA	1260
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDNEYARD)	88.2
ACTUAL GLASS AREA	54.9

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM GUARDS SHALL BE DESIGNED TO NOT EXCEED 100 MM

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor Architect is not responsible in any way for examining or approving any (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Caledon.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL PANEL
APPROVED BY: *[Signature]*
DATE: AUG. 26, 2019

2638

11.0m LOTS

BARTON 3-35 (GR)

ELEVATION 2

ENERGY STAR

O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION OR FOR CONSTRUCTION INFORMATION ON THESE DRAWINGS. FOR CONSTRUCTION INFORMATION, REFER TO THE ASSURANCE OF A BUILDING INSPECTOR. REFER TO THE ASSURANCE OF A BUILDING INSPECTOR. REFER TO THE ASSURANCE OF A BUILDING INSPECTOR. REFER TO THE ASSURANCE OF A BUILDING INSPECTOR.

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THIS DRAWING IS A PROFESSIONAL SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

No.	DATE	WORK DESCRIPTION
7		
6		
5		
4		
3	JULY 27, 2019	PREPARED DRAWING FOR LOT 35 ISSUED TO CLIENT
2	JAN. 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018	COMPLETED PRE-COORDINATION STAGE. ISSUED TO CLIENT

jardin

DESIGN GROUP INC

64 JARDIN DR. SUITE 3A

VAUGHAN, ONT. L4K 3P3

TEL: 905 660-3377 FAX: 905 660-3713

EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 1.1.5 of the Building Code.

Walter Boller *[Signature]* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 1.1.4 of the Building Code.

Jardin design group inc. 27763
FIRM NAME BCIN

SIDE ELEVATION 2

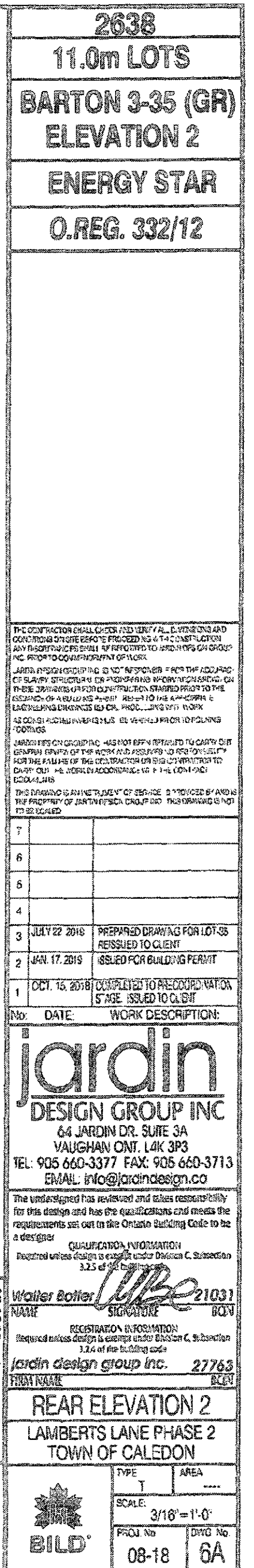
LAMBERTS LANE PHASE 2

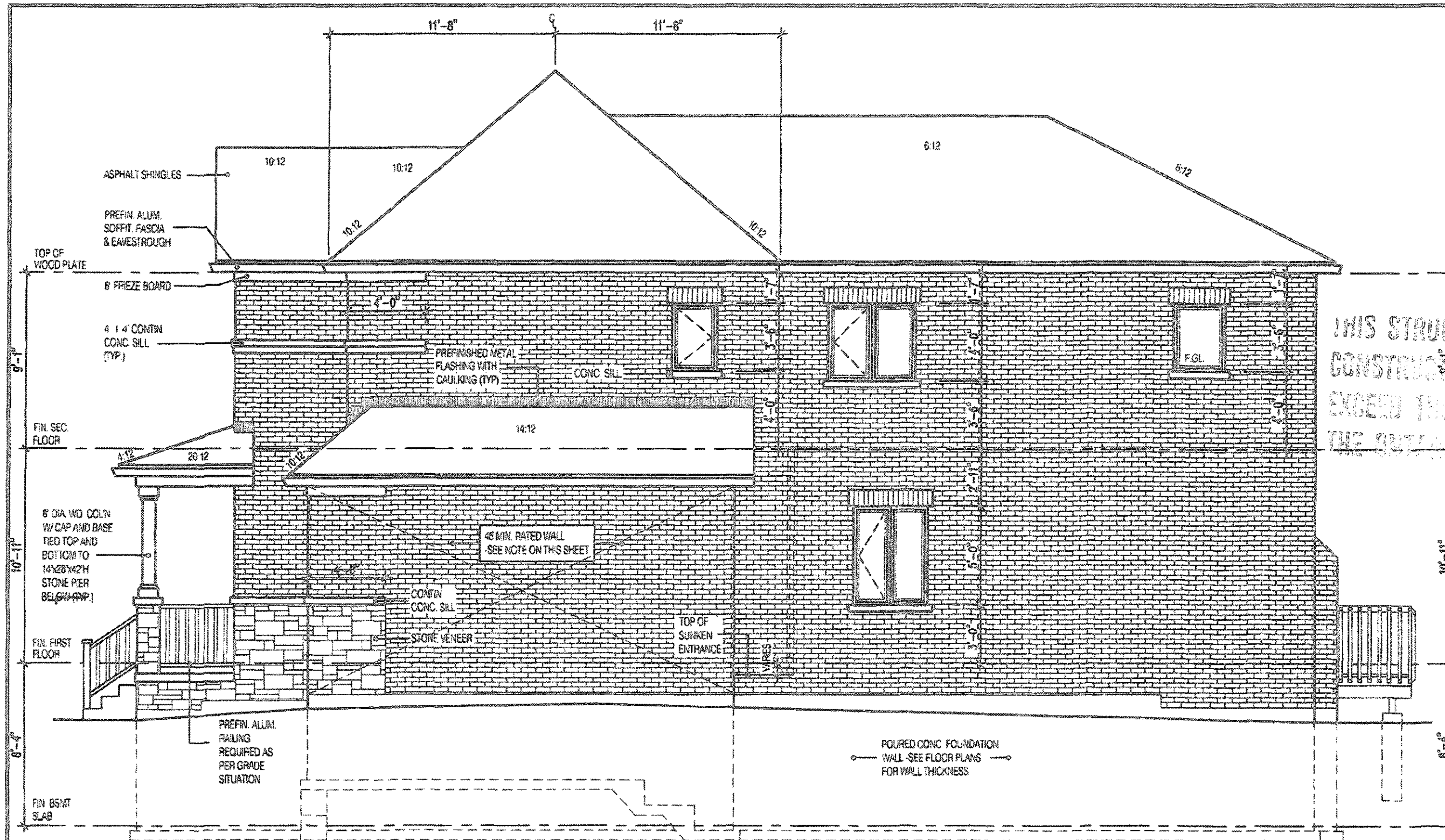
TOWN OF CALEDON

TYPE	AREA
T	---

SCALE: 3/16"=1'-0"

PROJ. No.	DWG. No.
08-18	5A





SIDE ELEVATION-2 UNPROTECTED OPENINGS

WALL AREA	1255	sq ft
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDYARD)	88.0	sq ft
ACTUAL GLASS AREA	42.5	sq ft

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.

(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)

HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED AT HEADER

PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE REQUIREMENTS OF THE BUILDING CODE

2638
11.0m LOTS
BARTON 3-35 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. ANY DEVIATIONS SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY INFORMATION OR INFORMATION PROVIDED BY OTHER SOURCES. THESE DRAWINGS OR INFORMATION SHOWN PRIOR TO THE COMMENCEMENT OF CONSTRUCTION SHALL BE THE PROPERTY OF JARDIN DESIGN GROUP INC. AND NO PART SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF JARDIN DESIGN GROUP INC. THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

No.	DATE	WORK DESCRIPTION
7		
6		
5		
4		
3	JULY 22, 2019	PREPARED DRAWING FOR LOT 35 ISSUED TO CLIENT
2	JAN 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018	COMPLETED TO PRECORPORATION STAGE ISSUED TO CLIENT

Jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Walter Boffe
NAME
SIGNATURE
21031
BOB

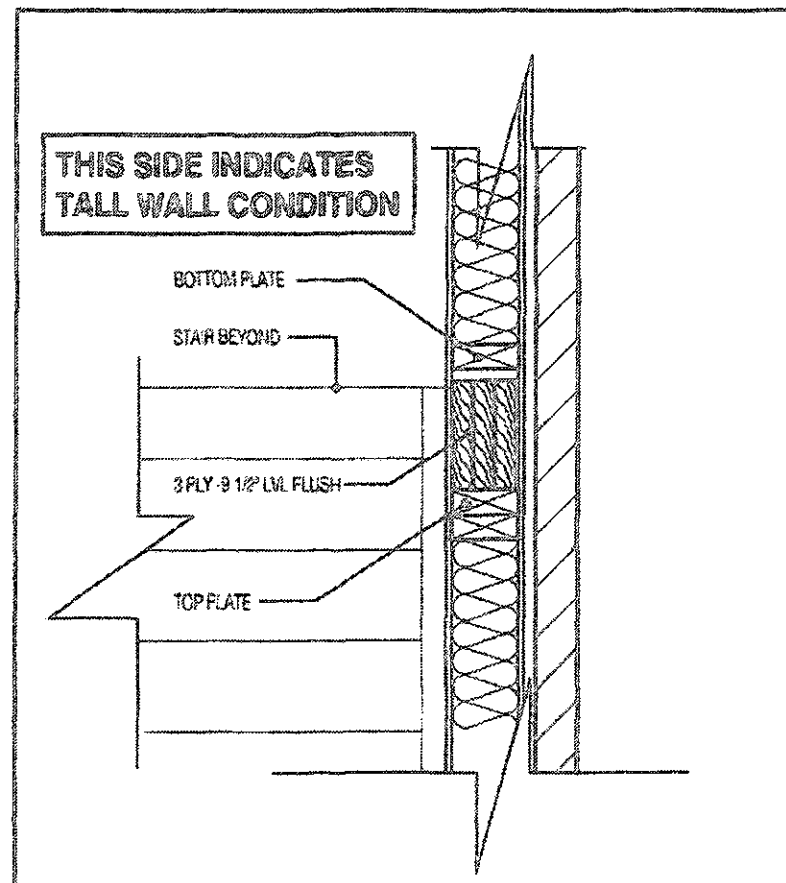
REGISTRATION INFORMATION
Jardin design group inc. 27763
FIRST NAME
BOB

SIDE ELEVATION 2	
LAMBERTS LANE PHASE 2	
TOWN OF CALEDON	
TYPE	AREA
T	---
SCALE: 3/16" = 1'-0"	
PROJ. NO.	DWG. NO.
08-18	7A

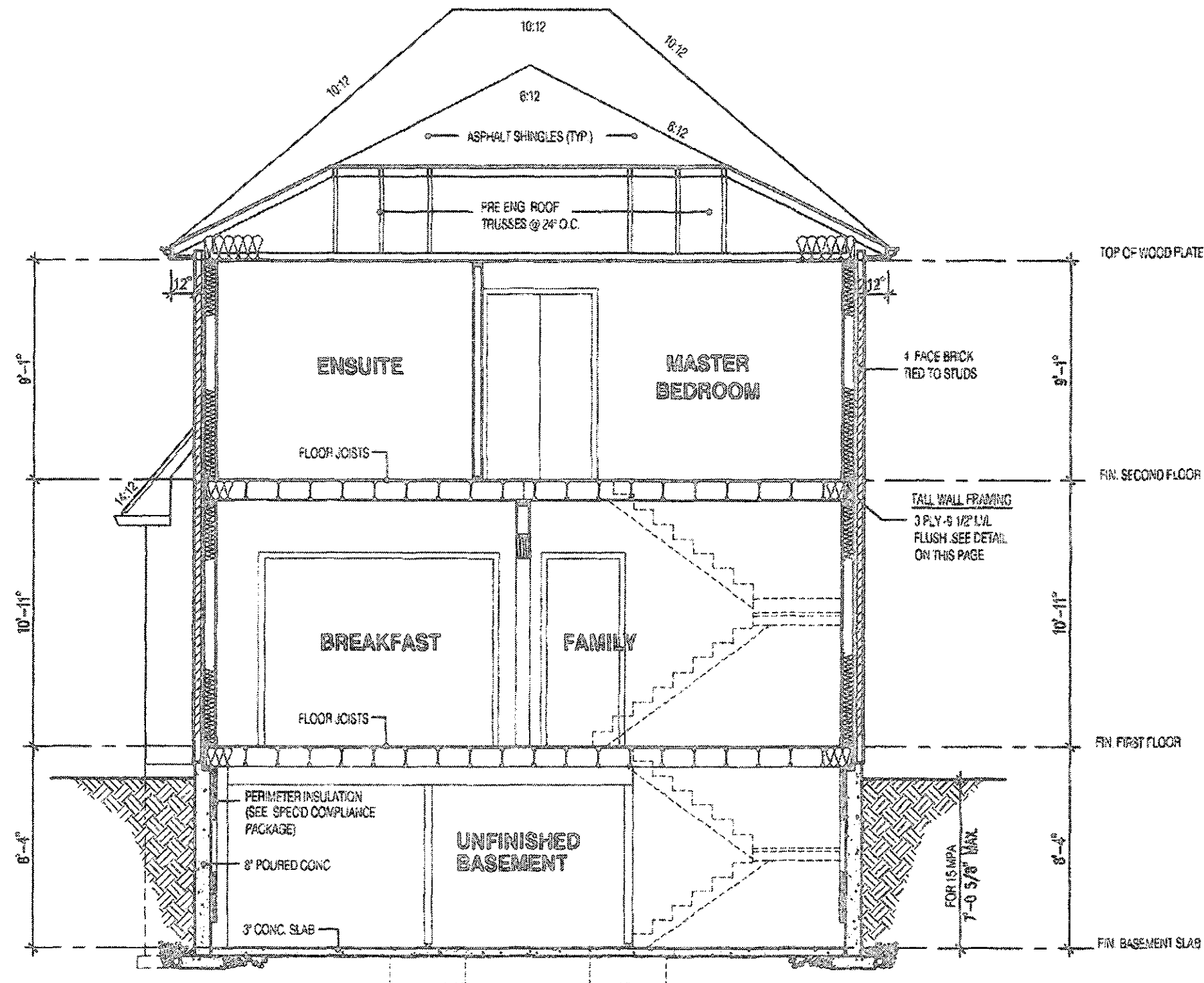
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Central Architect is not responsible in any way for executing or approving the (plans) or for working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN C. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONSULTANT
AND APPROVAL
APPROVED BY: [Signature]
DATE: AUG 16, 2019

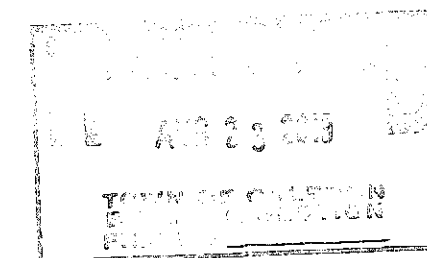


B TALL WALL FRAMING
NTS



**SECTION A-A
ELEVATION 2**

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING.



JUL 20 2018

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (stake) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Caledon.

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE REQUIREMENTS OF THE ONTARIO BUILDING CODE

2638	
11.0m LOTS	
BARTON 3-35 (GR)	
ELEVATION 2	
ENERGY STAR	
O.REG. 332/12	
STRUDET INC.	
FOR STRUCTURAL ONLY	
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO ANY COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY INFORMATION OR INFORMATION PROVIDED ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. PERMIT TO THE ARCHITECT & JARDIN DESIGN GROUP INC. FOR THE DESIGN AND CONSTRUCTION OF THE STRUCTURE. JARDIN DESIGN GROUP INC. HAS NOT BEEN ADVISED TO CARRY OUT ANY OTHER WORK ON THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUBCONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE & IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.	
7	
6	
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4	
3	JULY 22, 2018 PREPARED DRAWING FOR LOT 35
2	JAN. 17, 2018 ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018 COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT
No.	DATE WORK DESCRIPTION:
Jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	
QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.1 of the building code.	
Walter Botter NAME SIGNATURE 21031 BCIN	REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.1 of the building code. Jardin design group inc. 27763 FIRM NAME BCIN
SECTION ELEVATION 2 LAMBERTS LANE PHASE 2 TOWN OF CALEDON	
	TYPE T AREA --- SCALE: 3/16" = 1'-0" PROJ. No. 08-18 DWG. No. 8A