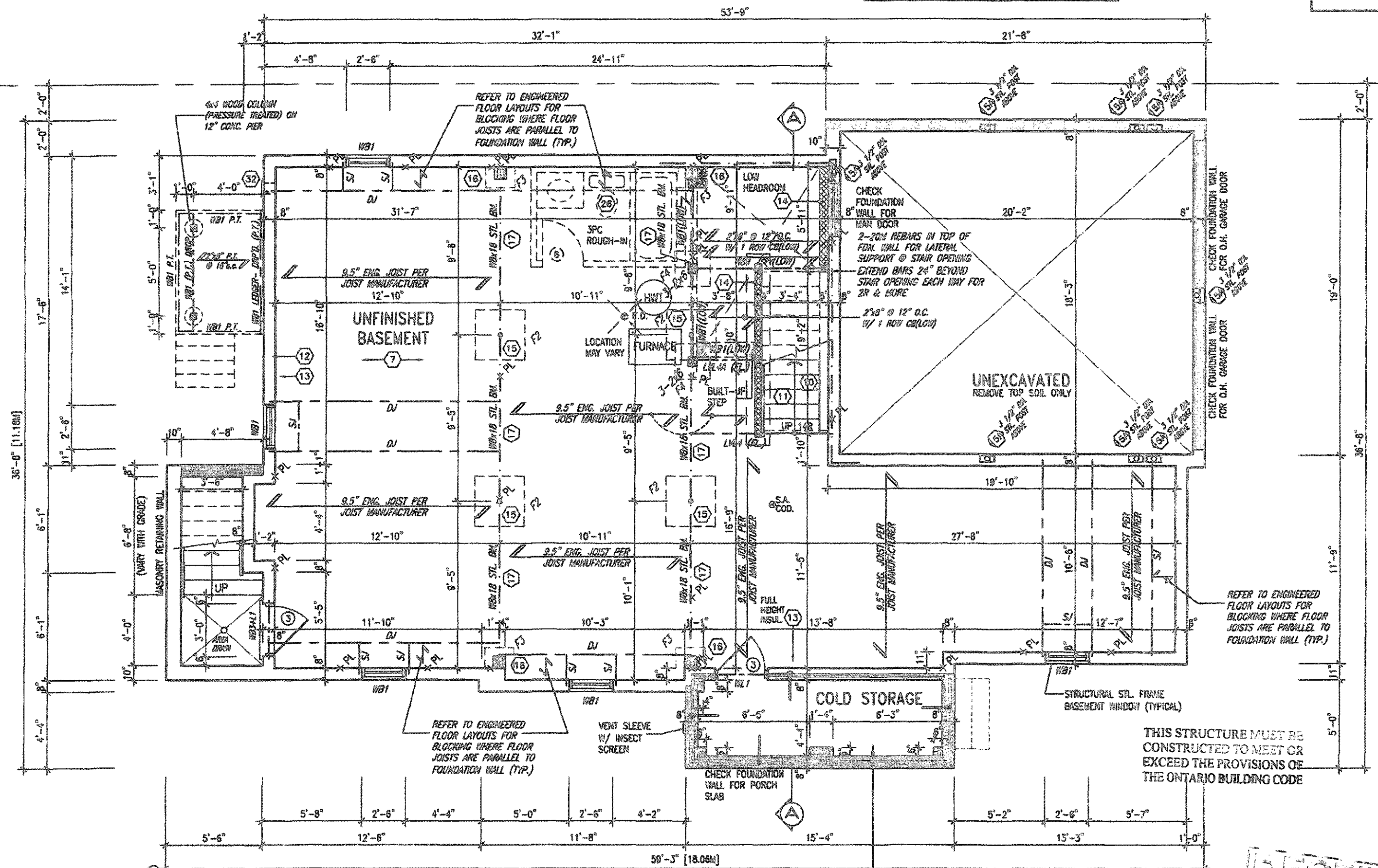


2759 SF.



BASEMENT PLAN - ELEV. '2'

COLD STORAGE SLAB
3" REINFORCED CONCRETE SLAB
WITH 10M BARS @ 7 7/8" o.c.
EACH WAY WITH MIN. 1 1/4" o.c.
CONC. COVER AND 10M BARS
(24" x 24") JOISTS SPACED NOT
MORE THAN 23 5/8" o.c.

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

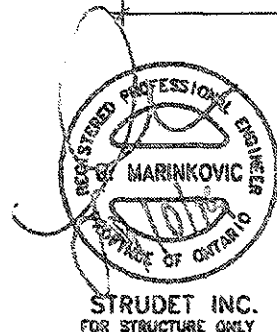
RECEIVED
SEP 26 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

PRESTON 11-064
ENERGY STAR

SEP 10 2019

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON



VENNER CUT
WHEN VENNER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 5) FOR ADDITIONAL WOOD DECK INFORMATION.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: [Signature]
DATE: SEP 12, 2019

The owner hereby acknowledges that the architect is not responsible for the design of the building or its location.

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5			
13				4	LOT SPECIFIC FOR LOT 64.	SEP 09/19	GW
12				3	ISSUED FOR PERMIT	FEB 05/19	GW
11				2	ROOT-FLOOR-ENG. CO-ORD.	JAN 11/19	GW
10				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW	SEP 28/18	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualifications information
Richard Vink 26483
BMT

name
Richard Vink
signature
[Signature]

company
VA3 Design Inc.
42890

Designer must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

235 Consumers Rd. Suite 120
Toronto, ON M2N 1R4
416.630.2255 / 416.630.4782
va3design.com

VA3 DESIGN
235 Consumers Rd. Suite 120
Toronto, ON M2N 1R4
416.630.2255 / 416.630.4782
va3design.com

Greenpark
project name
LAMBERTS LANE HOME CORP. PH.2
project no.
18023

location
CALEDON

date
SEP. 2019

drawn by
[Signature]

checked by
[Signature]

scale
3/16" = 1'-0"

18023-PRESTON-11-034

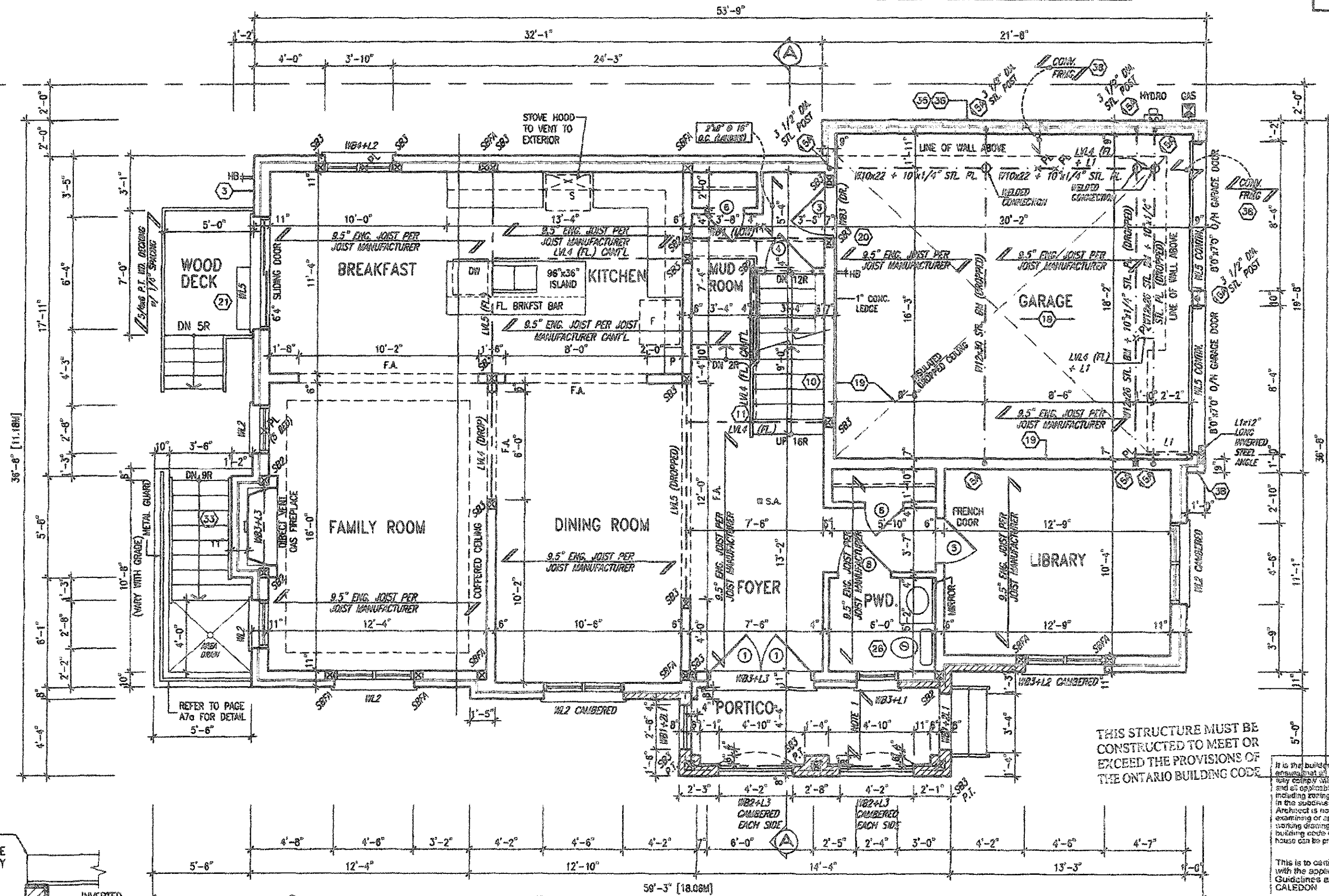
SEP 9 2019 4:35 PM

PRESTON 11
11.6m

FOUNDATION PLAN - ELEV. '2'

A1a

2759 SF.



SUPPORTED STEEL ANGLE UP TO 11'-7", OTHERWISE TO BE REVIEWED BY ENGINEER.

INVERTED 3-1/2"x3-1/2"x1/4" (90x90x6.0) STEEL ANGLE

INVERTED 3-1/2"x3-1/2"x1/4" (90x90x6.0) STEEL ANGLE

BRICK/STONE VENEER

SUPPORTED STEEL ANGLE UP TO 11'-7", OTHERWISE TO BE REVIEWED BY ENGINEER.

INVERTED STEEL ANGLE DETAIL



GROUND FLOOR PLAN - ELEV. '2'

SEP 10 2018

NOTE 1:
FLAT ROOF FRAMING (TYP.)
2"x8" @ 12" O.C. P.T. CLG. LST.
w/ 2"x4" @ 12" O.C. P.T.
DIAGONALLY CUT CROSS PURLINS
w/ 5/8" EXTERIOR GRADE
SHEATHING + SINGLE PLY ROOF
MEMBRANE (SLOPE TO DRAIN)

PRESTON 11-064
ENERGY STAR

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5			
13				4	LOT SPECIFIC FOR LOT 64	SEP 08/19	GV
12				3	ISSUED FOR PERMIT	FEB 05/19	GV
11				2	ROOF-FLOOR-ENG. CO-ORD.	JAN 11/19	GV
10				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW	SEP. 26/18	GV

The undersigned has reviewed and taken responsibility for this design and has the qualifications and made the requirements set out in the Ontario Building Code to be a Designer.

Qualification Information:
Richard Vink
26425
42559

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.6782
va3design.com

VA3
DESIGN

Greenpark

PRESTON 11
11.6m

PROJECT NAME: LAMBERTS LANE HOME CORP. PH.2
PROJECT NO: 18023
DATE: SEP. 2018
GROUND FLOOR PLAN - ELEV. '2'

A2a

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Diagram illustrating a horizontal line with several points marked by vertical tick marks. The angles between consecutive segments are labeled above the line, and the lengths of the segments are labeled below the line.

Angles (from left to right): $52^{\circ}-9'$, $51^{\circ}-6'$, $1^{\circ}-5'$, $2^{\circ}-4'$, $3^{\circ}-3'$, $2^{\circ}-5'$, $21^{\circ}-8'$.

Segment lengths (from left to right): $21'-7''$, $2'-6''$, $3'-3''$, $2'-5''$, $21'-8''$.

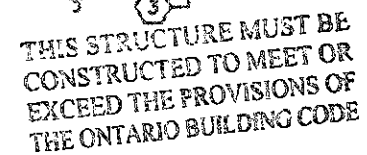


Diagram showing a horizontal line with 14 segments. Above the line, angles are labeled for each segment: $4'-8''$, $4'-6''$, $3'-2''$, $4'-2''$, $4'-6''$, $4'-2''$, $2'-3''$, $2'-4''$, $3'-3''$, $2'-4''$, $4'-2''$, $4'-2''$, $4'-6''$, and $4'-7''$. Below the line, cumulative distances are labeled: $12'-4''$ (under the first two segments), $12'-10''$ (under the first five segments), $14'-4''$ (under the first nine segments), and $52'-9''$ (under the entire line). A circled 'A' is drawn above the line between the 7th and 8th segments.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONSULTING REVIEW
AND APPROVAL

APPROVED BY _____
DATE SEP 12 2014

THIS APPROVAL IS LIMITED TO THE SPECIFIC
DESIGN AND SCOPE OF WORK SHOWN
HEREON AND DOES NOT CONSTITUTE A
GUARANTEE OF THE WORK.

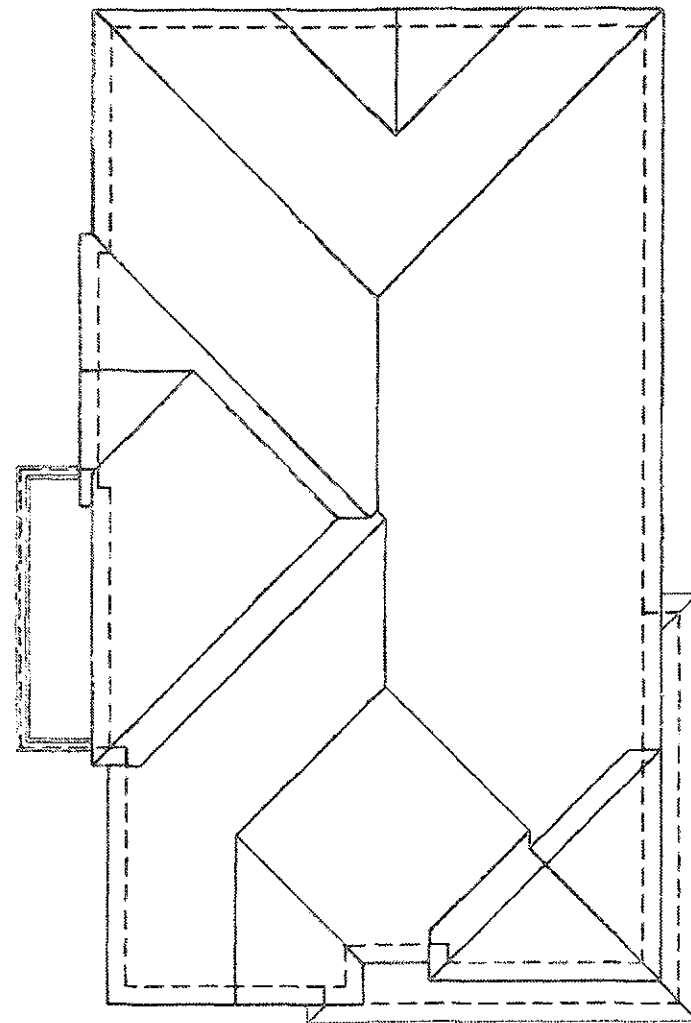
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
12345
STRUDET INC.
FOR STRUCTURE ONLY

PRESTON 11-064
ENERGY STAR

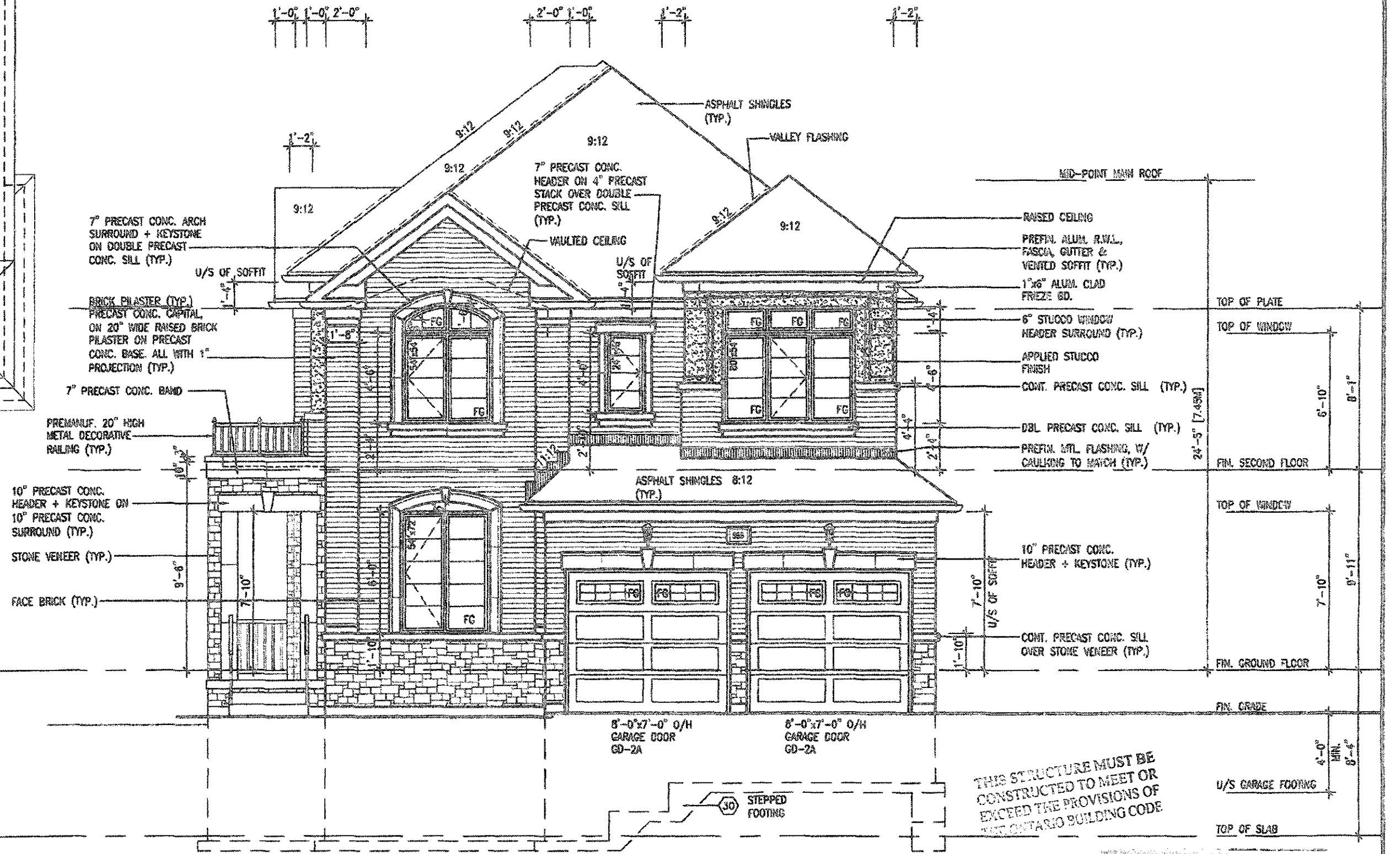
17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466	467	468	469	470	471	472	473	474	475	476	477	478	479	480	481	482	483	484	485	486	487	488	489	490	491	492	493	494	495	496	497	498	499	500	501	502	503	504	505	506	507	508	509	510	511	512	513	514	515	516	517	518	519	520	521	522	523	524	525	526	527	528	529	530	531	532	533	534	535	536	537	538	539	540	541	542	543	544	545	546	547	548	549	550	551	552	553	554	555	556	557	558	559	560	561	562	563	564	565	566	567	568	569	570	571	572	573	574	575	576	577	578	579	580	581	582	583	584	585	586	587	588	589	590	591	592	593	594	595	596	597	598	599	600	601	602	603	604	605	606	607	608	609	610	611	612	613	614	615	616	617	618	619	620	621	622	623	624	625	626	627	628	629	630	631	632	633	634	635	636	637	638	639	640	641	642	643	644	645	646	647	648	649	650	651	652	653	654	655	656	657	658	659	660	661	662	663	664	665	666	667	668	669	670	671	672	673	674	675	676	677	678	679	680	681	682	683	684	685	686	687	688	689	690	691	692	693	694	695	696	697	698	699	700	701	702	703	704	705	706	707	708	709	710	711	712	713	714	715	716	717	718	719	720	721	722	723	724	725	726	727	728	729	730	731	732	733	734	735	736	737	738	739	740	741	742	743	744	745	746	747	748	749	750	751	752	753	754	755	756	757	758	759	760	761	762	763	764	765	766	767	768	769	770	771	772	773	774	775	776	777	778	779	780	781	782	783	784	785	786	787	788	789	790	791	792	793	794	795	796	797	798	799	800	801	802	803	804	805	806	807	808	809	810	811	812	813	814	815	816	817	818	819	820	821	822	823	824	825	826	827	828	829	830	831	832	833	834	835	836	837	838	839	840	841	842	843	844	845	846	847	848	849	850	851	852	853	854	855	856	857	858	859	860	861	862	863	864	865	866	867	868	869	870	871	872	873	874	875	876	877	878	879	880	881	882	883	884	885	886	887	888	889	890	891	892	893	894	895	896	897	898	899	900	901	902	903	904	905	906	907	908	909	910	911	912	913	914	915	916	917	918	919	920	921	922	923	924	925	926	927	928	929	930	931	932	933	934	935	936	937	938	939	940	941	942	943	944	945	946	947	948	949	950	951	952	953	954	955	956	957	958	959	960	961	962	963	964	965	966	967	968	969	970	971	972	973	974	975	976	977	978	979	980	981	982	983	984	985	986	987	988	989	990	991	992	993	994	995	996	997	998	999	1000																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																											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[illegible]

2759 SF.



ROOF PLAN '2'



FRONT ELEVATION '2'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL, REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: SEP 10 2019
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING IS LESS THAN 5'-11" ABOVE ADJACENT FINISHED GRADE.

APPROVED
SEP 26 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

SEP 10 2019

PRESTON 11-064
ENERGY STAR

18		9			
17		8			
16		7			
15		6			
14		5			
13		4	LOT SPECIFIC FOR LOT 64.	SEP 09/18	GW
12		3	ISSUED FOR PERMIT	FEB 05/19	GW
11		2	ROOF-FLOOR-ENG. CO-ORD.	JAN 11/19	GW
10		1	PRELIMINARY, ISSUED FOR CLIENT REVIEW	SEP. 28/18	GW
9					
8					
7					
6					
5					
4					
3					
2					
1					
no.	description	date	by	no.	description

The undersigned has advised and taken responsibility for this design and has the qualifications and experience to do so. I am a registered professional engineer in the Province of Ontario and I am a member of the Ontario Professional Engineers Association (O.P.E.A.).
Signature: [Signature]
Name: Alshard Vink
Registration Number: 24488
Company: VAS Design Inc.
Address: 255 Consumers Rd Suite 120, Toronto, ON M2J 1R3
Phone: (416) 830-2235 / 416-830-4782
Website: vasdesign.ca

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R3
(416) 830-2235 / 416-830-4782
vasdesign.ca

Greenpark	PRESTON 11 11.6m
Project Name: LAMBERTS LANE HOME CORP. PH.2	Submitted by: CALEDON
City: SEP. 2019	Project No.: 18023
Drawn by: [Signature]	Front Elevation '2'
Scale: 3/16" = 1'-0"	18023-PRESTON-11-064
Sheet: 1 of 1	A40

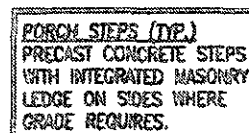
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RECEIVED
SEP 26 2003
TOWN OF CALEDON
BUILDING SECTION
FILE NO _____

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

RECEIVED BY _____
DATE SEP 12 2019

[illegible]

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

SEP 10 2009

PRESTON 11-064
ENERGY STAR

[illegible]

1. The first step in the process of the investigation is the identification of the problem. This involves a thorough review of the available information and a clear definition of the issue at hand. Once the problem is identified, the next step is to gather relevant data and information. This can be done through various methods, including interviews, surveys, and document analysis. The third step is to analyze the data and information gathered. This involves identifying patterns, trends, and relationships that may be relevant to the problem. The final step is to develop and implement a solution. This involves creating a plan of action and putting it into practice. The process of investigation is a continuous one, and it may be necessary to revisit previous steps as more information is gathered and the problem evolves.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site, lotting, plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on the lot.

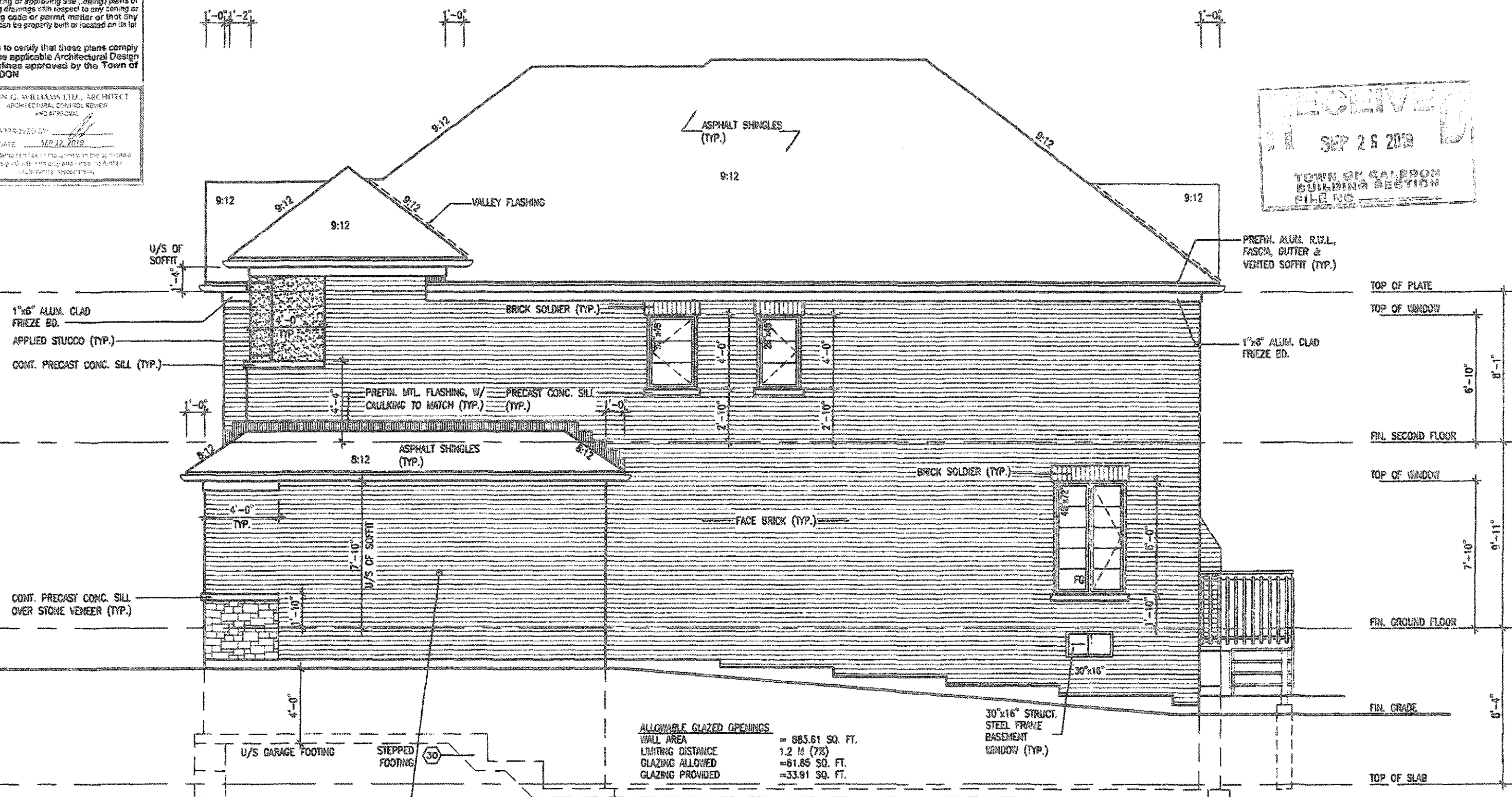
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

4723700 37
7-0111 SEP 12 2019

This starts on page 17 of the report on the 21st of March 1968. It is not only a good report but also a good one.

RECEIVED
SEP 26 2012
TOWN OF SALEM
BUILDING SECTION
FILE NO



BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.

(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

RIGHT SIDE ELEVATION '2'

THIS SIGN MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

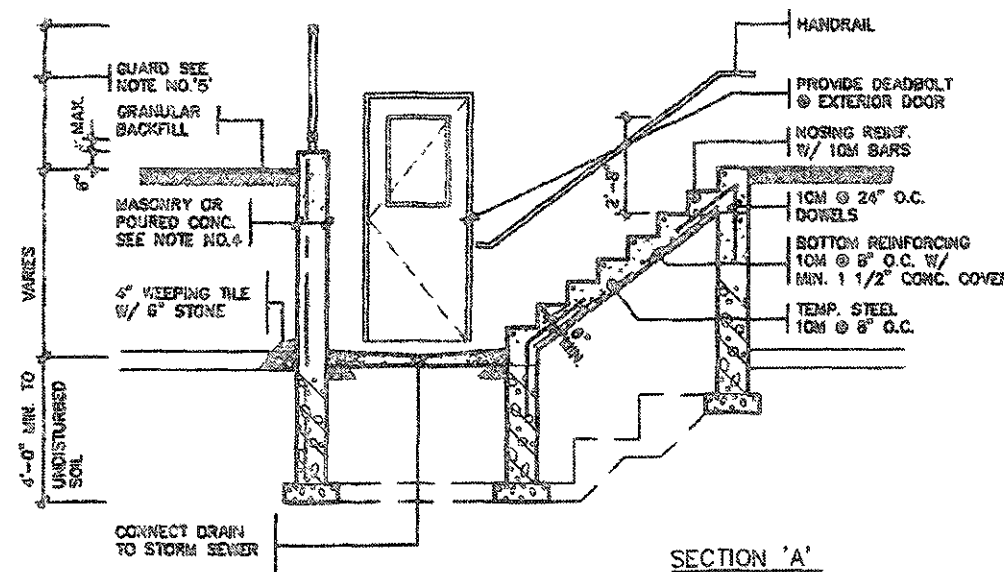
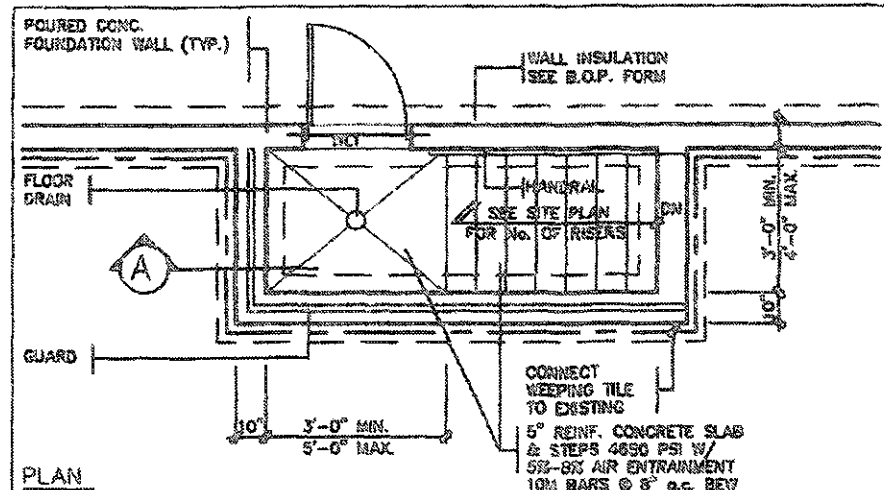
SEP 13 2019

PRESTON 11-064
ENERGY STAR

[illegible]

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SEP 26 2015
TOWN OF CALEDON
BUILDING SECTION
FILE NO _____



1. FOOTINGS

16"x6" POURED CONCRETE FOOTING.
ALL FOOTINGS SHALL REST ON
NATURAL UNDISTURBED SOIL OR
COMPACTED ENGINEERED FILL

2. CONCRETE

MINIMUM COMPRESSIVE STRENGTH
OF (52MPa) 4650 PSI @ 28 DAYS W/
5% TO 8% AIR ENTRAINMENT

3. EXTERIOR STAIRS

7 7/8" RISE	MAXIMUM	4 7/8" MINIMUM
8 1/4" RUN	MINIMUM	16" MAXIMUM
8 1/4" TREAD	MINIMUM	14" MAXIMUM

4. RETAINING WALL

16" POURED CONCRETE
W/ NO REINFORCING REQUIRED FOR
WALL HEIGHTS TO A MAX. OF 4'-7"
PROVIDE 15M VERTICAL REINFORCEMENT
@ 16" O.C. & 15M HORIZONTAL REINFORCEMENT
@ 24" O.C. FOR WALL HEIGHTS TO 7'-0". RETAINING
WALL TO RESIST LATERAL DESIGN LOADS AS PER
CBC DIVISION 8 SECTION 4.1.5.16.

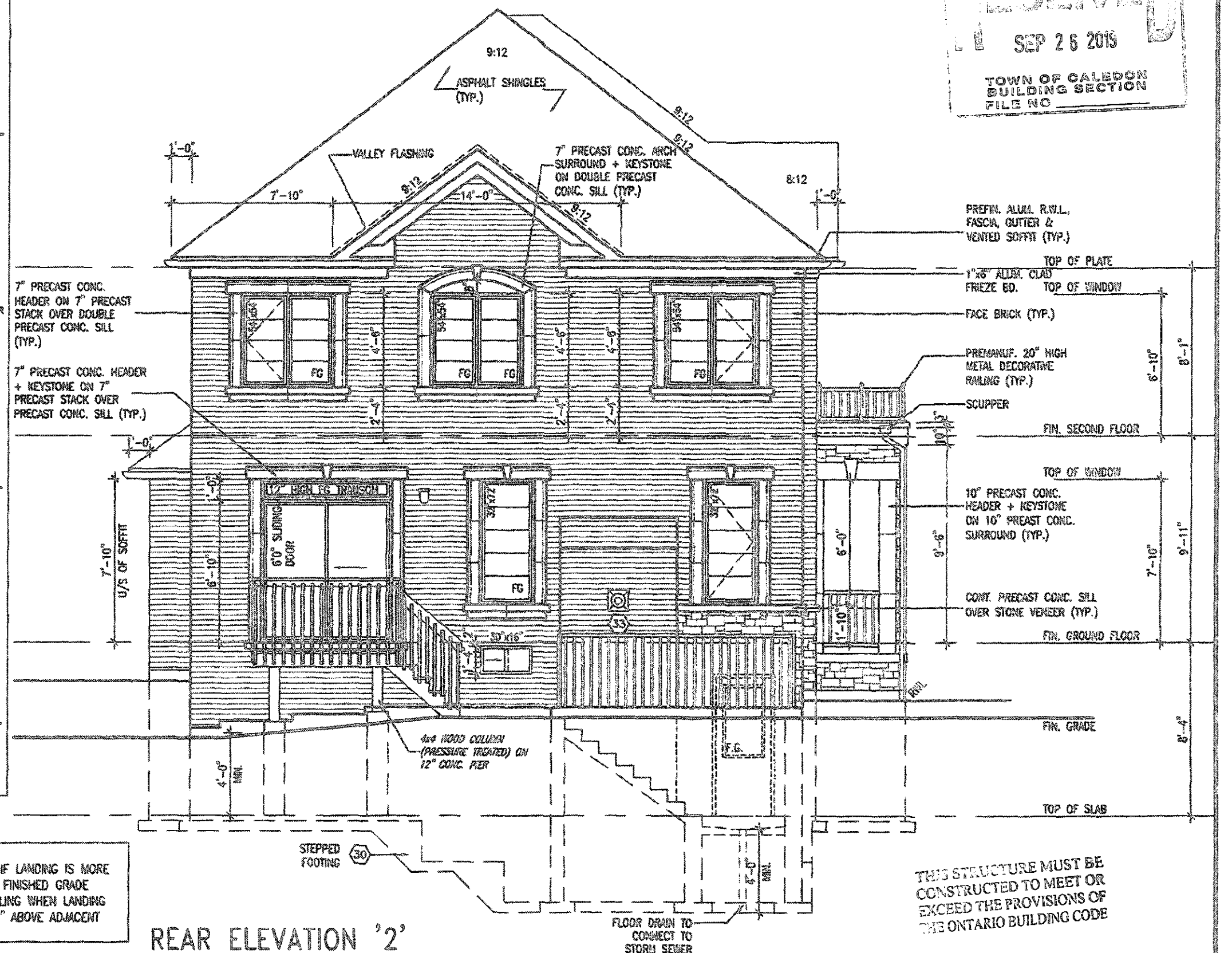
5. GUARDS

3'-6" HIGH WHERE DISTANCE FROM GRADE
TO BOTTOM OF WALKOUT EXCEEDS 5'-11";
2'-11" FOR LESSER HEIGHTS. MAXIMUM 4"
BETWEEN VERTICAL PICKETS

BASEMENT WALK-UP

PLAN, SECTION & NOTES

SCALE: N.T.S.



THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

REAR ELEVATION '2'

PRESTON 11-064
ENERGY STAR

It is the builders complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of

JOHN C. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY _____
DATE 5/9/12

The stamp office, responsible for the collection of
these stamps, as of 1970 there were no further
stamps and documents.

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

STEPPED FOOTING

FLOOR DRAIN TO
CONNECT TO
STORM SEWER

18				9			The Underpinning has returned and plans regarding the site design and the construction and needs the information put out in the Office Building Code for its a Bridge.
17				8			
16				7			qualitative information
15				6			Richard Vink
14				5			R. Vink signature
13				4	LOT SPECIFIC FOR LOT 84.	SEP 09/19 GW	registration information VAS Design Inc.
12				3	ISSUED FOR PERMIT.	FEB 05/19 GW	426
11				2	ROOF-FLOOR-EGG CO-DRO.	JAN 11/19 GW	
10				1	PRELIMINARY ISSUED FOR CLIENT REVIEW.	SEP 28/19 GW	
no.	description	date	by	no.	description	date	by



DESIGN
255 Consumers Rd Suite 110
Toronto ON M2J 1R4
1 416.630.2255 / 416.630.0700
ro3design.com

Greenpark.

AMBERTS LANE HOME CORP. PH.2 CALED

Date: 9/20/18
 Measured by: [signature]
 7 - 3/16" = 1'-0"

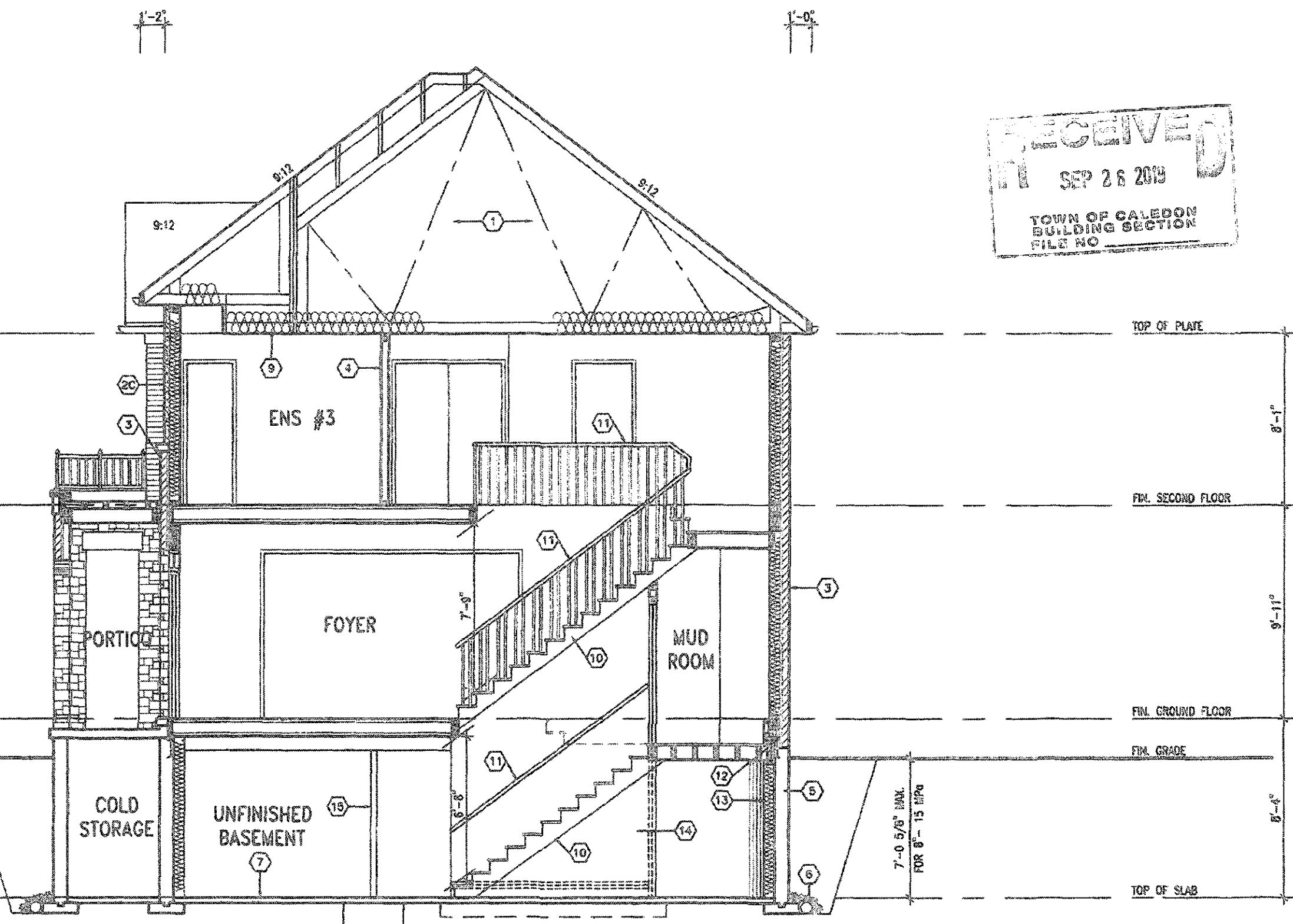
PRESTON 11
11.6m

18023

ELEVATION "2"	Grading no.
3-3-1000-11-004	A7a

As another illustration, noted heretofore was taken on the seventh month of 1938. Examination of this account in photo in case is clearly marked with 1938 and the entire contents

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TOWN OF CALEDON
BUILDING SECTION
FILE NO



SECTION A-A
ELEVATION '2'

THIS STRUCTURE MUST BE
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EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

SEP 10 2013

PRESTON 11-064
ENERGY STAR

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALIFORNIA.

[illegible]

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