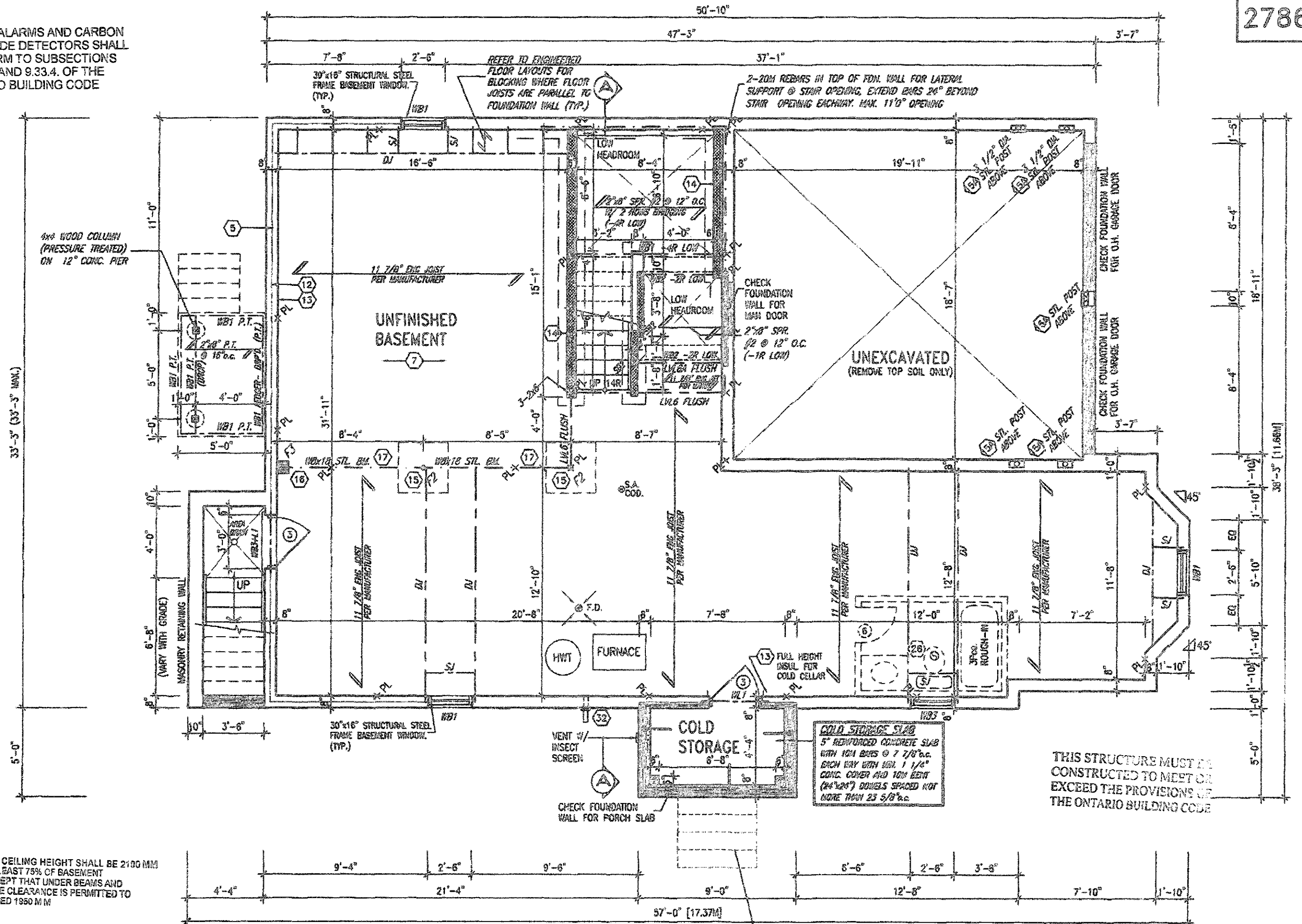


SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

2786 SF.



STRUDET INC.
FOR STRUCTURE ONLY

MINIMUM CEILING HEIGHT SHALL BE 2100 MM OVER AT LEAST 75% OF BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED 1950 MM

BASEMENT PLAN - ELEV. 1

VENUE CUT
WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 5) FOR ADDITIONAL WOOD DECK INFORMATION.

PRECAST CONCRETE STEPS ABOVE. REFER TO MANUFACTURER FOR SUPPORT DETAILS

SEP 10 2019

KINMOUNT 11B-045
ENERGY STAR

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

JOHN F. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: [Signature]
DATE: SEP 10, 2019
The undersigned hereby certifies that the above Design Guidelines are in compliance with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

no.	description	date	by	no.	description	date	by
18				91			
17				81			
16				71			
15	6 LOT SPECIFIC FOR LOT 45.	SEP 09/19	GV	61			
14	5 ISSUED FOR PERMIT.	FEB 05/19	GV	51			
13	4 ROOF-FLOOR-ENG. CO-ORD.	JUN 16/18	GV	41			
12	3 ROOF SLOPES/BAY WINDOW REV. PER CLIENT	SEP 28/18	GV	31			
11	2 ISSUED FOR CLIENT REVIEW.	SEP 06/18	GV	21			
10	1 UPDATE KINMOUNT 11 FROM PH.1 (15003)	SEP 04/18	GV	11			
9				1			

The undersigned hereby certifies that the above Design Guidelines are in compliance with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2M 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name: LAMBERTS LANE HOME CORP. PH.2
multiple: CALEDON
date: SEP 2016
drawn by: [Signature]
checked by: [Signature]
scale: 3/16" = 1'-0"

KINMOUNT 11B
12.5m
project no. 18023
multiple: CALEDON
date: SEP 2016
drawn by: [Signature]
checked by: [Signature]
scale: 3/16" = 1'-0"

A1

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

NOTE-1- BALCONY/DECK CONSTRUCTION
ONE PLY WATERPROOF MEMBRANE (DURADER) ADHERED
TO EXT. TYPE 5/8" T&G PLYWOOD SHEATHING OVER
2"x8" @ 12" c/c FLOOR JOISTS. SLOPE TO EXTERIOR
WITH WOOD SLIPPERS. MEMBRANE TO EXTEND 6" UP
AT WALLS & 4" DOWN AT OPEN BALCONY EDGE.

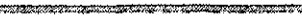
JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND OPINION

APPROVED BY [Signature]
DATE SEP 12 2018

The stamp certifies that the project meets the minimum
Design Guidelines and standards for building
accessibility and usability.

SEP 10 2019

KINMOUNT 11B-045
ENERGY STAR

16			9			The undersigned has retained and taken responsibility for its design and has had the questions and answers to the instructions on our (VA3) Greenpark Building Code to be a building code information.	 255 Concession Rd Suite 120 Toronto ON M2H 1Y8 Tel: 416.630.2255 / 416.630.4782 va3design.com	 KINMOUNT 11B 12.5m	project no. LAMBERTS LANE HOME CORP. PH.2 CALEDON project no. 18023	sheet no. 2018 drawing by GW scale - 3/16" = 1'-0" title GROUND FLOOR PLAN-ELEV. '1' 18023-KINMOUNT-11B-045 A2	
17		8									
18		7									
19		6	LOT SPECIFIC FOR LOT 45	SEP 09/19	GW	Richard Vink					24489
20		5	ISSUED FOR PERMIT	FEB 05/19	GW	none					500
21		4	ROOF-FLOOR-END CO-ORD	JUN 16/19	GW	registration information					VA3 Design Inc.
22		3	ROOF SLOPES/BAY WINDOW REV. PER CLIENT	SEP 28/18	GW	Customer must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are documents of services and the property of VA3 Design which shall remain the property of VA3 Design until payment in full is received. Drawings may not be reproduced without written permission from VA3 Design.					42858
23		2	ISSUED FOR CLIENT REVIEW	SEP 08/18	GW						
24		1	UPDATE KINMOUNT 11 FROM PH.1 (18009)	SEP 04/18	GW						
no.	description	date	by	no.	description	date	by				

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REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

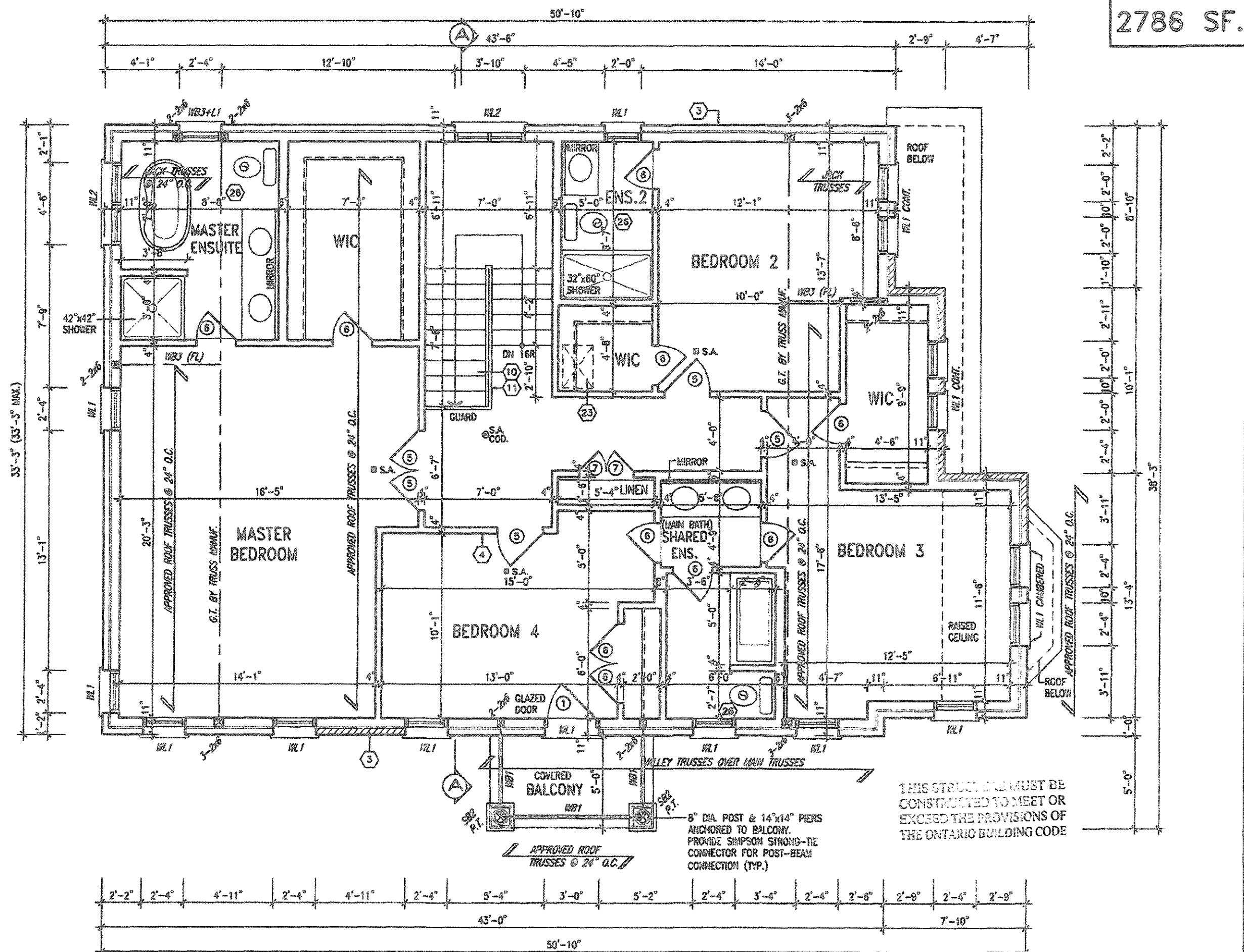
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL OF

APPROVED BY _____
DATE SEP 12 2019

To a significant degree, the use of the automobile
by the public is increasing and has been the
primary mode of transportation.

STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM. REFER TO DEC. 9.5.2.3
3.8.3.8 (1/4) & 3.8.2.13 (1/4).



SECOND FLOOR PLAN - ELEV. 1

SEP 18 2019

KINMOUNT 11B-045
ENERGY STAR

18		9				I hereby understand and assume responsibility for this design and for the performance and results the requirements set out in the Ontario Building Code to be a Designer.	 255 Canoe Creek Rd #200 Toronto ON M2H 1R4 Tel: 416.630.2255 Fax: 416.630.4782 va3design.com  project name: LAMBERTS LANE HOME CORP. PH.2 location: CALEDON KINMOUNT 11B 12.5m project no. 1802 drawing no. A3
17		8					
16		7					
15		6	LOT SPECIFIC FOR LOT 45	SEP 09/19	GW	Richard Vink 24488	
14		5	ISSUED FOR PERMIT	FEB 05/19	GN	n/a 50%	
13		4	ROOF-FLOOR-ENG. CO-ORD.	JUN 16/19	GW	regulatory information VA3 Design Inc. 42556	
12		3	NOOF SLOPES/BAY WINDOW REV. PER CLIENT	SEP 28/18	GW		
11		2	ISSUED FOR CLIENT REVIEW	SEP 06/18	GW		
10		1	UPDATE KINMOUNT 11 FROM PR.1 (14004)	SEP 04/18	GW		
no.	description	date	by	no.	description	date	by

U.S. GOVERNMENT PRINTING OFFICE: 1964

RECEIVED
JAN 10 1939
FEDERAL BUREAU OF INVESTIGATION
U. S. DEPARTMENT OF JUSTICE

[illegible]

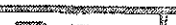
SEP 10 2019

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for approving or approving such (filling) plans or working drawings with respect to any zoning or building code or permit, matter or that any house can be properly built or located on its lot.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY _____
DATE SEP 12 2019

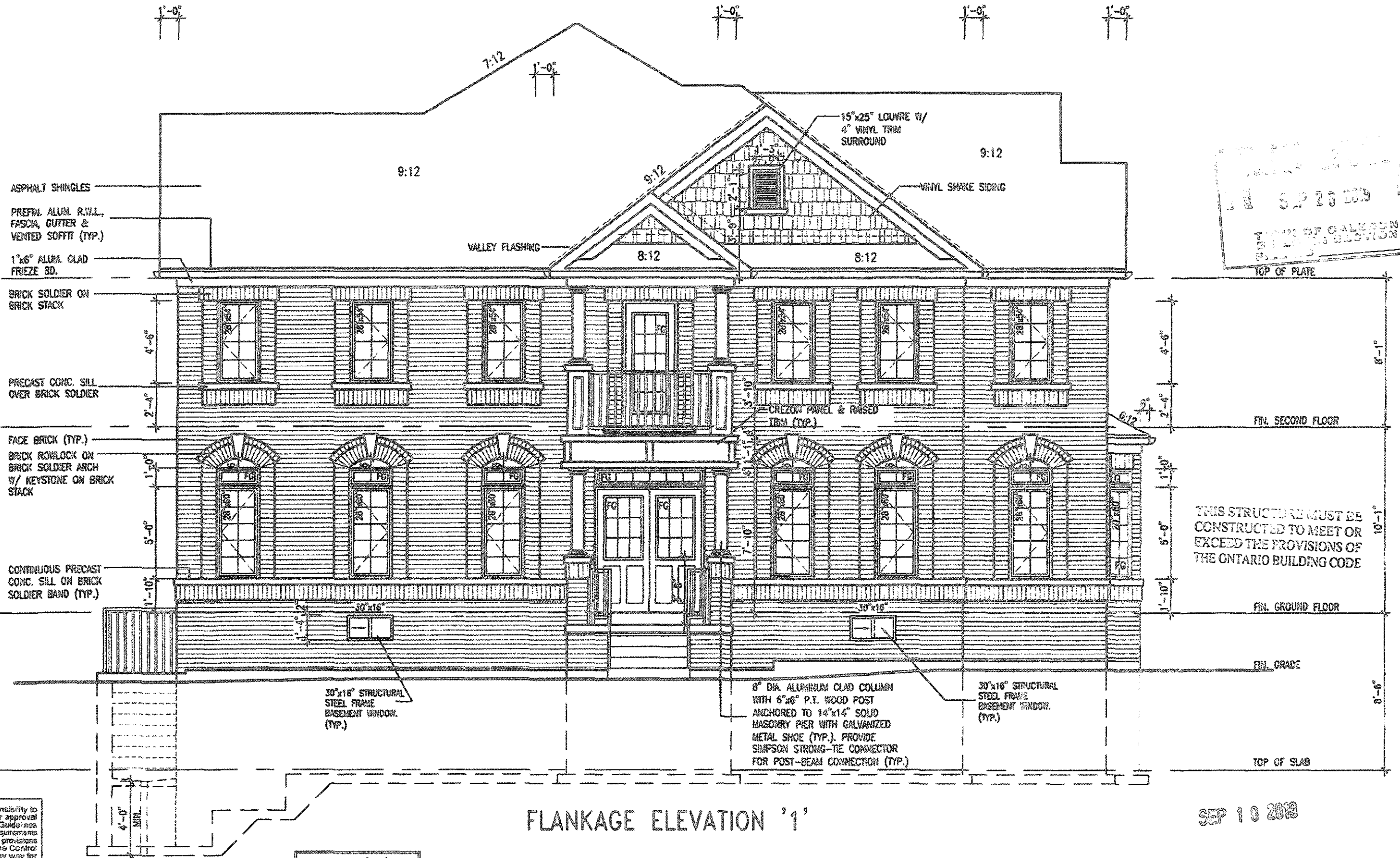
THIS DOCUMENT IS THE PROPERTY OF JOHN C. WILLIAMS LTD.
DO NOT REPRODUCE OR TRANSMIT IN ANY FORM OR BY ANY MEANS
ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

18		9				No underground has released and taken responsibility for this design and that the contractor and submit the requirements not set in the Ontario Building Code to be a designer.	 255 Cawthra Rd. S. Unit 120 Toronto ON M2T 1R4 T 416.630.2255 F 416.630.4782 va3design.com	 LAMBERTS LANE HOME CORP. PH.2 CALEDON 12023-KINMOUNT-11B-045 12023-KINMOUNT-11B-045	KINMOUNT 11B 12.5m 18023
17		8							
16		7							
15		6	LOT SPECIFIC FOR LOT 45.	SEP 09/19	GU	Richard Viet			
14		5	ISSUED FOR PERM.	FEB 05/19	GU	24486			
13		4	ROOF-FLOOR-ENG. CO-ORD.	JUN 16/19	GU	42638			
12		3	ROOF SLOPES/BAY WINDOW REV. PER CLIENT	SEP 28/18	GU				
11		2	ISSUED FOR CLIENT REVIEW.	SEP 05/18	GU				
10		1	UPDATE 10/01/11 FROM PH.1 (14003)	SEP 04/18	GU				
9	description	date	by	no	description	date	by	no	

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2786 SF.

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING



FLANKAGE ELEVATION '1'

SEP 10 2018

KINMOUNT 11B-045
ENERGY STAR

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PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
WITH INTEGRATED MASONRY
LEDGE ON SIDES WHERE
GRADE REQUIRES.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: SEP 12 2018
This stamp is for compliance with the guidelines.
Design/Builder is responsible for the
compliance of these plans.

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6	LOT SPECIFIC FOR LOT 45	SEP 09/19	GV
14				5	ISSUED FOR PERMIT	FEB 03/19	GV
13				4	ROOF-FLOOR-ENG. CO-ORD.	JAN 16/19	GV
12				3	ROOF SLOPES/BAY WINDOW REV PER CLIENT	SEP 28/18	GV
11				2	ISSUED FOR CLIENT REVIEW	SEP 06/18	GV
10				1	UPDATE KINMOUNT 11 FROM PH.1 (14094)	SEP 04/18	GV
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and taken responsibility for this design and has the qualifications and made the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink
name
registration information
VAS Design Inc.
number
42855
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned to the Designer upon completion of the work. Drawings are not to be copied.

VAS
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R1
t 416.630.2255 f 416.630.4782
vasdesign.com

*Greenpark
project name
LAMBERTS LANE HOME CORP. PH.2
multiple
CALEDON
SEP 2018
drawn by
3/16" = 1'-0"
10022-KINMOUNT-11B-045
SEP 10 2018

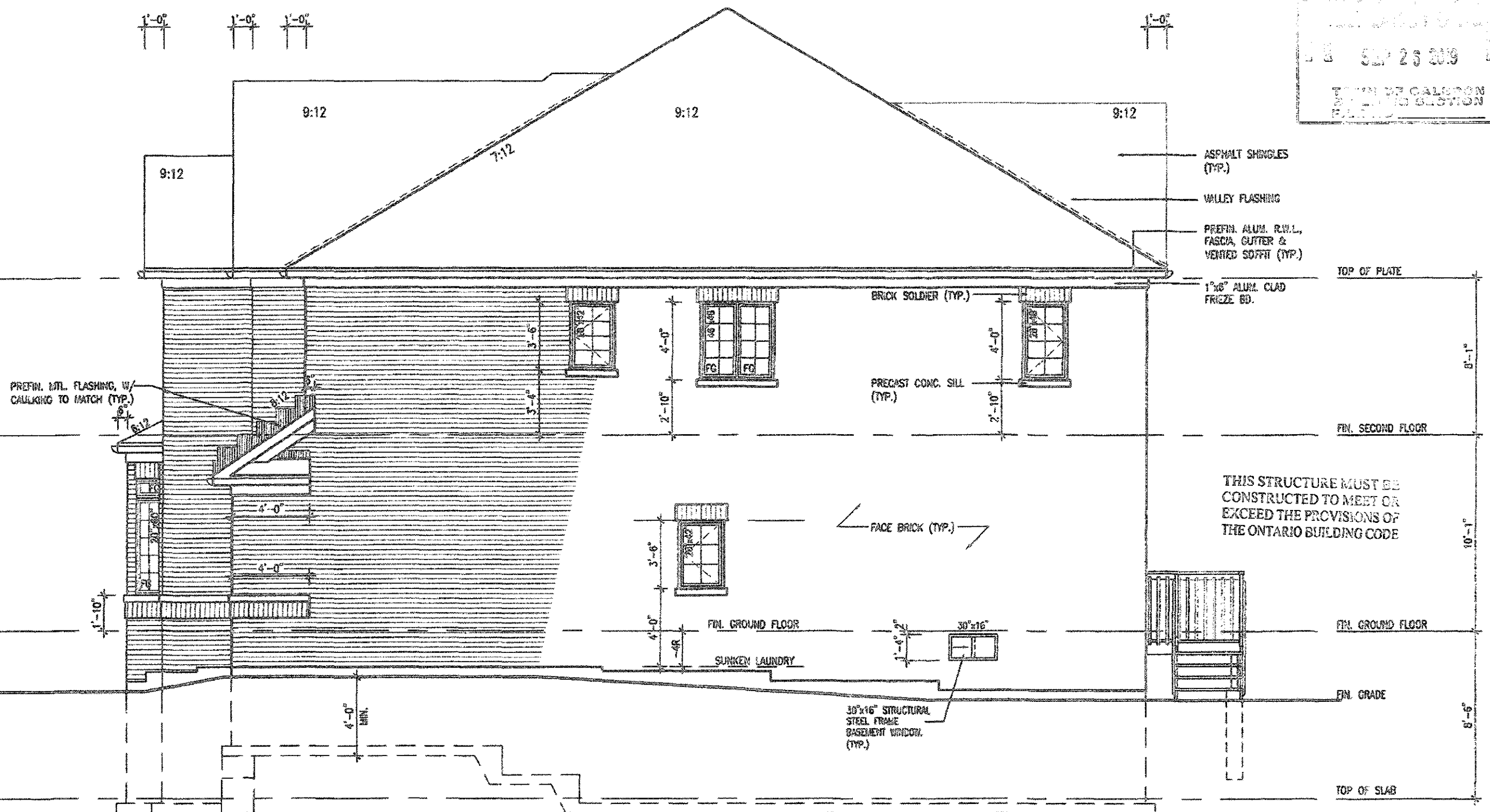
KINMOUNT 11B
12.5m
project no.
18023
drawing no.
A5

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OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

SEP 26 2009

THE NEW CALISTON
THE NEW CALISTON



SEP 10 2019

RIGHT SIDE ELEVATION '1'

<u>ALLOWABLE GLAZED OPENINGS</u>	
WALL AREA	=953.52 SQ. FT.
LIFTING DISTANCE	1.2 M (78)
GLAZING ALLOWED	=66.74 SQ. FT.
GLAZING PROVIDED	=37.23 SQ. FT. (GLASS AREA ONLY)

KINMOUNT 11B-045
ENERGY STAR

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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: SEP 12 2019
This grant cannot be renewed without the approval of the Board of Directors. The Board of Directors must be notified in writing at least 60 days prior to the expiration of the grant.

18				5					The undersigned has reviewed and taken responsibility for this design and has the certification and seals the requirements set out in Ontario Building Code to be a Designer.
17				8					
16				7					specific information
15				6	LOT SPECIFIC FOR LOT 45.	SEP 09/19	GW	Richard Vink	244
14				5	ISSUED FOR PERMIT.	FEB 05/19	GW	signature	
13				4	ROOF-FLOOR-ENG. CO-ORD.	JUN 16/19	GW	specific information	
12				3	ROOF SLOPES/BAY WINDOW REV. PER CLIENT	SEP 28/18	GW	VAK Design Inc.	628
11				2	ISSUED FOR CLIENT REVIEW.	SEP 06/18	GW		
10				1	UPDATE KINAMOUNT 11 FROM PH.1 (14000)	SEP 06/18	GW		
no.	description	date	by	no.	description	date	by	no.	

**VA3
DESIGN**
235 Consumers Rd Suite 120
Toronto ON M2J 1P4
t 416.630.2255 f 416.630.478
val3design.com

Greenpark.

LAMBERTS LANE HOME CORP. PH.2
 CALEDON

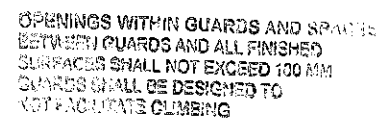
KINMOUNT 11B
12.5m

DATE SEP 2019	LEFT SIDE ELEVATION-ELEV. '1'		SCALE NO.
drawn by	checked by	DATE	A6
BY	-	3/16" = 1'-0"	
18925-AIRPORT-112-045			

As further investigation, initial comments and data on the overall quality of US health care system are being collected, the following are the key findings:

SEP 13 1959

UNITED STATES DEPARTMENT OF AGRICULTURE
BUREAU OF PLANT INDUSTRY
WASHINGTON, D. C.

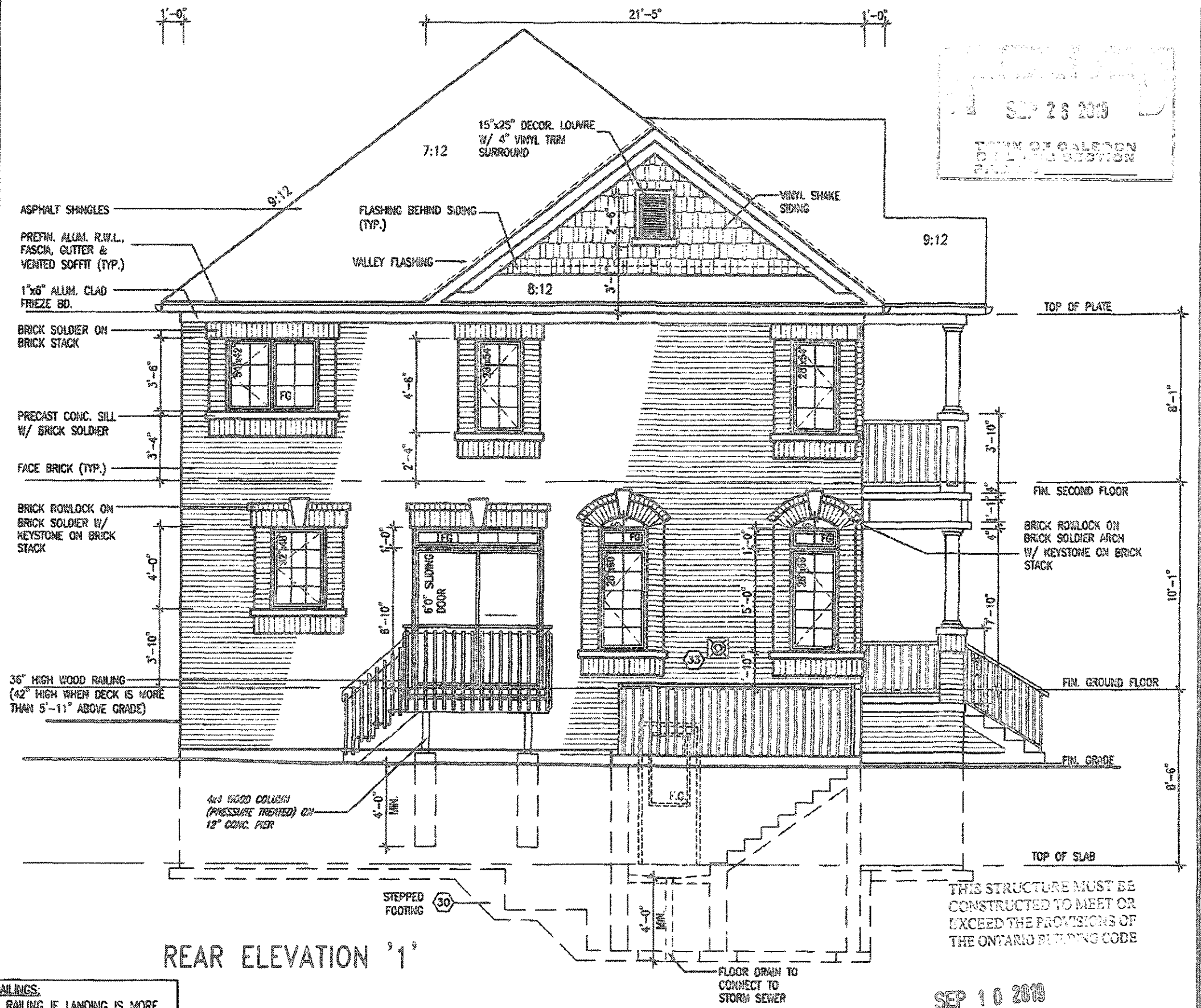


1. FOOTINGS
 16"± POURED CONCRETE FOOTING.
 ALL FOOTINGS SHALL REST ON
 NATURAL UNDISTURBED SOIL OR
 COMPACTED ENGINEERED FILL
 2. CONCRETE
 MINIMUM COMPRESSIVE STRENGTH
 OF (32Mpa) 4850 PSI @ 28 DAYS W/
 5% TO 8% AIR ENTRAINMENT
 3. EXTERIOR STAIRS
 7"± RISE MAXIMUM 4 7/8" MINIMUM
 8 1/4" RUN MINIMUM 14" MAXIMUM
 9 1/4" TREAD MINIMUM 14" MAXIMUM
 4. RETAINING WALL
 10" POURED CONCRETE
 W/ NO REINFORCING REQUIRED FOR
 WALL HEIGHTS TO A MAX. OF 4'-7"
 PROVIDE 15M VERTICAL REINFORCEMENT
 @ 18" O.C. & 15M HORIZONTAL REINFORCEMENT
 @ 12" O.C. FOR WALL HEIGHTS TO 7'-0". RETAINING
 WALL TO RESIST LATERAL DESIGN LOADS AS PER
 CBC DIVISION 8 SECTION 4.1.5.16.
 5. GUARDS
 3'-6" HIGH WHERE DISTANCE FROM GRADE
 TO BOTTOM OF WALKOUT EXCEEDS 5'-11";
 2'-11" FOR LESSER HEIGHTS. MAXIMUM 4"
 BETWEEN VERTICAL PICKETS

BASEMENT WALK-UP

PLAN, SECTION & NOTES

SCALE: N.T.S.



THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

SEP 10 2019

KINMOUNT 11B-045
ENERGY STAR

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor/Architect is not responsible in any way for assisting or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on the lot.

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY _____
DATE SEP 12, 2019

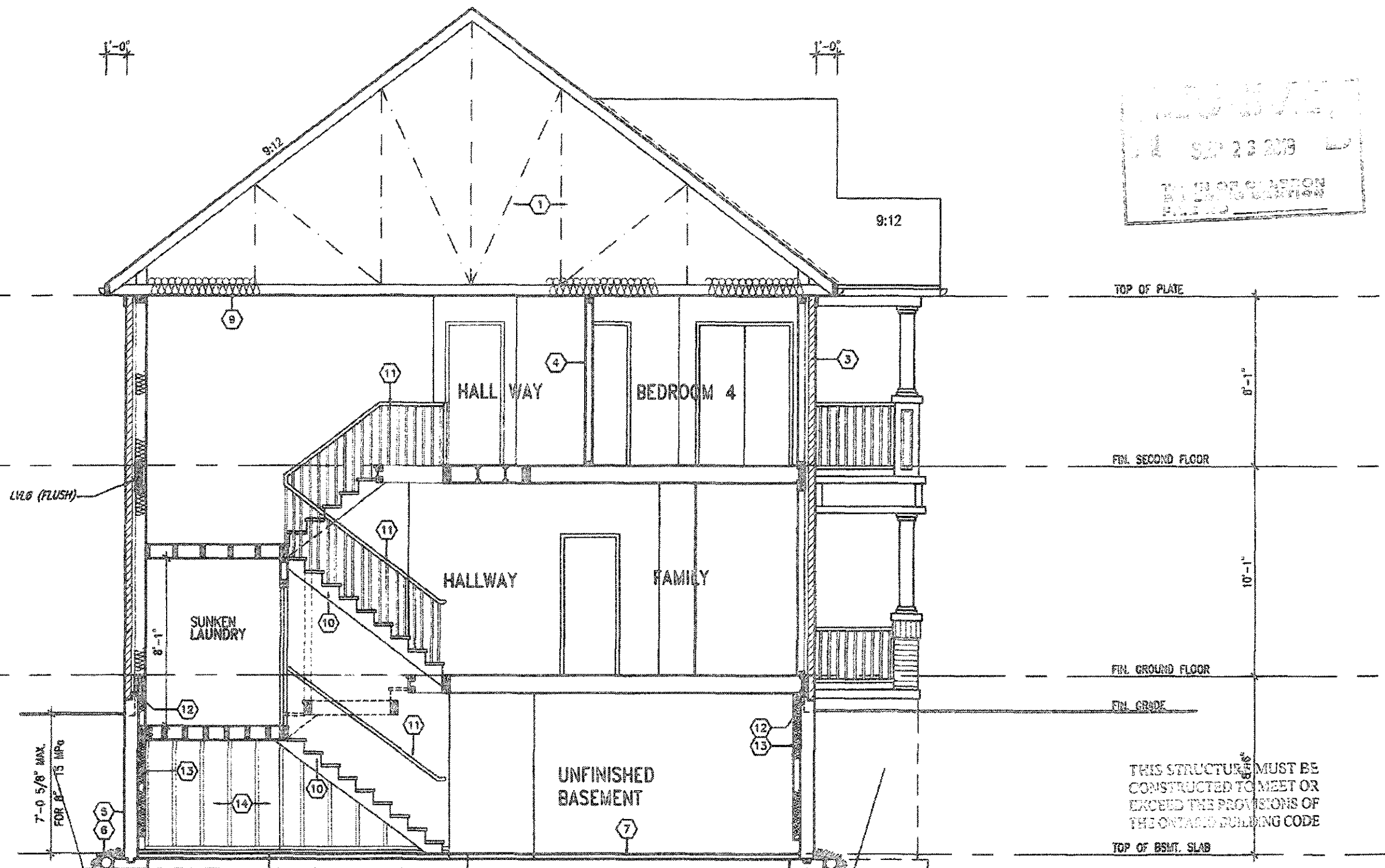
This letter contains information that is not to be
 disseminated outside the agency.

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

18				9				The undersigned has retained and takes responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	VA3 DESIGN 255 Cassiar Ave Suite 120 Toronto ON M2H 1K4 T 416.630.2255 • F 416.630.4762 va3design.ca	*Greenpark* LAMBERTS LAKE HOME CORP. PH.2 CALEDON KINMOUNT 11B 12.5m REAR ELEVATION-ELEV. 2'1" 18023-KINMOUNT-11B-PAS A7	
17				8				specification information			
16				7							
15				6	LOT SPECIFIC FOR LOT 45.	SEP 05/18	CW	Richard Vink			24488
14				5	ISSUED FOR PERMIT.	FEB 05/19	CW				020
13				4	ROOF-FLOOR-ENG. CO-ORD	JAN 15/19	CW	registration information			42835
12				3	ROOF SLOPES/BAY WINDOW REV. PER CLIENT	SEP. 23/18	CW	VA3 Design Inc.			
11				2	ISSUED FOR CLIENT REVIEW.	SEP 03/18	CW				
10				1	UPDATE KINMOUNT 11 FROM PH.1 (14003)	SEP. 04/18	CW				
no.	description	date	by	no.	description	date	by				

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OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING



SEP 10 2019

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[illegible]

1. 凡在本行開辦之各項業務，均應遵守本行所定之各項規章，並應隨時注意本行所定之各項規章，如有違反者，本行將依法究辦。