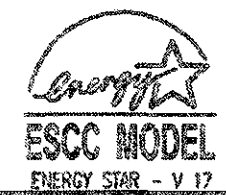
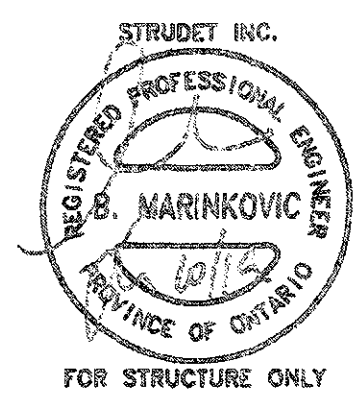


THIS STRUCTURE SHALL BE CONSTRUCTED TO EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

SEP 10 2019

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lot) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the TOWN OF CALEDON.



KINMOUNT 6A-039



PROJECT NAME: LAMBERTS LANE HOME CORP. II

APPLICANT COPY

STRIP FOOTINGS -
FOR SINGLES & SEMIS UP TO 2 STOREY
120 KPa NATIVE SOIL
• 20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS
• 24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS
100 KPa NATIVE SOIL
• 22"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS
• 28"x10" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS
OR
• 28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS
50 KPa ENGINEERED FILL SOIL
• 24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW FOUNDATION WALLS
• 30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS

(ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 40 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL FOOTING DETAIL FOR REINFORCEMENT)

PAD FOOTINGS
120 KPa NATIVE SOIL
F1 = 42"x42"x16" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD
100 KPa NATIVE SOIL
F1 = 46"x46"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD
F3 = 32"x32"x14" CONCRETE PAD
F4 = 26"x26"x12" CONCRETE PAD
F5 = 17"x17"x8" CONCRETE PAD
50 KPa ENGINEERED FILL SOIL
F1 = 48"x48"x20" CONCRETE PAD
F2 = 40"x40"x16" CONCRETE PAD
F3 = 34"x34"x14" CONCRETE PAD
F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

BRICK VENEER LINTELS
WL1 = 5'-1/2"x3'-1/2"x1/4" (100x90x0.01) + 2-2"x8" SPR. No.2
WL2 = 4'-3"x3'-1/2"x1/4" (100x90x0.01) + 2-2"x8" SPR. No.2
WL3 = 5'-3"x3'-1/2"x1/4" (125x90x0.01) + 2-2"x10" SPR. No.2
WL4 = 6'-3"x3'-1/2"x1/4" (150x90x0.01) + 2-2"x12" SPR. No.2
WL5 = 6'-4"x3'-1/2"x1/4" (150x100x0.01) + 2-2"x12" SPR. No.2
WL6 = 5'-3"x3'-1/2"x1/4" (125x90x0.01) + 2-2"x12" SPR. No.2
WL7 = 5'-3"x3'-1/2"x1/4" (125x90x0.01) + 3-2"x10" SPR. No.2
WL8 = 5'-3"x3'-1/2"x1/4" (125x90x0.01) + 3-2"x12" SPR. No.2
WL9 = 6'-4"x3'-1/2"x1/4" (150x100x0.01) + 3-2"x12" SPR. No.2

WOOD LINTELS AND BEAMS
WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)
WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)
WB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)
WB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)
WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)
WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)
WB7 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)
WB8 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)
WB9 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS
LVL1A = 1-1/2" x 3/4" x 11/4" (1-45x184)
LVL1 = 2-1/2" x 3/4" x 11/4" (2-45x184)
LVL2 = 3-1/2" x 3/4" x 11/4" (3-45x184)
LVL3 = 4-1/2" x 3/4" x 11/4" (4-45x184)
LVL4A = 1-1/2" x 3/4" x 11/2" (1-45x240)
LVL4 = 2-1/2" x 3/4" x 11/2" (2-45x240)
LVL5 = 3-1/2" x 3/4" x 11/2" (3-45x240)
LVL5A = 4-1/2" x 3/4" x 11/2" (4-45x240)
LVL6A = 1-1/2" x 3/4" x 11/8" (1-45x300)
LVL6 = 2-1/2" x 3/4" x 11/8" (2-45x300)
LVL7 = 3-1/2" x 3/4" x 11/8" (3-45x300)
LVL7A = 4-1/2" x 3/4" x 11/8" (4-45x300)
LVL8 = 2-1/2" x 3/4" x 14" (2-45x356)
LVL9 = 3-1/2" x 3/4" x 14" (3-45x356)
LVL10 = 2-1/2" x 3/4" x 18" (2-45x453)

LVL BEAMS SHALL BE VERSA-LAM 2.0E (Fb=2800psi MIN) OR EQUIVALENT.

LOOSE STEEL LINTELS
L1 = 3'-1/2"x3'-1/2"x1/4" (100x90x0.01)
L2 = 4'-3"x3'-1/2"x1/4" (100x90x0.01)
L3 = 5'-3"x3'-1/2"x1/4" (125x90x0.01)
L4 = 6'-3"x3'-1/2"x1/4" (150x90x0.01)
L5 = 6'-4"x3'-1/2"x1/4" (150x100x0.01)
L6 = 7'-4"x3'-1/2"x1/4" (175x100x0.01)

DOOR SCHEDULE
1 = 3'-0" x 6'-8" (814x2053) - INSULATED ENTRANCE DOOR
1a = 2'-10" x 7'-10" (815x2381) - INSULATED FRONT DOORS
2 = 2'-8" x 6'-8" (815x2053) - WOOD & GLASS DOOR
3 = 2'-8" x 6'-8" x 1-3/4" (815x2053x45) - EXTERIOR SLAB DOOR
4 = 2'-8" x 6'-8" x 1-3/8" (815x2053x35) - INTERIOR SLAB DOOR
5 = 2'-6" x 6'-8" x 1-3/8" (160x2053x35) - INTERIOR SLAB DOOR
6 = 2'-2" x 6'-8" x 1-3/8" (660x2053x35) - INTERIOR SLAB DOOR
7 = 1'-8" x 6'-8" x 1-3/8" (460x2053x35) - INTERIOR SLAB DOOR
8 = 3'-0" x 6'-8" (814x2053) - BARRIER FREE ACCESS DOOR

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FDN. WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

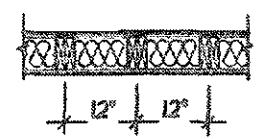
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

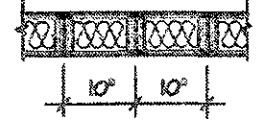
2-2"x8" STUD WALL NAILED TOGETHER AND SPACED @ 12" O.C. FULL HT C/M SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL AND 1/16" EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0"

TWO STORY HEIGHT WALL DETAIL

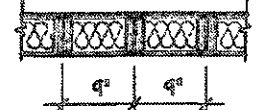
2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) USE STUD WALL, GLUED AND NAILED TOGETHER AND SPACED MAX. @ 9" O.C. FULL HT C/M SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL AND 1/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND MAXIMUM WIDTH IS 40'-0"

TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) USE STUD WALL, GLUED AND NAILED TOGETHER AND SPACED MAX. @ 9" O.C. FULL HT C/M SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL AND 1/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 21'-5" AND MAXIMUM WIDTH IS 40'-0"

TWO STORY HEIGHT WALL DETAIL

AREA CALCULATIONS		ELEV. 3	
GROUND FLOOR AREA			1553 Sq. Ft.
SECOND FLOOR AREA			1641 Sq. Ft.
TOTAL FLOOR AREA			3094 Sq. Ft.
			283.75 Sq. M.
1st FLOOR OPEN AREA	= 0		Sq. Ft.
2nd FLOOR OPEN AREA	= 0		Sq. Ft.
ADD TOTAL OPEN AREAS	= 0		Sq. Ft.
ADD FIN. BASEMENT AREA	= 0		Sq. Ft.
GROSS FLOOR AREA	= 3094		Sq. Ft.
			283.75 Sq. M.
GROUND FLOOR COVERAGE	= 1365		Sq. Ft.
GARAGE COVERAGE / AREA	= 402		Sq. Ft.
PORCH COVERAGE / AREA	= 80		Sq. Ft.
TOTAL COVERAGE W/ PORCH	= 1847		Sq. Ft.
			171.41 Sq. M.
TOTAL COVERAGE W/O PORCH	= 1765		Sq. Ft.
			162.97 Sq. M.

KINMOUNT 6A - ELEV. 3					
ELEVATION	WALL FT'	WALL M'	OPENING FT'	OPENING M'	PERCENTAGE
FRONT	120.08	(66.90)	124.33	(11.55)	17.21 %
LEFT SIDE	1145.64	(111.08)	26.11	(2.43)	2.19 %
RIGHT SIDE	1166.26	(110.21)	78.66	(7.31)	6.68 %
REAR	668.11	(62.07)	141.34	(13.14)	21.35 %
TOTAL	3100.09	(300.26 M')	3104.04	(344.24)	428.3 %

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING

ENERGY STAR V-11	
COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	1036 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	546 (R31)
EXPOSED FLOOR MINIMUM RSI (R) VALUE	546 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	475 (R27.5)
BASEMENT WALLS MINIMUM RSI (R) VALUE	352 (R20 BLANKET)
EDGE OF BELOW GRADE SLAB 1600mm BELOW GRADE MINIMUM RSI (R) VALUE	176 (R10)
SLAB 1600mm BELOW GRADE MINIMUM RSI (R) VALUE	176 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY STAR @ ZONE 2 (ER 290V 1.4)
SPACE HEATING EQUIPMENT MINIMUM ARIE	MIN. 65% ARIE
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HVAC MINIMUM EFFICIENCY	TIER 2 15% SEER ENERGY STAR @ HVAC TO BE INTERCONNECTED TO THE FURNACE FAN MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/AIR
HOT WATER TANK	CONDENSING HOT WATER TANK 40% TE EFFICIENCY
DRAIN WATER HEAT RECOVERY	TWO SHOWERS > 42% STEADY RS-42 OR TD342
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (25 ACH/0.15 HLK) ATTACHED LEVEL 1 (3.0 ACH/0.26 HLK)
DUCT SEALING	ALL SUPPLY DUCTS AND 1m OF RETURN DUCTS
LIGHTS	75% CFLs OR LEDs

NO.	REVISIONS	DATE
5		
4		
3		
2		
1	REVISED FOR LOT 39	AUG 2019

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 2.2.5 of the building code
VIKAS GAJJAR
NAME
28770
BCIN
SIGNATURE

REGION DESIGN INC.
8700 BURNHAM ST.
CONCORD, ONTARIO
L4K 4S9
P (416) 736-4080
F (905) 850-0746

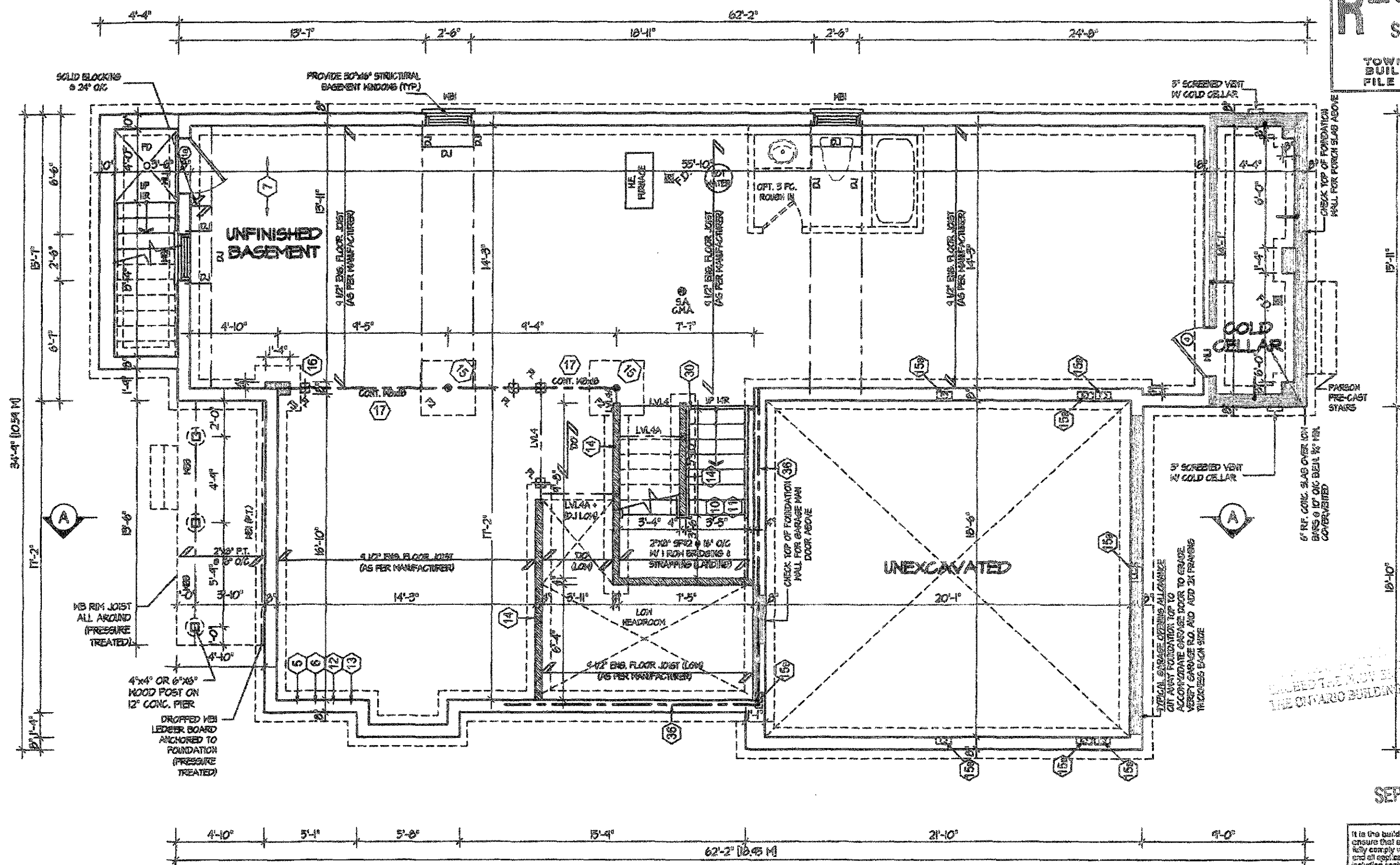
REGION DESIGN INC.

SHEET TITLE
AREA CHARTS
SCALE 3/16"=1'-0"
DATE AUG 2019
BY ZMP
AREA 3054

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.
PAGE No. 0

PROJECT NAME
LAMBERTS LANE HOME CORP. II

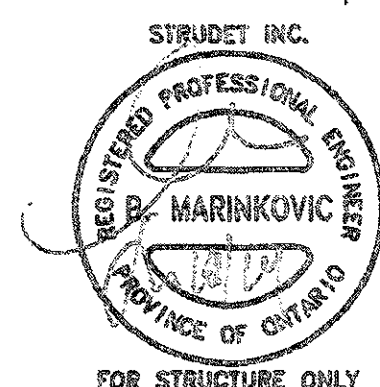
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BUILDING SECTION
FILE NO.



BASEMENT PLAN ELEV. 3

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or making drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the TOWN OF CALEDON.

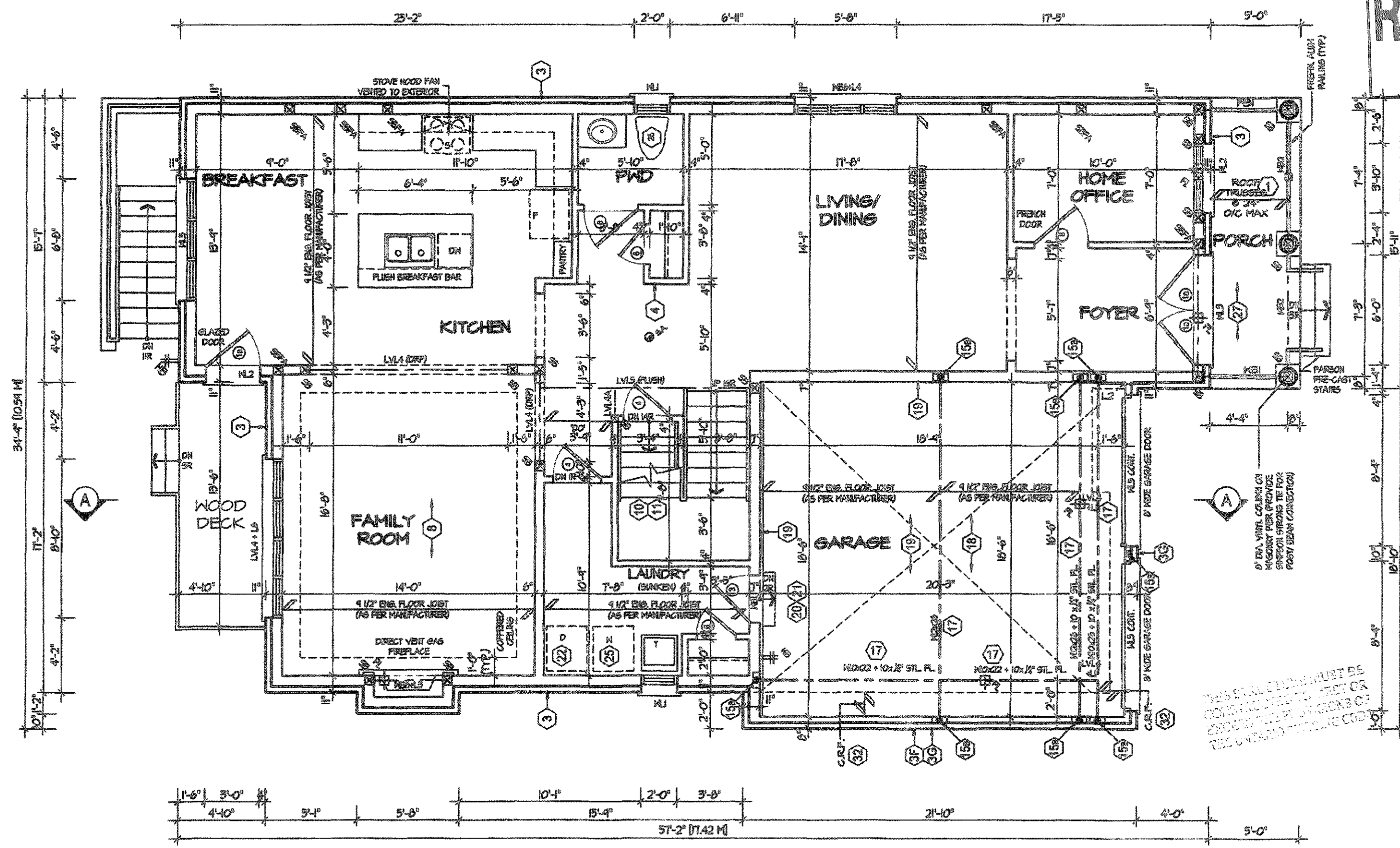


KINMOUNT 6A-039

ENERGY STAR

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S8 P (416) 738-4096 F (905) 680-0748	SHEET TITLE BASEMENT PLAN 3 SCALE 3/16"=1'-0" DATE AUG 2019	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	PAGE No. 1	PROJECT NAME LAMBERTS LANE HOME CORP. II
4.		QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.					
3.		VIKAS GAJJAR NAME SIGNATURE					
2.		28770 BCIN					
1.	REVISED FOR LOT 59	AUG 2019					
REVISIONS							

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TOWN OF CALEDON
BUILDING SECTION
FILE NO.



GROUND FLOOR PLAN ELEV. 3

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (plotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly used or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the TOWN OF CALEDON.

JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: SEP 12 2019
THE TOWN OF CALEDON, 2019-09-12 10:10:21 AM
DESIGN: JG WILLIAMS LTD. ARCHITECT
PROJECT: KINMOUNT 6A-039

KINMOUNT 6A-039

ENERGY STAR

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR NAME 28770 SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4H 4S8 P (416) 736-0095 F (905) 880-0748	REGION DESIGN INC.	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	Greenpark.	
4.					GROUND FLOOR PLAN 3				PAGE No. 2
3.					SCALE 3/16"=1'-0"	BY ZMP			
2.					DATE AUG 2019	AREA 3054			
1.	REVISED FOR LOT 39				AUG 2019				
REVISIONS									

TOWN OF CALEDON
BUILDING SECTION
FILE NO _____



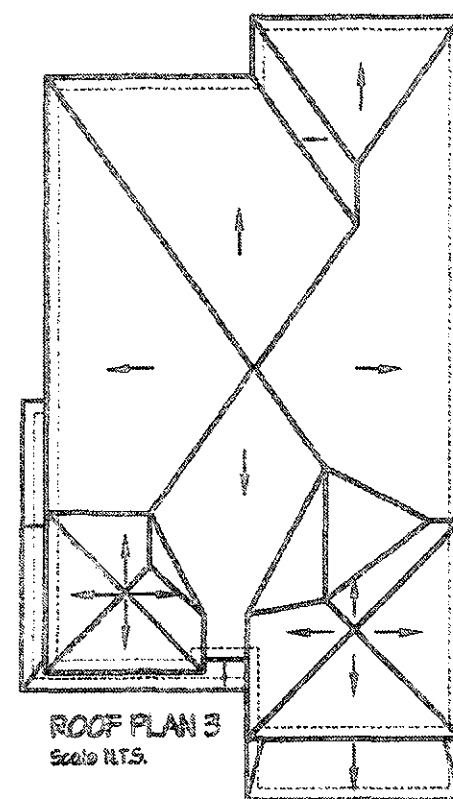
SEP 10 2019

APPROVED BY: [Signature]
DATE: SEP 13 2010
This document contains information that is not to be
Disseminated outside the Department of Defense
without prior approval of the DoD.

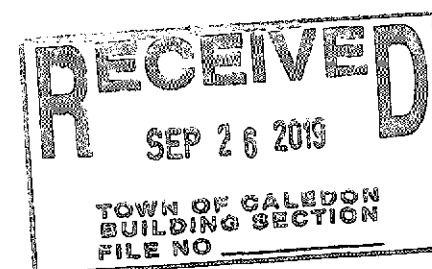
FOR STRUCTURE ONLY

ENERGY STAR

PROJECT NAME
LAMBERTS LANE HOME CORP.



THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE OMT "BIO BUILDING CODE"



SEP 10 2019

It is the builder's complete responsibility to ensure that all plans submitted for approval comply with the Architectural Guidelines and all applicable regulations and requirements, including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (filling) plans or zoning drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the
TOWN OF CALEDON.

JOHN L. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONSULTING
AND SURVEY

ATTACHED BY 
DATE SEP 12 1967

THIS STATEMENT IS MADE FOR THE PURPOSE
OF THE RECORD AND DOES NOT
CONSTITUTE AN OFFICIAL RECORD

KINMOUNT 6A-039

E N E R G Y S T A R

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJAR  28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 6700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S8 F (416) 736-8086 F (905) 940-0746	REGION DESIGN INC.	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		
4.					FRONT ELEVATION 3				
3.					SCALE	BY			PAGE No.
2.					3/16"=1'-0"	ZMP			
1.	REVISED FOR LOT 39				DATE	AREA			
		AUG 2019	3054	4	PROJECT NAME				
REVISIONS					LAMBERTS LANE HOME CORP. II				

4



STEEL JOIST CONSTRUCTION
(FOR WALLS AND ROOF GABLES LESS THAN 12m (3'-11") FROM LOT LINE)
30 MINUTE FIRE RATED WALL
PROVIDE 12.7mm (1/2") TYPE "X" GYPSUM BOARD INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN JOIST STUDS TO BE FILLED WITH PERFORATED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/sqm.
(REFER TO SECTION SD-2, 2.3. OF SUPPLEMENTARY STANDARDS)

HEADER / RM JOIST LINE.
(FOR WALLS LESS THAN 12" (54") FROM LOT LINE)
42 MINUTE FIRE RATING AT HEADERS
PROVIDE 5/8" (5/8") TYPE "X" GYPSUM BOARD BETWEEN FLOOR
JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RM JOIST
WHEN FLOOR JOISTS ARE PARALLEL TO RM JOIST TO MAINTAIN 42
MINUTE FIRE RATING.
(REFER TO SECTION SD-2.23. OF SUPPLEMENTARY STANDARDS)

THIS STRUCTURE SHALL BE
CONSTRUCTED TO RESIST OR
EXCEED THE FIRE RATING OF
THE CONTAINED BUILDING CON-

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor/Architect is not responsible in any way for examining or approving site (folking) plans or working drawings with respect to any zoning or building code or permit matter or that such building can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the TOWN OF CALEDON.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL & CONTROL DIVISION
400 RIVERSIDE DRIVE
NEW YORK, N.Y. 10024

RECEIVED
MAY 12 1965

TO: [illegible]
FROM: [illegible]
SUBJECT: [illegible]

[The remainder of the document is obscured by a large, dark, irregular mark.]

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KINMOUNT 6A-039

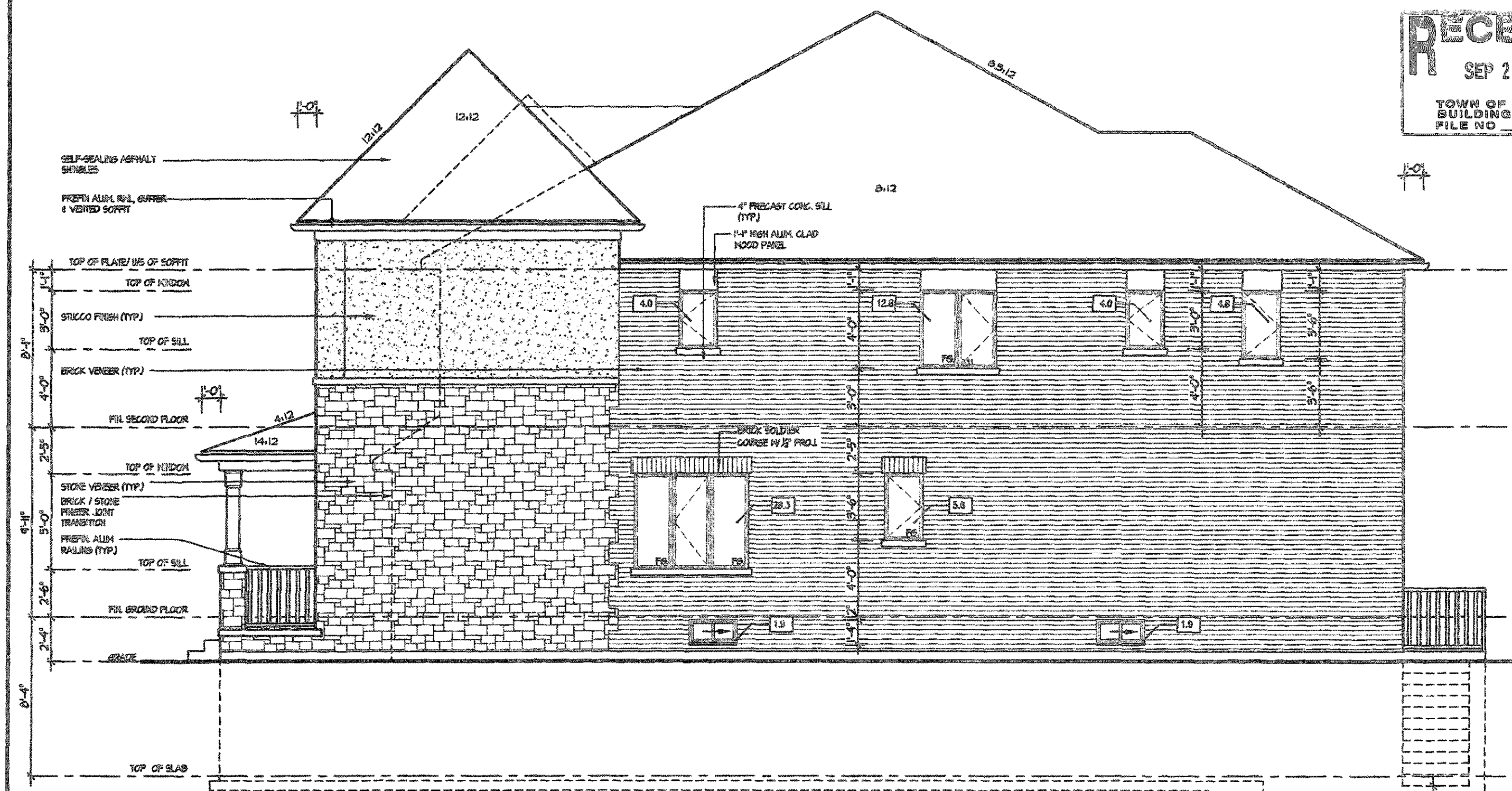
ENERGY STAR

Greenpark

PROJECT NAME
LAMBERTS LANE HOME CORP.

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.6 of the building code VIKAS GAJJAR  28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 GUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-6096 F (905) 660-0748	REGION DESIGN INC.	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. PAGE No. 5	 PROJECT NAME LAMBERTS LANE HOME CORP.
4.					LEFT			
3.					SIDE ELEVATION 3			
2.					SCALE	BY		
1.	REVISED FOR LOT 39				3/16"=1'-0"	ZMP		
AUG 2019		DATE	AREA					
REVISIONS			AUG 2019	3054				

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BUILDING SECTION
FILE NO.



RIGHT SIDE ELEVATION 3

ALLOWABLE GLAZING			
WALL AREA	=	1114	Sq. Ft.
ALLOWABLE GLAZED AREA @ 1 R 12 H SIDE YARD	=	1149	Sq. Ft.
ACTUAL GLAZED AREA	=	583	Sq. Ft.

THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Central Architect is not responsible in any way for approving or approving any building plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the TOWN OF CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL, 2021 RD. 10, REVEN
AND PARTIAL
APPROVED BY: [Signature]
DATE: [Date]
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the TOWN OF CALEDON.

SEP 18 2019

KINMOUNT 6A-039

ENERGY STAR



REVISIONS	DATE
1. REVISED FOR LOT 33	AUG 23/19

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Respected unless design is exempt under Division G, Subsection 3.2.5 of the building code
VIKAS GAJJAR
NAME
SIGNATURE
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S8
P (416) 738-0059
F (800) 680-0748

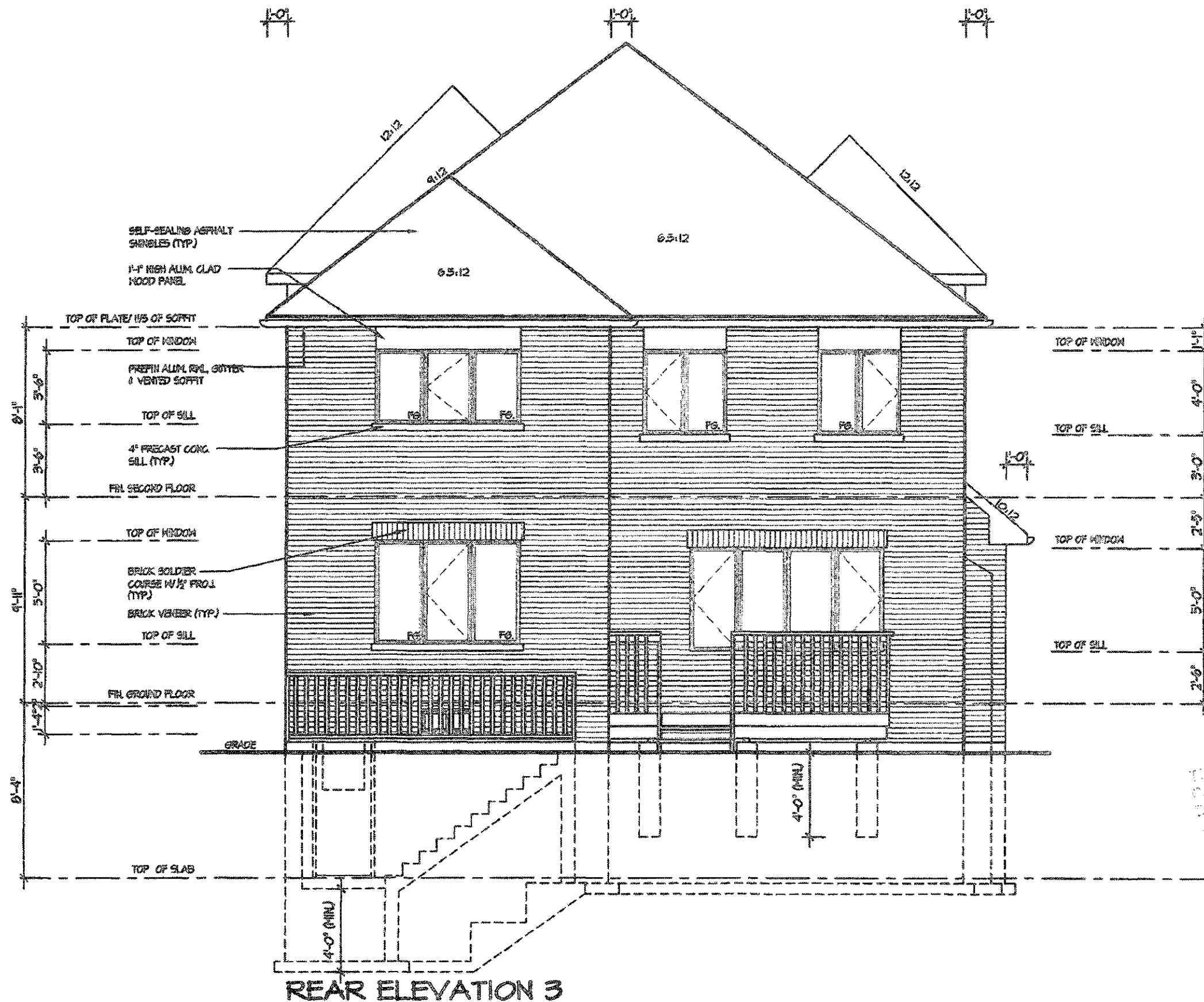


SHEET TITLE			
RIGHT SIDE ELEVATION 3			
SCALE	3/16"=1'-0"	BY	ZMP
DATE	AUG 2019	AREA	3054

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.
PAGE No. 6

PROJECT NAME
LAMBERTS LANE HOME CORP. II

RECEIVED
SEP 26 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO



THIS STRUCTURE IS NOT TO BE CONSIDERED A PERMIT OR A BUILDING CODE REQUIREMENT.

SEP 16 2019

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving site (lot) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on a lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the TOWN OF CALEDON.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: SEP 16 2019
THIS DRAWING IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

KINMOUNT 6A-039

ENERGY STAR



PROJECT NAME
LAMBERTS LANE HOME CORP. II

5.		
4.		
3.		
2.		
1.	REVISED FOR LOT 29	AUG 2019
REVISIONS		

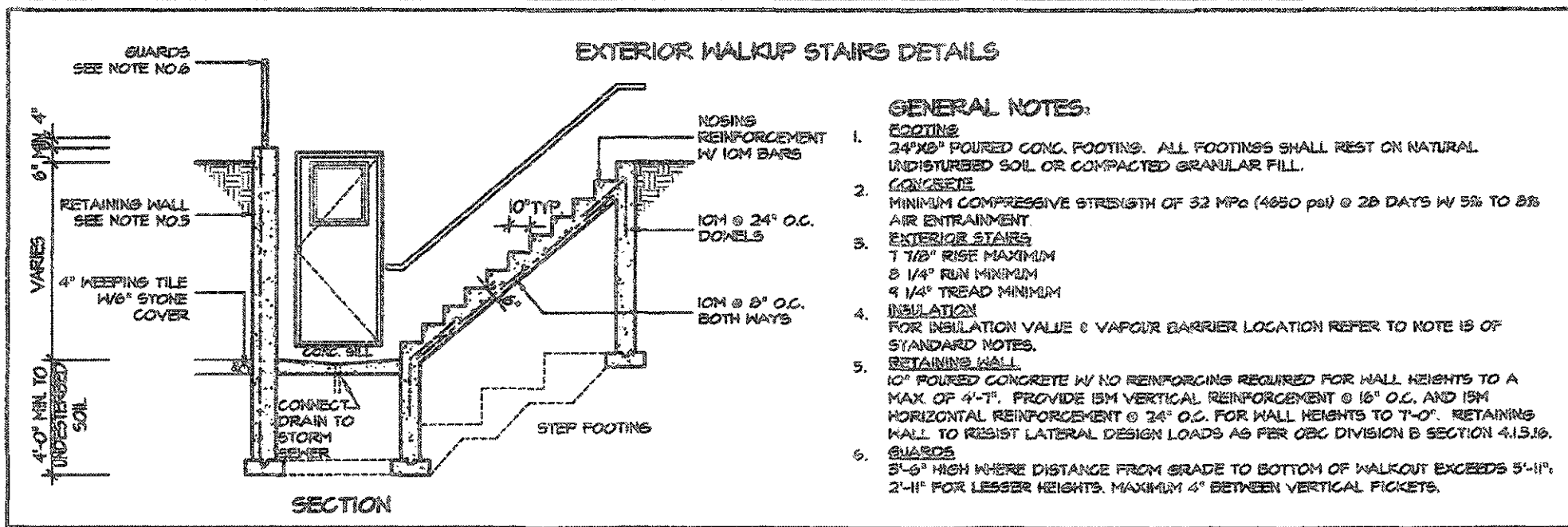
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.6 of the building code
VIKAS GAJJAR 28770
NAME SIGNATURE SCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 732-4008
F (905) 660-0749

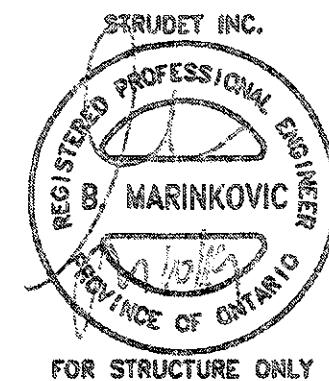


SHEET TITLE
REAR ELEVATION 3
SCALE 3/16"=1'-0"
DATE AUG 2019
BY ZMP
AREA 3054

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.
PAGE No. 7



RECEIVED
 SEP 26 2019
 TOWN OF CALEDON
 BUILDING SECTION
 FILE NO.



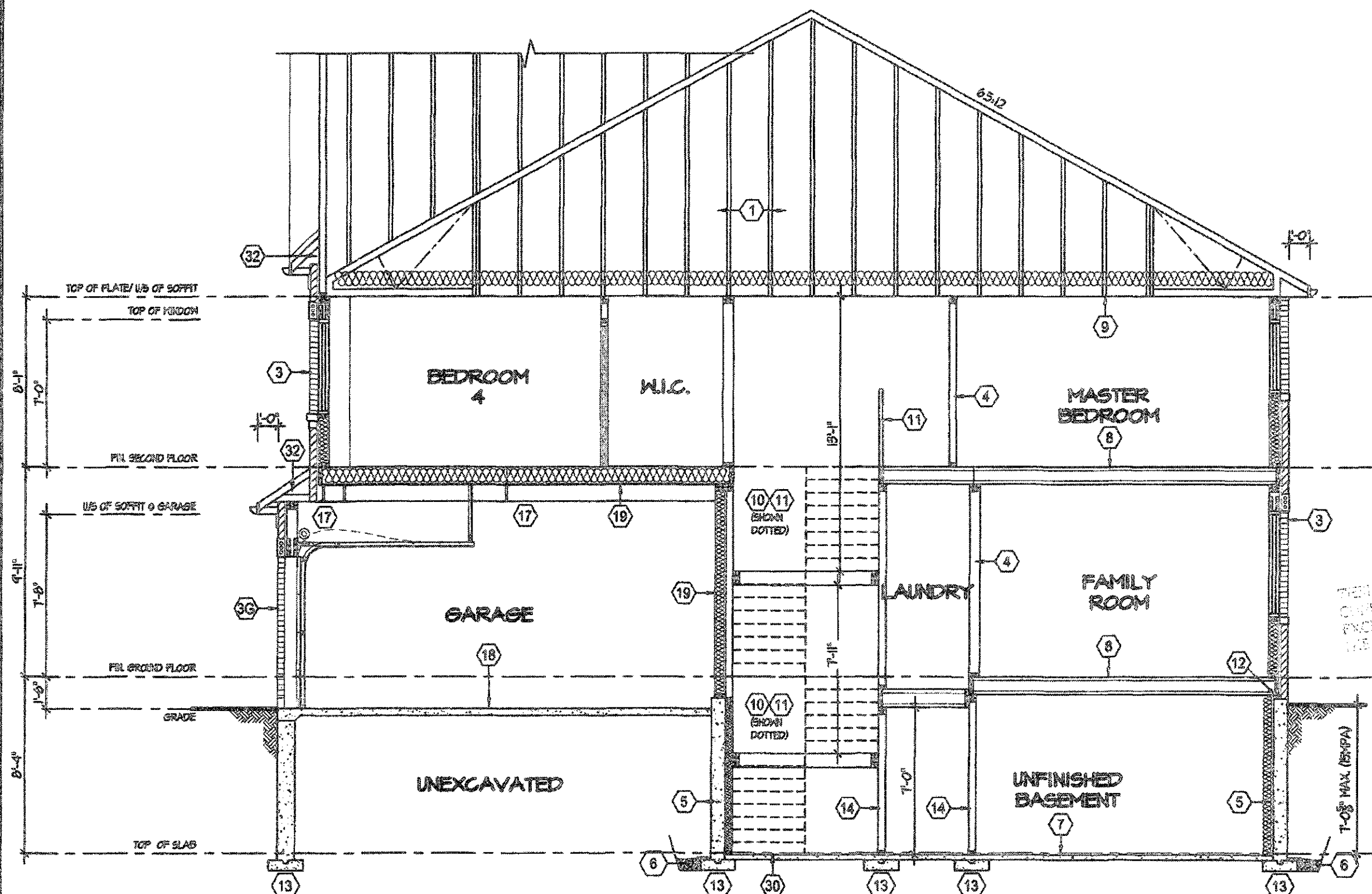
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving site (lotting) plans or existing drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the TOWN OF CALEDON.

SEP 10 2019

KINMOUNT 6A-039

ENERGY STAR



SECTION A-A

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 2.2.5 of the building code VIKAS GAJJAR NAME SIGNATURE 28770 BCIN	REGION DESIGN INC. 8709 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4095 F (905) 600-0748 REGION DESIGN INC.	SHEET TITLE CROSS SECTION		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. PAGE No. 8	Greenpark. PROJECT NAME LAMBERTS LANE HOME CORP. II
4.							
3.							
2.							
1	REVISED FOR LOT 39			AUG 30 2019	SCALE 3/16"=1'-0"		
REVISIONS			DATE AUG 2019	AREA 3054			