

STRIP FOOTINGS FOR SINGLES AND SEMIS UP TO 2 STOREY

120 KPa NATIVE SOIL
20"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS

90 KPa ENGINEERED FILL SOIL
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW FOUNDATION WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.

100 KPa NATIVE SOIL
22"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
28"x10" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS
OR
28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS

GENERAL NOTE:
ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa
FOR ENGINEERED FILL, TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL
FOOTING DETAIL FOR REINFORCEMENT

(REFER TO ENG. FILL FOOTING DETAIL)

AREA CALCULATIONS EL-2

FIRST FLOOR AREA	= 1185 Sq. Ft.
SECOND FLOOR AREA	= 1503 Sq. Ft.
TOTAL FLOOR AREA	= 2688 Sq. Ft.
ADD OPEN AREAS	= 12 Sq. Ft.
ADD FIN. BASEMENT AREA	= 0 Sq. Ft.
GROSS FLOOR AREA	= 2710 Sq. Ft.
GROUND FLOOR COVERAGE	= 1185 Sq. Ft.
GARAGE COVERAGE / AREA	= 377 Sq. Ft.
PORCH COVERAGE / AREA	= 60 Sq. Ft.
COVERAGE W/O PORCH	= 1632 Sq. Ft.
COVERAGE W/O PORCH	= 1572 Sq. Ft.
COVERAGE W/O PORCH	= 1460 Sq. Ft.

APPROVED
For construction as per the
Ontario Building Code
Town of Caledon Building Department
Initial JS/NEIL
Date OCT 8/19
File # BA/19/0706

PAD FOOTING

120 KPa NATIVE SOIL	90 KPa ENGINEERED FILL SOIL	100 KPa NATIVE SOIL
F1 = 42"x12"x16" CONCRETE PAD	F1 = 48"x16"x20" CONCRETE PAD	F1 = 48"x16"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD	F2 = 40"x40"x16" CONCRETE PAD	F2 = 36"x36"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD	F3 = 34"x34"x14" CONCRETE PAD	F3 = 32"x32"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD	F4 = 28"x28"x12" CONCRETE PAD	F4 = 26"x26"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD	F5 = 18"x18"x8" CONCRETE PAD	F5 = 17"x17"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m)
(48 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED
OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

NOTE:

WHEN VENEER CUT IS GREATER THAN 28" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.

NOTE:

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa
WITH 5-6% AIR ENTRAINMENT.

BRICK VENEER LINTELS:

WL1 = 3'12"x3'12"x16" (90x90x8) + 2'-2"x8" SPR	WL6 = 5'x3'12"x5'16" (125x90x8) + 2'-2"x12" SPR
WL2 = 4'x3'12"x5'16" (100x90x8) + 2'-2"x8" SPR	WL7 = 5'x3'12"x5'16" (125x90x8) + 3'-2"x10" SPR
WL3 = 5'x3'12"x5'16" (125x90x8) + 2'-2"x10" SPR	WL8 = 5'x3'12"x5'16" (125x90x8) + 3'-2"x12" SPR
WL4 = 6'x3'12"x5'16" (150x90x8) + 2'-2"x12" SPR	WL9 = 6'x4'x3'8" (150x100x10) + 3'-2"x12" SPR
WL5 = 6'x4'x3'8" (150x100x10) + 2'-2"x12" SPR	

WOOD LINTELS:

WB1 = 2'-2"x8" SPRUCE BEAM	WB8 = 3'-2"x12" SPRUCE BEAM
WB2 = 3'-2"x8" SPRUCE BEAM	WB7 = 5'-2"x12" SPRUCE BEAM
WB3 = 2'-2"x10" SPRUCE BEAM	WB10 = 4'-2"x8" SPRUCE BEAM
WB4 = 3'-2"x10" SPRUCE BEAM	WB11 = 4'-2"x10" SPRUCE BEAM
WB5 = 2'-2"x12" SPRUCE BEAM	

STEEL LINTELS:

L1 = 3'12"x3'12"x16" (90x90x8)	L4 = 6'x3'12"x3'8" (150x90x10)
L2 = 4'x3'12"x5'16" (100x90x8)	L5 = 6'x4'x3'8" (150x100x10)
L3 = 5'x3'12"x5'16" (125x90x8)	L6 = 7'x4'x3'8" (180x100x10)

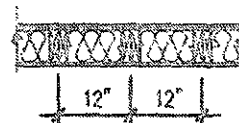
LAMINATED VENEER LUMBER (LVL BEAMS)

LVL1A = 1-1 3/4"x7 1/4" (1-45x184)
LVL1 = 2-1 3/4"x7 1/4" (2-45x184)
LVL2 = 3-1 3/4"x7 1/4" (3-45x184)
LVL3 = 4-1 3/4"x7 1/4" (4-45x184)
LVL4A = 1-1 3/4"x9 1/2" (1-45x240)
LVL4 = 2-1 3/4"x9 1/2" (2-45x240)
LVL5 = 3-1 3/4"x9 1/2" (3-45x240)
LVL5A = 4-1 3/4"x9 1/2" (4-45x240)
LVL6A = 1-1 3/4"x11 7/8" (1-45x300)
LVL6 = 2-1 3/4"x11 7/8" (2-45x300)
LVL7A = 4-1 3/4"x11 7/8" (4-45x300)
LVL7 = 2-1 3/4"x14" (2-45x356)
LVL8 = 2-1 3/4"x14" (2-45x356)
LVL9 = 3-1 3/4"x14" (3-45x356)

DOOR SCHEDULE:

- 1 = 2'-10" x 6'-8" INSULATED ENTRANCE DOOR
- 1A = 2'-8" x 6'-8" INSULATED ENTRANCE DOOR
- 2 = 2'-8" x 6'-8" EXTERIOR GLAZED DOOR
- 3 = 2'-8" x 6'-8" SLAB DOOR (1 3/4" EXTERIOR)
- 4 = 2'-8" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
- 5 = 2'-8" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
- 6 = 2'-2" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
- 7 = 1'-8" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
- 8 = 2'-6" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
- 9 = 3'-0" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
- 10 = 2'-2" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
- 11 = 2'-2" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
- 12 = 2'-6" x 6'-8" FRENCH DOOR (1 3/8" INTERIOR)

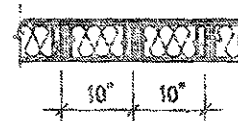
2-2"x8" STUD WALL NAILED TOGETHER AND SPACED @12" O.C.
FULL HT C/W SOLID BLOCKING 4'-0" O.C. VERTICAL AND 7/16
EXT. PLYWOOD SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

TWO STOREY HEIGHT WALL DETAIL

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1 SE STUD WALL GLUED
AND NAILED TOGETHER AND SPACED MAX @10" O.C. FULL HT
C/W SOLID BLOCKING MAX 6'-0" O.C. VERTICAL AND 7/16 EXT.
OSB SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

TWO STOREY HEIGHT WALL DETAIL

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7, 2 ROWS FOR SPANS GREATER THAN 7

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
FLOOR TRUSS LAYOUT BY MANUFACTURER

NOTE:

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

BARTON 4 ELEV.-2	ENERGY EFFICIENCY- ENERGY STAR		
ELEVATION	WALL FT ²	OPENING FT ²	PERCENTAGE
FRONT	570.00	75.00	13.16%
LEFT SIDE	1187.00	69.00	5.81%
RIGHT SIDE	1185.00	42.00	3.54%
REAR	629.00	141.00	22.45%
TOTAL	3570.00	327.00	9.16%

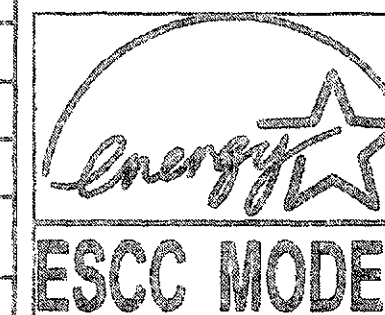
THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND
EQUIPMENT SHALL CONFORM TO THE FOLLOWING

ENERGY STAR V-17

COMPONENT	NOTE
CEILING WITH ATTIC SPACE	10.56 (R60)
MINIMUM RSI (R) VALUE	
CEILING WITHOUT ATTIC SPACE	5.46 (R31)
MINIMUM RSI (R) VALUE	
EXPOSE FLOOR	5.46 (R31)
MINIMUM RSI (R) VALUE	
WALLS ABOVE GRADE	4.75 (R22-R5)
MINIMUM RSI (R) VALUE	
BASEMENT WALLS	3.52 (R20 BLANKET)
MINIMUM RSI (R) VALUE	
EDGE OF BELOW GRADE SLAB	1.76 (R10)
< 600mm BELOW GRADE	
MINIMUM RSI (R) VALUE	
SLAB < 600mm BELOW GRADE	1.76 (R10)
MINIMUM RSI (R) VALUE	
WINDOWS & SLIDING GLASS DOORS	ENERGY STAR @ ZONE 2 (R 28/UV 1-4)
MAXIMUM U-VALUE	
SPACE HEATING EQUIPMENT	MIN 98% AFUE
MINIMUM AFUE	
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HRV	TIER 2 75% SRE ENERGY STAR @ HRV TO BE
MINIMUM EFFICIENCY	INTERCONNECTED TO THE FURNACE FAN MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/AIR
HOT WATER TANK	CONDENSING HOT WATER TANK 90% TE ENVIRONMENT
DRAIN WATER HEAT RECOVERY	TWO SHOWERS > 42% STEADY R3-42 OR T2342
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (2.5 ACH@18 NLP) ATTACHED LEVEL 1 (3.0 ACH@18 NLP)
DUCT SEALING	ALL SUPPLY DUCTS AND 1 m OF RETURN DUCTS
LIGHTS	75% CFLs OR LEDs

SEP 10 2019



ENERGY STAR - V 17

It is the builder's responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning bylaws and any provisions
in the Caledon Official Plan. The Council
Architect is not responsible in any way for
examining or approving site (lot) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

2710

11.0m LOTS

BARTON 4-032
ELEVATION 2

ENERGY STAR

O.REG. 332/12

STRUDET INC.



FOR STRUCTURAL ONLY

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF
THESE DRAWINGS AND FOR OBTAINING ALL NECESSARY PERMITS
AND FOR OBTAINING ALL NECESSARY APPROVALS FROM THE
TOWN OF CALEDON. THE CONTRACTOR SHALL BE RESPONSIBLE
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TOWN OF CALEDON.

THIS DRAWING IS A PRELIMINARY DESIGN. IT IS NOT TO BE
USED FOR CONSTRUCTION. THE CONTRACTOR SHALL BE
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AND FOR OBTAINING ALL NECESSARY APPROVALS FROM THE
TOWN OF CALEDON. THE CONTRACTOR SHALL BE RESPONSIBLE
FOR OBTAINING ALL NECESSARY APPROVALS FROM THE
TOWN OF CALEDON.

No.	DATE	WORK DESCRIPTION
7		
6		
5		
4	SEP 08 2019	REV AS PER CLIENT COMMENTS AND REISSUED TO CLIENT
3	AUG 29 2019	ADDED DRAWING FOR LOT 32 ISSUED TO CLIENT
2	JAN 17 2019	ISSUED FOR BUILDING PERMIT
1	OCT 15 2018	COMPLETED TO PRECOORDINATION STAGE ISSUED TO CLIENT

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer.

Walter Boileau WBoileau 21031
NAME SIGNATURE BCN

Registration Information
Required unless design is exempt under Division C, Subsection
1.2.3 of the Building Code

Jardin design group inc. 27763
FIRM NAME BCN

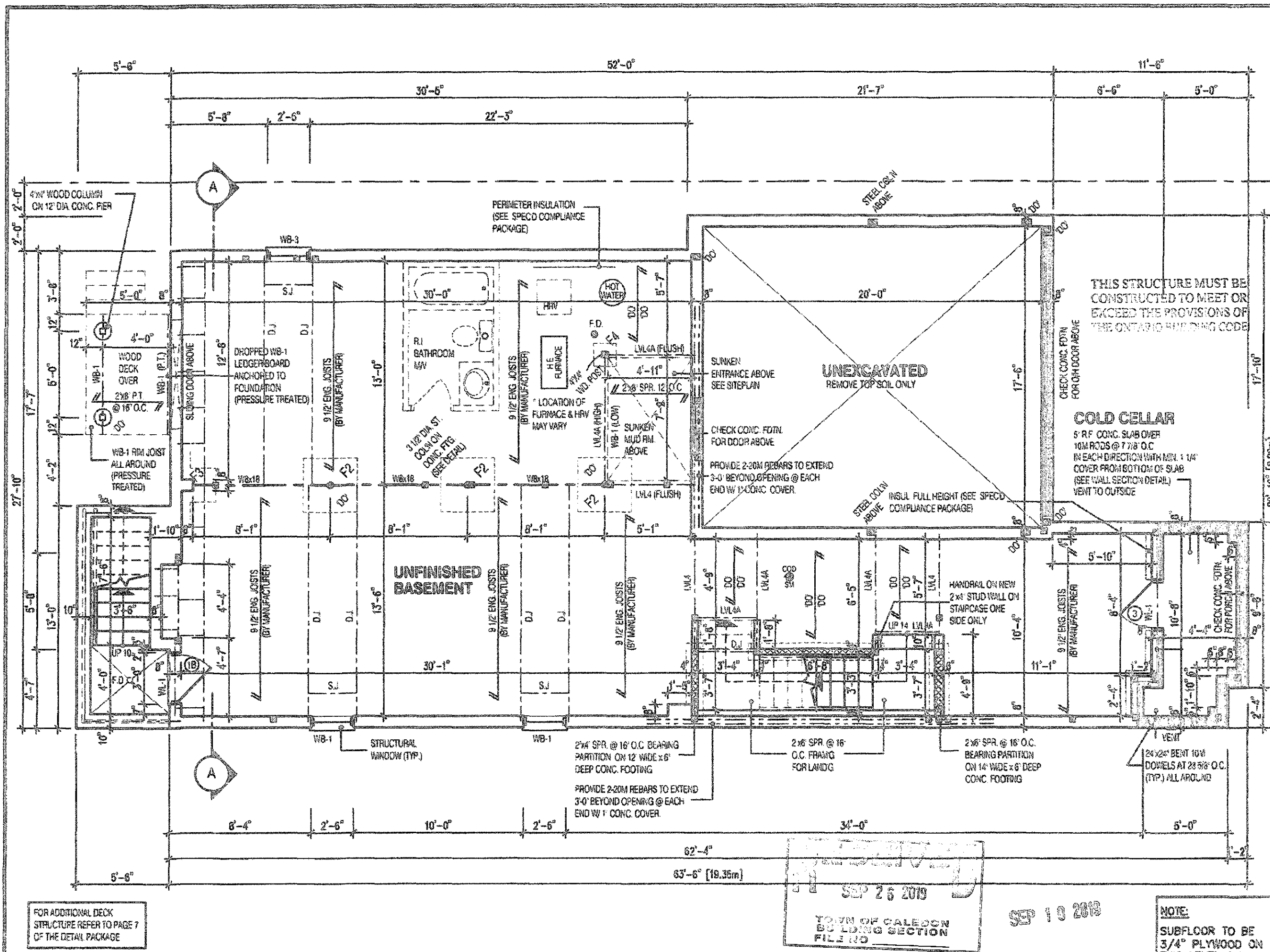
TITLE SHEET

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

TYPE	AREA
T	
SCALE	3/16" = 1'-0"
PROJ No	DIAG No
18-18	0

BILD

APPLICANT COPY



2710
11.0m LOTS
BARTON 4-032 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURAL ONLY

THIS DRAWING IS A REPRESENTATION OF THE DESIGN AND CONSTRUCTION OF THE STRUCTURE. IT IS THE RESPONSIBILITY OF THE CLIENT TO OBTAIN ALL NECESSARY PERMITS AND TO ENSURE THAT THE STRUCTURE IS CONSTRUCTED IN ACCORDANCE WITH THE DESIGN AND THE RELEVANT BUILDING CODES. THE DESIGNER IS NOT RESPONSIBLE FOR ANY CHANGES OR MODIFICATIONS TO THE DESIGN AFTER THE DATE OF ISSUANCE OF THIS DRAWING.

NO.	DATE	WORK DESCRIPTION
7		
6		
5	SEP. 08 2019	REV AS PER CLIENT COMMENTS AND PREPARED TO CLIENT
4	AUG. 29 2019	ADDED DRAWING FOR LOT 32 ISSUED TO CLIENT
3	JUNE 25 2019	REVISED LVL PER CITY COMMENT ISSUED TO CLIENT
2	JULY 17 2018	ISSUED FOR BUILDING PERMIT
1	OCT. 16 2018	COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT

for additional deck structure refer to page 7 of the detail package

SEP 26 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

SEP 10 2019

NOTE:
SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

NOTE:
REFER TO SHEET NO. 0 - FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7". 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:
WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED. (FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)

NOTE:
IT IS THE BUILDER'S COMPLETE RESPONSIBILITY TO ENSURE THAT ALL PLANS SUBMITTED FOR APPROVAL FULLY COMPLY WITH THE ARCHITECTURAL GUIDELINES AND ALL APPLICABLE REGULATIONS AND REQUIREMENTS INCLUDING ZONING PROVISIONS AND ANY PROVISIONS IN THE SUBDIVISION AGREEMENT. THE GENERAL ARCHITECT IS NOT RESPONSIBLE IN ANY WAY FOR OBTAINING OR APPROVING ANY FLOORING PLANS OR TRUSS DRAWINGS WITH RESPECT TO ANY TYPING OR BUILDING CODE OR PERMIT MATTER OR THAT ANY HOUSE CAN BE PROPERLY BUILT OR LOCATED ON ITS LOT.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN L. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONSULTANTS
AND APPROVAL

APPROVED BY
DATE: SEP 12 2019

FOR REVIEW ONLY - NOT FOR CONSTRUCTION

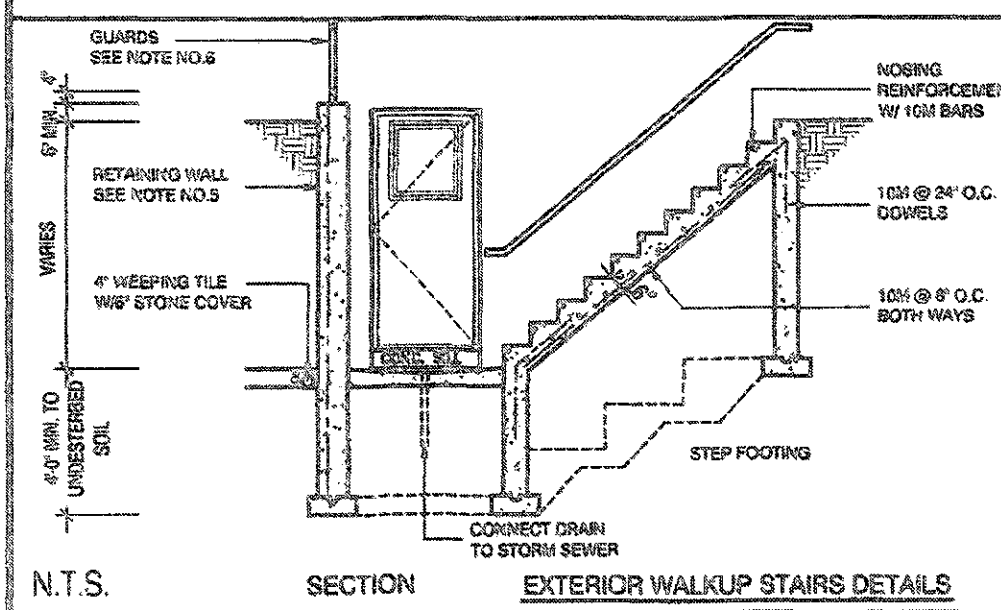
Walter Boller
NAME
SIGNATURE
ICBN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code

jardin design group inc. 27763
FIRM NAME
ICBN

BASEMENT PLAN EL-2
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

TYPE T
SCALE 3/16" = 1'-0"
PROJ. NO. 18-18
DWG. NO. 1A



- GENERAL NOTES:
- FOOTING
24"x8" POURED CONC. FOOTING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL.
 - CONCRETE
MINIMUM COMPRESSIVE STRENGTH OF 32 MPa (4650 psi) @ 28 DAYS W/ 5% TO 8% AIR ENTRAINMENT.
 - EXTERIOR STAIRS
7 7/8" RISE MAXIMUM
8 1/4" RUN MINIMUM
9 1/4" TREAD MINIMUM
 - INSULATION
FOR INSULATION VALUE & VAPOUR BARRIER LOCATION REFER TO NOTE 13 OF STANDARD NOTES.
 - RETAINING WALL
10" POURED CONCRETE W/ NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 4'-7". PROVIDE 15M VERTICAL REINFORCEMENT @ 16" O.C. AND 15M HORIZONTAL REINFORCEMENT @ 24" O.C. FOR WALL HEIGHTS TO 7'-0". RETAINING WALL TO RESIST LATERAL DESIGN LOADS AS PER OBC DIVISION 8 SECTION 4.1.5.18.
 - GUARDS
3'-5" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 6'-11". 2'-11" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS.

NOTE:
REFER TO SHEET NO. 0 - FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7". 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN L. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONSULTANTS
AND APPROVAL

APPROVED BY
DATE: SEP 12 2019

FOR REVIEW ONLY - NOT FOR CONSTRUCTION

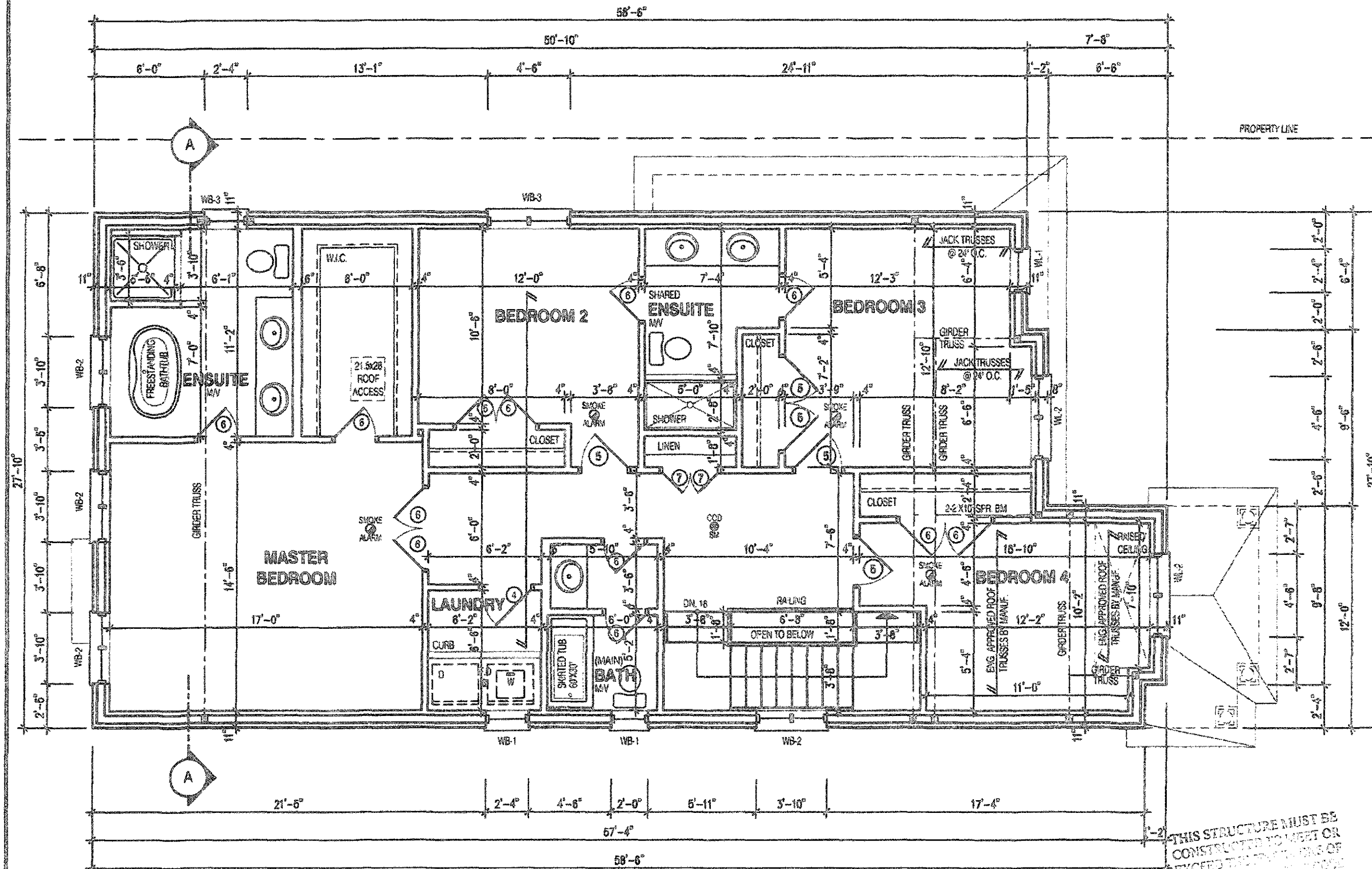
Walter Boller
NAME
SIGNATURE
ICBN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code

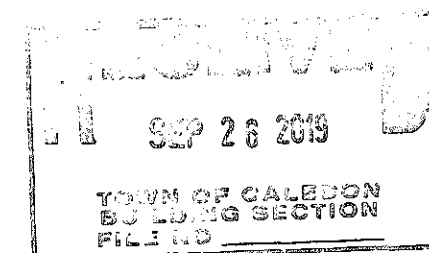
jardin design group inc. 27763
FIRM NAME
ICBN

BASEMENT PLAN EL-2
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

TYPE T
SCALE 3/16" = 1'-0"
PROJ. NO. 18-18
DWG. NO. 1A



THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE REQUIREMENTS OF
THE ONTARIO BUILDING CODE



SEP 16 2019

- LEGEND:**
- BUILDING FACE < THAN 4'-0" (1.2m)
(45 MIN. FIRE RATING REQ'D)
 - INDICATES SOLID BEARING REQUIRED
OR POINT LOAD FROM ABOVE
 - STL. PLATE FOR STEEL COLN ABOVE
 - LVL LAMINATED VENEER LUMBER
 - S.J. SINGLE JOIST
 - D.J. DOUBLE JOIST
 - T.J. TRIPLE JOIST
 - REPEAT NOTE
 - SHOWER WEEPERS

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
ROOF TRUSS DRAWINGS BY MANUFACTURER.

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Authority is not responsible in any way for
examining or approving site (building) plans or
existing drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

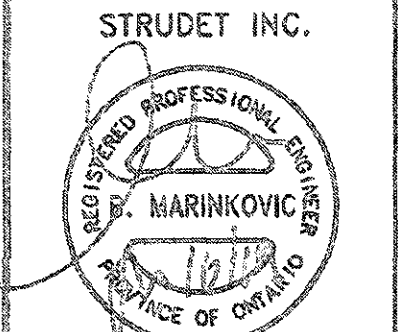
This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: *[Signature]*
DATE: SEP 16 2019

The Engineer shall be responsible for the design of the structure and shall ensure that the structure is built in accordance with the approved plans and specifications.

2710
11.0m LOTS
BARTON 4-032 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12



FOR STRUCTURAL ONLY

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND
CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION.
ANY DISCREPANCIES SHALL BE REPORTED TO ARCHITECT GROUP
IMMEDIATELY UPON DISCOVERY OF ERROR.

ARCHITECT GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF
OR QUALITY OF ANY INFORMATION PROVIDED TO THE ARCHITECT
GROUP INC. FOR CONSTRUCTION. INFORMATION PROVIDED TO THE
ARCHITECT GROUP INC. FOR CONSTRUCTION IS THE PROPERTY OF
ARCHITECT GROUP INC. AND SHALL BE KEPT IN CONFIDENCE.
NO INFORMATION SHALL BE RELEASED TO ANY OTHER PARTY
WITHOUT THE WRITTEN PERMISSION OF ARCHITECT GROUP INC.

ARCHITECT GROUP INC. HAS NOT BEEN RETAINED TO OBTAIN
GENERAL COUNSEL OF THE LOCAL JURISDICTIONS TO DETERMINE
THE NATURE OF THE OBTAINMENT OR SUBCONTRACTOR TO
OBTAIN THE NECESSARY INFORMATION WITH THE OBTAINMENT
OBTAINMENT.

THIS DRAWING IS AN INSTRUMENT OF SERVICE, PROVIDED BY ARCHITECT
GROUP INC. TO ARCHITECT GROUP INC. THIS DRAWING GROUP
TO BE SOLED.

7	
6	
5	
4	SEP 08 2019 REV. AS PER CLIENT COMMENTS AND REISSUED TO CLIENT
3	AUG 29 2019 ADDED DRAWING FOR LOT 32 ISSUED TO CLIENT
2	JAN 17 2019 ISSUED FOR BUILDING PERMIT
1	OCT 15 2018 COMPLETED PRECOORDINATION STAGE ISSUED TO CLIENT

No. DATE WORK DESCRIPTION

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
9.2.5 of the building code.

Walter Boller *[Signature]* 21037
NAME SIGNATURE BCIN

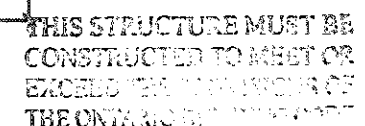
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
12.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

SECOND FL. PLAN EL-2

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

TYPE	T	AREA	----
SCALE	3/16" = 1'-0"		
PROJ. No.	18-18	DWG No.	3A



SEP 16 1964

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Centric Architect is not responsible in any way for submitting or approving site (lotting) plans or building drawings with respect to any zoning or building code or permit matter or that any

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

ROBIN C. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY _____
DATE SEP 12 2013

This document, prepared by the above firm, is hereby approved.
Project: REPAIR AND RENOVATION OF THE
located at 1000 10TH ST NW

2710
11.0m LOTS
BARTON 4-032 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCY SHALL BE REPORTED TO JARDIN DESIGN GROUP PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR GEOTECHNICAL CONSULTANCY SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE RECEIPT OF A BUILDING PERMIT. PROCEED TO THE APPROPRIATE ENGINEERING JURISDICTION BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTION PROGRESS MUST BE VERIFIED PRIOR TO PILING AND FOOTINGS.

JACKSON DESIGN GROUP, INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT REQUIREMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE IS PROVIDED BY AND IS THE PROPERTY OF JACOBS GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED

7		
6		
5		
4	SEP 09, 2019	REV AS PER CLIENT COMMENTS AND RESUBMITTED TO CLIENT
3	AUG. 29, 2019	ADDED DRAWING FOR LOT 32 ISSUED TO CLIENT
2	JUN. 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT 15, 2018	COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT

[illegible]

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EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code.

Walter Dötter *W.D.* 21031
NAME SIGNATURE PCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.5 of the building code

firm name	jardin design group inc.	27763
edn		

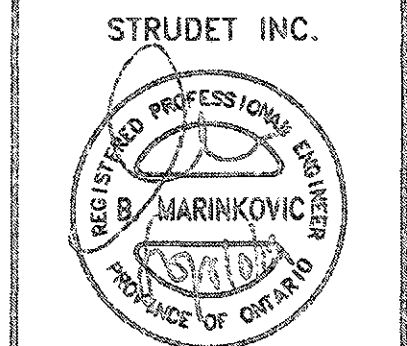
FRONT ELEVATION 2

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

 BILD®	TYPE	AREA
	T	---
	SCALE $3/16" = 1'-0"$	
	PROJ. No.	DWG. No.
	18-18	4A

 BILD®	TYPE	AREA
	T	
	SCALE:	3/16" = 1'-0"
	PROJ. No.	DWG. No.
	18-18	6A

2710
11.0m LOTS
BARTON 4-032 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12



FOR STRUCTURAL ONLY

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. BY OCTOBER 15, 2019, OR BEFORE START OF WORK.

ARCHITECTS OUGHT TO BE RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED OR TO THE SEQUENCE OF A BUILDING PERMIT. REGULAR TO THE APPROPRIATE THIS NEEDING DRAWINGS MUST BE REPORTED TO JARDIN DESIGN GROUP INC.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE DRAWINGS AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT CONDITIONS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE AS PROVIDED BY AGS IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE COPIED.

7	
6	
5	
4	SEP. 09, 2019 REV. AS PER CLIENT COMMENTS, AND REISSUED TO CLIENT
3	AUG. 29, 2019 ADDED DRAWING FOR LOT 32 ISSUED TO CLIENT
2	JAN. 17, 2018 ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018 COMPLETED TO PRE-COORDINATION STAGE, ISSUED TO CLIENT

No. DATE WORK DESCRIPTION

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Licensed unless design is exempt under Division C, Subsection 3.3.5 of the Building Code.

Walter Boller *Walter Boller* 21037
NAME SIGNATURE BCIN

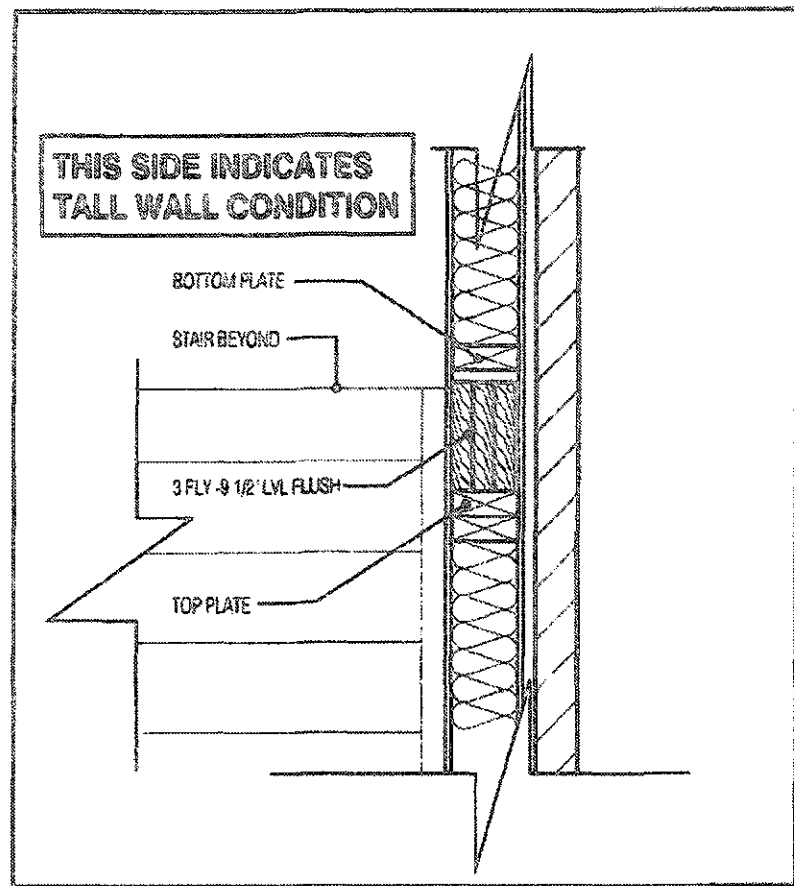
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the Building Code.

jardin design group inc. 27763
FIRM NAME BCIN

SECTION ELEVATION 2

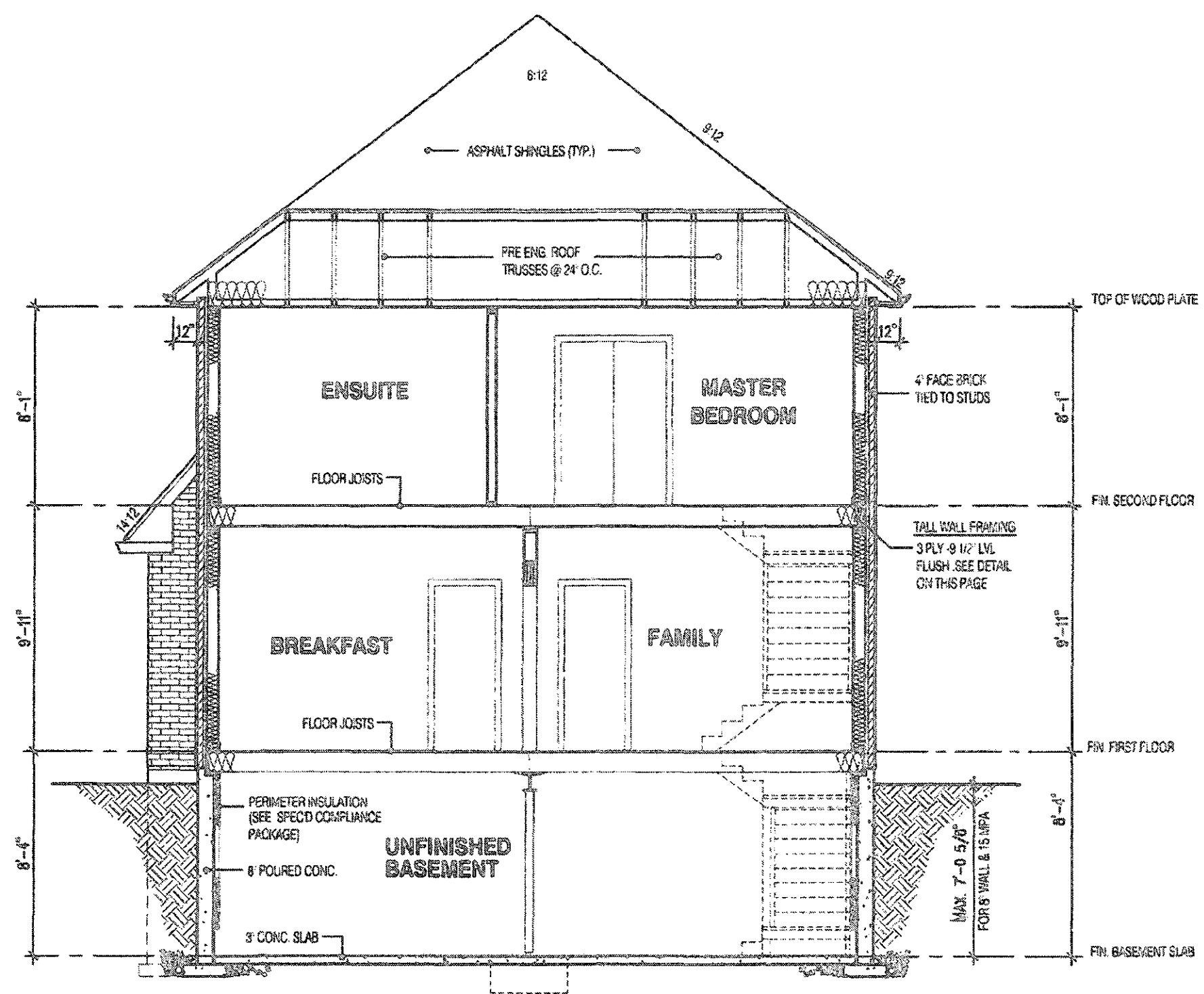
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD	TYPE	T	AREA	----
	SCALE	3/16"=1'-0"		
	PROJ. No	18-18	DWG. No	8A



THIS SIDE INDICATES TALL WALL CONDITION

B TALL WALL FRAMING
NTS



SECTION A-A
ELEVATION 2

RECEIVED
SEP 26 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

SEP 10 2018

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (posting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on a lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.