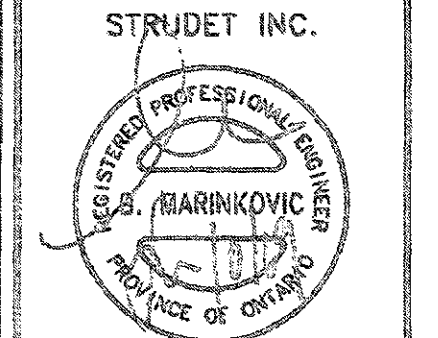


2638
11.0m LOTS
BARTON 3-027 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12



FOR STRUCTURAL ONLY

THE CONTRACTOR SHALL OBTAIN AND VERIFY ALL NECESSARY PERMITS AND CONSENTS FROM THE TOWN OF CALEDON PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONSENTS FROM THE TOWN OF CALEDON PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONSENTS FROM THE TOWN OF CALEDON PRIOR TO CONSTRUCTION.

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF JARDIN DESIGN GROUP INC.

No.	DATE	WORK DESCRIPTION
7		
6		
5		
4	SEP. 09. 2019	REV. AS PER CLIENT COMMENTS AND REISSUED TO CLIENT
3	JUL. 28. 2018	PREPARED DRAWING FOR LOT 27 REISSUED TO CLIENT
2	JAN. 17. 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 15. 2018	COMPLETED PRE-CONSTRUCTION STAGE. ISSUED TO CLIENT

Jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

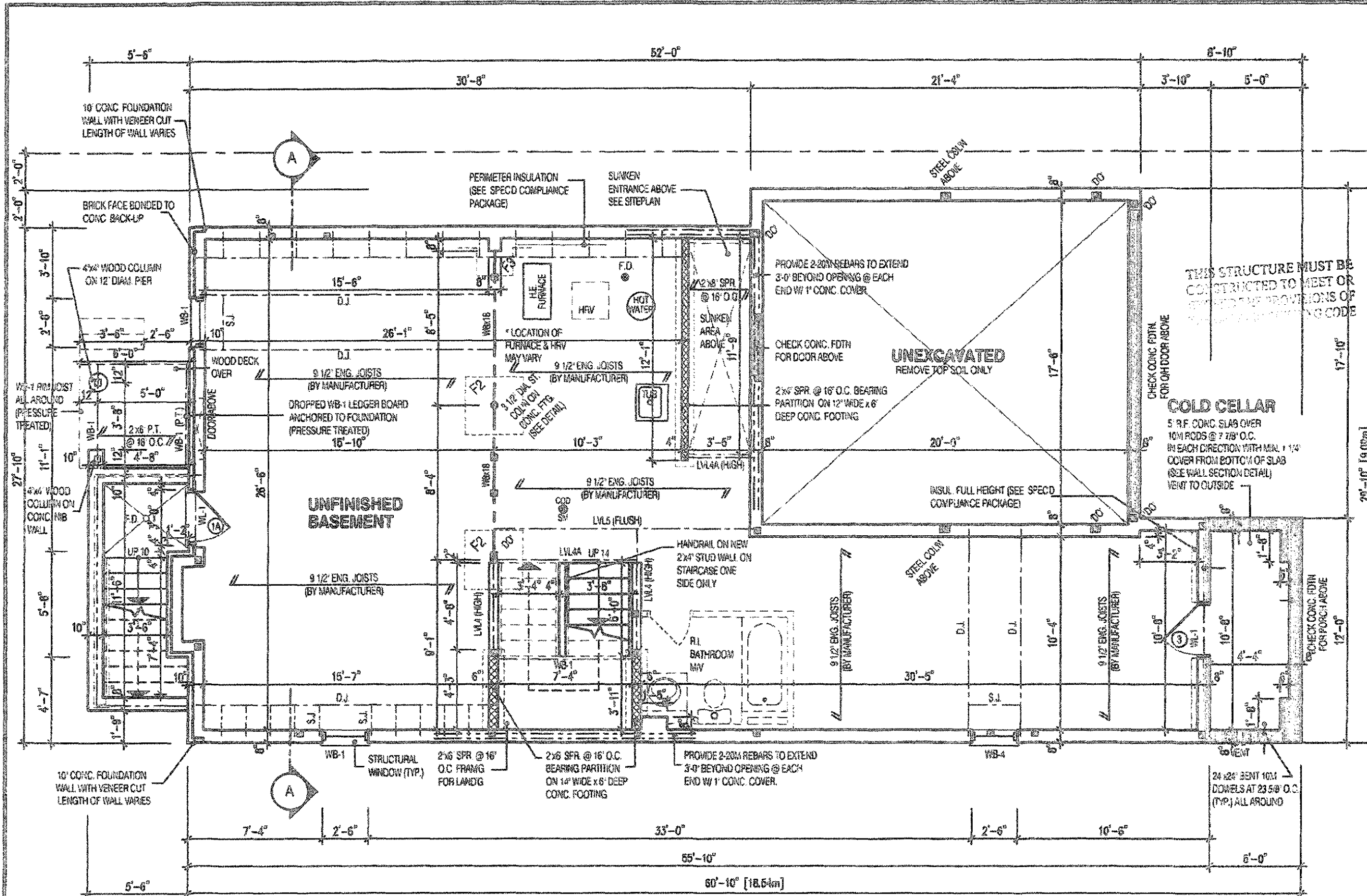
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Walter Botter 21037
NAME SIGNATURE

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.1 of the Building Code
jardin design group inc. 27763
FIRM NAME SIGNATURE

BASEMENT PLAN EL-2
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

TYPE	AREA
T	---
SCALE	3/16" = 1'-0"
PROJ. NO.	18-18
DWG. NO.	1A

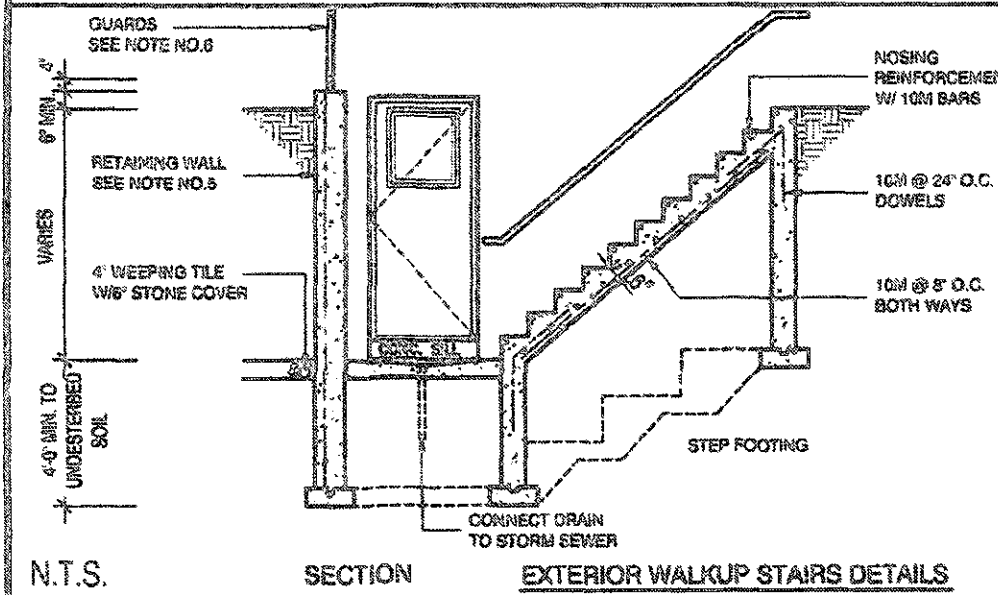


FOR ADDITIONAL DECK STRUCTURE REFER TO PAGE 7 OF THE DETAIL PACKAGE

RECEIVED
SEP 26 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

SEP 10 2019

NOTE:
SUBFLOOR TO BE 3/4\"/>



- GENERAL NOTES:**
- FOOTING**
24\"/>
 - CONCRETE**
MINIMUM COMPRESSIVE STRENGTH OF 32 MPa (4600 psi) @ 28 DAYS W/ 5% TO 8% AIR ENTRAINMENT.
 - EXTERIOR STAIRS**
7 7/8\"/>
 - INSULATION**
FOR INSULATION VALUE & VAPOUR BARRIER LOCATION REFER TO NOTE 13 OF STANDARD NOTES.
 - RETAINING WALL**
10\"/>
 - GUARDS**
3'-6\"/>

NOTE:
REFER TO SHEET NO 0 - FOR UNEL, BEAMS AND DOOR SIZE

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12\"/>

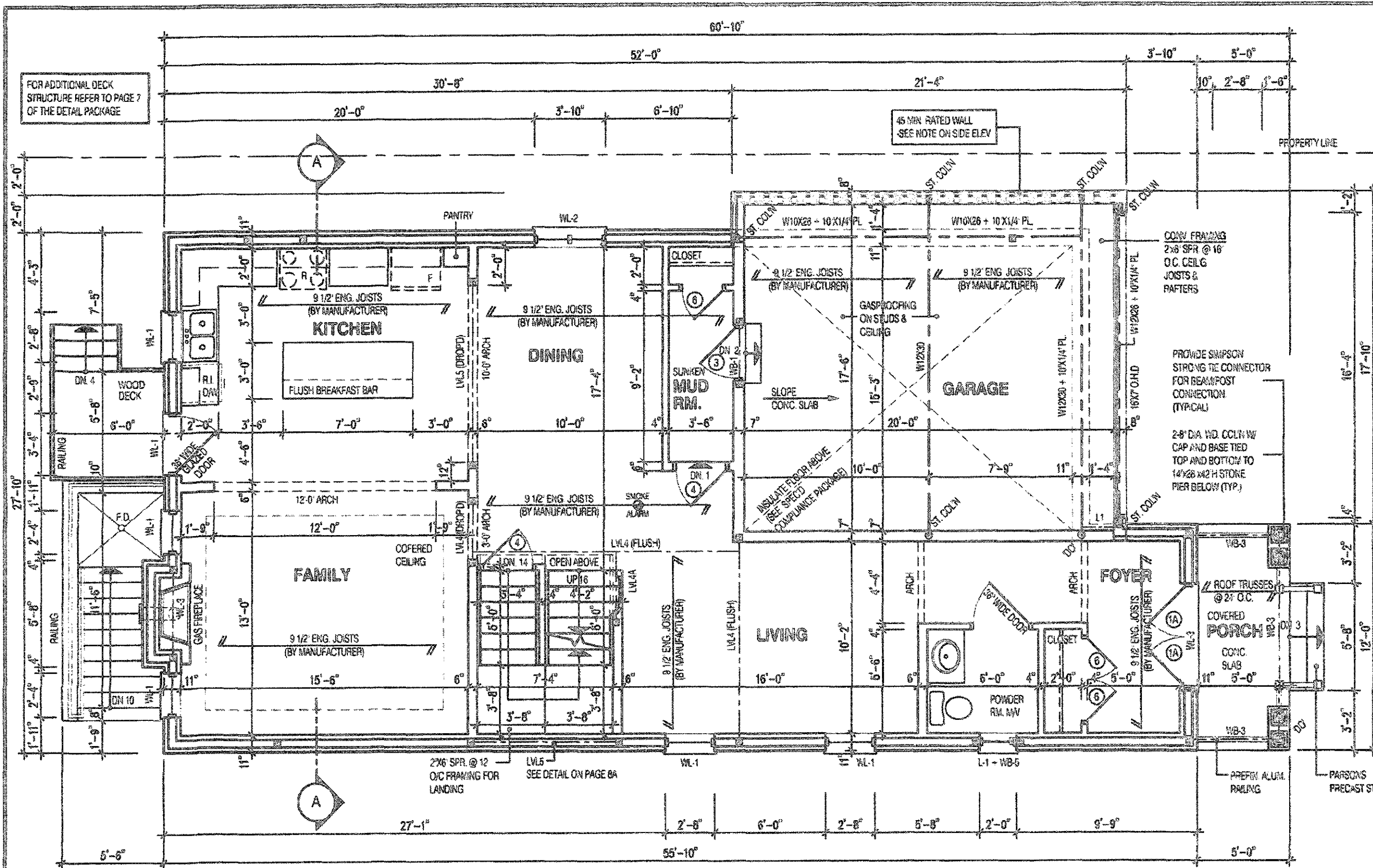
NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:
WHEN VENEER CUT IS GREATER THAN 26\"/>

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving site (existing) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Caledon.

JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL REVIEW AND APPROVAL
APPROVED BY
DATE SEP 12, 2019
The undersigned hereby certifies that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Caledon.



2638
11.0m LOTS
BARTON 3-027 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE



FOR STRUCTURAL ONLY

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONSIDERING THE SPECIAL PROVISIONS OF THE ONTARIO BUILDING CODE. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT ON GROUP AND FOR TO CORRECTION OF WORK.

THE ARCHITECT GROUP NO. 34077 HAS NOT BEEN ISSUED FOR THE ARCHITECT OF SURVEY. THE ARCHITECT GROUP NO. 34077 HAS NOT BEEN ISSUED FOR THE ARCHITECT OF SURVEY. THE ARCHITECT GROUP NO. 34077 HAS NOT BEEN ISSUED FOR THE ARCHITECT OF SURVEY.

THE ARCHITECT GROUP NO. 34077 HAS NOT BEEN ISSUED FOR THE ARCHITECT OF SURVEY. THE ARCHITECT GROUP NO. 34077 HAS NOT BEEN ISSUED FOR THE ARCHITECT OF SURVEY. THE ARCHITECT GROUP NO. 34077 HAS NOT BEEN ISSUED FOR THE ARCHITECT OF SURVEY.

7		
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4	SEP. 03, 2019	REV. AS PER CLIENT COMMENTS AND REVISIONS TO CLIENT
3	AUG. 23, 2019	PREPARED DRAWING FOR LOT-27
2	JAN. 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018	COMPLETED PRECOORDINATION STAGE, ISSUED TO CLIENT

No. DATE WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.3 of the Building Code.

Walter Boller 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the Building Code.

jardin design group inc. 27763
FIRM NAME BCIN

FIRST FLOOR PLAN EL-2
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

TYPE T AREA ---
SCALE 3/16" = 1'-0"
PROJ. No. 18-18 DWG. No. 2A

NOTE:
REFER TO SHEET NO. 0-1 FOR UNTEL BEAMS AND DOOR SIZE

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12 O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 3'-7.2 ROWS FOR SPANS GREATER THAN 7

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:
SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL

LEGEND:

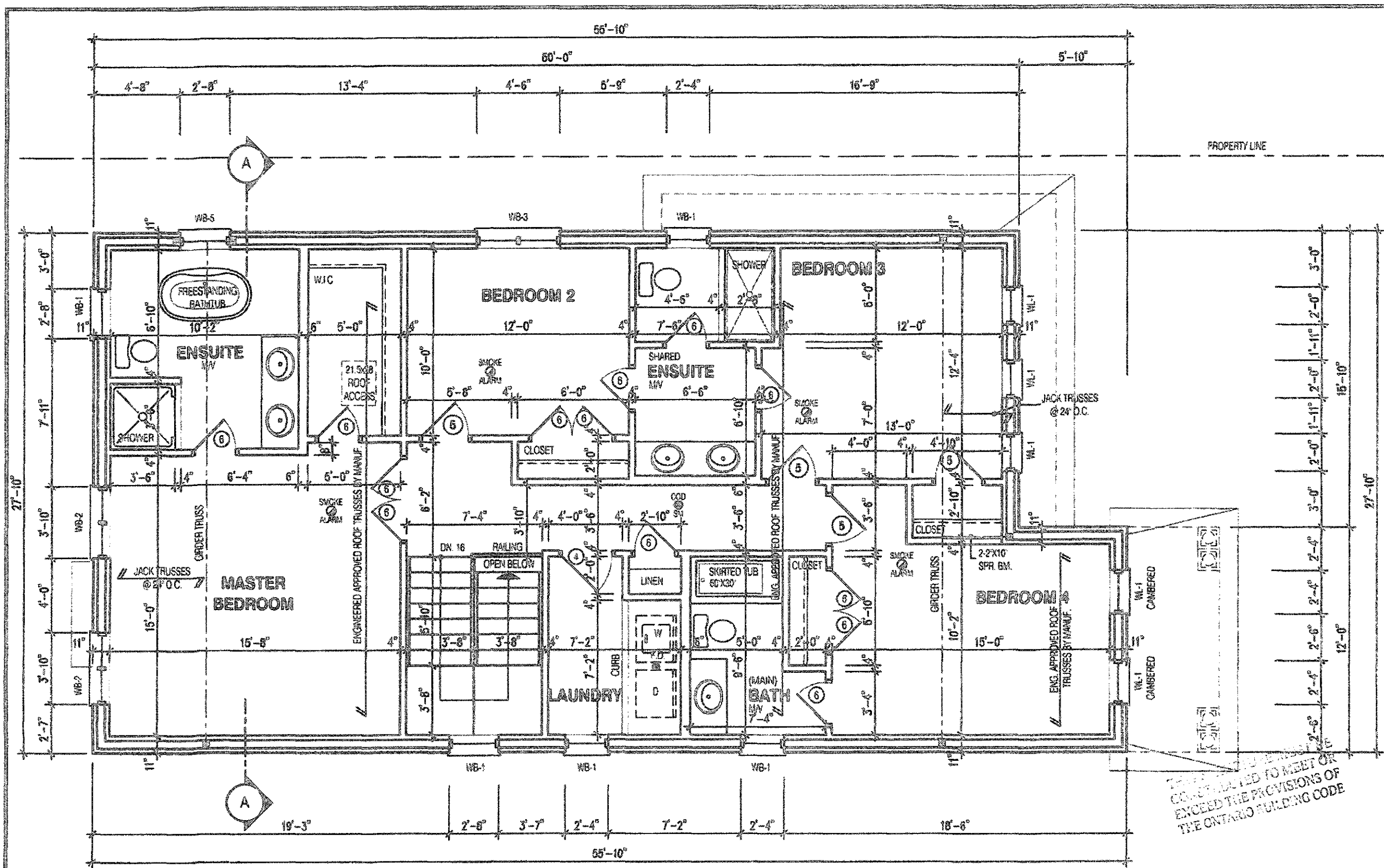
BUILDING FACE < THAN 4'-0" (1.2m)
(45 MIN. FIRE RATING REQ'D)
INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
STL. PLATE FOR STEEL COLN ABOVE
LVL LAMINATED VENEER LUMBER
S.J. SINGLE JOIST
D.J. DOUBLE JOIST
T.J. TRIPLE JOIST
R.N. REPEAT NOTE
S.W. SHOWER WEEPERS

NOTE:
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL REVIEW
AND APPROVAL
APPROVED BY
DATE SEP 22, 2019
The undersigned hereby certifies that the plans and specifications herein are true and correct and that he/she is a duly qualified professional.



2638
11.0m LOTS
BARTON 3-027 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12



FOR STRUCTURAL ONLY

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, SHEDDING OR UNDERPINNING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION SHOWN AND TO THE EXTENT OF A BUILDING PERMIT. ASSESS TO THE APPROPRIATE ENGINEERING PROFESSIONAL WITHIN WORK.

AS CONSTRUCTED, WORK MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONSTRUCTION OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE PROVIDED BY JARDIN DESIGN GROUP INC. AND IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF JARDIN DESIGN GROUP INC.

7	
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4	SEP. 03, 2019 REV. AS PER CLIENT COMMENTS AND RESUBMITTED TO CLIENT
3	AUG. 28, 2019 PREPARED DRAWING FOR LOT 27 SUBMITTED TO CLIENT
2	JAN. 17, 2019 ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018 COMPLETED PRECOORDINATION STAGE, ISSUED TO CLIENT
No.	DATE WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION:
Required unless design is exempt under Division C, Subsection 1.2.5 of the building code.

Walter Botter *WBE* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION:
Required unless design is exempt under Division C, Subsection 1.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

SECOND FL. PLAN EL-2
LAMBERT'S LANE PHASE 2
TOWN OF CALEDON

BILD	TYPE	T	AREA	
	SCALE	3/16" = 1'-0"		
	PRIOR No.	18-18	DWG No.	3A

- LEGEND:**
- BUILDING FACE < 4'-0" (1.2m) (45 MIN. FIRE RATING REQ.)
 - INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
 - STL. PLATE FOR STEEL COLUMN ABOVE
 - LVL LAMINATED VENEER LUMBER
 - S.J. SINGLE JOIST
 - D.J. DOUBLE JOIST
 - T.J. TRIPLE JOIST
 - REPEAT NOTE
 - SHOWER WEEPERS

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (existing) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

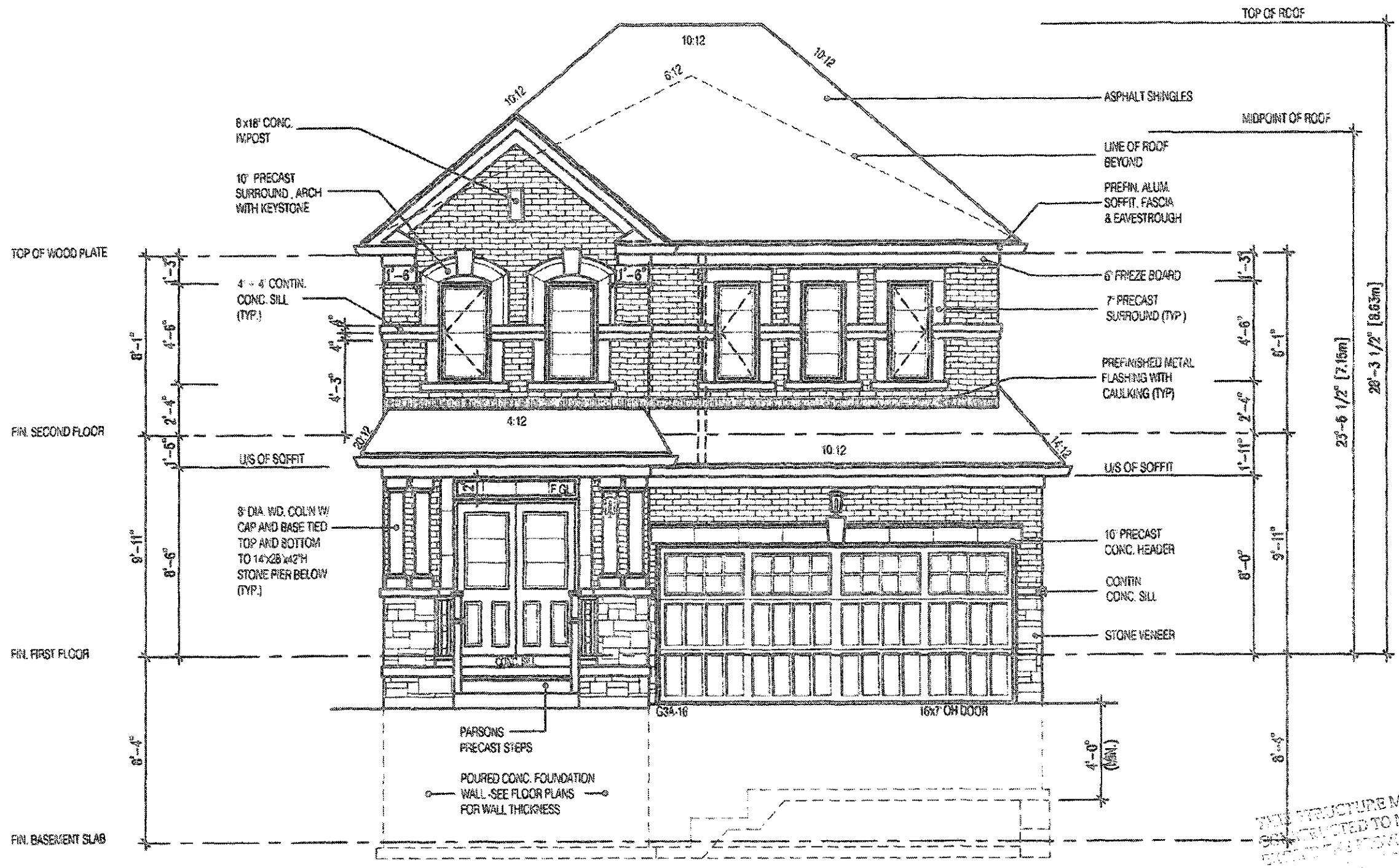
JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: *[Signature]*
DATE: SEP 12, 2019

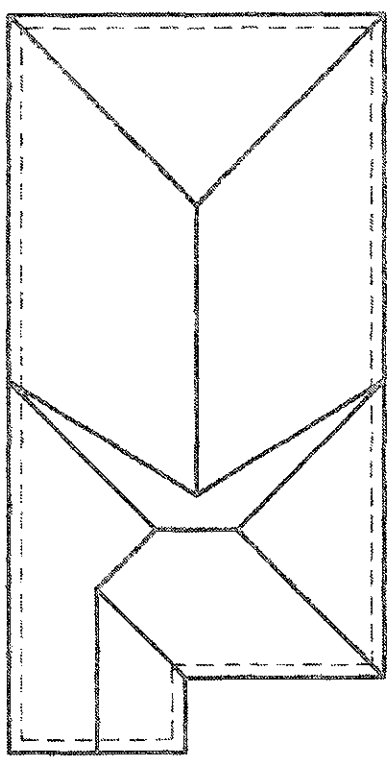
Town of Caledon Planning and Development
City of Caledon Planning and Development
Municipal Planning and Development

RECEIVED
SEP 26 2019
TOWN OF CALEDON
BUILDING DEPARTMENT
FILE NO. _____

SEP 10 2019



**BARTON 3-027
ELEV-2**



**ROOF PLAN
N.T.S.**

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE REQUIREMENTS OF
THE TOWN OF CALEDON

RECEIVED
SEP 26 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

SEP 10 2019

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving the (noting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL REVIEW
APPROVED BY: *[Signature]*
DATE: SEP 12, 2019
The owner certifies that the plans and drawings submitted to the Town of Caledon are true and correct.

2638
11.0m LOTS
BARTON 3-027 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF BLIND, STRUCTURAL OR ELECTRICAL INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED BEFORE THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED, WORKS MUST BE PERFORMED TO OR TO FOUR AS FOLLOWS:
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THIS WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUBCONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE PROVIDED BY JARDIN DESIGN GROUP INC. AND THIS DRAWING IS NOT TO BE REPRODUCED.

7	
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4	SEP 09, 2019 REV AS PER CLIENT COMMENTS AND REISSUED TO CLIENT
3	AUG 29, 2019 PREPARED DRAWING FOR LOT-27 REISSUED TO CLIENT
2	JAN 17, 2019 ISSUED FOR BUILDING PERMIT
1	OCT 15, 2018 COMPLETED PRECOORDINATION STAGE ISSUED TO CLIENT

No. DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 1.2.5 of the Building Code.

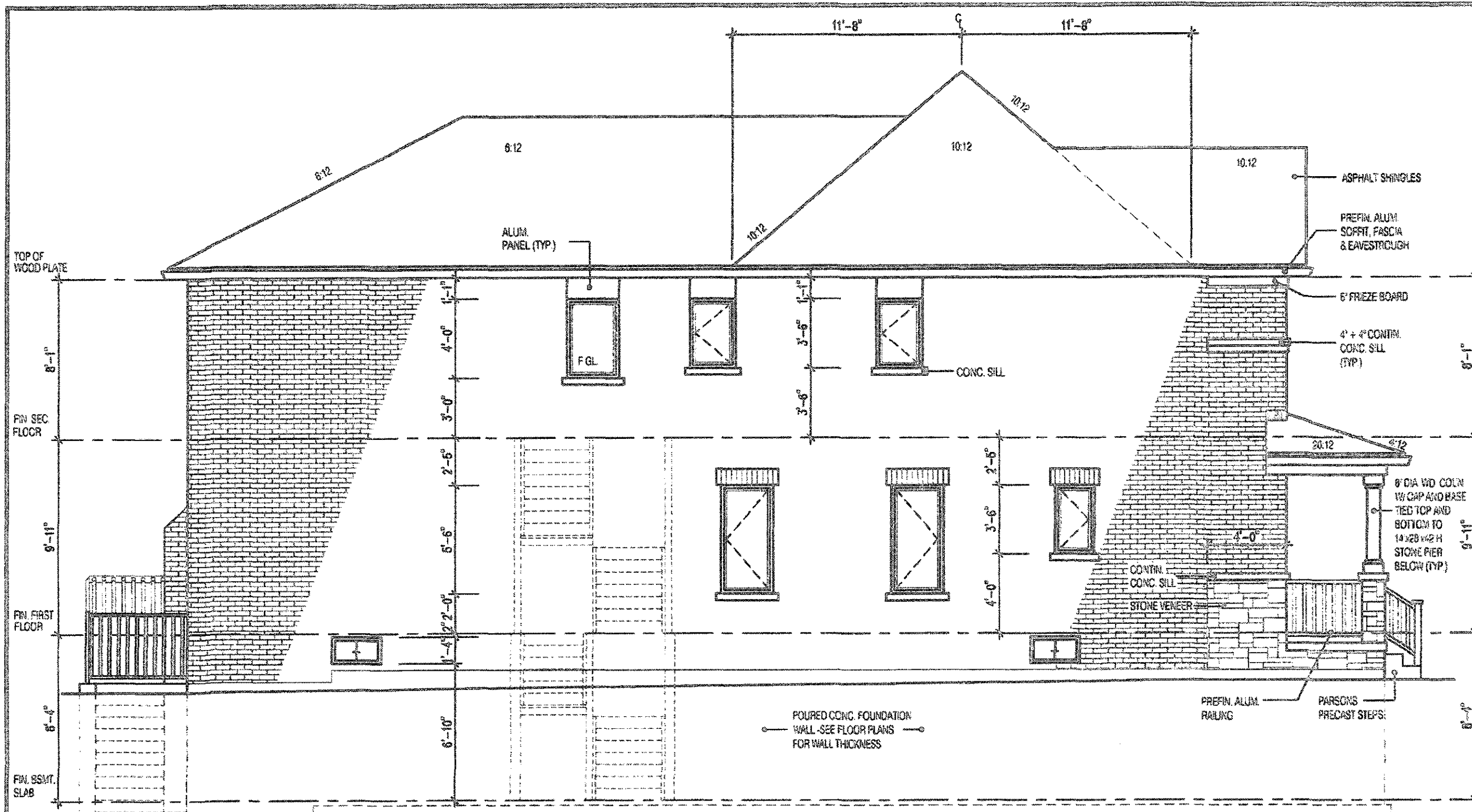
Walter Deller 21031
NAME SIGNATURE

REGISTRATION INFORMATION
Registered unless design is exempt under Division C, Subsection 1.2.4 of the Building Code.

jardin design group inc. 27763
FIRM NAME

FRONT ELEVATION 2
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

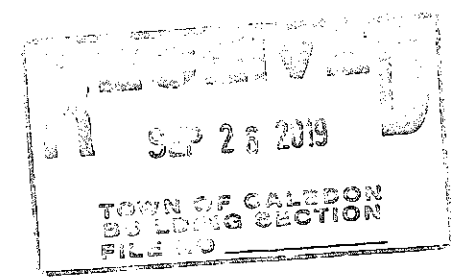
BILD
TYPE T
SCALE 3/16"=1'-0"
PROJ. NO. 18-18
Dwg. No. 4A



SIDE ELEVATION-2

UNPROTECTED OPENINGS

WALL AREA	1150
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDELYARD)	80.5
ACTUAL GLASS AREA	54.9



SEP 10 2019

2638
11.0m LOTS
BARTON 3-027 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12

THE STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE REQUIREMENTS OF
THE CANADIAN BUILT CODE

THE CONTRACTOR SHALL CHECK FOR ALL DIMENSIONS AND
CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.
ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP
AND CHECKED FOR CORRECTION OF RECORD.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY
OF SURVEY INFORMATION OR FOR THE ACCURACY OF THE INFORMATION
ON THESE DRAWINGS OR FOR THE CONSTRUCTION OF THE BUILDING OR
THE RESULTS OF A BUILDING PERMIT. REFER TO THE APPROPRIATE
ENGINEER OR ARCHITECT FOR MORE INFORMATION.

AS CONSTRUCTED, DIMENSIONS MUST BE MEASURED FROM TO POULING
FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT
GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY
FOR THE FAILURE OF THE CONSTRUCTION OR THE CONSTRUCTION TO
CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT
DOCUMENTS.

THIS DRAWING IS A STUDY OF SERVICE & PROVIDED BY AND
THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT
TO BE SCALED.

7	
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4	SEP 03, 2019 REV AS PER CLIENT COMMENTS, AND REISSUED TO CLIENT
3	AUG 28, 2019 PREPARED DRAWING FOR LOT 27 REISSUED TO CLIENT
2	JAN 17, 2018 ISSUED FOR BUILDING PERMIT
1	OCT 15, 2018 COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT

No. DATE WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer.

CLARIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
12.3 of the Building Code.

Waiver letter 21031
NAME SIGNATURE BON

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
12.3 of the Building Code.

jardin design group inc. 27763
NAME NAME BON

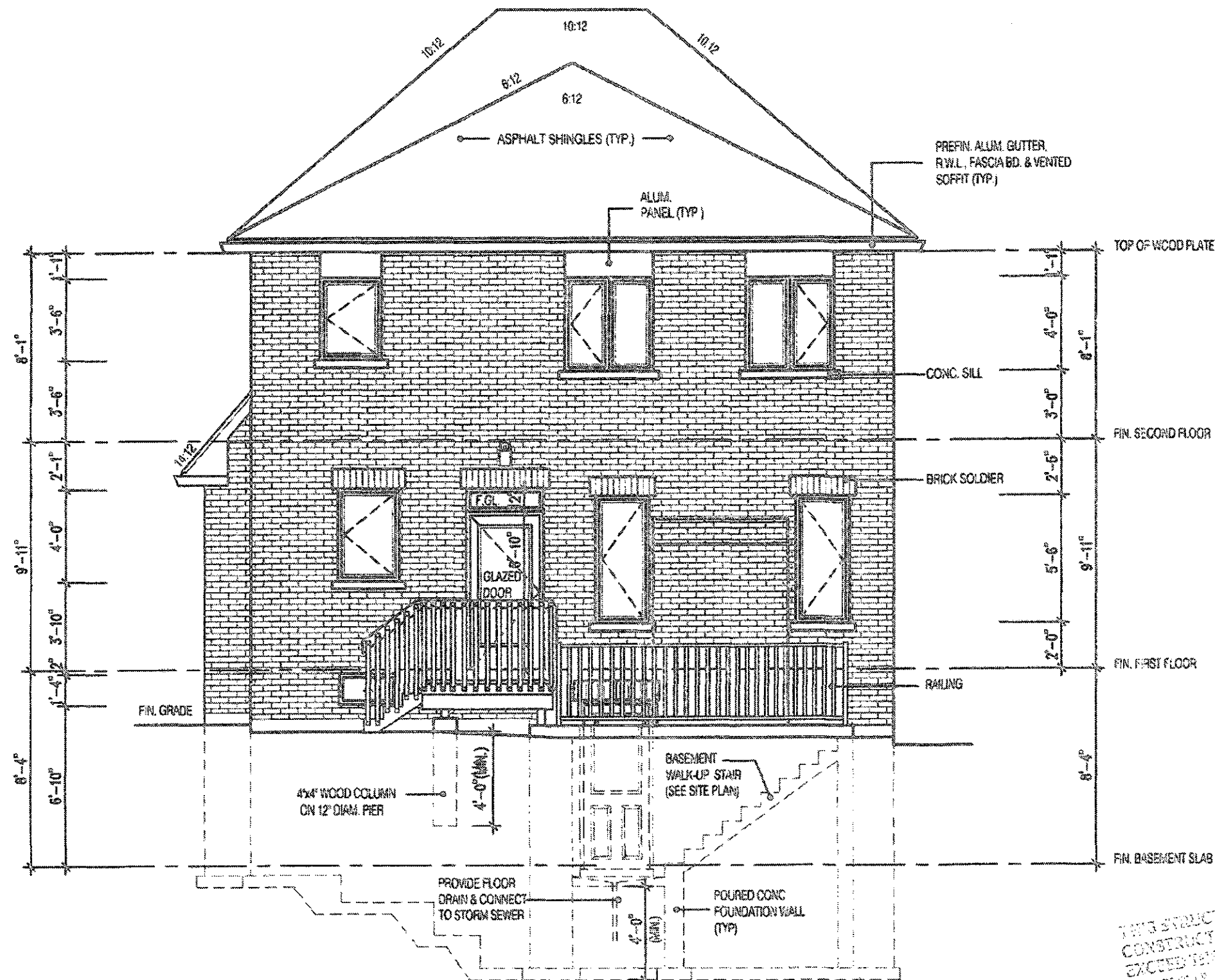
SIDE ELEVATION 2
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD	TYPE	AREA
	SCALE	3/16" = 1'-0"
	PROJ. NO.	DWG. NO.
	18-18	5A

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Contractor
Architect is not responsible in any way for
examining or approving the following plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

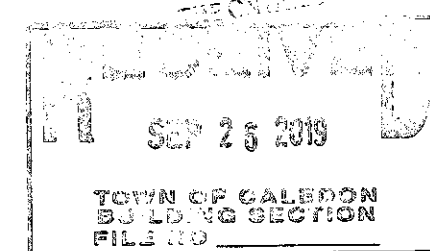
JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
DATE SEP 12, 2019



REAR ELEVATION 2 DECK CONDITION

FOR ADDITIONAL DECK STRUCTURE
REFER TO PAGE 7 OF THE DETAIL PACKAGE

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE REQUIREMENTS OF
THE ONTARIO BUILDING CODE



SEP 10 2019

NOTE:
WHEN VENEER CUT IS GREATER THAN
26" A 10" POURED CONC. FOUNDATION
WALL IS REQUIRED.
(FOUNDATION PLAN TO BE REVIEWED
IN CONJUNCTION WITH SITE PLAN)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor/Architect is not responsible in any way for overlooking or approving any (existing) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONSULTING
2000 SHEPPARD AVE. E. SUITE 100
SCARBOROUGH, ONT. M1S 1T6
DATE: SEP 12, 2019
DRAWN BY: [Signature]
CHECKED BY: [Signature]
PROJECT: 2019-0001 (P. 2)

2638
11.0m LOTS
BARTON 3-027 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL OBTAIN AND VERIFY ALL PERMITS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, SHEDDING OR ELEVATION INFORMATION SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE ISSUANCE OF A BUILDING PERMIT, REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS COMPLETED PERMITS MUST BE VERIFIED IN OR TO POLYING FOOT 326.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUBCONTRACTOR TO COMPLY WITH THE WORK BASED ON THE CONTRACT DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS VALID ONLY BY AND THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

7
6
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4
3
2
1

No.	DATE	WORK DESCRIPTION
3	SEP. 08, 2019	REV. AS PER CLIENT COMMENTS, AND REISSUED TO CLIENT
2	AUG. 20, 2019	PREPARED DRAWING FOR LOT 27 REISSUED TO CLIENT
1	JULY 14, 2019	DRAWING FOR LOT 27 ADDED TO SET

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

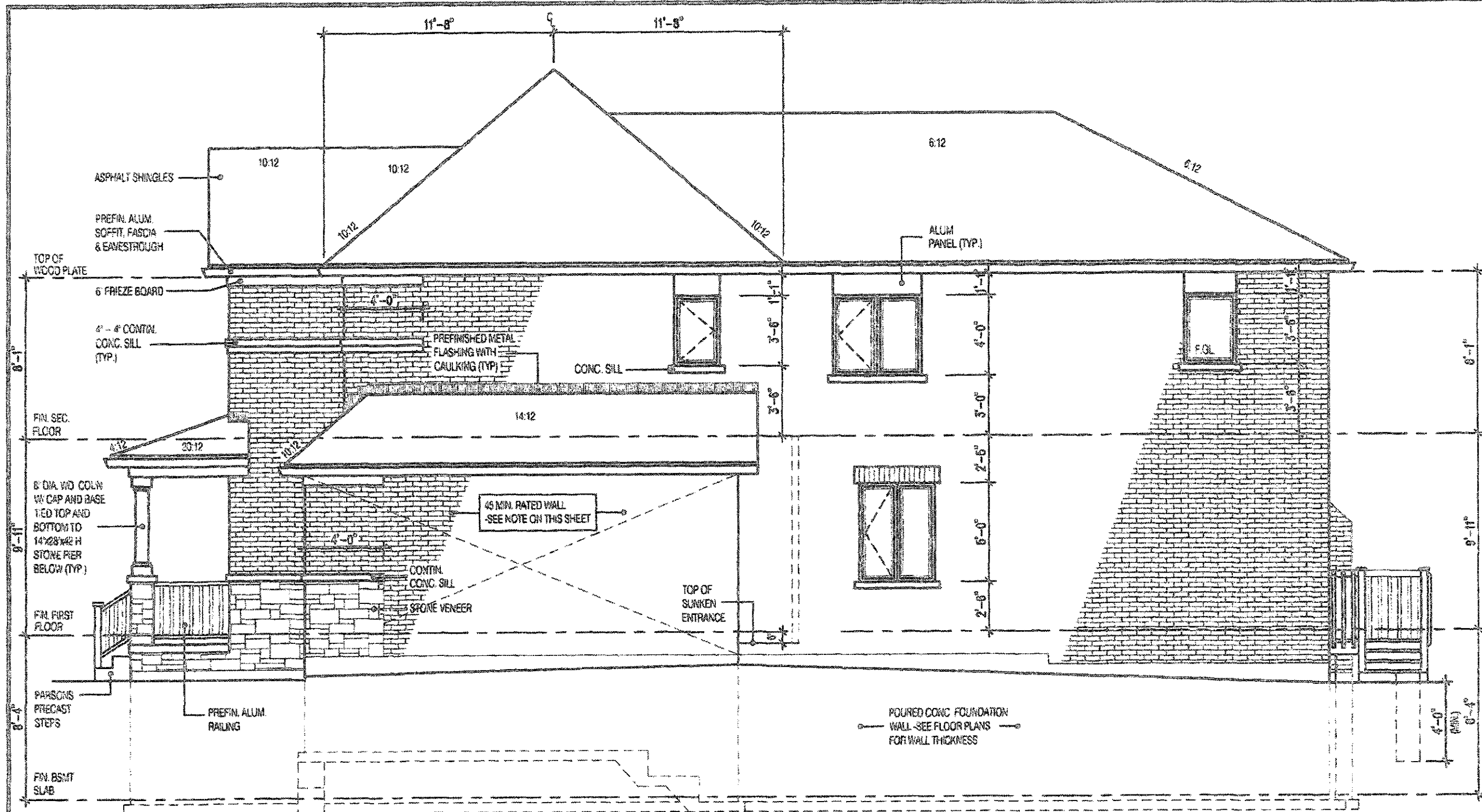
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Registered under Design B except under Ontario C, Subsection 3.2.3 of the Building Code.

Walter Boffert *[Signature]* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Registered under Design B except under Ontario C, Subsection 3.2.3 of the Building Code.
jardin design group inc. 27763
FIRM NAME BCIN

DECK/WALK-UP CONDITION EL-2
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

TYPE	T	AREA	---
SCALE	3/16" = 1'-0"		
PROJ. NO.	18-18	DWG. NO.	6A



SIDE ELEVATION-2

UNPROTECTED OPENINGS

WALL AREA	1121	φ
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDEYARD)	78.5	φ
ACTUAL GLASS AREA	42.5	φ

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' GYPSUM BOARD INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.

(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)

HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED AT HEADER

PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)

It is the builder's complete responsibility to ensure that all plans submitted for approval only comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Architect is not responsible in any way for obtaining or approving site (filling) permits or building drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Caledon.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL ADVISER
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: 08-16-2019
The Architect and his/her firm shall not be responsible for any errors or omissions on the part of the client or any other person.

2638

11.0m LOTS

BARTON 3-027 (GR)
ELEVATION 2

ENERGY STAR

O.REG. 332/12

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

THE CONTRACTOR SHALL CHECK ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS FOR ALL STRUCTURAL INFORMATION. NO WORK SHALL BE COMMENCED UNTIL THE PERMIT IS OBTAINED FOR THE PROJECT.

JARDIN DESIGN GROUP INC. HAS BEEN RETAINED TO OBTAIN OUT OF TOWN PERMITS OF THE WORK AND ASSURES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO OBTAIN OUT OF TOWN PERMITS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

7		
6		
5		
4	SEP. 08, 2019	REV. AS PER CLIENT COMMENTS, AND REISSUED TO CLIENT
3	AUG. 29, 2019	PREPARED DRAWINGS FOR LOT-27 REISSUED TO CLIENT
2	JUN. 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018	COMPLETED TO FREEDOM VARIATION STAGE. ISSUED TO CLIENT

No. DATE WORK DESCRIPTION:

Jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 1.2.3 of the building code.

Walter Botter *[Signature]* 21031
NAME SIGNATURE RCN

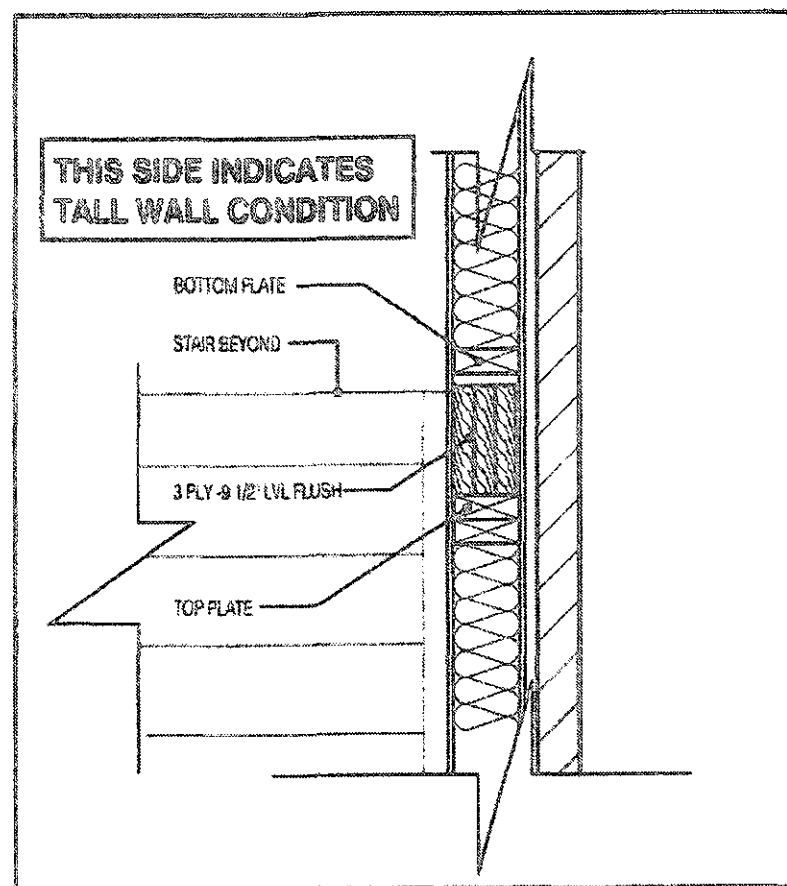
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 1.2.4 of the building code.

Jardin design group inc. 27763
FIRM NAME RCN

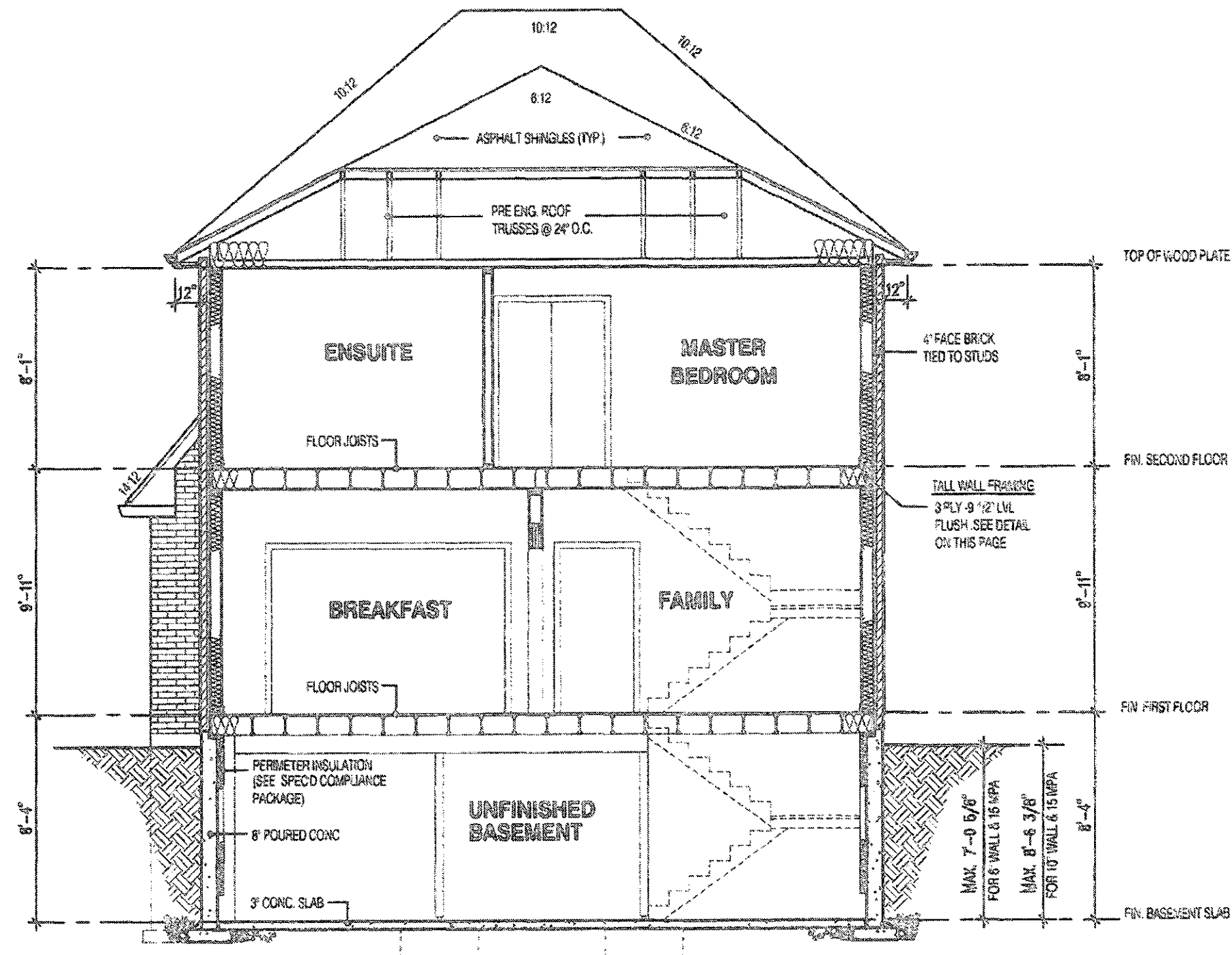
SIDE ELEVATION 2
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

TYPE	T	AREA	---
SCALE	3/16" = 1'-0"		
PROJ. NO	18-18	DWG. NO	7A





B TALL WALL FRAMING
NTS



**SECTION A-A
ELEVATION 2**

RECEIVED
SEP 26 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

SEP 10 2019

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Caledon.

2638
11.0m LOTS
BARTON 3-027 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12



FOR STRUCTURAL ONLY

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS.

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No. DATE WORK DESCRIPTION:

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DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
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TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 1.2.3 of the Building Code.

Walter Boller 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 1.2.4 of the Building Code.

jardin design group inc. 27763
FIRM NAME BCIN

SECTION ELEVATION 2
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD	TYPE	T	AREA	---
	SCALE	3/16" = 1'-0"		
	PROJ No.	18-18	DWG No.	8A