STRIP FOOTINGS – FOR SINGLES & SEMIS UP TO 2 STOREYS

120 KPa NATIVE SOIL

- 20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
- 24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

100 KPa NATIVE SOIL

- 22"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
- 28"x10" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS. OR
  28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.

90 KPa ENGINEERED FILL SOIL

- 24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW FOUNDATION WALLS.
- 30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.

(ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL FOOTING DETAIL FOR REINFORCEMENT)

PAD FOOTINGS

120 KPa NATIVE SOIL

F1 = 42"x42"x18" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD

100 KPa NATIVE SOIL

F1 = 46"x46"x20" CONCRETE PAD
F2 = 38"x38"x16" CONCRETE PAD
F3 = 32"x32"x14" CONCRETE PAD
F4 = 26"x26"x12" CONCRETE PAD
F5 = 17"x17"x8" CONCRETE PAD

90 KPa ENGINEERED FILL SOIL

F1 = 48"x48"x20" CONCRETE PAD
F2 = 40"x40"x16" CONCRETE PAD
F3 = 34"x34"x14" CONCRETE PAD
F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

BRICK VENEER LINTELS (WL)

WL1	=3-1/2" x 3-1/2" x 1/4"L (90x90x6.0L)	+	2-2"x8" SPR. No.2
WL2	=4" x 3-1/2" x 5/16"L (100x90x8.0L)	+	2-2"x8" SPR. No.2
WL3	=5" x 3-1/2" x 5/16"L (125x90x8.0L)	+	2-2"x10" SPR. No.2
WL4	=6" x 3-1/2" x 3/8"L (150x90x10.0L)	+	2-2"x12" SPR. No.2
WL5	=6" x 4" x 3/8"L (150x100x10.0L)	+	2-2"x12" SPR. No.2
WL6	=5" x 3-1/2" x 5/16"L (125x90x8.0L)	+	2-2"x12" SPR. No.2
WL7	=5" x 3-1/2" x 5/16"L (125x90x8.0L)	+	3-2"x12" SPR. No.2
WL8	=5" x 3-1/2" x 5/16"L (125x90x8.0L)	+	3-2"x10" SPR. No.2
WL9	=6" x 4" x 3/8"L (150x100x10.0L)	+	3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1	=2-2"x8" (2-38x184) SPR. No.2
WB2	=3-2"x8" (3-38x184) SPR. No.2
WB3	=2-2"x10" (2-38x235) SPR. No.2
WB4	=3-2"x10" (3-38x235) SPR. No.2
WB5	=2-2"x12" (2-38x286) SPR. No.2
WB6	=3-2"x12" (3-38x286) SPR. No.2
WB7	=5-2"x12" (5-38x286) SPR. No.2
WB11	=4-2"x10" (4-38x235) SPR. No.2
WB12	=4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A	=1-1 3/4"x7 1/4" (1-45x184)
LVL1	=2-1 3/4"x7 1/4" (2-45x184)
LVL2	=3-1 3/4"x7 1/4" (3-45x184)
LVL3	=4-1 3/4"x7 1/4" (4-45x184)
LVL4A	=1-1 3/4"x9 1/2" (1-45x240)
LVL4	=2-1 3/4"x9 1/2" (2-45x240)
LVL5	=3-1 3/4"x9 1/2" (3-45x240)
LVL5A	=4-1 3/4"x9 1/2" (4-45x240)
LVL6A	=1-1 3/4"x11 7/8" (1-45x300)
LVL6	=2-1 3/4"x11 7/8" (2-45x300)
LVL7	=3-1 3/4"x11 7/8" (3-45x300)
LVL8	=2-1 3/4"x14" (2-45x356)
LVL9	=3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)

L1	=3-1/2" x 3-1/2" x 1/4"L (90x90x6.0L)
L2	=4" x 3-1/2" x 5/16"L (100x90x8.0L)
L3	=5" x 3-1/2" x 5/16"L (125x90x8.0L)
L4	=6" x 3-1/2" x 3/8"L (150x90x10.0L)
L5	=6" x 4" x 3/8"L (150x100x10.0L)
L6	=7" x 4" x 3/8"L (180x100x10.0L)

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BUILDING SECTION
FILE NO

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)
ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

CERAMIC TILE FOR CONVENTIONAL LUMBER (OBC 9.30.6)
SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0", 2 ROWS FOR SPANS GREATER THAN 7'0".

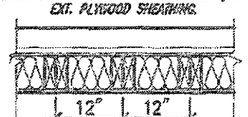
NOTE: ROOF FRAMING
REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING
REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

TWO STOREY HEIGHT WALL DETAIL

2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @ 12"o.c. FULL HEIGHT, c/w SOLID BLOCKING @ 4'-0" o.c. VERTICAL AND 7/16" EXT. PLYWOOD SHEARWALL



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-9' CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
8	3'-0"	6'-8"	8'-0"	INTERIOR SLAB DOOR

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

PRESTON 1-021, ELEV. '1'	ENERGY EFFICIENCY – ENERGY STAR		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	616.00 S.F.	82.05 S.F.	13.32 %
LEFT SIDE	1071.00 S.F.	63.82 S.F.	5.96 %
RIGHT SIDE	1053.00 S.F.	43.99 S.F.	4.18 %
REAR	656.00 S.F.	162.75 S.F.	24.81 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.0 S.F.	
TOTAL SQ. FT.	3396.00 S.F.	352.61 S.F.	10.38 %
TOTAL SQ. M.	315.50 S.M.	32.76 S.M.	10.38 %

2505 SF.

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING:

ENERGY STAR V-17

JANUARY 2019

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.56 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSED FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	4.75 (R22+R5)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY STAR ⊛ ZONE 2 (ER 29/UW 1.4)
SPACE HEATING EQUIPMENT MINIMUM AFUE	96% AFUE
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HRV MINIMUM EFFICIENCY	75% SRE ENERGY STAR ⊛ HRV TO BE INTERCONNECTED TO THE FURNACE FAN. MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/STALE
HOT WATER TANK	CONDENSING HOT WATER TANK 90% TE ENHANCEDENCE
DRAIN WATER HEAT RECOVERY	TWO SHOWERS > 42%
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (2.5 ACH/0.18 NLR) ATTACHED LEVEL 1 (3.0 ACH/0.28 NLR)
DUCT SEALING	ALL SUPPLY DUCTS & 1m OF RETURN DUCTS
LIGHTS	75% CFLs OR LEDs

AREA CALCULATIONS	ELEV. '1'
GROUND FLOOR AREA	1087 SF
SECOND FLOOR AREA	1418 SF
TOTAL FLOOR AREA	2505 SF (232.72 m2)
FIRST FLOOR OPEN AREA	XX SF
SECOND FLOOR OPEN AREA	XX SF
ADD TOTAL OPEN AREAS	+XX SF
ADD FINISHED BSMT AREA	+XX SF
GROSS FLOOR AREA	2505 SF (232.72 m2)
GROUND FLOOR COVERAGE	1094 SF
GARAGE COVERAGE/AREA	400 SF
PORCH COVERAGE/AREA	81 SF
COVERAGE W/ PORCH	1575 SF (146.32 m2)
COVERAGE W/O PORCH	1494 SF (138.79 m2)

THIS STRUCTURE HAS NOT BEEN CONSTRUCTED IN ACCORDANCE WITH EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

APPROVED
For construction as per the
Ontario Building Code
Town of Caledon Building Department
Initial JG S.SNELL
Date OCT 8/19
File # BA/19/0702

SEP 10 2019

ESCC MODEL
ENERGY STAR– V 17

PRESTON 1–021
ENERGY STAR

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

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no.	description	date	by
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5	LOT SPECIFIC FOR LOT 21.	SEP 09/19	GW
4	ISSUED FOR PERMIT.	DEC. 18/18	GW
3	ROOF-FLOOR-ENG. CO-ORD.	NOV. 28/18	GW
2	ROOF SLOPES & ELEV. 1 (BED 2) PER A.C.	SEP. 24/18	GW
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 19/18	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information — Richard Vink — signature — 24458
name — registration information — VAS Design Inc. — 42530

Contractor must verify all dimensions on the job and report any discrepancy to the designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer who must be informed at the completion of the work. Drawings are not to be scaled.

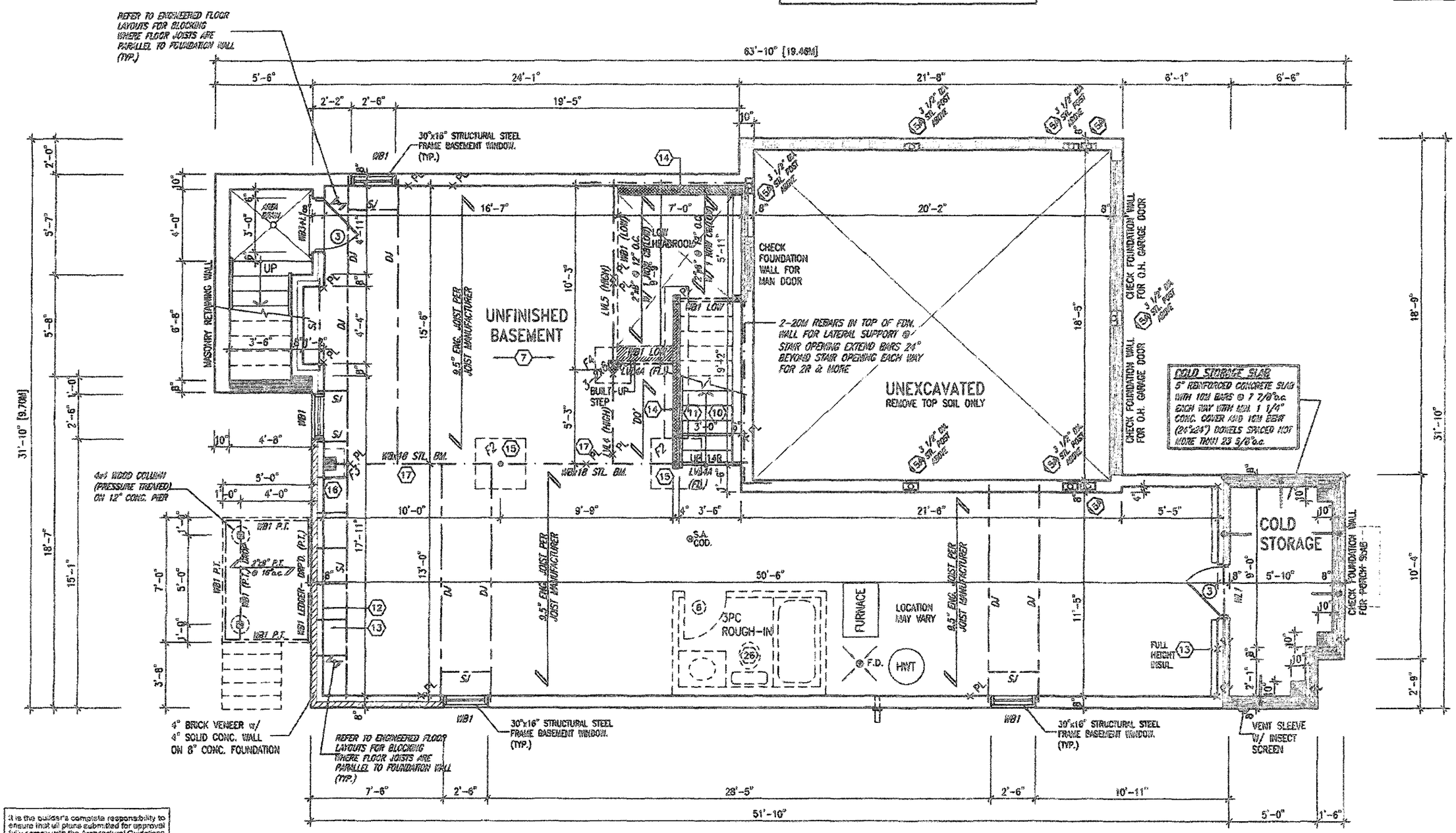
VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4762
vas3design.com

Greenpark
project name: LAMBERTS LANE HOME CORP. PH.2 — municipality: CALEDON
PRESTON 1 — 11.6m
project no. 18023
date: SEP. 2018 — drawn by: WT — checked by: — scale: 3/16" = 1'-0" — file name: 18023-PRESTON-1-021
GENERAL NOTES & CHARTS
drawing no. A0

APPLICANT COPY

2505 SF.

INDICATES REDUCED SIDE YARD CONDITION



BASEMENT PLAN – ELEV. '1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: _____
DATE: SEP 12 2019
This approval pertains only to compliance with the applicable Architectural Design Guidelines and does not imply compliance with any other applicable requirements.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 5) FOR ADDITIONAL WOOD DECK INFORMATION.

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FILE NO _____

THIS STRUCTURE MUST NOT BE CONSTRUCTED UNTIL A BUILDING PERMIT HAS BEEN ISSUED

SEP 13 2019

PRESTON 1–021
ENERGY STAR

no.	description	date	by
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5	LOT SPECIFIC FOR LOT 21.	SEP 09/19	GW
4	ISSUED FOR PERMIT.	DEC. 18/18	GW
3	ROOF-FLOOR-ENG. CO-ORD.	NOV. 28/18	GW
2	ROOF SLOPES & ELEV. 1 (BED 2) PER A.C.	SEP. 24/18	GW
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 19/18	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink — signature — 24489
name — registration information — signature — BCIN
VA3 Design Inc. — 42669

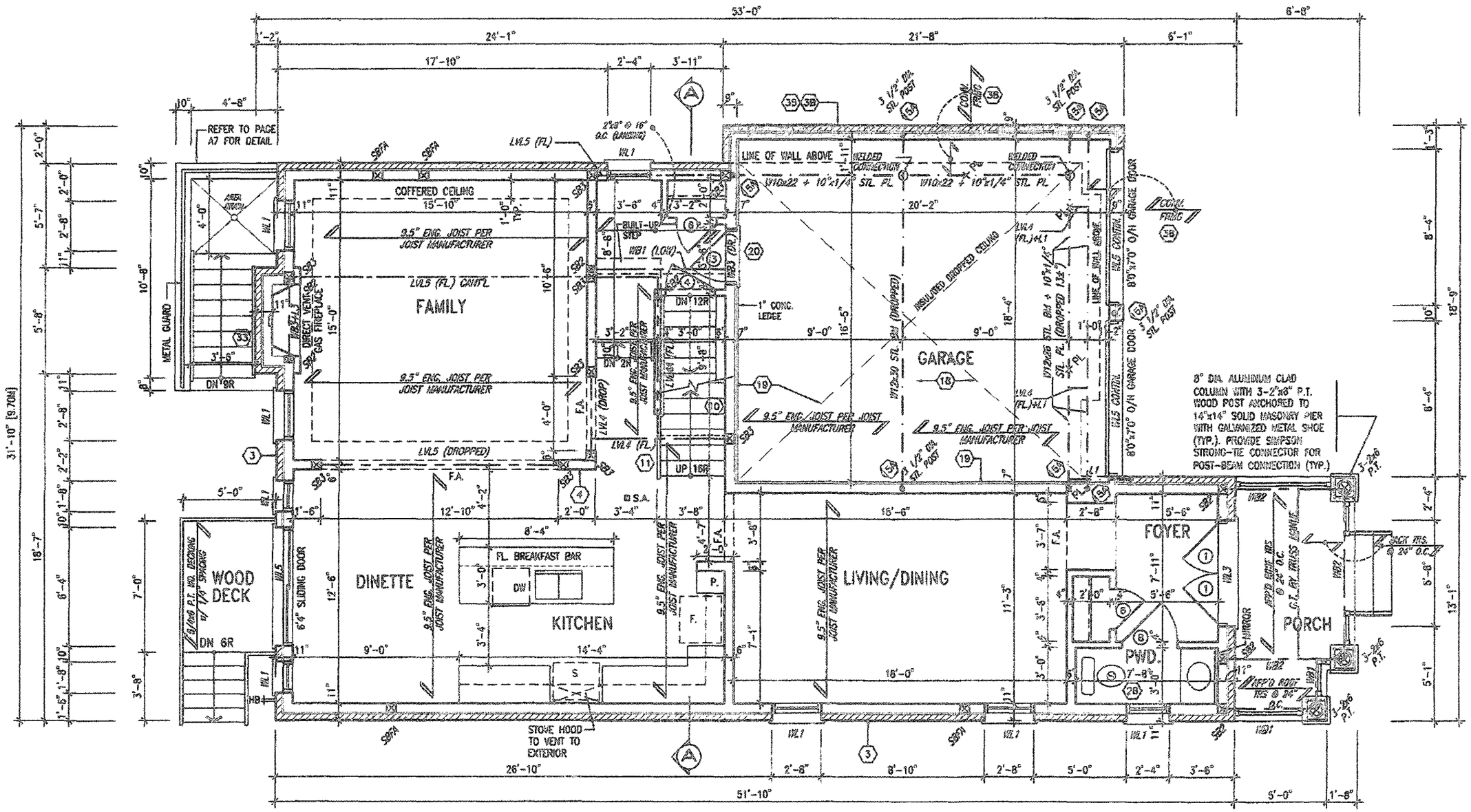
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark
LAMBERTS LANE HOME CORP. PH.2 — municipality: CALEDON
PRESTON 1 — 11.6m — project no. 18023
date: SEP. 2018 — BASEMENT PLAN – ELEV. '1'
drawn by: JT — checked by: — scale: 3/16" = 1'-0" — file name: 18023-PRESTON-1-021
drawing no. A1

2505 SF.

INDICATES REDUCED SIDE YARD CONDITION



GROUND FLOOR PLAN – ELEV. '1'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE SEP 12, 2019

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

STRUDET INC.
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SEP 10 2019

PRESTON 1–021

ENERGY STAR

no.	description	date	by	no.	description	date	by
18				9			
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16				7			
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14				5	LOT SPECIFIC FOR LOT 21.	SEP 09/19	GW
13				4	ISSUED FOR PERMIT.	DEC. 18/18	GW
12				3	ROOF-FLOOR-ENG. CO-ORD.	NOV. 28/18	GW
11				2	ROOF SLOPES & ELEV. 1 (BED 2) PER A.C.	SEP. 24/18	GW
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 10/18	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink — signature — 24058
RCDH
registration information
VA3 Design Inc. — 42858

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. If drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

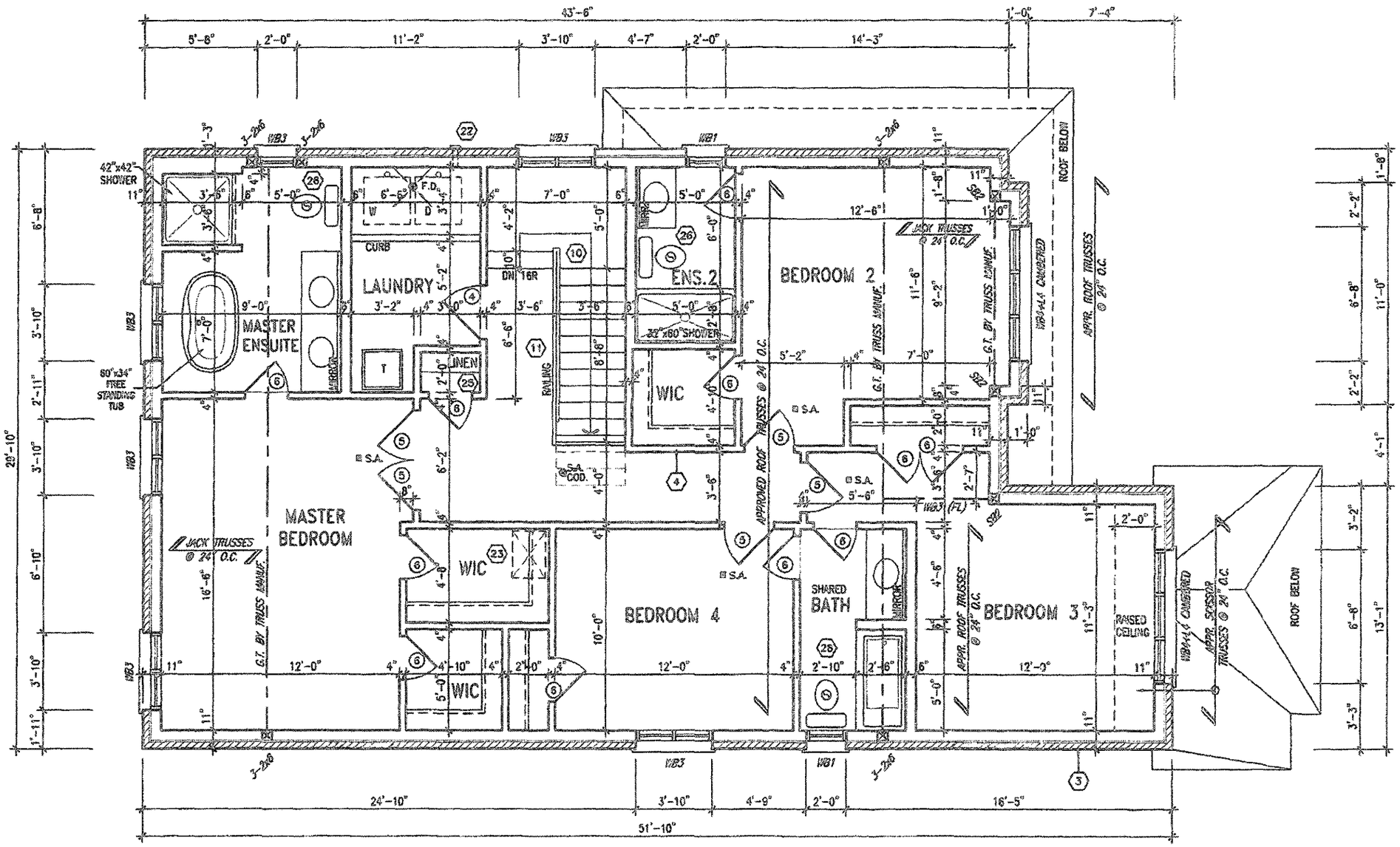
project name: LAMBERTS LANE HOME CORP. PH.2 — municipality: CALEDON — PRESTON 1 11.6m — project no. 18023

date: SEP. 2018 — GROUND FLOOR PLAN – ELEV. '1'

drawn by: VIT — checked by — scale: 3/16" = 1'-0" — file name: 18023-PRESTON-1-021

drawing no. A2

2505 SF.



SECOND FLOOR PLAN – ELEV. '1'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
AUTHORIZED BY
DATE SEP 12, 2019

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
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BUILDING SECTION
FILE NO.

THIS STRUCTURE MUST NOT BE CONSTRUCTED TO ALL PLANS EXCEED THE ENTIRE LENGTH OF THE LOT LINE ADJACENT

SEP 10 2019

PRESTON 1-021
ENERGY STAR

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5	LOT SPECIFIC FOR LOT 21.	SEP 09/19	GW
4	ISSUED FOR PERMIT.	DEC. 18/18	GW
3	ROOF-FLOOR-ENG. CO-ORD.	NOV. 28/18	GW
2	ROOF SLOPES & ELEV. 1 (BED 2) PER A.C.	SEP. 24/18	GW
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 19/18	GW

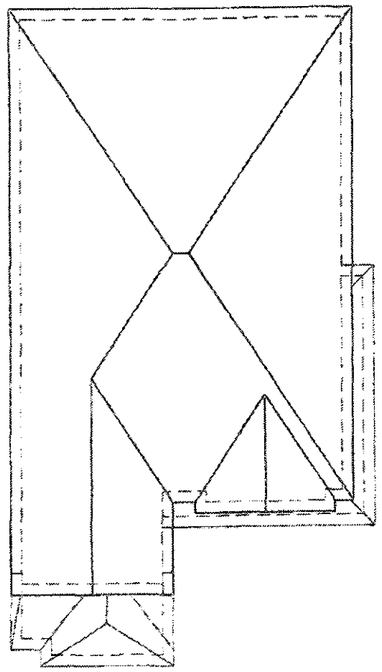
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24458
name signature BCIN
registration information
VA3 Design Inc. 42858

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark
PRESTON 1
11.6m
project name: LAMBERTS LANE HOME CORP. PH.2
municipality: CALEDON
project no. 18023
date: SEP. 2018
SECOND FLOOR PLAN – ELEV. '1'
drawn by: VI
checked by
scale: 3/16" = 1'-0"
file name: 18023-PRESTON-1-021
drawing no. A3

2505 SF.



ROOF PLAN '1'

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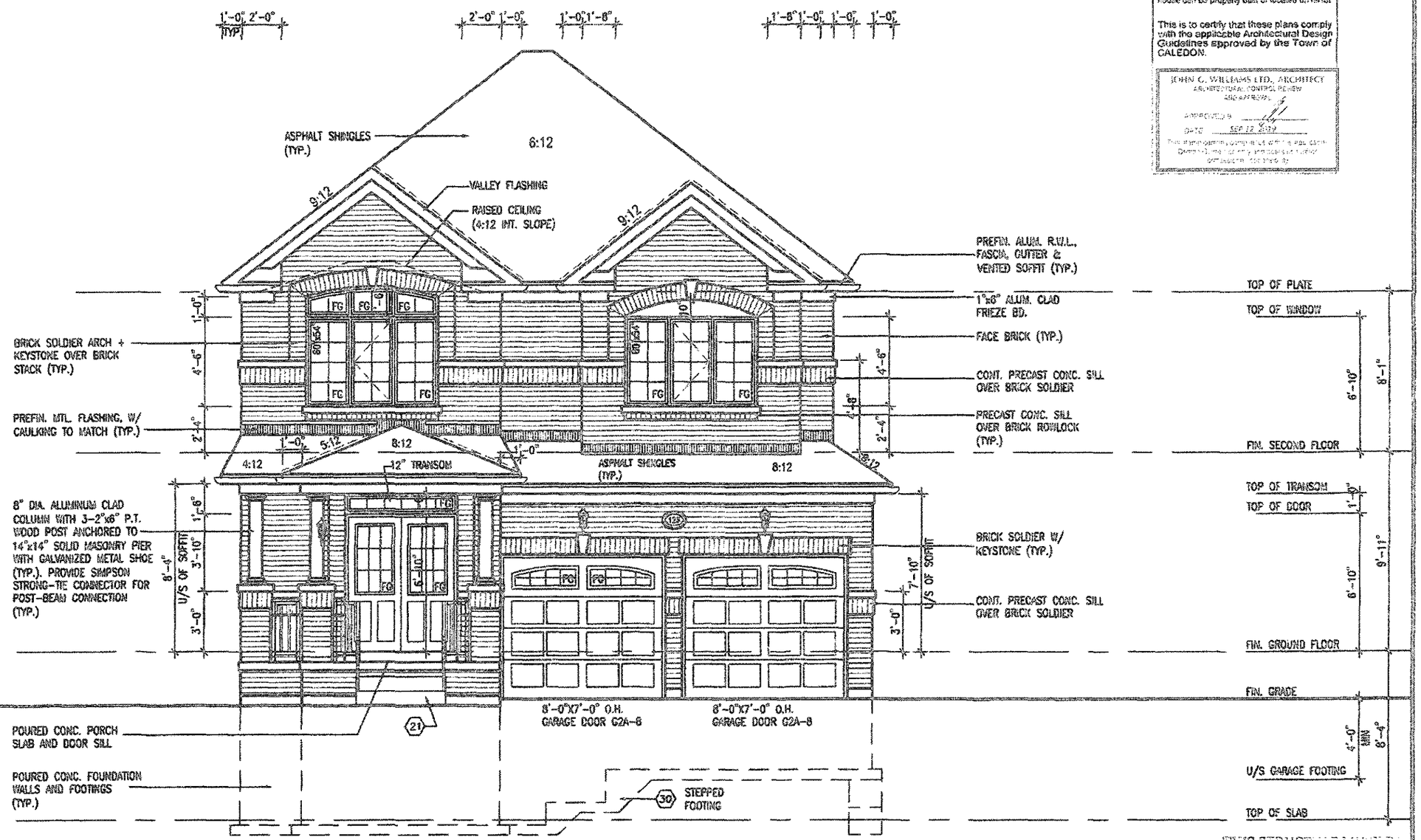
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY
DATE SEP 12 2019
THIS APPROVAL IS VALID FOR ONE YEAR ONLY
OTHERWISE SUBJECT TO REVIEW



FRONT ELEVATION '1'

THIS STRUCTURAL DRAWING CONTINUED ON PAGE [illegible]

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FILE NO

SEP 16 2019

PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS WITH INTEGRATED MASONRY LEDGE ON SIDES WHERE GRADE ALLOWS.

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE THAN 5'-11" ABOVE FINISHED GRADE AND 3'-0" HIGH RAILING WHEN LANDING IS LESS THAN 5'-11" ABOVE ADJACENT FINISHED GRADE.

PRESTON 1-021
ENERGY STAR

no.	description	date	by
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6			
5	LOT SPECIFIC FOR LOT 21.	SEP 09/19	GW
4	ISSUED FOR PERMIT.	DEC. 18/18	GW
3	ROOF-FLOOR-ENG. CO-ORD.	NOV. 28/18	GW
2	ROOF SLOPES & ELEV. 1 (BED 2) PER A.C.	SEP. 26/18	GW
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 19/18	GW

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qualification information
Richard Vink — signature — 24488
name — signature — BCIN
qualification information
VA3 Design Inc. — 42658

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VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name: LAMBERTS LANE HOME CORP. PH.2 — municipality: CALEDON

PRESTON 1
11.6m
project no. 18023

date: SEP. 2018 — drawing title: FRONT ELEVTION '1'
drawn by: WT — checked by: — scale: 3/16" = 1'-0" — file name: 18023-PRESTON-1-021
drawing no. A4

2505 SF.

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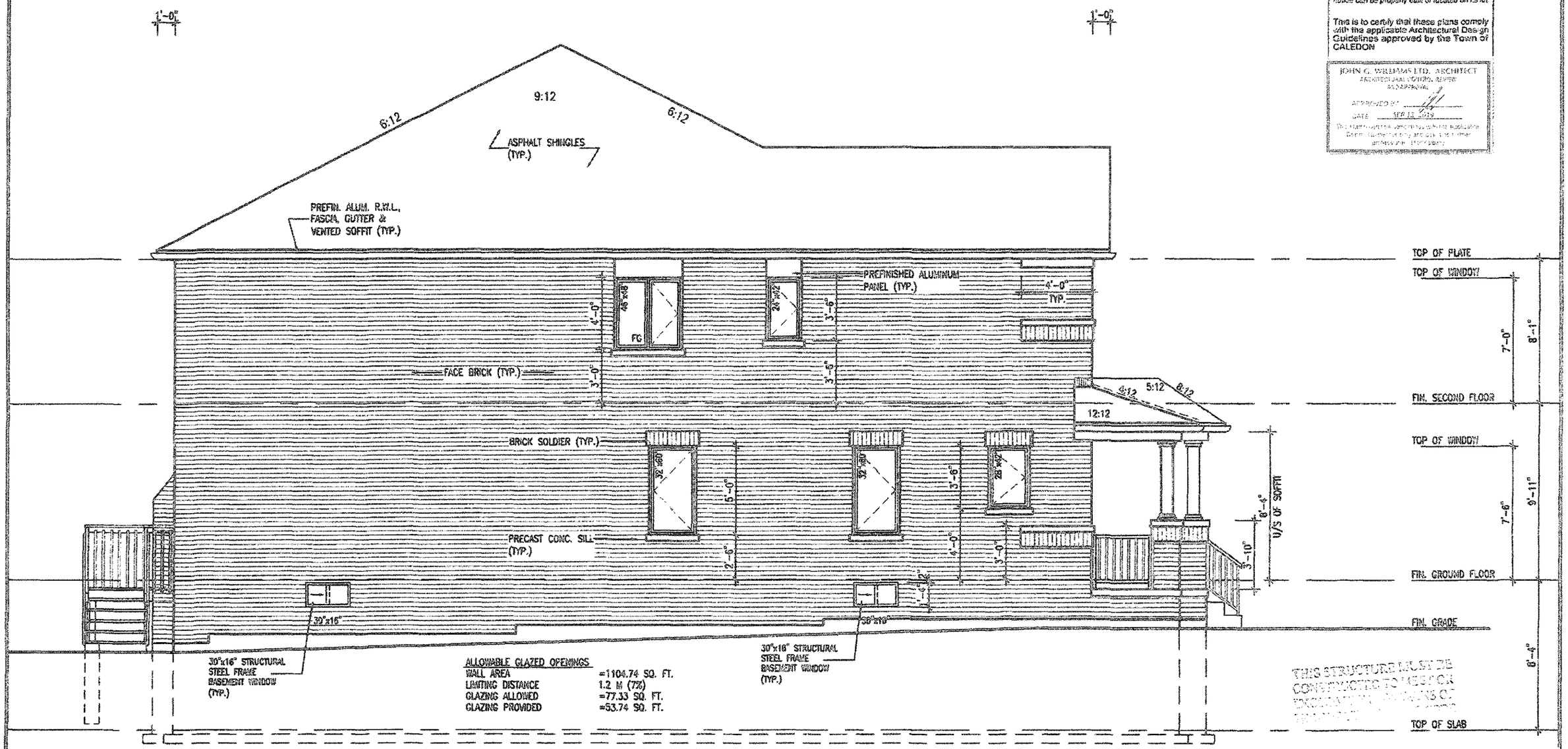
JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE SEP 13 2019



ALLOWABLE GLAZED OPENINGS

WALL AREA	=1104.74 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	=77.33 SQ. FT.
GLAZING PROVIDED	=53.74 SQ. FT.

THIS STRUCTURE MAY NOT BE CONSTRUCTED TO MEET OR EXCEED THE REQUIREMENTS OF THE O.B.C.

LEFT SIDE ELEVATION '1'

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE THAN 5'-11" ABOVE FINISHED GRADE AND 3'-0" HIGH RAILING WHEN LANDING IS LESS THAN 5'-11" ABOVE ADJACENT FINISHED GRADE.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

RECEIVED
SEP 26 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO

SEP 18 2019

PRESTON 1-021

ENERGY STAR

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5	LOT SPECIFIC FOR LOT 21.	SEP 09/19	GW
13				4	ISSUED FOR PERMIT.	DEC. 18/18	GW
12				3	ROOF-FLOOR-ENG. CO-ORD.	NOV. 28/18	GW
11				2	ROOF SLOPES & ELEV. 1 (BED 2) PER A.C.	SEP. 24/18	GW
10				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	SEP. 19/18	GW

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qualification information
Richard Vink — R Vink — 26488
name — signature — date
registration information
VA3 Design Inc. — 42669

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t 416.630.2256 f 416.630.4762
va3design.com

Greenpark

project name: LAMBERTS LANE HOME CORP. PH.2	prepared for: CALEDON
PRESTON 1 11.6m	project no. 18023
date: SEP. 2018	LEFT SIDE ELEVATION '1'
drawn by: MT	checked by: GW — scale: 3/16" = 1'-0"
file name: 18023-PRESTON-1-021	drawing no. A5

2505 SF.

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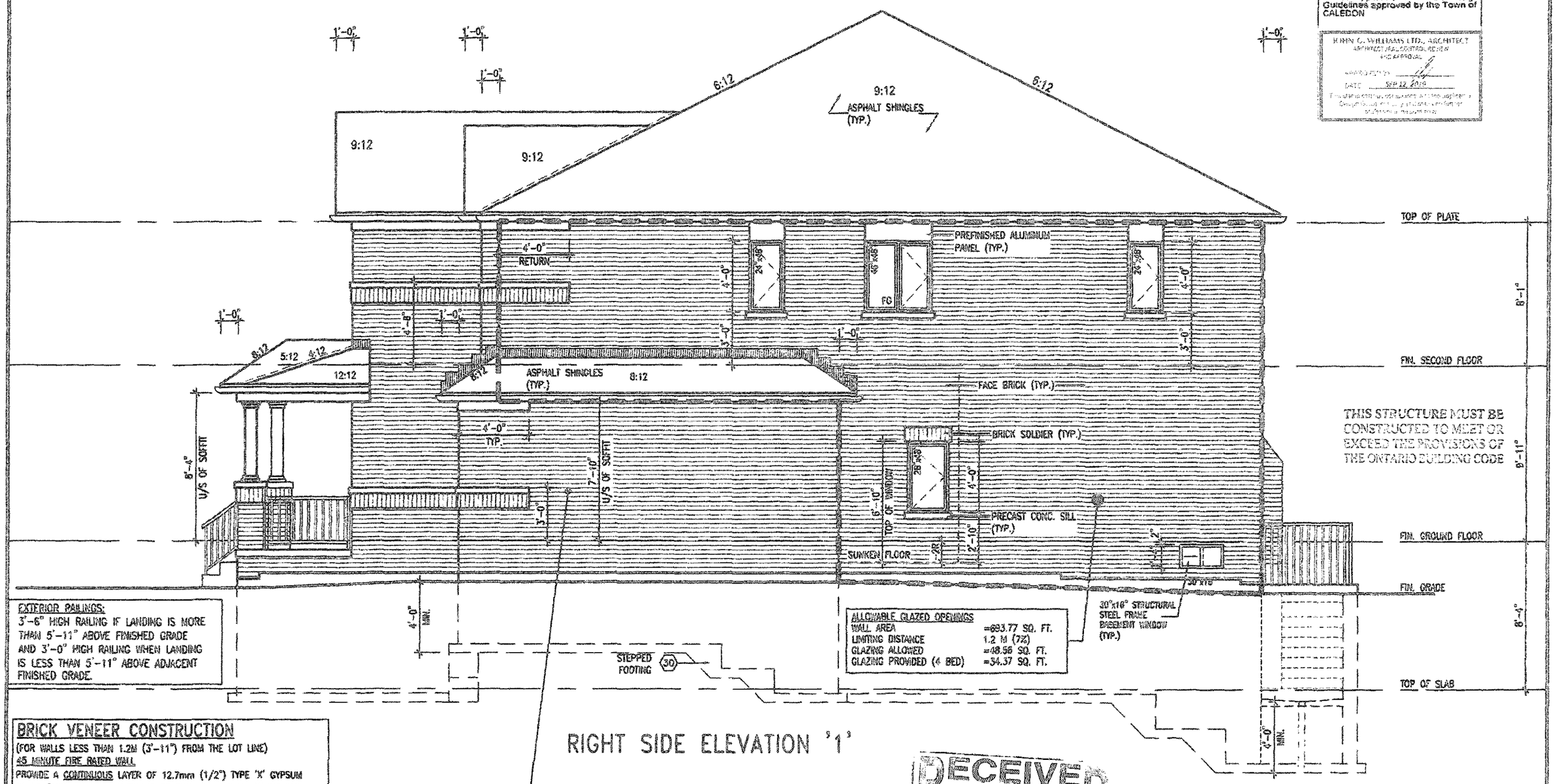
JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
FOR APPROVAL
DATE SEP 12 2019



THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE THAN 5'-11" ABOVE FINISHED GRADE AND 3'-0" HIGH RAILING WHEN LANDING IS LESS THAN 5'-11" ABOVE ADJACENT FINISHED GRADE.

ALLOWABLE GLAZED OPENINGS	
WALL AREA	=693.77 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	=48.56 SQ. FT.
GLAZING PROVIDED (4 BED)	=34.37 SQ. FT.

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
(REFER TO SECTION 9B-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

RIGHT SIDE ELEVATION '1'

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

RECEIVED
SEP 26 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO

SEP 10 2019

PRESTON 1-021
ENERGY STAR

no.	description	date	by
18			
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5	LOT SPECIFIC FOR LOT 21.	SEP 09/19	GW
4	ISSUED FOR PERMIT.	DEC. 18/18	GW
3	ROOF-FLOOR-ENG. CO-ORD.	NOV. 28/18	GW
2	ROOF SLOPES & ELEV. 1 (BED 2) PER A.C.	SEP. 24/18	GW
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qualification information
Richard Vink — signature — 24469
name — qualification information — VA3 Design Inc. — 27558

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t 416.630.2255 f 416.630.4782
va3design.com

Greenpark
PRESTON 1
11.6m
project name: LAMBERTS LANE HOME CORP. PH.2
municipality: CALEDON
project no. 18023
date: SEP. 2019
drawn by: WT
checked by:
scale: 3/16" = 1'-0"
drawing title: RIGHT SIDE ELEVATION '1'
file name: 18023-PRESTON-1-021
drawing no. A6

2505 SF.

RECEIVED
SEP 26 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

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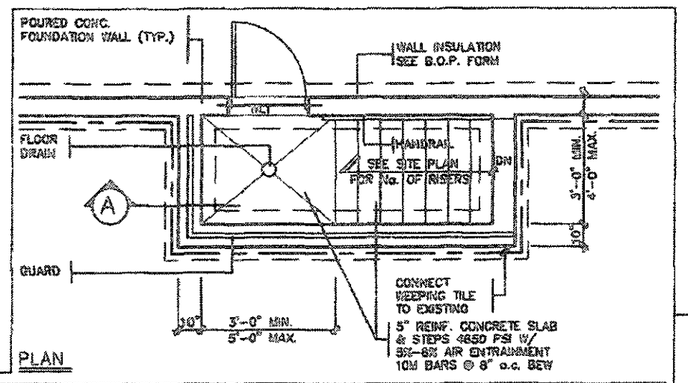
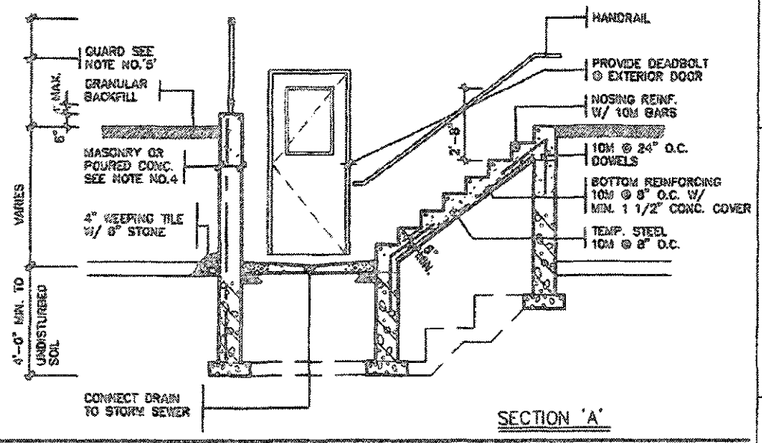
JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE SEP 12 2019



PLAN



SECTION 'A'

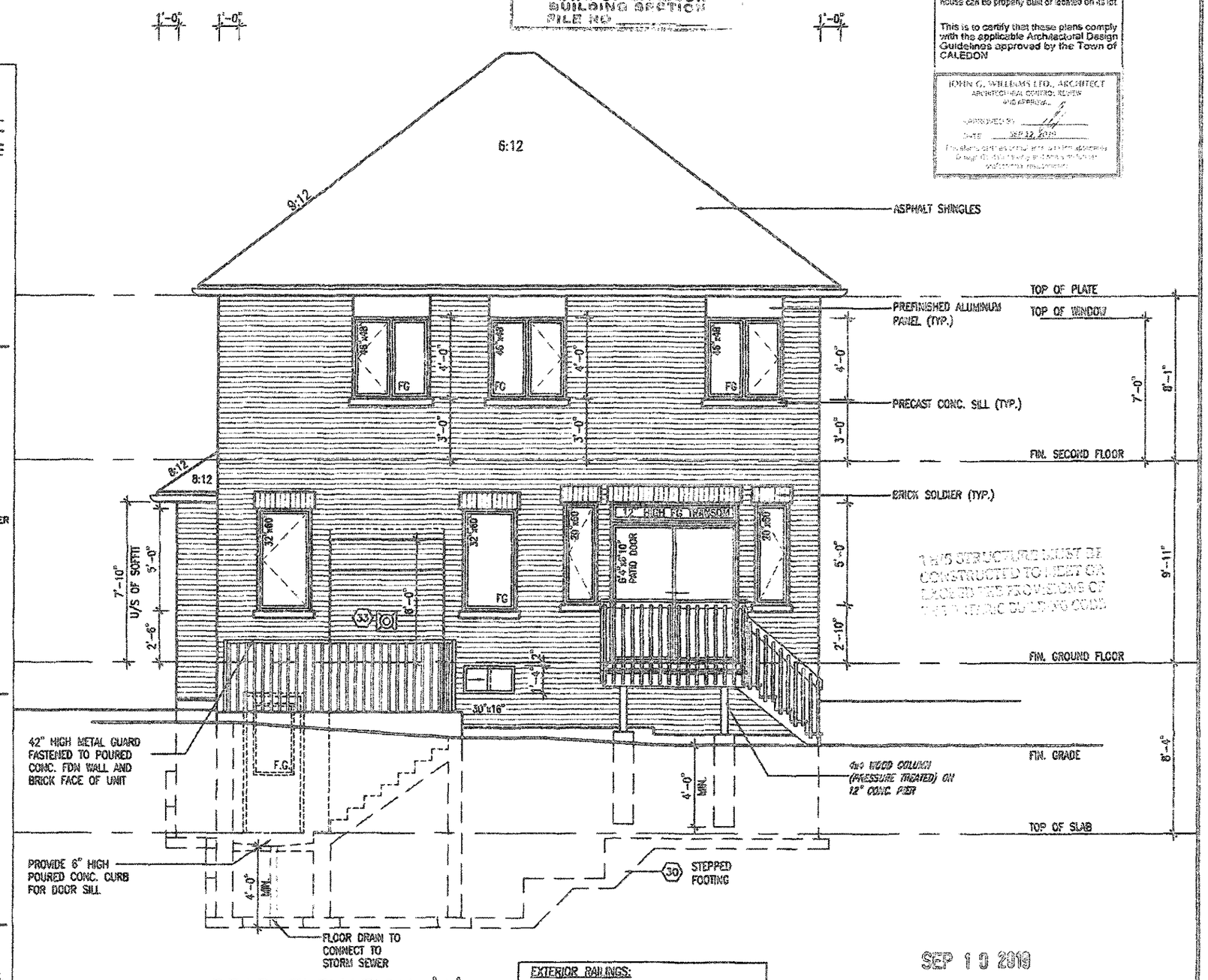
GENERAL NOTES

1. FOOTINGS
   16"x8" POURED CONCRETE FOOTING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL
2. CONCRETE
   MINIMUM COMPRESSIVE STRENGTH OF (32MPa) 4650 PSI @ 28 DAYS W/ 5% TO 8% AIR ENTRAINMENT
3. EXTERIOR STAIRS
   7 7/8" RISE MAXIMUM 4 7/8" MINIMUM
   8 1/4" RUN MINIMUM 14" MAXIMUM
   8 1/4" TREAD MINIMUM 14" MAXIMUM
4. RETAINING WALL
   10" POURED CONCRETE W/ NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 4'-7" PROVIDE 15M VERTICAL REINFORCEMENT @ 16" O.C. & 15M HORIZONTAL REINFORCEMENT @ 24" o.c. FOR WALL HEIGHTS TO 7'-0". RETAINING WALL TO RESIST LATERAL DESIGN LOADS AS PER OBC DIVISION B SECTION 4.1.5.16.
5. GUARDS
   3'-6" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11"; 2'-11" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS

BASEMENT WALK-UP

PLAN, SECTION & NOTES

SCALE: N.T.S.



REAR ELEVATION '1'

EXTERIOR RAILINGS:
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SEP 19 2019

PRESTON 1-021
ENERGY STAR

GTILLIGS INC

LICENSED PROFESSIONAL ENGINEER
B. MARINKOVIC
1/01/19
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

no.	description	date	by	no.	description	date	by
18				9			
17				8			
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11				2	ROOF SLOPES & ELEV. 1 (EED 2) PER A.C.	SEP. 24/18	GW
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 19/18	GW

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qualification information
Richard Vink 20488
name signature stamp
registration information
VA3 Design Inc. 42855

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Toronto ON M2J 1P6
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name: LAMBERTS LANE HOME CORP. PH.2	municipality: CALEDON
PRESTON 1 11.6m	project no. 18023
date: SEP. 2018	title: REAR ELEVATION '1'
drawn by: VT / checked by: - / date: 3/16" = 1'-0"	file name: 18023-PRESTON-1-021
drawing no. A7	

2505 SF.

RECEIVED
SEP 26 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO

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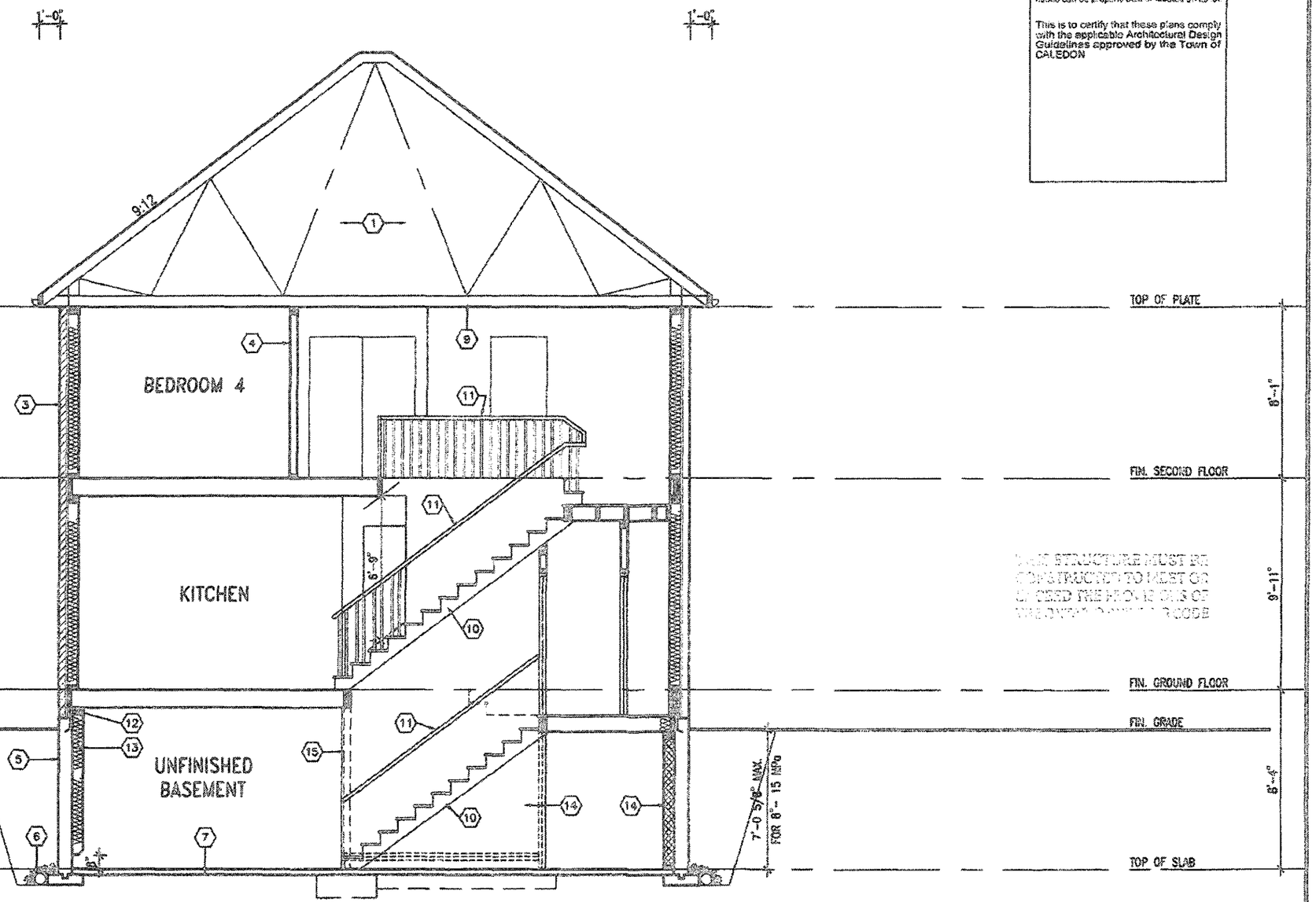

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SECTION A-A
ELEVATION '1'

REGISTERED PROFESSIONAL ENGINEER
M. MARINKOVIC
POWER OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

SEP 10 2019

PRESTON 1-021
ENERGY STAR

r.o.	description	date	by
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name signature BCIN
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t 416.830.2255 f 416.830.4782
va3design.com

Greenpark

project name: LAMBERTS LANE HOME CORP. PH.2	municipality: CALEDON
PRESTON 1 11.6m	project no. 18023
date: SEP. 2018	SECTION A-A ELEV. '1'
drawn by: GW	checked by: –
scale: 3/16" = 1'-0"	file name: 18023-PRESTON-1-021
drawing no. A8	