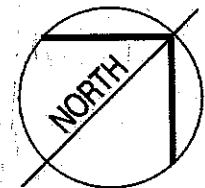
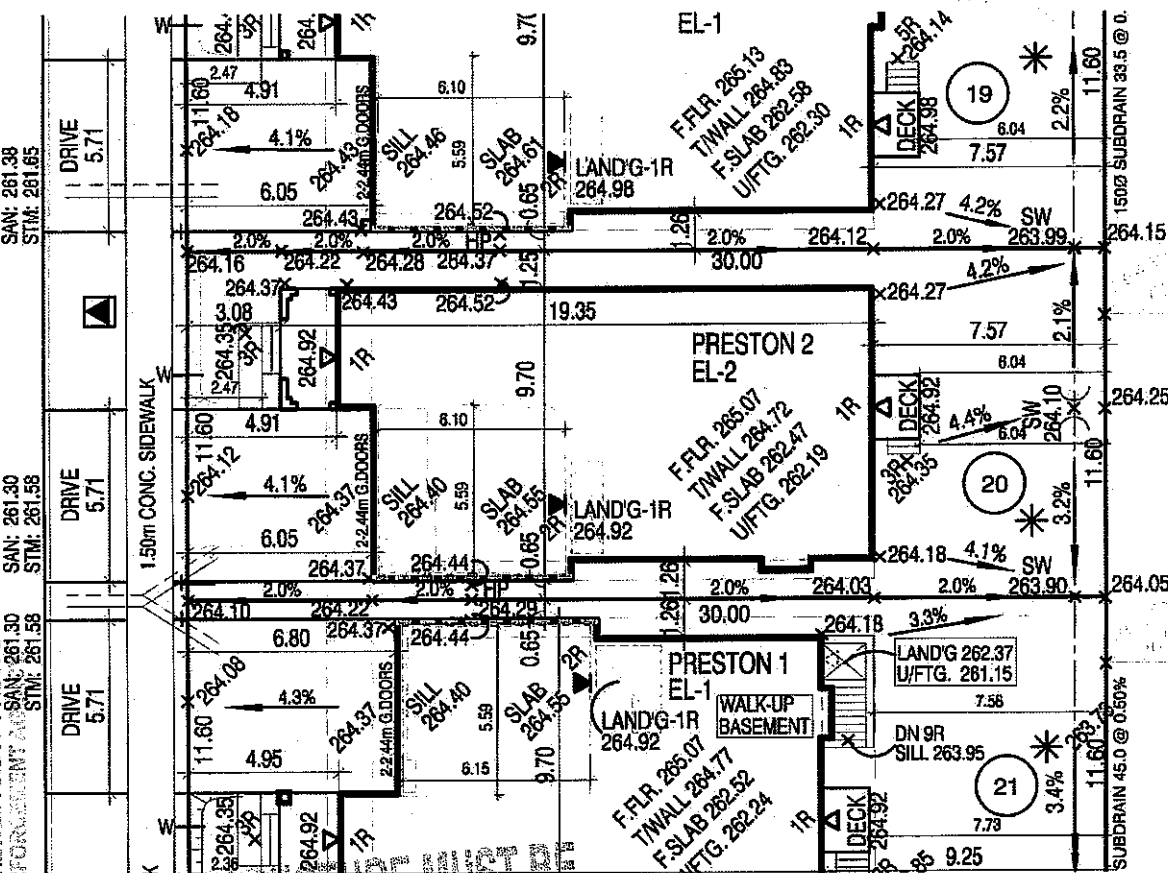


- STORM CONNECTION △ ENTRANCE DOOR LOCATION ● STREET LIGHT (SP) SUMP PUMP
--- SANITARY CONNECTION ▲ GARAGE DOOR LOCATION ▲ TRANSFORMER F.F.L.R. FINISHED FLOOR ELEVATION
W WATER CONNECTION * ENGINEERED FILL LOT ☒ CABLE TV PEDESTAL T/WALL TOP OF FOUNDATION WALL
H HYDRO CONNECTION ● SANITARY MANHOLE ☒ BELL PEDESTAL F.SLAB FIN. BASEMENT FLOOR SLAB
☐ DOUBLE CATCH BASIN ○ STORM MANHOLE (FG) BELL/ROG. FLUSH TO GRADE U/FTG. UNDERSIDE FOOTING ELEVATION
☐ CATCH BASIN [MAIL] COMMUNITY MAILBOX H HYDRO METER PROPOSED 3:1 SLOPE
○ HYDRANT ○ DOWNSPOUT LOCATION Ⓢ GAS METER 100.00 PROPOSED GRADE
⊗ VALVE AND CHAMBER → SWALE DIRECTION ☒ AIR-CONDITIONING UNIT ×100.00 PROPOSED SWALE GRADE



APPLICANT COPY
DEER RIDGE TRAIL

THIS BUILDING SHALL BE LOCATED ON THE BUILDING SITE GRADING AS THAT WATER RUN OFF SHALL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. SPECIFICATIONS MUST BE KEPT ON SITE AT ALL TIME DURING CONSTRUCTION AS PER O.B.C. ANY CHANGES TO THE GRADING AND/OR SURFACE DRAINAGE SHALL BE REVIEWED AND APPROVED BY THE APPROPRIATE ENFORCEMENT AGENCY.



BUILDING INSPECTOR IS REQUIRED TO BE ON SITE FOR ALL MANDATORY INSPECTIONS. REFER TO ATTACHED BUILDING PERMIT FOR DETAILS

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

NOTE: THE AS-CONSTRUCTED STORM AND SANITARY CONNECTION INVERTS HAVE BEEN PROVIDED BY CON-DRAIN GROUP

NOTE: ANY ENGINEERED FILL LOTS NOTED ARE ESTIMATED AND FOR REFERENCE ONLY AND THE ENGINEERED FILL CERTIFICATE PROVIDED BY THE PROJECT GEOTECHNICAL CONSULTANT WILL GOVERN

NOTE: IT IS THE BUILDER'S RESPONSIBILITY TO CONFIRM IN THE FIELD THAT ALL SANITARY AND STORM LATERALS ELEVATIONS ARE ACCEPTABLE PRIOR TO POURING FOOTINGS

APPROVED
For construction as per the
Ontario Building Code
Town of Caledon Building Department
Initial J.S. SNELL
Date AUG. 27/19
File # BA/19/2404

RECEIVED
AUG 12 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

DSEL
david schaeffer engineering ltd
LOT GRADING REVIEW

3/4 HR. F.I.R.R. The review of the lot grading design of the above-noted lot(s) by the Engineer is for the sole purposes of ascertaining general conformance of the design with that of the overall lot grading design as prepared by the Engineer and that proper drainage principles have been observed. The undersigned assumes no responsibility for the correctness of the building dimensions and/or conformity to any applicable zoning by-laws.

Registered Plan No. 43M-2071
Lot No(s) 20
Date July 23, 2019

45 MINUTE RATED WALL
WITH SIDE YARD < 1.2m

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: JUL 29, 2019
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

5		
4		
3	JULY 18, 2019	REV. U/FTG AS PER ENG FILL LOT AND RE-ISSUED FOR PERMIT.
2	JULY 9, 2019	REV. AS PER ENGINEERS COMMENTS AND ISSUED FOR PERMIT.
1	JULY 4, 2019	ISSUED FOR ENGINEERS GRADING REVIEW.

REVISIONS:

Greenpark



LAMBERTS LANE HOME CORP. PH-2

PROJ. No. 18-18 MUNICIPAL ADDRESS
LOT No. 20 73 DEER RIDGE TRAIL



The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
Walter Botte 21037
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code:
Jardin design group inc. 27763
FIRM NAME BCIN

jardin
DESIGN GROUP INC.

64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: Info@jardindesign.ca

REG. PLAN
PLAN OF SUBDIVISION OF PART OF LOTS 21 AND 22 CONVESSION 1 EAST OF HURONTARIO STREET
REGIONAL MUNICIPALITY OF P.E.B. (GEOGRAPHIC TOWNSHIP OF CHINGWAGOUSH)
TOWN OF CALEDON REGISTERED PLAN 43M-

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS ON SITE. JARDIN DESIGN GROUP INC. SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS ON SITE. JARDIN DESIGN GROUP INC. SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS ON SITE.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS. JARDIN DESIGN GROUP INC. HAS BEEN REVIEWED BY THE TOWN OF CALEDON. THE TOWN OF CALEDON DOES NOT ASSUME ANY LIABILITY FOR THE FAILURE OF THE CONSTRUCTION OR CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE UNDERSIGNED ASSUMES NO LIABILITY FOR THE FAILURE OF THE CONSTRUCTION OR CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.