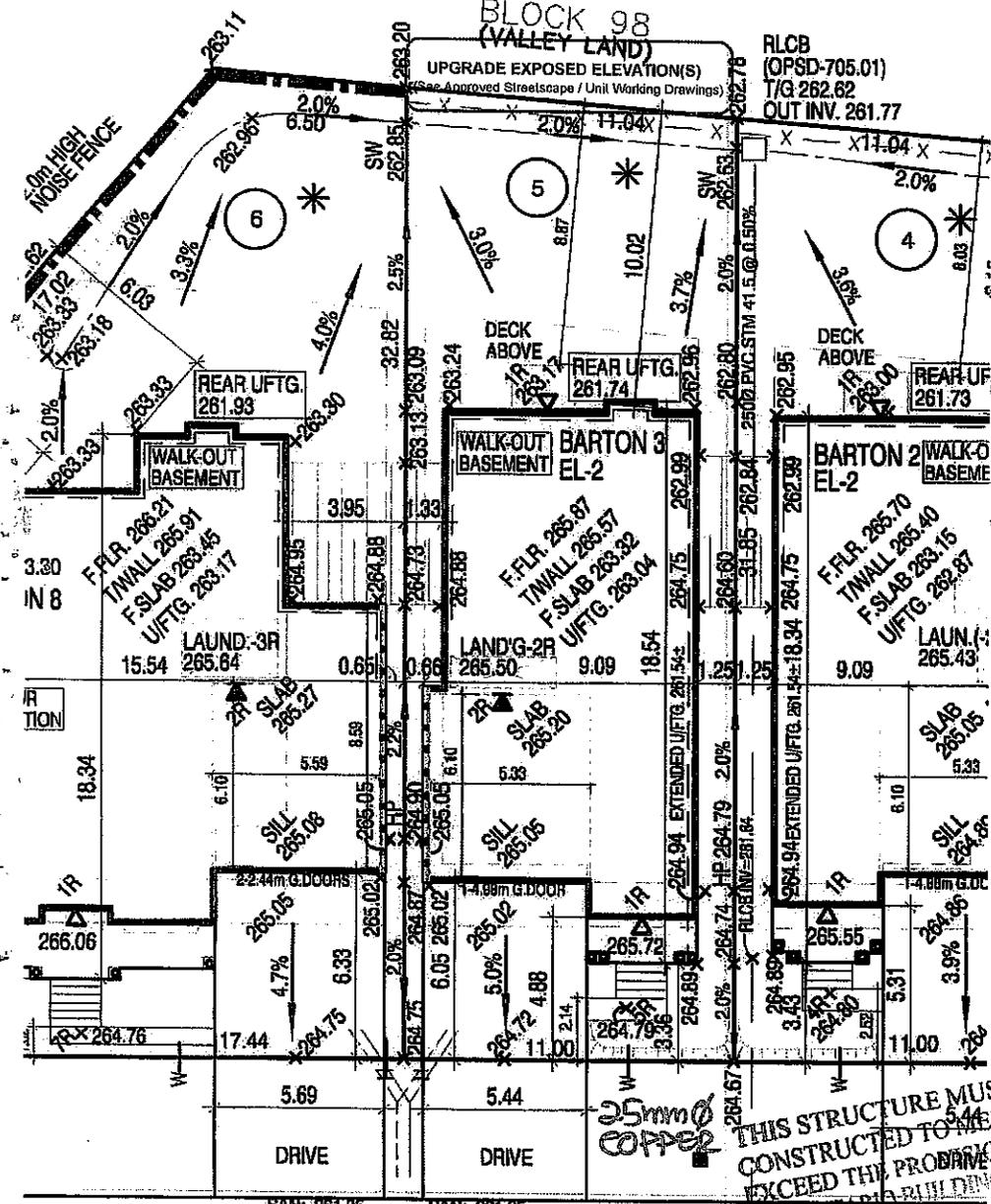
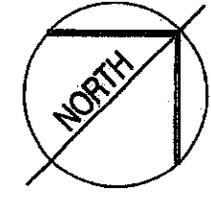


- STORM CONNECTION
- SANITARY CONNECTION
- WATER CONNECTION
- HYDRO CONNECTION
- DOUBLE CATCH BASIN
- CATCH BASIN
- HYDRANT
- VALVE AND CHAMBER
- STORM DOOR LOCATION
- GARAGE DOOR LOCATION
- ENGINEERED FILL LOT
- SANITARY MANHOLE
- STORM MANHOLE
- COMMUNITY MAILBOX
- DOWNSPOUT LOCATION
- SWALE DIRECTION
- STREET LIGHT
- TRANSFORMER
- CABLE TV PEDESTAL
- BELL PEDESTAL
- BELL/ROG: FLUSH TO GRADE
- HYDRO METER
- GAS METER
- AIR-CONDITIONING UNIT
- F.FLR. FINISHED FLOOR ELEVATION
- T/WALL TOP OF FOUNDATION WALL
- F.SLAB FIN. BASEMENT FLOOR SLAB
- U/FTG. UNDERSIDE FOOTING ELEVATION
- PROPOSED 3:1 SLOPE
- PROPOSED GRADE
- PROPOSED SWALE GRADE



APPROVED
 For construction as per the
 Ontario Building Code
 Town of Caledon Building Department
 Initial JS-SNELL
 Date AUG. 28/19
 File # BA/19/0465

**THIS STRUCTURE MUST BE
 CONSTRUCTED TO MEET OR
 EXCEED THE PROVISIONS OF
 THE ONTARIO BUILDING CODE**

NOTE:
 THE BUILDER TO VERIFY ADEQUACY OF
 FOUNDING SOILS WITH PROJECT
 GEOTECHNICAL ADJACENT TO REAR LOT
 CATCHBASIN AND LEAD PRIOR TO POURING
 FOOTINGS.

NOTE:
 REAR LOT CATCHBASIN LEAD PRESENT,
 CAUTION WHEN EXCAVATING.

NOTE:
 THE AS-CONSTRUCTED STORM AND
 SANITARY CONNECTION INVERTS HAVE
 BEEN PROVIDED BY CON-DRAIN GROUP

NOTE:
 ANY ENGINEERED FILL LOTS NOTED ARE
 ESTIMATED AND FOR REFERENCE ONLY AND
 THE ENGINEERED FILL CERTIFICATE PROVIDED
 BY THE PROJECT GEOTECHNICAL CONSULTANT
 WILL GOVERN

NOTE:
 IT IS THE BUILDER'S RESPONSIBILITY TO
 CONFIRM IN THE FIELD THAT ALL SANITARY
 AND STORM LATERALS ELEVATIONS ARE
 ACCEPTABLE PRIOR TO POURING FOOTINGS

DEER RIDGE TRAIL

RECEIVED
 AUG 08 2019
 TOWN OF CALEDON
 BUILDING SECTION
 FILE NO.

MASONRY VENEER REQUIRED
 ON SIDES OF STAIRS

**45 MINUTE RATED WALL
 WITH SIDE YARD < 1.2m**

DSEL
 david schaeffer engineering ltd
LOT GRADING REVIEW

The review of the lot grading design of the above-noted lot(s) by the Engineer is for the sole purposes of ascertaining general conformance of the design with that of the overall lot grading design as prepared by the Engineer and that proper drainage principles have been observed. The undersigned assumes no responsibility for the correctness of the building dimensions and/or conformity to any applicable zoning by-laws.

Registered Plan No. 43M-2071
 Lot No(s) 5
 Date July 23, 2019

LICENCED PROFESSIONAL ENGINEER

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
 ARCHITECTURAL CONTROL REVIEW
 AND APPROVAL

APPROVED BY: [Signature]
 DATE: JUL 29, 2019

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



The undersigned has reviewed and bears responsibility for this design and has the seal and license of a Professional Engineer and meets the requirements set out in the Ontario Building Code to be a designer.

Walter Boite 21031
 NAME SIGNATURE BCIN

jardin design group inc. 27763
 FIRM NAME BCIN

jardin
 DESIGN GROUP INC.

64 JARDIN DR. SUITE 3A
 VAUGHAN ONT. L4K 3P3
 TEL: 905 660-3377 FAX: 905 660-3713
 EMAIL: info@jardindesign.ca

LAMBERTS LANE HOME CORP. PH-2

PROJ. No. 18-18 MUNICIPAL ADDRESS
 LOT No. 5 58 DEER RIDGE TRAIL



REG. PLAN

PLAN OF SUBDIVISION OF PART OF LOTS 21 AND 22
 CONCESSION 1 EAST OF HURONTARIO STREET
 REGIONAL MUNICIPALITY OF PEEL (GEOGRAPHIC TOWNSHIP OF CHINGUNGOUSH)
 TOWN OF CALEDON REGISTERED PLAN 43M

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ALL DIMENSIONS SHALL BE DISCUSSED WITH JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

THIS DOCUMENT IS THE PROPERTY OF JARDIN DESIGN GROUP INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF JARDIN DESIGN GROUP INC.

AS CONSTRUCTED BY THIS MUST BE VERIFIED PRIOR TO POURING FOOTINGS. THE ASSIGNED DESIGN GROUP INC. HAS NOT BEEN RESPONSIBLE FOR THE GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK.