

STRIP FOOTINGS -

FOR SINGLES & SEMIS UP TO 2 STOREY

120 KPa NATIVE SOIL

- 20"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS
- 24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS

100 KPa NATIVE SOIL

- 22"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS
- 28"x10" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS
- OR
- 28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS

90 KPa ENGINEERED FILL SOIL

- 24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW FOUNDATION WALLS
- 30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS

(ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL FOOTING DETAIL FOR REINFORCEMENT)

PAD FOOTINGS

120 KPa NATIVE SOIL

- F1 = 42"x42"x18" CONCRETE PAD
- F2 = 36"x36"x18" CONCRETE PAD
- F3 = 30"x30"x18" CONCRETE PAD
- F4 = 24"x24"x18" CONCRETE PAD
- F5 = 18"x18"x18" CONCRETE PAD

100 KPa NATIVE SOIL

- F1 = 48"x48"x20" CONCRETE PAD
- F2 = 38"x38"x18" CONCRETE PAD
- F3 = 32"x32"x18" CONCRETE PAD
- F4 = 26"x26"x18" CONCRETE PAD
- F5 = 17"x17"x18" CONCRETE PAD

90 KPa ENGINEERED FILL SOIL

- F1 = 48"x48"x20" CONCRETE PAD
- F2 = 40"x40"x18" CONCRETE PAD
- F3 = 34"x34"x18" CONCRETE PAD
- F4 = 28"x28"x18" CONCRETE PAD
- F5 = 18"x18"x18" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FDTN. WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

BRICK VENEER LINTELS

- KL1 = 3-1/2"x3-1/2"x1/4" (100x90x0.01) + 2-2"x8" SPR. No.2
- KL2 = 4"x3-1/2"x3/8" (100x90x0.01) + 2-2"x8" SPR. No.2
- KL3 = 5"x3-1/2"x3/8" (125x90x0.01) + 2-2"x10" SPR. No.2
- KL4 = 6"x3-1/2"x3/8" (150x90x0.01) + 2-2"x12" SPR. No.2
- KL5 = 6"x4"x3/8" (150x100x0.01) + 2-2"x12" SPR. No.2
- KL6 = 5"x3-1/2"x3/8" (125x90x0.01) + 2-2"x12" SPR. No.2
- KL7 = 5"x3-1/2"x3/8" (125x90x0.01) + 3-2"x10" SPR. No.2
- KL8 = 5"x3-1/2"x3/8" (125x90x0.01) + 3-2"x12" SPR. No.2
- KL9 = 6"x4"x3/8" (150x100x0.01) + 3-2"x12" SPR. No.2

WOOD LINTELS AND BEAMS

- WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)
- WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)
- WB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)
- WB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)
- WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)
- WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)
- WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)
- WB8 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)
- WB9 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS

- LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
- LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
- LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
- LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
- LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
- LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
- LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
- LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
- LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
- LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
- LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
- LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
- LVL8 = 2-1 3/4" x 14" (2-45x356)
- LVL9 = 3-1 3/4" x 14" (3-45x356)
- LVL10 = 4-1 3/4" x 14" (4-45x356)

LOOSE STEEL LINTELS

- L1 = 3-1/2"x3-1/2"x1/4" (100x90x0.01)
- L2 = 4"x3-1/2"x3/8" (100x90x0.01)
- L3 = 5"x3-1/2"x3/8" (125x90x0.01)
- L4 = 6"x3-1/2"x3/8" (150x90x0.01)
- L5 = 6"x4"x3/8" (150x100x0.01)
- L6 = 7"x4"x3/8" (175x100x0.01)

DOOR SCHEDULE

- 1 = 3'-0" x 6'-8" (914x2033) - INSULATED ENTRANCE DOOR
- 1a = 2'-10" x 7'-10" (813x2381) - INSULATED FRONT DOORS
- 2 = 2'-8" x 6'-8" (813x2033) - HOOD & GLASS DOOR
- 3 = 2'-8" x 6'-8" x 1-3/4" (813x2033x45) - EXTERIOR SLAB DOOR
- 4 = 2'-8" x 6'-8" x 1-3/8" (813x2033x55) - INTERIOR SLAB DOOR
- 5 = 2'-6" x 6'-8" x 1-3/8" (762x2033x55) - INTERIOR SLAB DOOR
- 6 = 2'-2" x 6'-8" x 1-3/8" (660x2033x55) - INTERIOR SLAB DOOR
- 7 = 1'-6" x 6'-8" x 1-3/8" (460x2033x55) - INTERIOR SLAB DOOR
- 8 = 3'-0" x 6'-8" (914x2033) - BARRIER FREE ACCESS DOOR

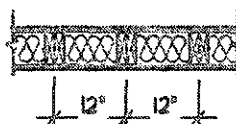
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-1", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

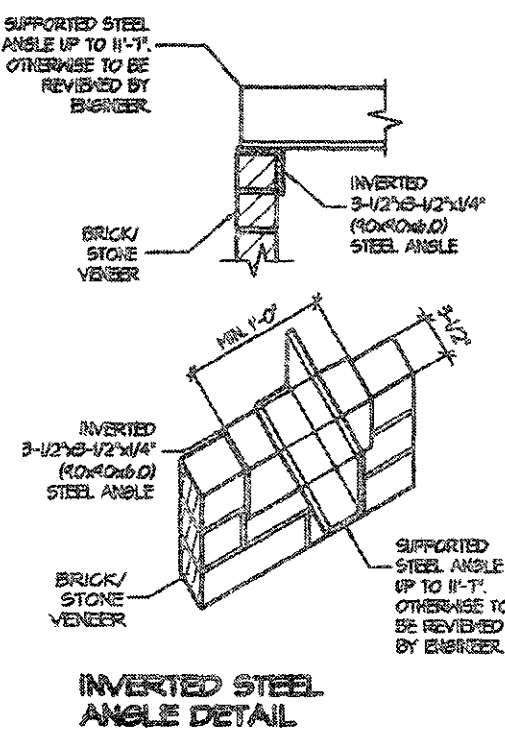
REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

2-2"x8" STUD WALL NAILED TOGETHER AND SPACED @ 12" O.C. FULL HT. C/M SOLID BLOCKING 4'-0" O.C. VERTICAL AND 7/16" EXT. FLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 15'-0"

TWO STORY HEIGHT WALL DETAIL



Electrical Contractor Registration Agency
ALL ELECTRICAL INSTALLATIONS MUST BE INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY SEPARATE INSPECTION APPLICATIONS MUST BE FILED. FOR MORE INFORMATION PLEASE CALL: ELECTRICAL SAFETY AUTHORITY 1-877-684-SAFE (672-7233) PLUG IN SAFELY WIRE A LICENSED ELECTRICAL CONTRACTOR. FIND A CONTRACTOR AT www.pluginsafely.ca

AREA CALCULATIONS		ELEV. 3	
GROUND FLOOR AREA	=	1600	Sq. Ft.
SECOND FLOOR AREA	=	1454	Sq. Ft.
TOTAL FLOOR AREA	=	5594	Sq. Ft.
	=	559.4	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	0	Sq. Ft.
ADD TOTAL OPEN AREAS	=	0	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	5594	Sq. Ft.
	=	559.4	Sq. M.
GROUND FLOOR COVERAGE	=	1600	Sq. Ft.
GARAGE COVERAGE / AREA	=	349	Sq. Ft.
PORCH COVERAGE / AREA	=	84	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	2033	Sq. Ft.
	=	193.48	Sq. M.
TOTAL COVERAGE W/O PORCH	=	1449	Sq. Ft.
	=	135.71	Sq. M.

WOODCROFT 4-056		ELEV.3		ENERGY STAR	
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	112.14	11.73	126.49	11.75	10.20 %
LEFT SIDE	1420.55	131.47	81.16	8.10	6.14 %
RIGHT SIDE	1317.80	122.43	45.50	4.23	3.45 %
REAR	484.31	84.54	186.63	17.34	14.35 %
TOTAL	4414.80	415.72	445.78	41.41	9.46 %

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE REQUIREMENTS OF THE ONTARIO BUILDING CODE

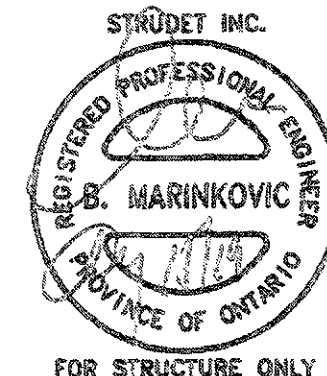
BUILDING INSPECTOR IS REQUIRED TO BE ON SITE FOR ALL MANDATORY INSPECTIONS. REFER TO ATTACHED BUILDING PERMIT FOR DETAILS

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING

ENERGY STAR V-17

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.56 (R50)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSE FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	4.75 (R22+R5)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY STAR ® ZONE 2 (ER 29/IV 1.4)
SPACE HEATING EQUIPMENT MINIMUM AFUE	MIN. 96% AFUE
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HRV MINIMUM EFFICIENCY	TIER 2 75% SRE ENERGY STAR ® HRV TO BE INTERCONNECTED TO THE FURNACE FAN MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/STALE
HOT WATER TANK	CONDENSING HOT WATER TANK 90% TE ENVIROSENCE
DRAIN WATER HEAT RECOVERY	TWO SHOWERS > 42% STEADY R3-42 OR TD342
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (2.5 ACH/0.18 NLR) ATTACHED LEVEL 1 (3.0 ACH/0.26 NLR)
DUCT SEALING	ALL SUPPLY DUCTS AND 1 m OF RETURN DUCTS
LIGHTS	75% CFLs OR LEDs

APPROVED
For construction as per the
Ontario Building Code
Town of Caledon Building Department
Initial L. Miller
Date Sept 21 9
File # 18/119/0636



FOR STRUCTURE ONLY



WOODCROFT 4-056
ENERGY STAR

Greenpark
PROJECT NAME
LAMBERTS LANE II

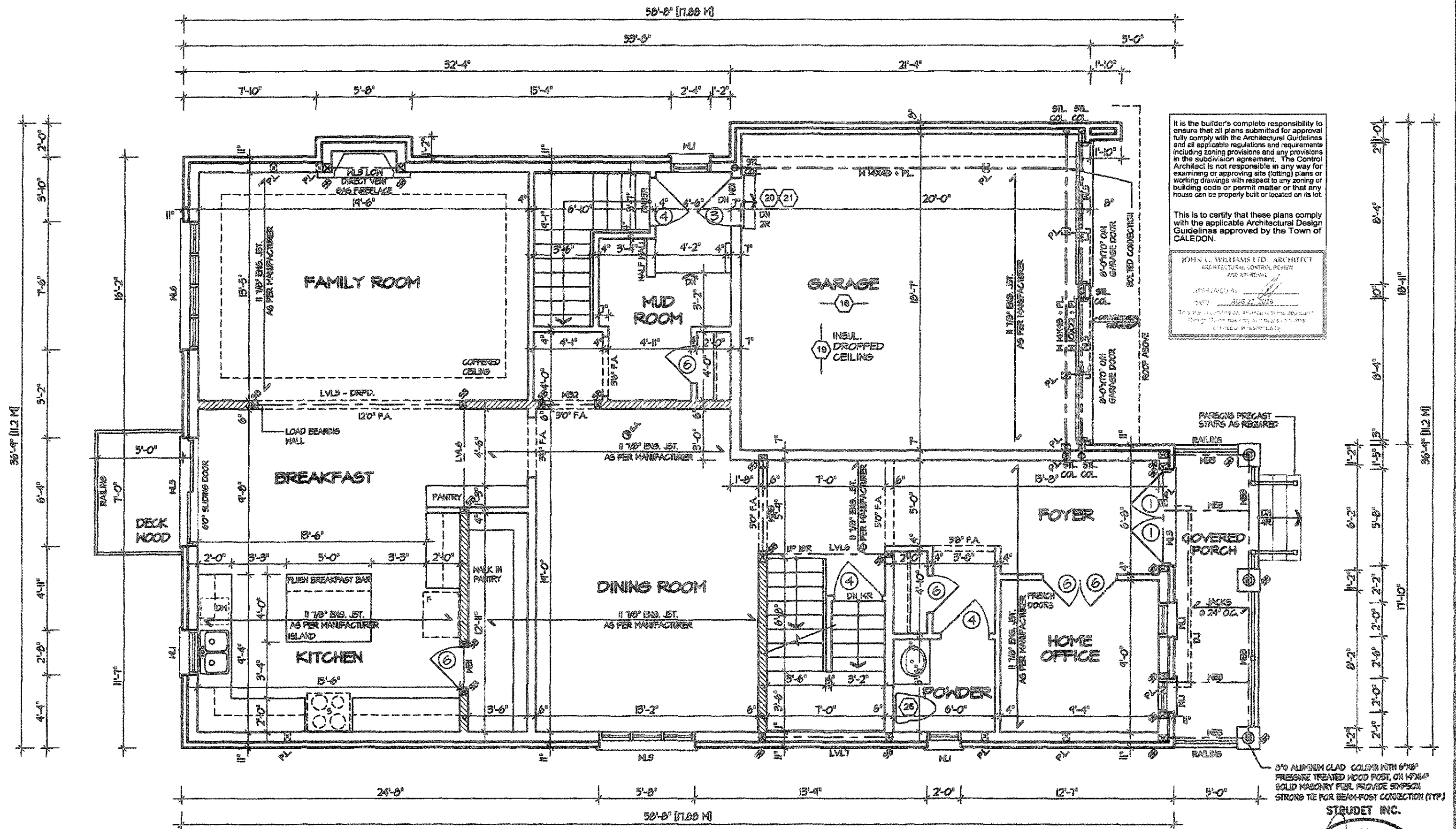
APPLICANT COPY

5.			
4.			
3.			
2.			
1	REVISED FOR LOT 55	JULY 2019	
REVISIONS			
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.			
QUALIFICATION INFORMATION			
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code			
VIKAS GAJJAR		28770	
NAME		SIGNATURE	BCIN

REGION DESIGN INC.
5700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 1S5
P (416) 736-4085
F (905) 660-0746

SHEET TITLE
GENERAL
NOTES & CHARTS
SCALE
BY
ZMP
DATE
JULY 2019
AREA
3558

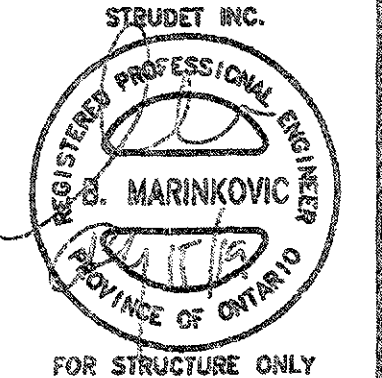
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.
PAGE No.
0



FIRST FLOOR PLAN 3

THIS STRUCTURE MUST BE CONFORMED TO THE ONTARIO BUILDING CODE

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE



FOR STRUCTURE ONLY

WOODCROFT 4-056

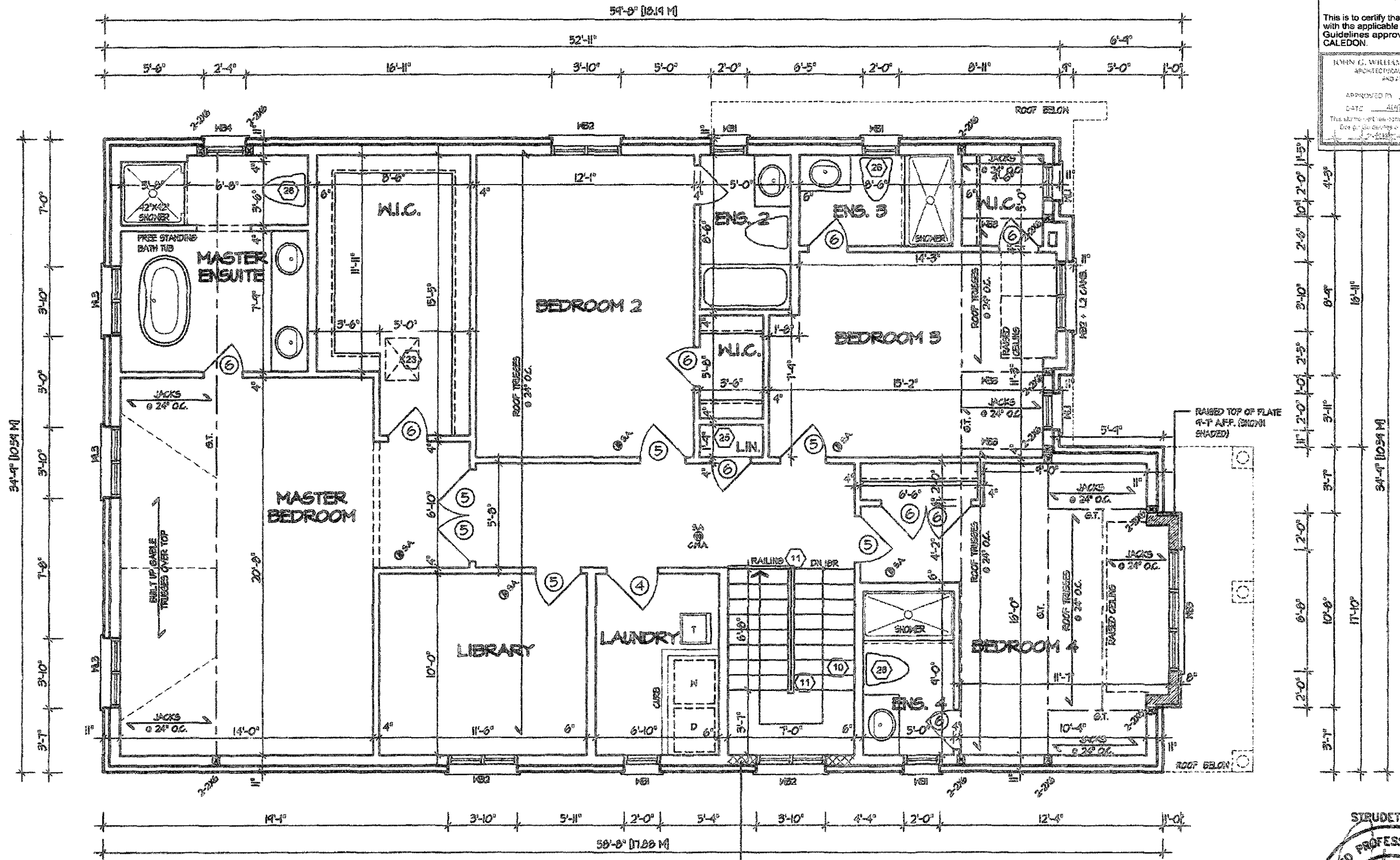
ENERGY STAR

5. [Blank] 4. [Blank] 3. [Blank] 2. [Blank] 1. REVISED FOR LOT 53 JULY 2019 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR 28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 739-4093 F (805) 660-0749	SHEET TITLE FIRST FLOOR PLAN 3 SCALE 3/16"=1'-0" DATE JULY 2019 BY ZMAP AREA 3559	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. PAGE No. 2	PROJECT NAME LAMBERTS LANE II
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It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

APPROVED BY
DATE: AUG 12, 2019
This document is a computer-generated drawing. It is not a photograph of a physical drawing. It is not a reproduction of a drawing. It is a drawing created by a computer program.

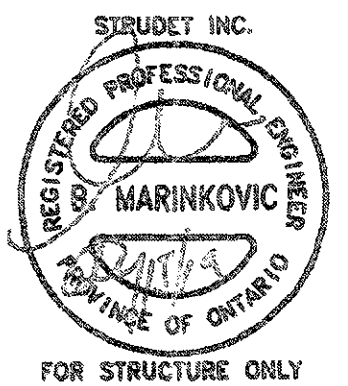


SECOND FLOOR PLAN 3

FULL HEIGHT HALL DETAIL
SEE DETAIL ON PAGE 00

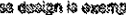
THIS STRUCTURE MUST BE
CONSTRUCTED IN ACCORDANCE WITH
THE ONTARIO BUILDING CODE

SMOKE ALARMS AND CARBON
MONOXIDE DETECTORS SHALL
CONFORM TO SUBSECTIONS
9.10.19. AND 9.33.4. OF THE
ONTARIO BUILDING CODE

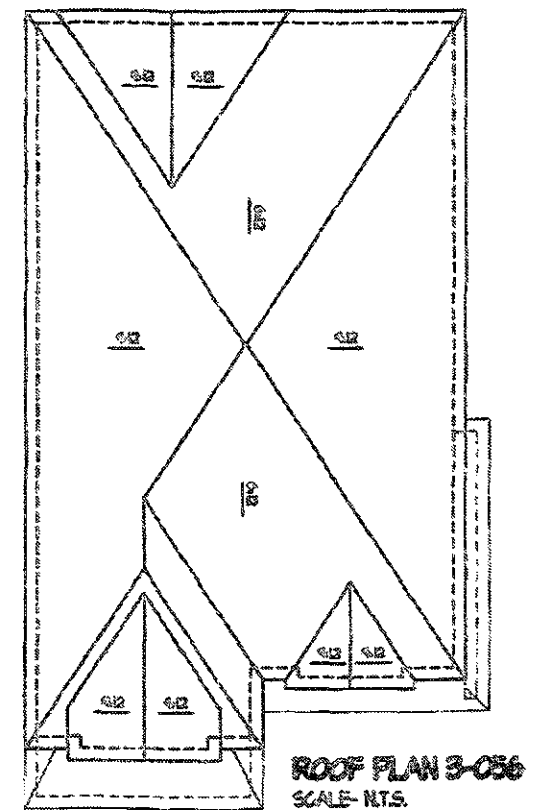


WOODCROFT 4-056

ENERGY STAR

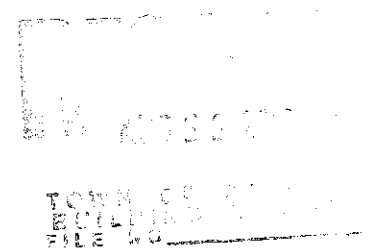
5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code. VIKAS GAJJAR  28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4099 F (905) 680-0746	REGION DESIGN INC.	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	PAGE No. 3	PROJECT NAME LAMBERTS LANE II
4.					SECOND FLOOR PLAN 3				
3.					SCALE	BY			
2.					DATE	AREA			
1.	REVISED FOR LOT 59				JULY 2019	3/16"=1'-0"			
REVISIONS									

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE REQUIREMENTS OF
THE ONTARIO BUILDING CODE



ROOF PLAN 3-056
SCALE: N.T.S.

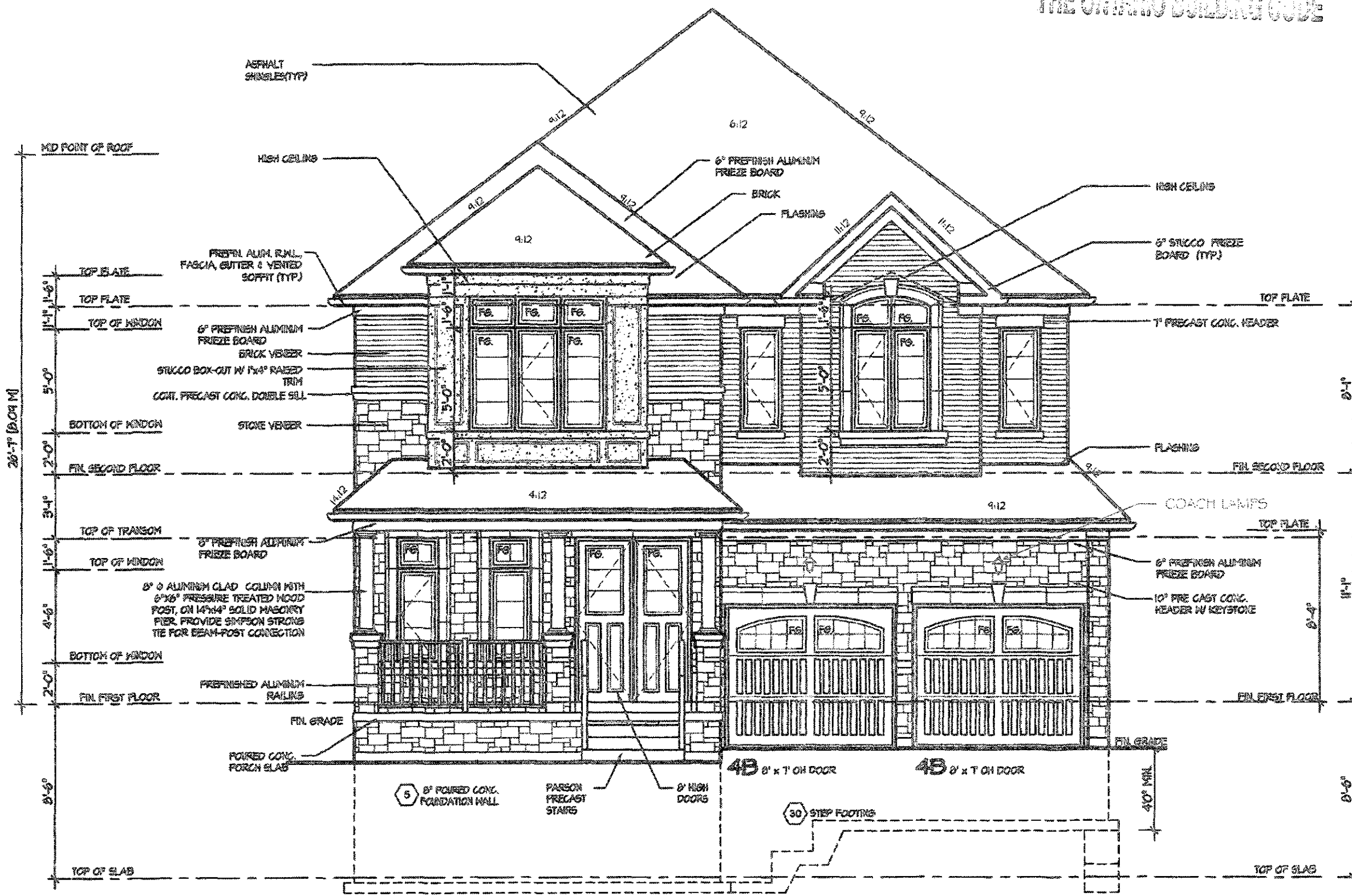
OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING



It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL, REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: AUG 22, 2019
This stamp is valid for use on all plans submitted for approval
under the Architectural Guidelines approved by the Town of Caledon.



FRONT ELEVATION 3

WOODCROFT 4-056

AUG 4 5 2019

ENERGY STAR



PROJECT NAME
LAMBERTS LANE II

REVISIONS	DATE
1 REVISED FOR LOT 58	JULY 2019

The undersigned has reviewed and takes responsibility for this
design, and has the qualifications and meets the requirements set
out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4036
F (905) 880-8756

REGION
DESIGN
INC.

SHEET TITLE	BY	DATE
FRONT ELEVATION 3	ZMP	JULY 2019
SCALE 3/16"=1'-0"	AREA 3559	

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.

PAGE No.

4

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN C. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: AUG 22 2019
DESIGNED BY: [Signature]
DATE: [Blank]
DRAWN BY: [Signature]
DATE: [Blank]

THIS STRUCTURE MUST BE
CONSTRUCTED IN ACCORDANCE
WITH THE ONTARIO BUILDING CODE
AND ALL APPLICABLE REGULATIONS
AND REQUIREMENTS.

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING



LEFT SIDE ELEVATION 3

ALLOWABLE GLAZING

WALL AREA

WALL AREA		42050
ALLOWABLE WINDOW AREA @	7.00 % (1.2 M SIDEYARD)	49.44
ACTUAL WINDOW AREA		6650

WOODCROFT 4-056

ENERGY STAR

5.		
4.		
3.		
2.	ISSUED FOR REVIEW	FEB 2016
1.	UPDATED FROM ROSEHILL 3	OCT 2016
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
28770
BCIN
SIGNATURE

REGION DESIGN INC.
6700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S8
P (416) 735-0088
F (800) 680-0746

REGION
DESIGN
INC.

SHEET TITLE
UPGRADED
LEFT SIDE ELEVATION 3

SCALE
3/16"=1'-0"

DATE
JULY 2019

BY
ZMP

AREA
3559

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

PAGE No.
5

PROJECT NAME
LAMBERTS LANE II

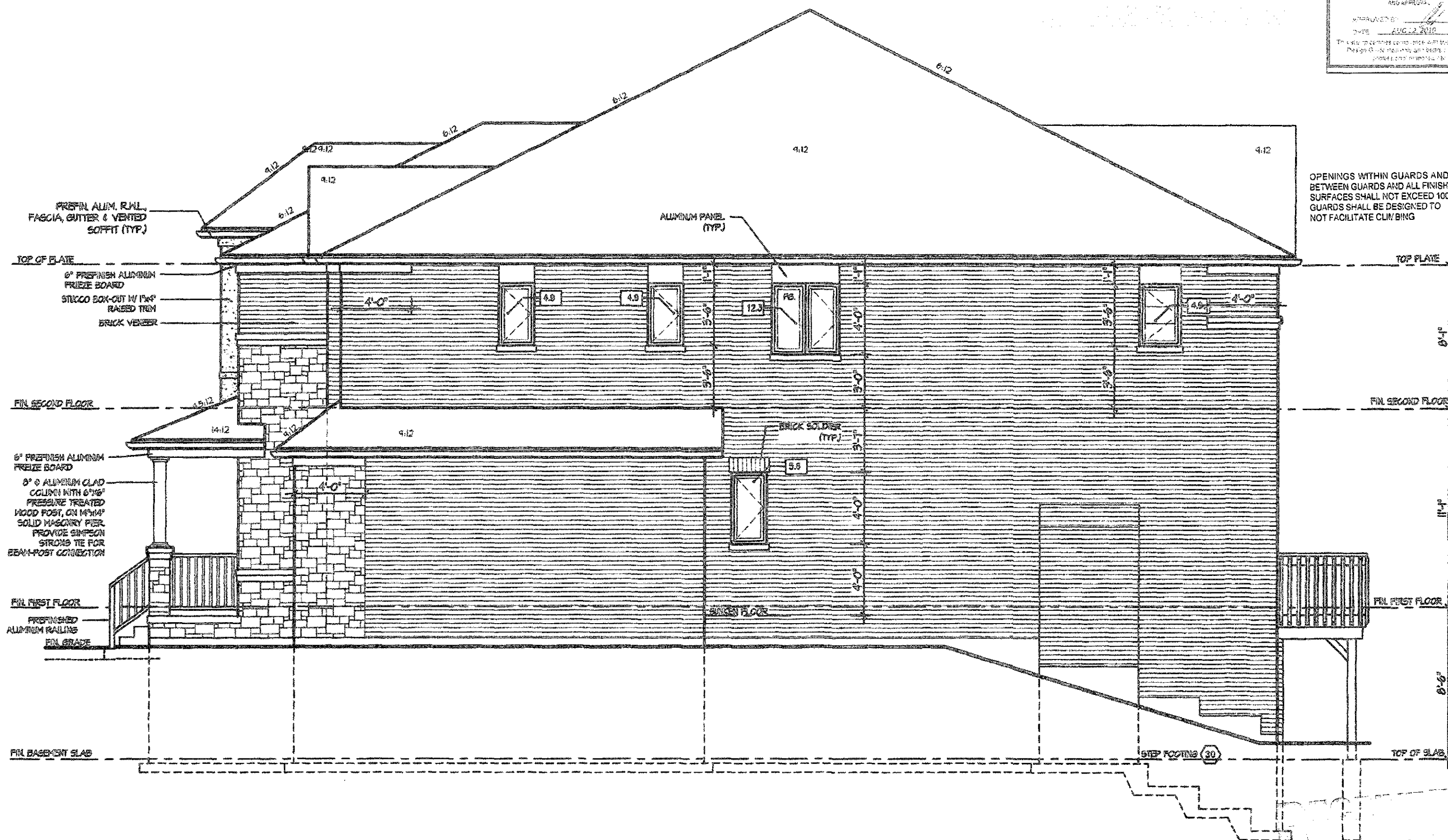
Greenpark.

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: AUG 12 2019
The undersigned certifies that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING



RIGHT SIDE ELEVATION 3

ALLOWABLE GLAZING

WALL AREA		
WALL AREA		181.80
ALLOWABLE WINDOW AREA @ 700 % (1.2 M SIDEYARD)		92.25
ACTUAL WINDOW AREA		32.60

WOODCROFT 4-056

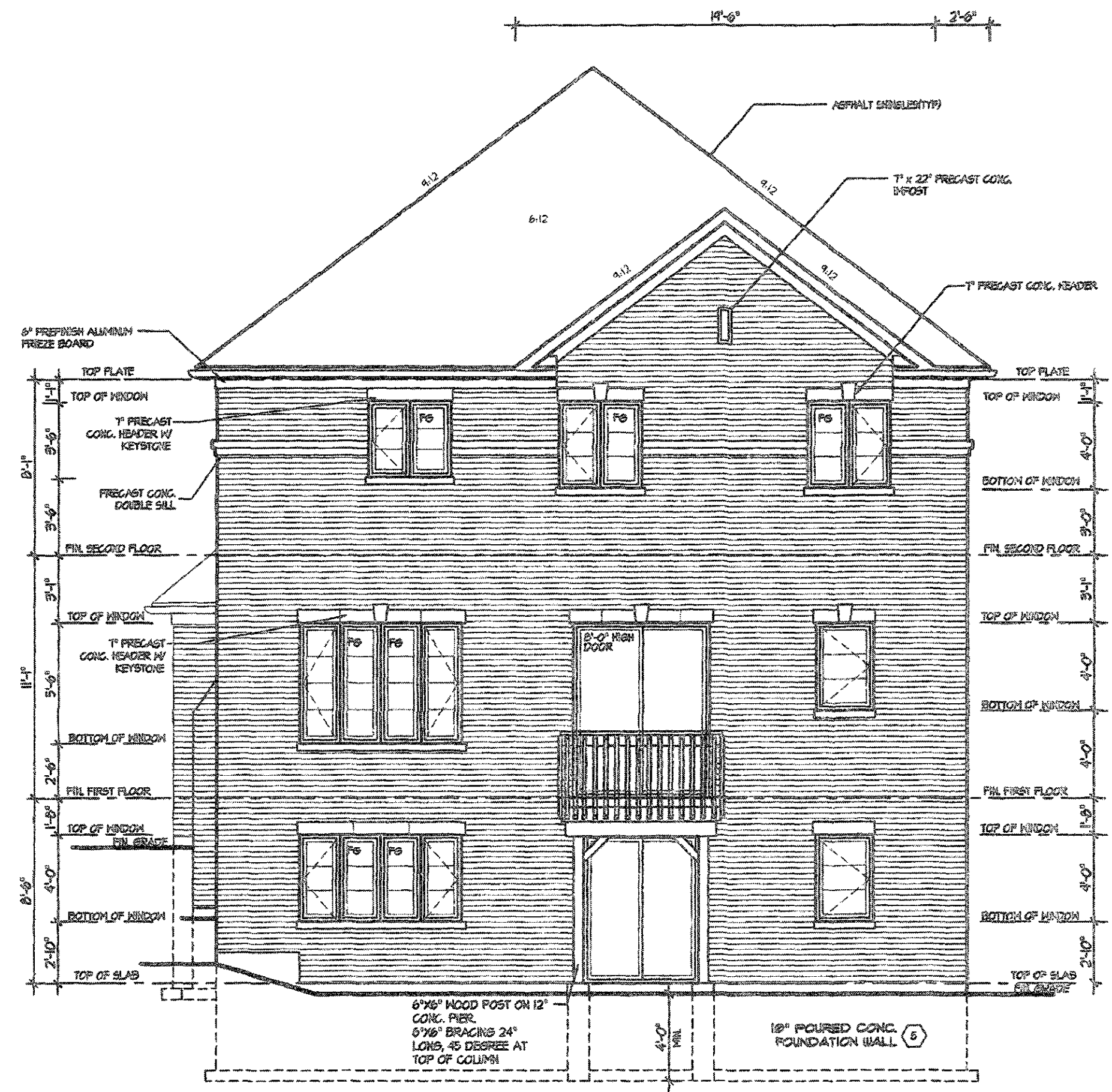
ENERGY STAR

5.			The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR NAME SIGNATURE 28770 BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 738-4086 F (905) 660-0746	SHEET TITLE UPGRADED RIGHT SIDE ELEVATION 3		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.
4.					SCALE 3/16"=1'-0"	BY ZMP	
3.					DATE JULY 2019	AREA 3559	
2.					PAGE No. 6		
1.	REVISED FOR LOT 56	JULY 2018			PROJECT NAME LAMBERTS LANE II		
REVISIONS							

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

JOHN C. WILLIAMS LTD., ARCHITECT
APPROVED BY: [Signature]
DATE: JUL 22, 2019
This document is the property of the Architect. Design documents shall not be reproduced or used for any other project without the written consent of the Architect.



UPGRADED REAR ELEVATION 3

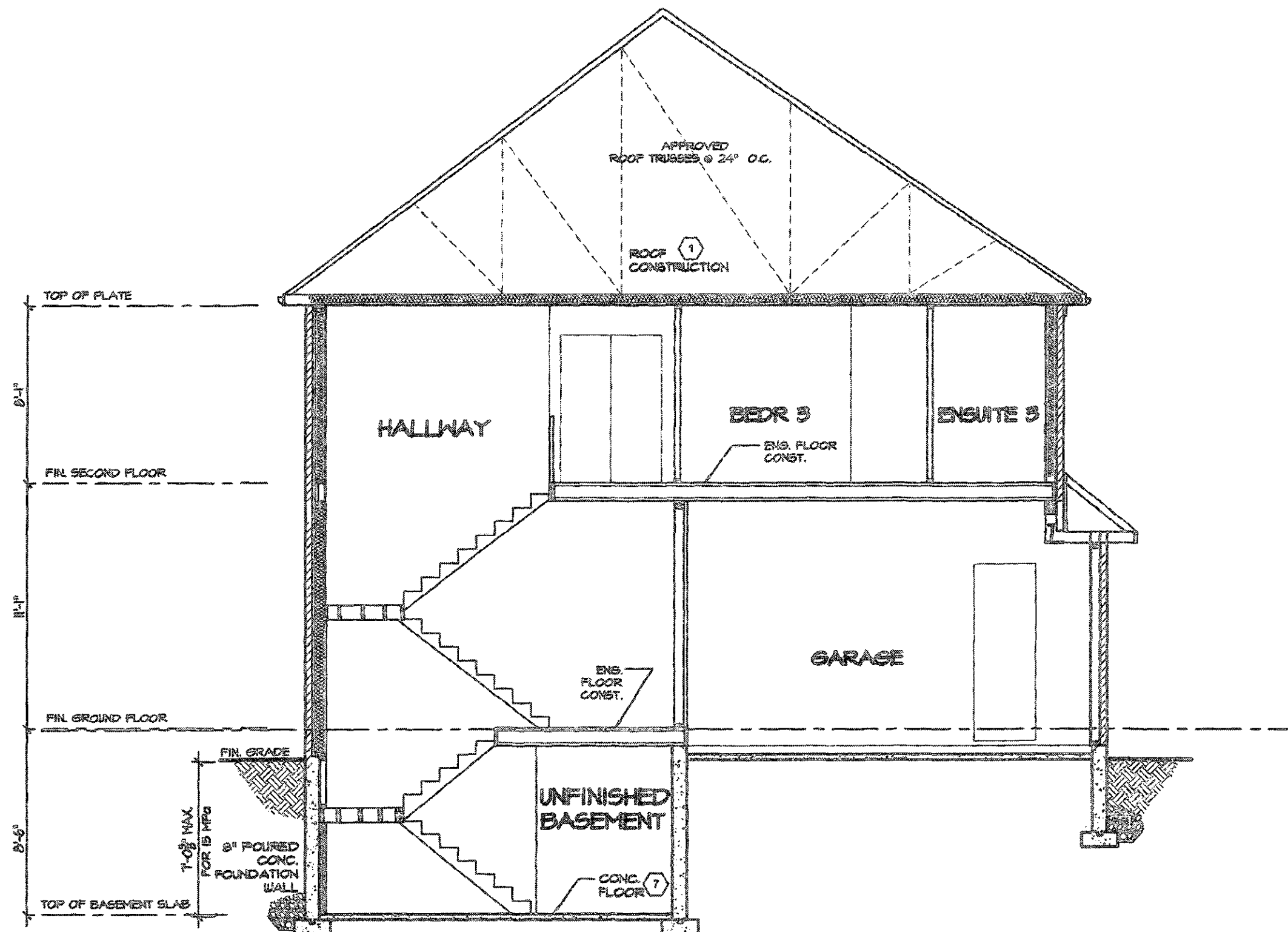
THIS STRUCTURE MUST BE
CONSTRUCTED IN ACCORDANCE WITH
THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

APPROVED BY: [Signature]
DATE: JUL 22, 2019
TOWN OF CALEDON
RECEIVED
FILE NO.

WOODCROFT 4-056
ENERGY STAR

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJIAK  28770 BCIN NAME SIGNATURE	REGION DESIGN INC. 6700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 735-6096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. PAGE No. 7	 Greenpark. PROJECT NAME LAMBERTS LANE II
4.					UPGRADED REAR ELEVATION 3			
3.					SCALE	BY		
2.					3/16"=1'-0"	ZMP		
1. REVISED FOR LOT 56					DATE	AREA		
REVISIONS		JULY 2019			JULY 2019	3559		

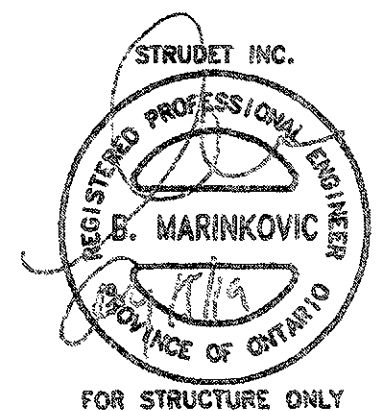


CROSS SECTION

THIS STRUCTURE MUST BE
CONSTRUCTED IN ACCORDANCE
WITH THE REQUIREMENTS OF
THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
FILE NO.



FOR STRUCTURE ONLY

WOODCROFT 4-056

AUG 4 6 2019

E N E R G Y S T A R

5. 4. 3. 2. 1. REVISED FOR LOT 58 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 9.2.5 of the building code VIKAS GAJJAR NAME SIGNATURE 28770 BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 758-4090 F (805) 663-6746	REGION DESIGN INC.	SHEET TITLE CROSS SECTION SCALE 3/16"=1'-0" BY ZMP DATE JULY 2019 AREA 3559	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENSING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. PAGE No. 8	Greenpark. PROJECT NAME LAMBERTS LANE II
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