

## STRIP FOOTINGS FOR SINGLES AND SEMIS UP TO 2 STOREY

### 120 KPa NATIVE SOIL

20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.  
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

### 90 KPa ENGINEERED FILL SOIL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW FOUNDATION WALLS.  
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.

### 100 KPa NATIVE SOIL

22"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS  
28"x10" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS  
OR  
28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS

### GENERAL NOTE:

ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa FOR ENGINEERED FILL. TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL FOOTING DETAIL FOR REINFORCEMENT.

(REFER TO ENG. FILL FOOTING DETAIL)

## PAD FOOTING

### 120 KPa NATIVE SOIL

F1 = 42"x24"x18" CONCRETE PAD  
F2 = 36"x36"x18" CONCRETE PAD  
F3 = 30"x30"x12" CONCRETE PAD  
F4 = 24"x24"x12" CONCRETE PAD  
F5 = 18"x18"x8" CONCRETE PAD

### 90 KPa ENGINEERED FILL SOIL

F1 = 48"x48"x20" CONCRETE PAD  
F2 = 40"x40"x16" CONCRETE PAD  
F3 = 34"x34"x14" CONCRETE PAD  
F4 = 28"x28"x12" CONCRETE PAD  
F5 = 18"x18"x8" CONCRETE PAD

### 100 KPa NATIVE SOIL

F1 = 48"x48"x20" CONCRETE PAD  
F2 = 38"x38"x16" CONCRETE PAD  
F3 = 32"x32"x14" CONCRETE PAD  
F4 = 26"x26"x12" CONCRETE PAD  
F5 = 17"x17"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

### NOTE:

WHEN VENEER CUT IS GREATER THAN 28" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.

### NOTE:

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

## BRICK VENEER LINTELS:

WL1 = 3 1/2" x 3 1/2" x 1 1/4" (90x90x4) - 2-2"x8" SPR  
WL2 = 4 3/4" x 3 1/2" x 1 1/4" (100x90x4) - 2-2"x8" SPR  
WL3 = 5 3/4" x 3 1/2" x 1 1/4" (125x90x4) - 2-2"x10" SPR  
WL4 = 6 3/4" x 3 1/2" x 3/8" (150x90x10) - 2-2"x12" SPR  
WL5 = 8 3/4" x 3 1/2" x 3/8" (150x100x10) - 2-2"x12" SPR

WL6 = 5 3/4" x 3 1/2" x 5/16" (125x90x4) - 2-2"x12" SPR  
WL7 = 5 3/4" x 3 1/2" x 5/16" (125x90x4) - 2-2"x10" SPR  
WL8 = 5 3/4" x 3 1/2" x 5/16" (125x90x4) - 2-2"x12" SPR  
WL9 = 6 3/4" x 3 1/2" x 3/8" (150x100x10) - 2-2"x12" SPR

## WOOD LINTELS:

WB1 = 2-2" x 8" SPRUCE BEAM  
WB2 = 3-2" x 8" SPRUCE BEAM  
WB3 = 2-2" x 10" SPRUCE BEAM  
WB4 = 3-2" x 10" SPRUCE BEAM  
WB5 = 2-2" x 12" SPRUCE BEAM  
WB6 = 3-2" x 12" SPRUCE BEAM  
WB7 = 5-2" x 12" SPRUCE BEAM  
WB8 = 4-2" x 8" SPRUCE BEAM  
WB9 = 4-2" x 10" SPRUCE BEAM

## STEEL LINTELS:

L1 = 3 1/2" x 3 1/2" x 1 1/4" (90x90x4)  
L2 = 4 3/4" x 3 1/2" x 1 1/4" (100x90x4)  
L3 = 5 3/4" x 3 1/2" x 1 1/4" (125x90x4)  
L4 = 6 3/4" x 3 1/2" x 3/8" (150x90x10)  
L5 = 8 3/4" x 3 1/2" x 3/8" (150x100x10)  
L6 = 7 3/4" x 4" x 3/8" (180x100x10)

## LAMINATED VENEER LUMBER (LVL BEAMS)

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)  
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)  
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)  
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)  
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)  
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)  
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)  
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)  
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)  
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)  
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)  
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)  
LVL8 = 2-1 3/4" x 14" (2-45x350)  
LVL9 = 3-1 3/4" x 14" (3-45x350)

## DOOR SCHEDULE:

1 = 2'-10" x 6'-8" INSULATED ENTRANCE DOOR  
1A = 2'-8" x 6'-8" INSULATED ENTRANCE DOOR  
2 = 2'-8" x 6'-8" EXTERIOR GLAZED DOOR  
3 = 2'-8" x 6'-8" SLAB DOOR (1 3/8" EXTERIOR)  
4 = 2'-8" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)  
5 = 2'-8" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)  
6 = 2'-2" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)  
7 = 1'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)  
8 = 2'-6" x 6'-8" BI-FOLD (1 3/8" INTERIOR)  
9 = 3'-0" x 6'-8" BI-FOLD (1 3/8" INTERIOR)  
10 = 2'-2" x 6'-8" BI-FOLD (1 3/8" INTERIOR)  
11 = 2'-2" x 6'-8" BI-FOLD (1 3/8" INTERIOR)  
12 = 2'-6" x 6'-8" FRENCH DOOR (1 3/8" INTERIOR)

## LEGEND:

- BUILDING FACE < 4' (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE
- LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE CHANG BUILDING CODE

## AREA CALCULATIONS EL-1

|                        |   |               |
|------------------------|---|---------------|
| FIRST FLOOR AREA       | = | 1195 Sq. Ft.  |
| SECOND FLOOR AREA      | = | 1503 Sq. Ft.  |
| TOTAL FLOOR AREA       | = | 2698 Sq. Ft.  |
| ADD OPEN AREAS         | = | 12 Sq. Ft.    |
| ADD FIN. BASEMENT AREA | = | 0 Sq. Ft.     |
| GROSS FLOOR AREA       | = | 2710 Sq. Ft.  |
| GROUND FLOOR COVERAGE  | = | 1195 Sq. Ft.  |
| GARAGE COVERAGE / AREA | = | 377 Sq. Ft.   |
| PORCH COVERAGE / AREA  | = | 60 Sq. Ft.    |
| COVERAGE W/ PORCH      | = | 1632 Sq. Ft.  |
| COVERAGE W/O PORCH     | = | 1572 Sq. Ft.  |
| COVERAGE W/O PORCH     | = | 146.0 Sq. Ft. |

## BARTON 4 ELEV.-1

## ENERGY EFFICIENCY- ENERGY STAR

| ELEVATION  | WALL FT² | OPENING FT² | PERCENTAGE |
|------------|----------|-------------|------------|
| FRONT      | 577.00   | 69.00       | 11.99 %    |
| LEFT SIDE  | 1200.00  | 69.00       | 5.75 %     |
| RIGHT SIDE | 1205.00  | 42.00       | 3.48 %     |
| REAR       | 585.00   | 120.00      | 20.51 %    |
| TOTAL      | 3589.00  | 300.00      | 8.41 %     |

2710

11.0m LOTS

BARTON 4-34(GR)  
ELEVATION 1

ENERGY STAR

O.REG. 332/12

STRUDET INC.



FOR STRUCTURAL ONLY

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO ARCHITECT OR GROUP PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR MECHANICAL INFORMATION SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS ON SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS ON SITE.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT SURVEY WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS ON SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS ON SITE.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

| No. | DATE          | WORK DESCRIPTION                                     |
|-----|---------------|------------------------------------------------------|
| 7   |               |                                                      |
| 6   |               |                                                      |
| 5   |               |                                                      |
| 4   |               |                                                      |
| 3   | JULY 23, 2019 | DRAWING FOR LOT 34 ADDED TO SET                      |
| 2   | JAN. 17, 2019 | ISSUED FOR BUILDING PERMIT                           |
| 1   | OCT. 15, 2018 | COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT |

**jardin**  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 2.2.4 of the Building Code.

Walter Butler 21031  
NAME SIGNATURE

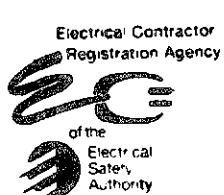
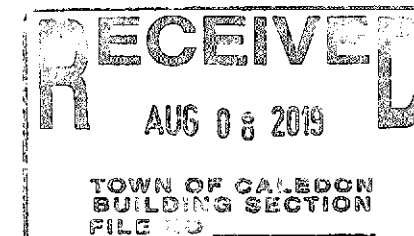
REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection 2.2.4 of the Building Code.

Jardin design group inc. 27763  
FIRM NAME SIGNATURE

TITLE SHEET

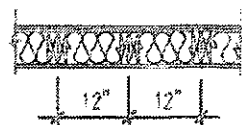
LAMBERTS LANE PHASE 2  
TOWN OF CALEDON

| TYPE     | AREA          |
|----------|---------------|
| T        |               |
| SCALE:   | 3/16" = 1'-0" |
| PROJ. NO | 18-18         |
| DWG. NO  | 0             |



ALL ELECTRICAL INSTALLATIONS MUST BE INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY. SEPARATE INSPECTION APPLICATIONS MUST BE FILED FOR MORE INFORMATION PLEASE CALL: ELECTRICAL SAFETY AUTHORITY 1-877-ESA-SAFE (372-7233). PLUG IN SAFELY. HIRE A LICENSED ELECTRICAL CONTRACTOR. FIND A CONTRACTOR AT www.plugsafely.ca

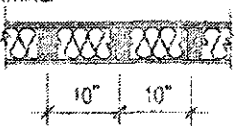
2-2"x8" STUD WALL NAILED TOGETHER AND SPACED @ 12" O.C. FULL HT. C/W SOLID BLOCKING 4'-0" O.C. VERTICAL AND 7'-10" EXT. PLYWOOD SHEATHING



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

**TWO STOREY HEIGHT WALL DETAIL**

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1 SE STUD WALL GLUED AND NAILED TOGETHER AND SPACED MAX @ 12" O.C. FULL HT. C/W SOLID BLOCKING MAX 8'-0" O.C. VERTICAL AND 7'-10" EXT. OSB SHEATHING



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-0" AND MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

**TWO STOREY HEIGHT WALL DETAIL**

**NOTE:**  
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

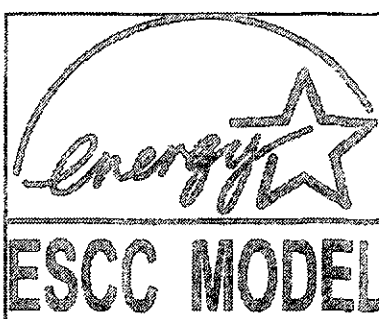
**NOTE:**  
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7'. 2 ROWS FOR SPANS GREATER THAN 7'

**NOTE:**  
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

**NOTE:**  
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING

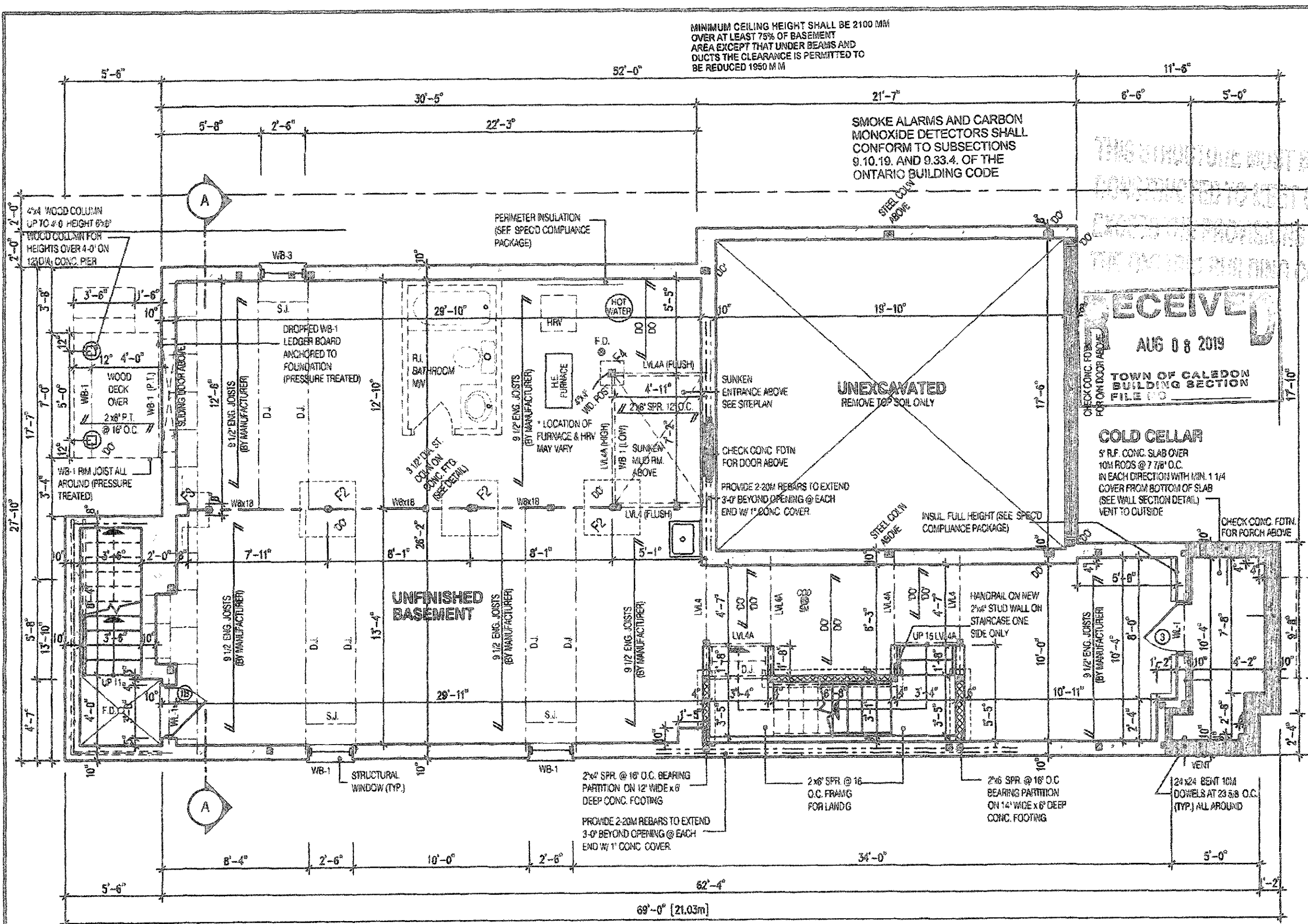
| COMPONENT                                    | NOTE                                                                                                                          |
|----------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------|
| CEILING WITH ATTIC SPACE                     | 10.56 (R60)                                                                                                                   |
| CEILING WITHOUT ATTIC SPACE                  | 5.46 (R31)                                                                                                                    |
| EXPOSE FLOOR                                 | 5.46 (R31)                                                                                                                    |
| WALLS ABOVE GRADE                            | 4.75 (R22-R5)                                                                                                                 |
| BASEMENT WALLS                               | 3.52 (R20 BLANKET)                                                                                                            |
| EDGE OF BELOW GRADE SLAB < 600mm BELOW GRADE | 1.76 (R10)                                                                                                                    |
| SLAB < 600mm BELOW GRADE                     | 1.76 (R10)                                                                                                                    |
| WINDOWS & SLIDING GLASS DOORS                | ENERGY STAR @ ZONE 2 (ER 20JUL 1,4)                                                                                           |
| SPACE HEATING EQUIPMENT                      | MIN. 98% AFUE                                                                                                                 |
| GAS FIREPLACE                                | ELECTRONIC SPARK IGNITION                                                                                                     |
| HVAC MINIMUM EFFICIENCY                      | TIER 2 75% SRE ENERGY STAR @ HVAC TO BE INTERCONNECTED TO THE FURNACE FAN MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/AIR |
| HOT WATER TANK                               | CONDENSING HOT WATER TANK 80% TE ENVIRONMENT                                                                                  |
| DRAIN WATER HEAT RECOVERY                    | TWO SHOWERS > 42% STEADY R3-42 OR TO342                                                                                       |
| AIR TIGHTNESS MUST MEET MINIMUM              | DETACHED LEVEL 1 (2.5 ACH50.18 NLIR) ATTACHED LEVEL 1 (3.0 ACH50.26 NLIR)                                                     |
| DUCT SEALING                                 | ALL SUPPLY DUCTS AND 1 m OF RETURN DUCTS                                                                                      |
| LIGHTS                                       | 75% CFLs OR LEDs                                                                                                              |



ENERGY STAR - V 17

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.



2710  
11.0m LOTS  
BARTON 4-34(GR)  
ELEVATION 1  
ENERGY STAR  
O.REG. 332/12

STRUDET INC.  
REGISTERED PROFESSIONAL ENGINEER  
B. MARINKOVIC  
PROVINCE OF ONTARIO

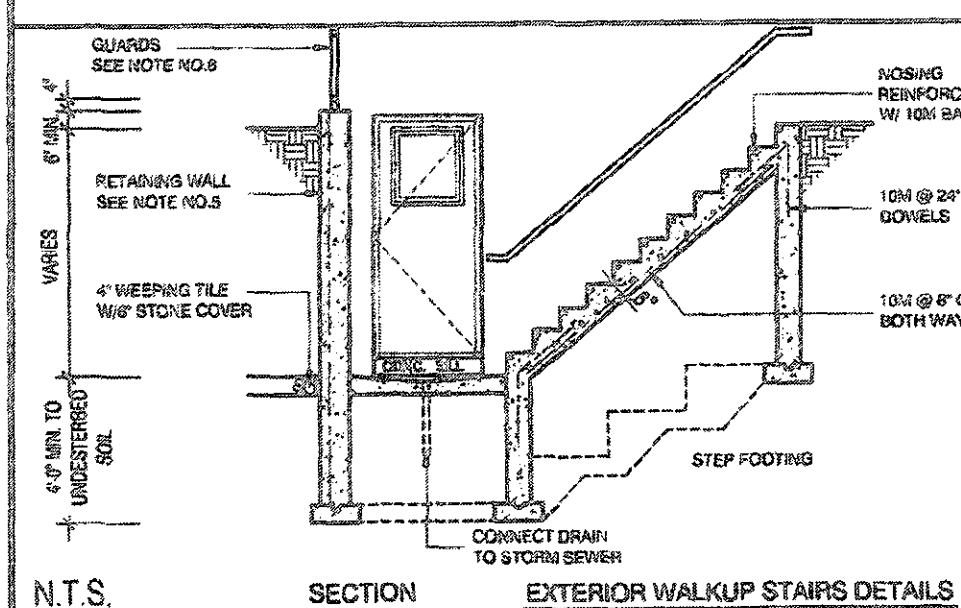
FOR STRUCTURAL ONLY  
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO ARCHITECT OR GROUP PRIOR TO COMMENCEMENT OF WORK. ARCHITECT'S DESIGN GROUPING IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY OR CONSTRUCTION INFORMATION PROVIDED BY THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. READ TO THE ARCHITECT'S UNDERSIGNED'S CHARGES TO CH. 100-1 AND WITH WORK TO BE COMPLETED BEFORE THE WORKING PERIOD TO POLYMER COATINGS. ARCHITECT'S DESIGN GROUPING HAS NOT BEEN ADVISED TO CARRY OUT SURVEY OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE VALUES OF THE CONSTRUCTION TO BE COMPLETED TO COMPLY WITH THE ARCHITECT'S UNDERSIGNED'S CH. 100-1 AND CH. 100-2. THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF ARCHITECT'S DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

|   |               |                                                       |
|---|---------------|-------------------------------------------------------|
| 7 |               |                                                       |
| 6 |               |                                                       |
| 5 |               |                                                       |
| 4 | JULY 23, 2019 | DRAWING FOR LOT 34 ADDED TO SET                       |
| 3 | JUNE 28, 2019 | REVISED LVL PER CITY COMMENT REISSUED TO CLIENT       |
| 2 | JAN. 17, 2019 | ISSUED FOR BUILDING PERMIT                            |
| 1 | OCT. 15, 2018 | COMPLETED TO PRE-COORDINATION STAGE. ISSUED TO CLIENT |

No. DATE: WORK DESCRIPTION:  
**jardin**  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  
QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 2.2.5 of the building code.  
Walter Boffer *WBE* 21031  
NAME SIGNATURE BCIN  
REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection 2.2.5 of the building code.  
jardin design group inc. 27763  
FIRM NAME BCIN

**BASEMENT PLAN EL-1**  
LAMBERTS LANE PHASE 2  
TOWN OF CALEDON  
TYPE T AREA ---  
SCALE: 3/16" = 1'-0"  
PROJ. No. 08-18 DWG. No. 1



- GENERAL NOTES:**
- FOOTING**  
24"x8" POURED CONC. FOOTING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL.
  - CONCRETE**  
MINIMUM COMPRESSIVE STRENGTH OF 32 MPa (4650 psi) @ 28 DAYS W/ 5% TO 8% AIR ENTRAINMENT.
  - EXTERIOR STAIRS**  
7 7/8" RISE MAXIMUM  
8 1/4" RUN MINIMUM  
9 1/4" TREAD MINIMUM
  - INSULATION**  
FOR INSULATION VALUE & VAPOUR BARRIER LOCATION REFER TO NOTE 13 OF STANDARD NOTES.
  - RETAINING WALL**  
10" POURED CONCRETE W/ NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 4'-7". PROVIDE 18M VERTICAL REINFORCEMENT @ 16" O.C. AND 18M HORIZONTAL REINFORCEMENT @ 24" O.C. FOR WALL HEIGHTS TO 7'-0". RETAINING WALL TO RESIST LATERAL DESIGN LOADS AS PER OBC DIVISION B SECTION 4.1.5.18.
  - GUARDS**  
3'-0" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11". 2'-11" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS.

**NOTE:**  
REFER TO SHEET NO. 0- FOR LINTEL BEAMS AND DOOR SIZE

**NOTE:**  
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

**NOTE:**  
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

**NOTE:**  
WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED. (FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)

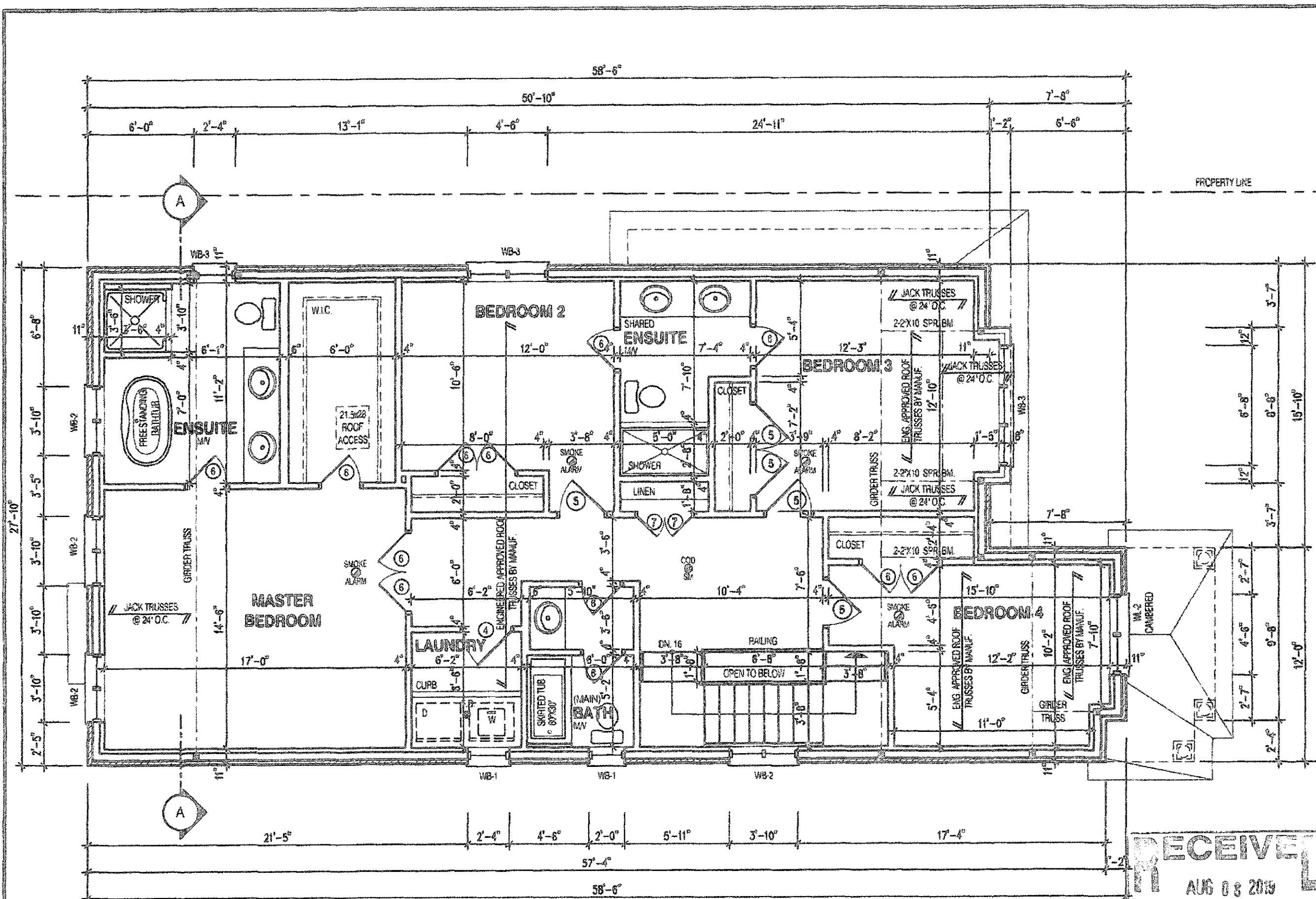
**NOTE:**  
SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL  
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for obtaining or approving site (lotting) plans or zoning drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on the lot.

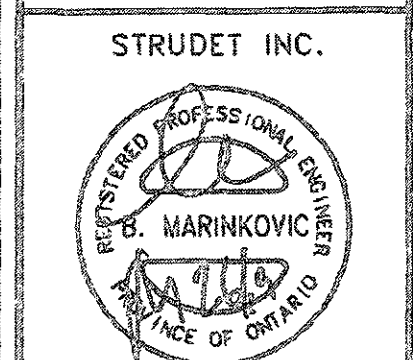
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN C. WILLIAMS LTD., ARCHITECT  
REGISTERED PROFESSIONAL ARCHITECT  
AND APPROVAL  
APPROVED BY: *[Signature]*  
DATE: AUG 25, 2019  
The stamp certifies compliance with the Architectural Design Guidelines approved by the Town of Caledon.





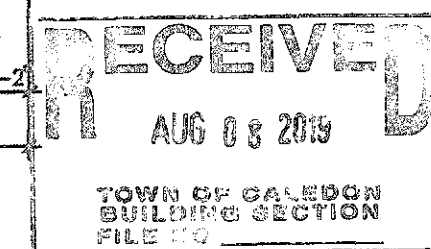
2710  
11.0m LOTS  
BARTON 4-34(GR)  
ELEVATION 1  
ENERGY STAR  
O.REG. 332/12



FOR STRUCTURAL ONLY

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY TO THE CONTRACTOR'S CREDIT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF CALEDON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF CALEDON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF CALEDON.

| NO. | DATE          | WORK DESCRIPTION                                   |
|-----|---------------|----------------------------------------------------|
| 7   |               |                                                    |
| 6   |               |                                                    |
| 5   |               |                                                    |
| 4   |               |                                                    |
| 3   | JULY 23, 2019 | DRAWING FOR LOT 34 ADDED TO SET                    |
| 2   | JAN. 17, 2019 | ISSUED FOR BUILDING PERMIT                         |
| 1   | OCT. 15, 2018 | COMPLETED PRE-COORDINATION STAGE, ISSUED TO CLIENT |



**jardin**  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 2.2.3 of the building code.

Walter Boller 21031  
NAME SIGNATURE BOLL

REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection 2.2.4 of the building code.

jardin design group inc. 27763  
FIRM NAME BOLL

SECOND FL. PLAN EL-1  
LAMBERTS LANE PHASE 2  
TOWN OF CALEDON

| TYPE | AREA |
|------|------|
| T    | ---  |

SCALE: 3/16" = 1'-0"

| PROJ. No | DWG. No |
|----------|---------|
| 08-18    | 3       |

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

- LEGEND:**
- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
  - INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
  - STL. PLATE FOR STEEL COLN ABOVE
  - LVL LAMINATED VENEER LUMBER
  - SJ SINGLE JOIST
  - DJ DOUBLE JOIST
  - TJ TRIPLE JOIST
  - REPEAT NOTE
  - SHOWER WEEPERS

**NOTE:**  
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

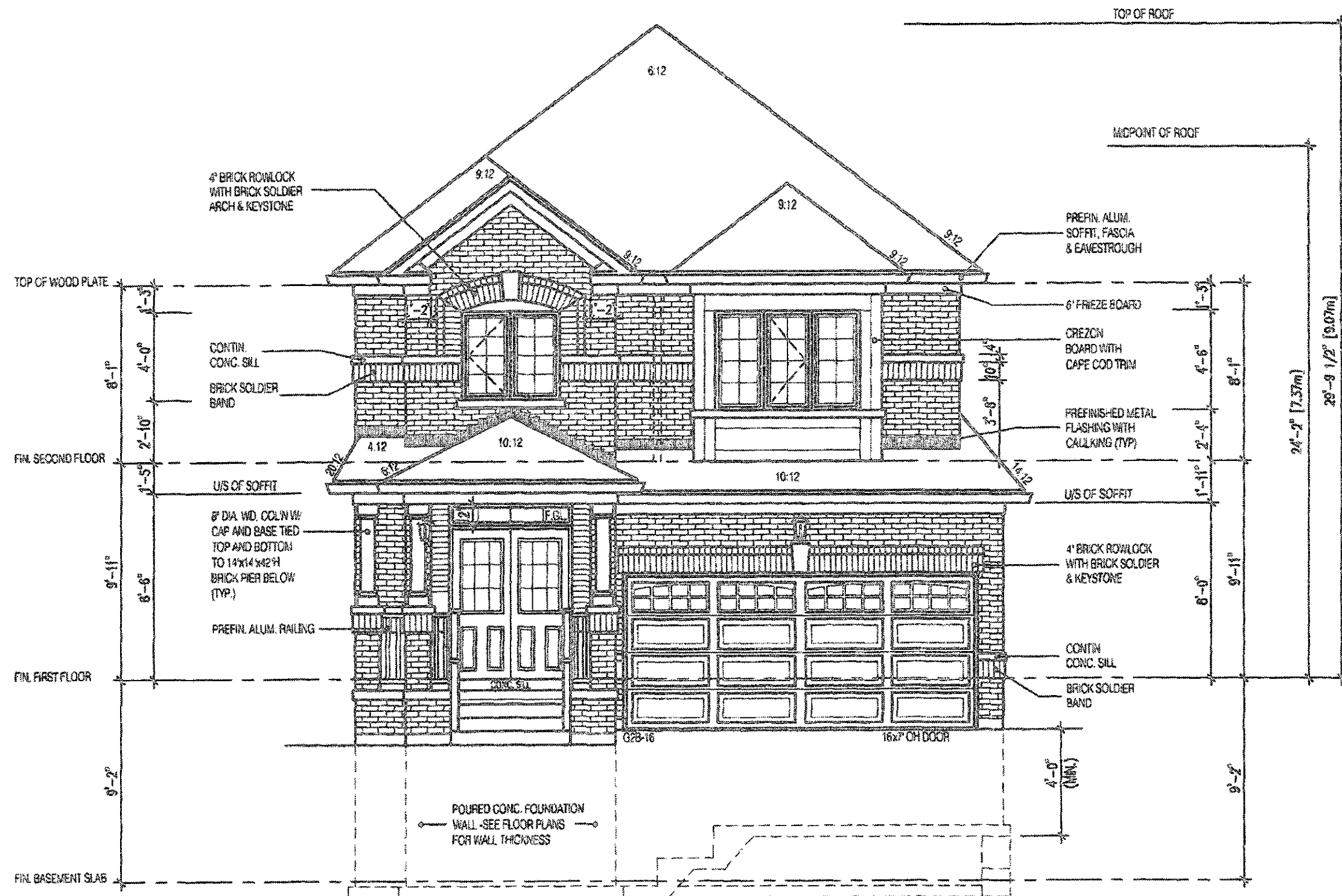
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

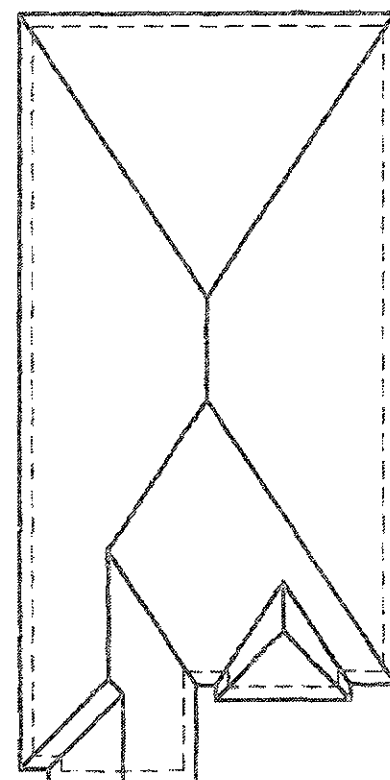
JOHN C. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: [Signature]  
DATE: AUG 08 2019

THIS PLAN IS VALID FOR 12 MONTHS FROM THE DATE OF APPROVAL. ANY CHANGES TO THE PLAN MUST BE APPROVED BY THE ARCHITECT.

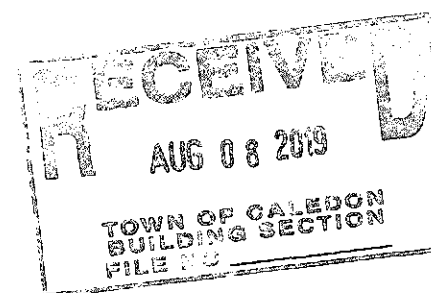


**BARTON 4-34  
ELEV-1**



**ROOF PLAN  
NTS**

OPENINGS WITHIN GUARDS AND SPACES  
BETWEEN GUARDS AND ALL FINISHED  
SURFACES SHALL NOT EXCEED 100 MM.  
GUARDS SHALL BE DESIGNED TO  
NOT FACILITATE CLIMBING



THIS STRUCTURE MUST BE  
CONSTRUCTED TO MEET OR  
EXCEED THE PROVISIONS OF  
THE ONTARIO BUILDING CODE

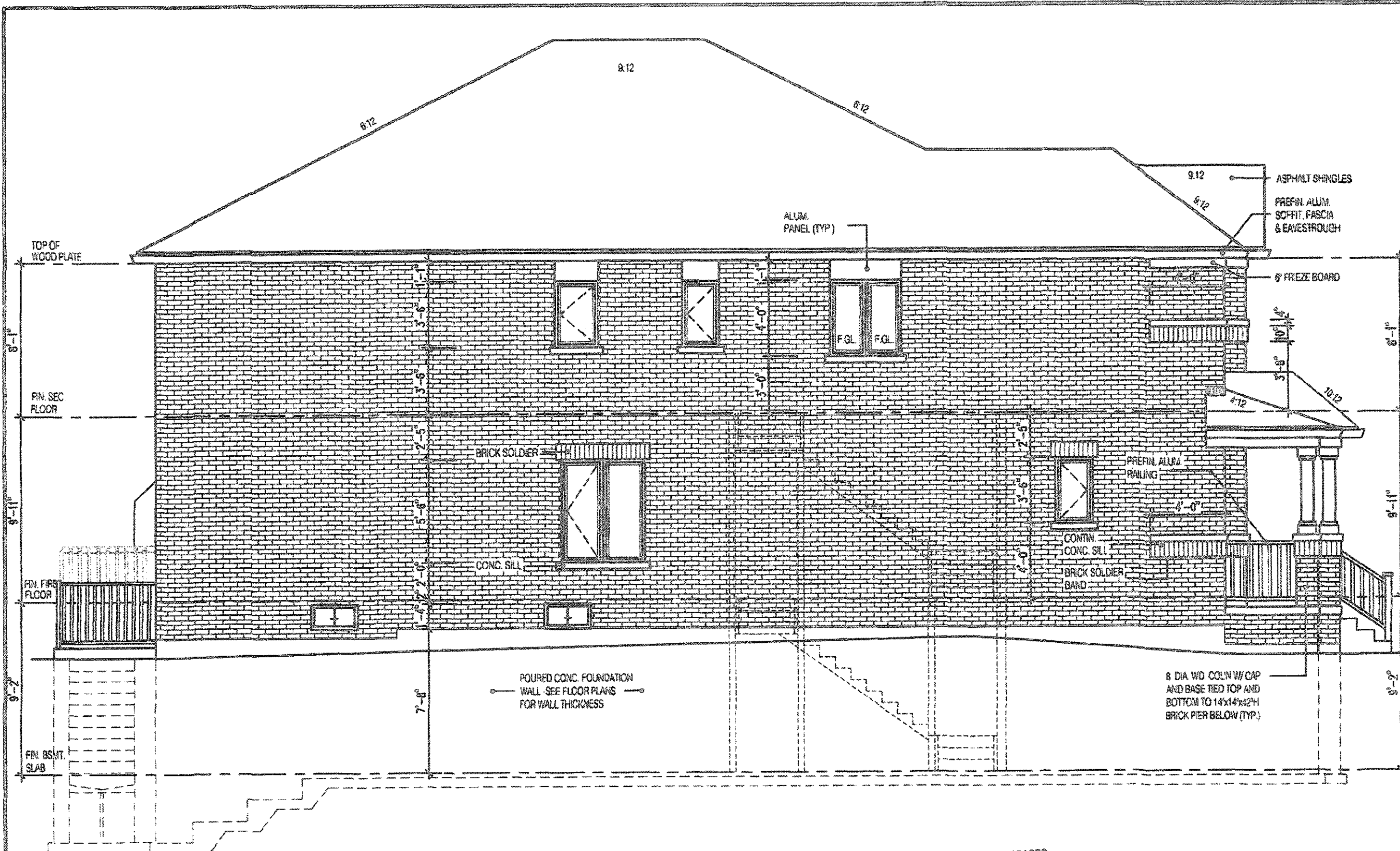
JUL 29 2019

It is the builder's complete responsibility to  
ensure that all plans submitted for approval  
fully comply with the Architectural Guidelines  
and all applicable regulations and requirements  
including zoning provisions and any provisions  
in the subdivision agreement. The Council  
Architect is not responsible in any way for  
examining or approving site (posting) plans or  
working drawings with respect to any zoning or  
building code or permit matter or that any  
house can be properly built or located on its lot.

This is to certify that these plans comply  
with the applicable Architectural Design  
Guidelines approved by the Town of  
CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: [Signature]  
DATE: AUG 05 2019  
THIS DRAWING IS THE PROPERTY OF JOHN G. WILLIAMS LTD. AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                                         |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------|
| 2710                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                                                         |
| 11.0m LOTS                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                         |
| BARTON 4-34(GR)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                                         |
| ELEVATION 1                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                                                                         |
| ENERGY STAR                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                                                                         |
| O.REG. 332/12                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |                                                                         |
| <p>THE CONSTRUCTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCY SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.</p> <p>JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF PLANS, STRUCTURAL OR MECHANICAL INFORMATION ON THESE DRAWINGS. INFORMATION FOR CONSTRUCTION MUST BE OBTAINED FROM THE SOURCE OF A BUILDING PERMIT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE SERVICES PROVIDED BY THE ARCHITECT AND NOT TO THE CONSTRUCTION OF THE BUILDING. THE ARCHITECT'S LIABILITY IS LIMITED TO THE SERVICES PROVIDED BY THE ARCHITECT AND NOT TO THE CONSTRUCTION OF THE BUILDING.</p> <p>JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT OR BE RESPONSIBLE FOR THE CONSTRUCTION OF THE BUILDING. THE ARCHITECT'S LIABILITY IS LIMITED TO THE SERVICES PROVIDED BY THE ARCHITECT AND NOT TO THE CONSTRUCTION OF THE BUILDING.</p> <p>THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF JARDIN DESIGN GROUP INC.</p> |                                                                         |
| 7                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                                                                         |
| 6                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                                                                         |
| 5                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                                                                         |
| 4                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                                                                         |
| 3                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | JULY 23, 2019   DRAWING FOR LOT 34<br>ADDED TO SET                      |
| 2                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | JAN. 17, 2019   ISSUED FOR BUILDING PERMIT                              |
| 1                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | OCT. 15, 2018   COMPLETED TO PRECOORDINATION<br>STAGE. ISSUED TO CLIENT |
| No.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | DATE WORK DESCRIPTION:                                                  |
| <p><b>Jardin</b><br/>DESIGN GROUP INC<br/>64 JARDIN DR. SUITE 3A<br/>VAUGHAN, ONT. L4K 3P3<br/>TEL: 905 660-3377 FAX: 905 660-3713<br/>EMAIL: info@jardindesign.ca</p> <p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION<br/>Registered under Design is exempt under Division C, Subsection 1.2.3 of the Building Code.</p> <p>Walter Botter [Signature] 21037<br/>NAME SIGNATURE (BCN)</p> <p>Registration Information<br/>Required unless Design is exempt under Division C, Subsection 1.2.3 of the Building Code.<br/>jardin design group inc. 27763<br/>FIRM NAME (BCN)</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                     |                                                                         |
| FRONT ELEVATION 1                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                                                                         |
| LAMBERTS LANE PHASE 2<br>TOWN OF CALEDON                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                                                                         |
| TYPE<br>T                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | AREA<br>---                                                             |
| SCALE<br>3/16"=1'-0"                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                                                         |
| PROJ. NO.<br>08-18                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        | DWG. NO.<br>4                                                           |

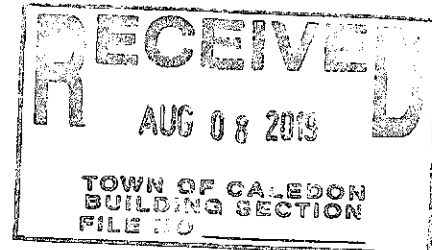


# **SIDE ELEVATION-1**

## **UNPROTECTED OPENINGS**

|                                            |        |   |
|--------------------------------------------|--------|---|
| WALL AREA                                  | 1200.0 | ⊕ |
| ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDEYARD) | 84.0   | ⊕ |
| ACTUAL GLASS AREA                          | 52.6   | ⊕ |

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING



THIS DOCUMENT MUST BE CONSIDERED TO BE THE PROPERTY OF THE TOWN OF CALEDON

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving any (typical) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Caledon.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL DESIGN REVIEW  
AND APPROVAL  
APPROVED BY: [Signature]  
DATE: 08/06/2019  
This document is the property of the Town of Caledon. It is to be used for the purpose of the building permit only and is not to be reproduced without the written consent of the Town of Caledon.

**2710**  
**11.0m LOTS**  
**BARTON 4-34(GR)**  
**ELEVATION 1**  
**ENERGY STAR**  
**O.REG. 332/12**

THE CONTRACTOR SHALL CHECK AND CORRECT ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO BARTON DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.  
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, ORIENTATION, OR MEASUREMENT INFORMATION ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFERENCE TO THE ARCHITECT'S EXISTING CONDITIONS OF THE PROJECT SHALL BE MADE BY THE CONTRACTOR AS NOTED ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.  
THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

| No. | DATE          | WORK DESCRIPTION                                     |
|-----|---------------|------------------------------------------------------|
| 7   |               |                                                      |
| 6   |               |                                                      |
| 5   |               |                                                      |
| 4   |               |                                                      |
| 3   | JULY 23, 2019 | DRAWING FOR LOT 34 ADDED TO SET                      |
| 2   | JAN. 17, 2019 | ISSUED FOR BUILDING PERMIT                           |
| 1   | OCT. 15, 2018 | COMPLETED TO PRECONSTRUCTION STAGE. ISSUED TO CLIENT |

**Jardin**  
**DESIGN GROUP INC**  
64 JARDIN DR. SUITE 3A  
VAUGHAN, ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

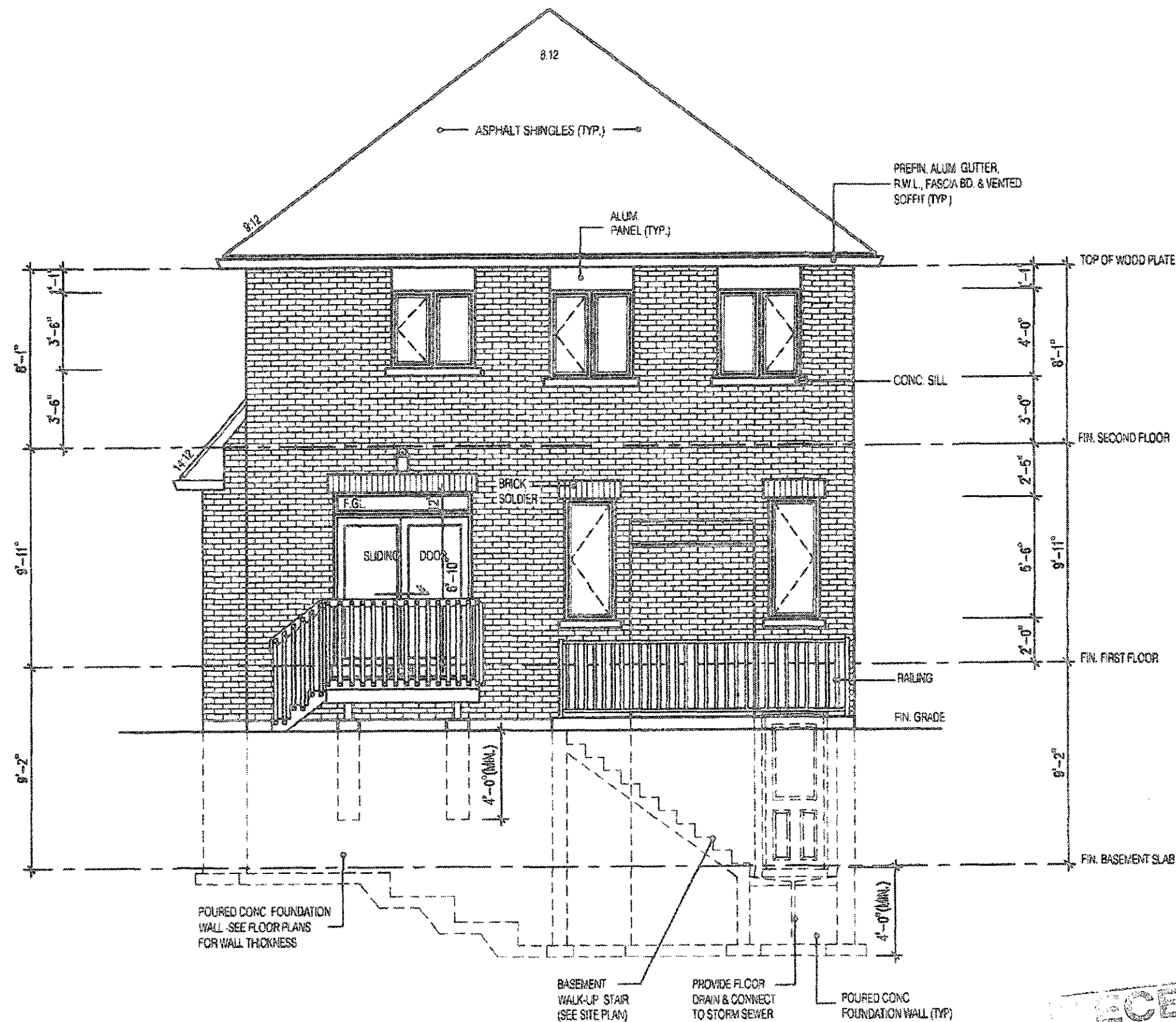
QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 1.2.3 of the building code.

**Walter Butler** 21031  
NAME SIGNATURE BCIN  
Required unless design is exempt under Division C, Subsection 1.2.4 of the building code.  
**Jardin design group inc.** 27763  
FIRM NAME BCIN

**SIDE ELEVATION 1**  
**LAMBERTS LANE PHASE 2**  
**TOWN OF CALEDON**

| TYPE      | AREA        |
|-----------|-------------|
| T         | ---         |
| SCALE:    | 3/16"=1'-0" |
| PROJ. No. | DWG No.     |
| 08-18     | 5           |

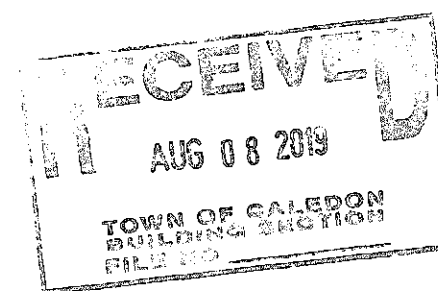




## REAR ELEVATION-1

FOR ADDITIONAL DECK STRUCTURE  
REFER TO PAGE 7 OF THE DETAIL PACKAGE

OPENINGS WITHIN GUARDS AND SPACES  
BETWEEN GUARDS AND ALL FINISHED  
SURFACES SHALL NOT EXCEED 100 MM.  
GUARDS SHALL BE DESIGNED TO  
NOT FACILITATE CLIMBING



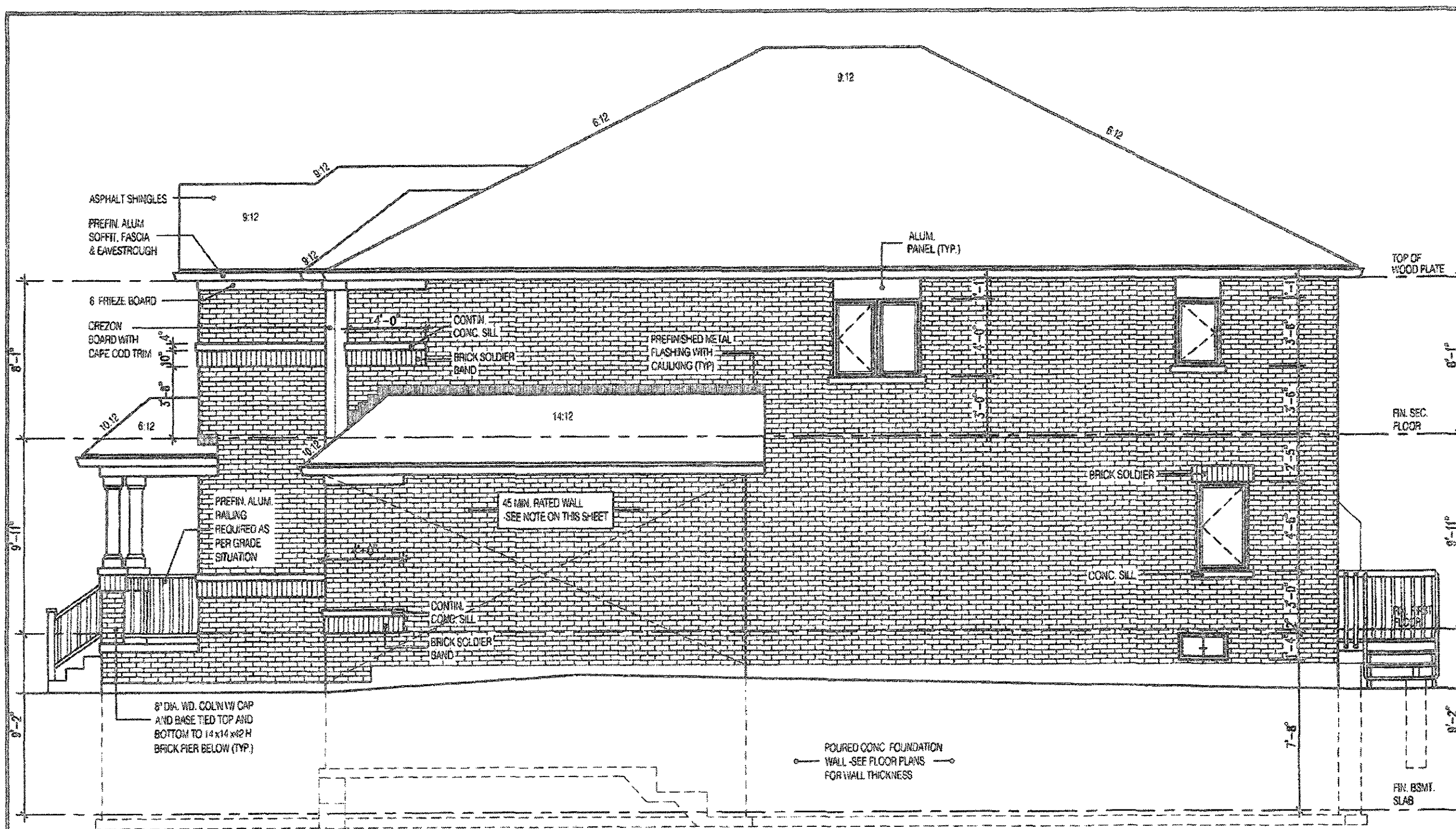
THIS STRUCTURE MUST BE  
CONSTRUCTED TO MEET OR  
EXCEED THE PROVISIONS OF  
THE 2012 BUILDING CODE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor/Architect is not responsible in any way for examining or approving any (noting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Caledon.

ROBIN C. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: *[Signature]*  
DATE: AUG 06, 2019  
This stamp certifies compliance with the applicable Architectural Design Guidelines approved by the Town of Caledon.

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                                                  |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------|
| 2710                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |                                                                  |
| 11.0m LOTS                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                                  |
| BARTON 4-34(GR)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                                                  |
| ELEVATION 1                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |                                                                  |
| ENERGY STAR                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |                                                                  |
| O.REG. 332/12                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                                                                  |
| <p>THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.</p> <p>JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION VARIATIONS FROM THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPLICABLE LOCAL BUILDING DEPARTMENT FOR ALL REGULATIONS AND REQUIREMENTS. AS CONSTRUCTION PROGRESS MUST BE VERIFIED PRIOR TO FLOORING COMMENCEMENT.</p> <p>JARDIN DESIGN GROUP INC. HAS NOT REPRESENTED TO OBTAIN ANY CROWN ROYAL OR THE WORKING BELLEFLORE OR RESPONSIBILITY FOR THE FAILURE OF THE CONSTRUCTION OR THE CONSTRUCTION TO COMPLY WITH THE WORKING BELLEFLORE OR THE CONTRACT DOCUMENTS.</p> <p>THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.</p> |                                                                  |
| 7                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                  |
| 6                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                  |
| 5                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                  |
| 4                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                  |
| 3                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | JULY 23, 2019 DRAWING FOR LOT 34 ADDED TO SET                    |
| 2                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | JUN 17, 2019 ISSUED FOR BUILDING PERMIT                          |
| 1                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | OCT. 15, 2018 COMPLETED PRE-COORDINATION STAGE. ISSUED TO CLIENT |
| NO                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   | DATE WORK DESCRIPTION                                            |
| <p><b>jardin</b><br/>DESIGN GROUP INC<br/>64 JARDIN DR. SUITE 3A<br/>VAUGHAN ONT. L4K 3P3<br/>TEL: 905 660-3377 FAX: 905 660-3713<br/>EMAIL: info@jardindesign.ca</p> <p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION<br/>Required unless design is exempt under Division C, Subsection 1.2.5 of the building code.</p> <p><i>Walter Botter</i> 21031<br/>NAME SIGNATURE BCIN</p> <p>REGISTRAR'S INFORMATION<br/>Required unless design is exempt under Division C, Subsection 1.2.5 of the building code.</p> <p>jardin design group inc. 27763<br/>FIRM NAME BCIN</p>                                                                                                                                                                                                                                                                       |                                                                  |
| REAR ELEVATION 1                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |                                                                  |
| LAMBERTS LANE PHASE 2                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                  |
| TOWN OF CALEDON                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                                                  |
| TYPE                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | AREA                                                             |
| T                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                  |
| SCALE:                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | 3/16" = 1'-0"                                                    |
| PROJ. No                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             | DWG. No                                                          |
| 08-18                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | 6                                                                |



## **SIDE ELEVATION-1** **UNPROTECTED OPENINGS**

|                                           |        |   |
|-------------------------------------------|--------|---|
| WALL AREA                                 | 1206.0 | ⊘ |
| ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDYARD) | 84.4   | ⊘ |
| ACTUAL GLASS AREA                         | 32.3   | ⊘ |

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

### **BRICK VENEER CONSTRUCTION**

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

#### **45 MINUTE FIRE RATED WALL**

PROVIDE A CONTINUOUS LAYER 12.7mm (1/2") TYPE "X" GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE "X" & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE "X" IS INSTALLED IN GARAGE EXTERIOR WALLS.

(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)

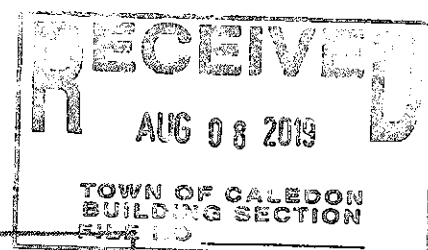
### **HEADER/RIM JOIST LEVEL**

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

#### **45 MINUTE FIRE RATED AT HEADER**

PROVIDE 15.5mm (5/8") TYPE "X" GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)



JUL 29 2019

It is the builder's complete responsibility to ensure that all items submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for executing or approving site (posting) plans or building drawings with respect to any zoning or building code or permit matter or that any houses can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN C. WILLIAMS LTD., ARCHITECT  
 ARCHITECTURAL CONTROL REVIEW  
 AND APPROVAL  
 APPROVED BY: [Signature]  
 DATE: AUG 06 2019  
 The stamp on this certificate with the applicable Design Guidelines will be the sole basis for the building department's review.

2710  
 11.0m LOTS  
 BARTON 4-34(GR)  
 ELEVATION 1  
 ENERGY STAR  
 O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND LOCATIONS ON ONE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DIMENSIONS SHALL BE RETURNED TO ARCHITECT ON OR BEFORE THE DATE OF COMPLETION OF WORK.  
 JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, OR PLANS OR FOR ANY INFORMATION SHOWN ON THESE DRAWINGS OR FOR ANY CONSTRUCTION STARTED PRIOR TO THE COMMENCEMENT OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DIMENSIONS OF THE LOT AND THE LOCATION OF THE LOT LINES. THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND FOR THE EXCLUSIVE USE OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED OR COPIED.

|   |               |                                                       |
|---|---------------|-------------------------------------------------------|
| 7 |               |                                                       |
| 6 |               |                                                       |
| 5 |               |                                                       |
| 4 |               |                                                       |
| 3 | JULY 23, 2019 | DRAWING FOR LOT 34 ADDED TO SET                       |
| 2 | JAN. 17, 2019 | ISSUED FOR BUILDING PERMIT                            |
| 1 | OCT. 15, 2018 | COMPLETED TO PRE-COORDINATION STAGE. ISSUED TO CLIENT |

No. DATE: WORK DESCRIPTION:

**jardin**  
 DESIGN GROUP INC  
 64 JARDIN DR. SUITE 3A  
 VAUGHAN ONT. L4K 3P3  
 TEL: 905 660-3377 FAX: 905 660-3713  
 EMAIL: info@jardindesign.ca

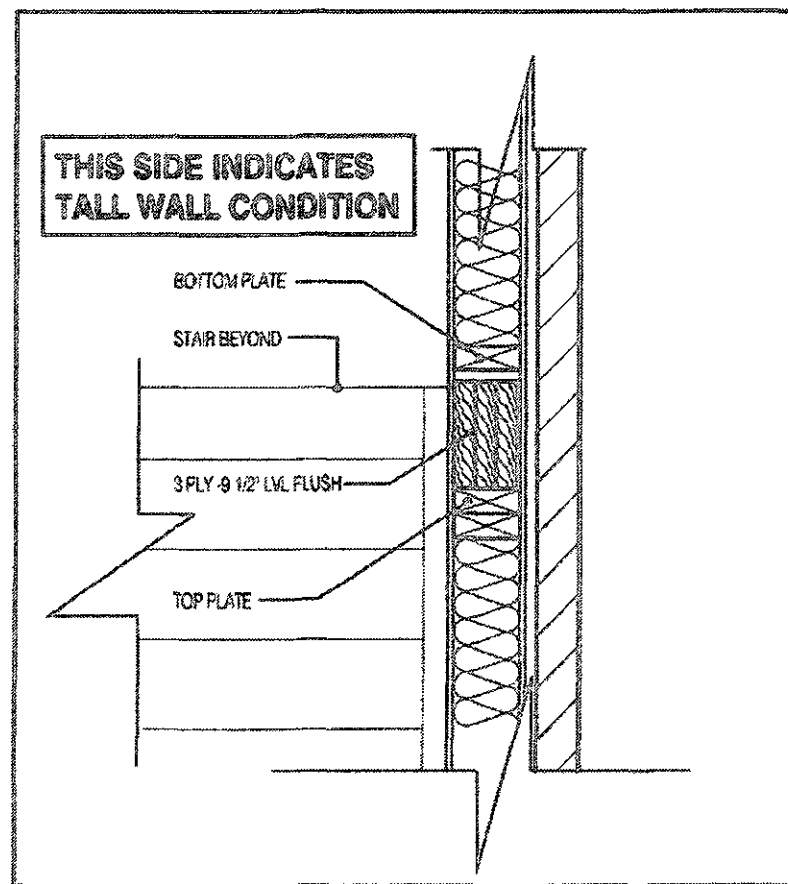
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
 QUALIFICATION INFORMATION  
 Required unless design is exempt under Division C, Subsection 2.2.5 of the building code.

Walter Boller [Signature] 21037  
 NAME SIGNATURE BCN  
 REGISTRATION INFORMATION  
 Required unless design is exempt under Division C, Subsection 2.2.4 of the building code.  
 JARDIN DESIGN GROUP INC. 27763  
 FIRM NAME BCN

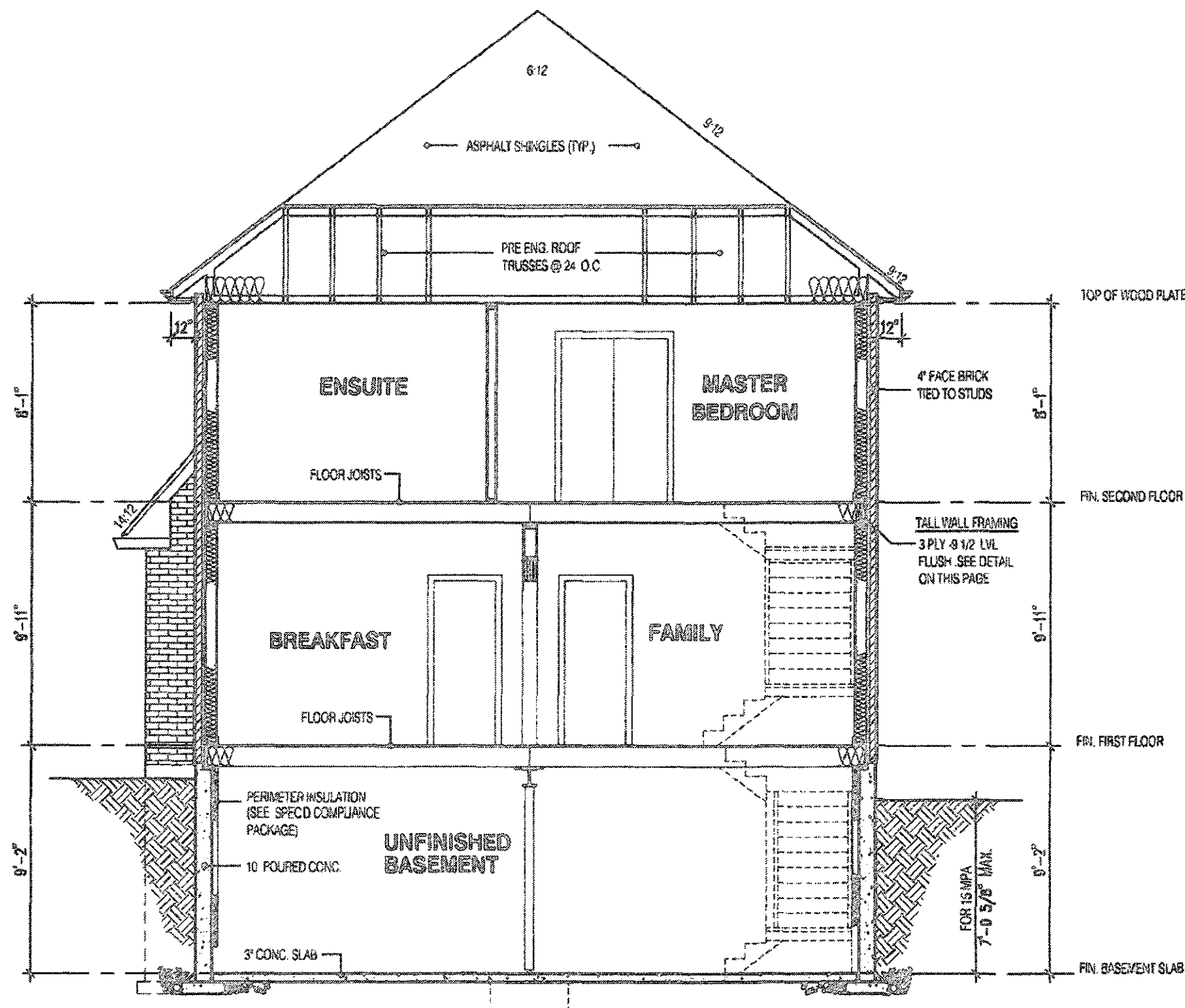
**SIDE ELEVATION 1**  
**LAMBERTS LANE PHASE 2**  
**TOWN OF CALEDON**

|           |               |          |      |
|-----------|---------------|----------|------|
| TYPE      | T             | AREA     | ---- |
| SCALE:    | 3/16" = 1'-0" |          |      |
| PROJ. NO. | 08-18         | DWG. NO. | 7    |

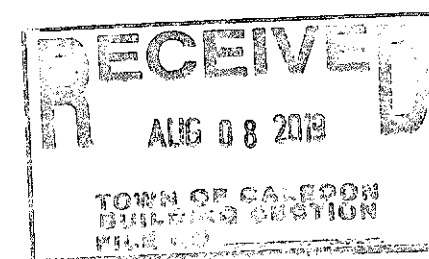




**B TALL WALL FRAMING**  
N.T.S.



**SECTION A-A  
ELEVATION 1**



OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED ALL REQUIREMENTS OF THE BUILDING CODE

JUL 29 2019

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (existing) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |                                                                 |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------|
| 2710                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |                                                                 |
| 11.0m LOTS                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                                                                 |
| BARTON 4-34(GR)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |                                                                 |
| ELEVATION 1                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                                                                 |
| ENERGY STAR                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                                                                 |
| O.REG. 332/12                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |                                                                 |
| STRUDET INC.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |                                                                 |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |                                                                 |
| FOR STRUCTURAL ONLY                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                                                 |
| <p>THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.</p> <p>JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY DATA OR FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFERENCE TO PRELIMINARY &amp; UNAPPROVED DRAWINGS IS NOT PERMITTED. PROCEEDING WITH WORK AS DESCRIBED IN THESE PLANS IS NOT PERMITTED PRIOR TO OBTAINING A BUILDING PERMIT.</p> <p>JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO OBTAIN A BUILDING PERMIT FOR THIS WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR TO OBTAIN A BUILDING PERMIT PRIOR TO COMMENCEMENT OF WORK.</p> <p>THIS DRAWING IS AN INSTRUMENT OF SERVICE PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE LOANED.</p> |                                                                 |
| 7                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                                                                 |
| 6                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                                                                 |
| 5                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                                                                 |
| 4                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                                                                 |
| 3                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        | JULY 23, 2019 DRAWING FOR LOT 34 ADDED TO SET                   |
| 2                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        | JAN. 17, 2019 ISSUED FOR BUILDING PERMIT                        |
| 1                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        | OCT. 15, 2018 COMPLETED PRECOORDINATION & AFE. ISSUED TO CLIENT |
| No.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | DATE: WORK DESCRIPTION:                                         |
| <b>jardin</b><br>DESIGN GROUP INC<br>64 JARDIN DR. SUITE 3A<br>VAUGHAN ONT. L4K 3P3<br>TEL: 905 660-3377 FAX: 905 660-3713<br>EMAIL: info@jardindesign.ca                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                 |
| The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |                                                                 |
| QUALIFICATION INFORMATION<br>Registered unless design is exempt under Division C, Subsection 1.1.3 of the Building Code.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |                                                                 |
| NAME                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | 21031                                                           |
| SIGNATURE                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | BCN                                                             |
| REGISTRATION INFORMATION<br>Registered unless design is exempt under Division C, Subsection 1.1.3 of the Building Code.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                                                                 |
| NAME                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | 27763                                                           |
| SIGNATURE                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | BCN                                                             |
| <b>SECTION ELEVATION 1</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                                                                 |
| LAMBERTS LANE PHASE 2                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                 |
| TOWN OF CALEDON                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |                                                                 |
| TYPE                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | AREA                                                            |
| SCALE                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | 3/16" = 1'-0"                                                   |
| PROJ. No.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | DWG. No.                                                        |
| 08-18                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | 8                                                               |