

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS

120 KPa NATIVE SOIL

- 20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
- 24"x6" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

100 KPa NATIVE SOIL

- 22"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
- 28"x10" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS. OR
- 28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.

90 KPa ENGINEERED FILL SOIL

- 24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW FOUNDATION WALLS.
- 30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.

(ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL FOOTING DETAIL FOR REINFORCEMENT)

PAD FOOTINGS

120 KPa NATIVE SOIL

- F1 = 42"x42"x18" CONCRETE PAD
- F2 = 36"x36"x16" CONCRETE PAD
- F3 = 30"x30"x12" CONCRETE PAD
- F4 = 24"x24"x12" CONCRETE PAD
- F5 = 16"x16"x8" CONCRETE PAD

100 KPa NATIVE SOIL

- F1 = 46"x46"x20" CONCRETE PAD
- F2 = 38"x38"x16" CONCRETE PAD
- F3 = 32"x32"x14" CONCRETE PAD
- F4 = 26"x26"x12" CONCRETE PAD
- F5 = 17"x17"x8" CONCRETE PAD

90 KPa ENGINEERED FILL SOIL

- F1 = 48"x48"x20" CONCRETE PAD
- F2 = 40"x40"x16" CONCRETE PAD
- F3 = 34"x34"x14" CONCRETE PAD
- F4 = 28"x28"x12" CONCRETE PAD
- F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

BRICK VENEER LINTELS (WL)

- WL1 = 3-1/2" x 3-1/2" x 1/4" (90x90x0.0L) + 2-2"x8" SPR. No.2
- WL2 = 4" x 3-1/2" x 5/16" (100x90x0.0L) + 2-2"x8" SPR. No.2
- WL3 = 5" x 3-1/2" x 5/16" (125x90x0.0L) + 2-2"x10" SPR. No.2
- WL4 = 6" x 3-1/2" x 3/8" (150x90x0.0L) + 2-2"x12" SPR. No.2
- WL5 = 6" x 4" x 3/8" (150x100x0.0L) + 2-2"x12" SPR. No.2
- WL6 = 5" x 3-1/2" x 5/16" (125x90x0.0L) + 2-2"x12" SPR. No.2
- WL7 = 5" x 3-1/2" x 5/16" (125x90x0.0L) + 3-2"x12" SPR. No.2
- WL8 = 5" x 3-1/2" x 5/16" (125x90x0.0L) + 3-2"x10" SPR. No.2
- WL9 = 6" x 4" x 3/8" (150x100x0.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

- WB1 = 2-2"x8" (2-38x184) SPR. No.2
- WB2 = 3-2"x8" (3-38x184) SPR. No.2
- WB3 = 2-2"x10" (2-38x235) SPR. No.2
- WB4 = 3-2"x10" (3-38x235) SPR. No.2
- WB5 = 2-2"x12" (2-38x286) SPR. No.2
- WB6 = 3-2"x12" (3-38x286) SPR. No.2
- WB7 = 5-2"x12" (5-38x286) SPR. No.2
- WB11 = 4-2"x10" (4-38x235) SPR. No.2
- WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

- LVL1A = 1-1 3/4"x7 1/4" (1-45x184)
- LVL1 = 2-1 3/4"x7 1/4" (2-45x184)
- LVL2 = 3-1 3/4"x7 1/4" (3-45x184)
- LVL3 = 4-1 3/4"x7 1/4" (4-45x184)
- LVL4A = 1-1 3/4"x9 1/2" (1-45x240)
- LVL4 = 2-1 3/4"x9 1/2" (2-45x240)
- LVL5 = 3-1 3/4"x9 1/2" (3-45x240)
- LVL5A = 4-1 3/4"x9 1/2" (4-45x240)
- LVL6A = 1-1 3/4"x11 7/8" (1-45x300)
- LVL6 = 2-1 3/4"x11 7/8" (2-45x300)
- LVL7 = 3-1 3/4"x11 7/8" (3-45x300)
- LVL8 = 2-1 3/4"x14" (2-45x356)
- LVL9 = 3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)

- L1 = 3-1/2" x 3-1/2" x 1/4" (90x90x0.0L)
- L2 = 4" x 3-1/2" x 5/16" (100x90x0.0L)
- L3 = 5" x 3-1/2" x 5/16" (125x90x0.0L)
- L4 = 6" x 3-1/2" x 3/8" (150x90x0.0L)
- L5 = 6" x 4" x 3/8" (150x100x0.0L)
- L6 = 7" x 4" x 3/8" (180x100x0.0L)

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

NOTE: ENGINEERED FLOOR FRAMING

REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-9" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
8	3'-0"	6'-8"	8'-0"	INTERIOR SLAB DOOR

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING:

ENERGY STAR V-17

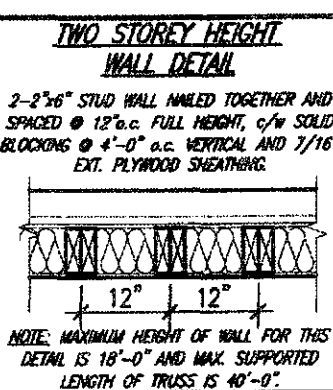
COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.56 (R80)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSED FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	4.75 (R22+RS)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY STAR @ ZONE 2 (R 29/UV 1.4)
SPACE HEATING EQUIPMENT MINIMUM AFUE	90% AFUE
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HVAC MINIMUM EFFICIENCY	75% SRE ENERGY STAR @ HRY TO BE INTERCONNECTED TO THE FURNACE FAN. MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/AIR
HOT WATER TANK	CONDENSING HOT WATER TANK 90% TE EFFICIENCY
DRAIN WATER HEAT RECOVERY	TWO SHOWERS > 42%
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (2.5 ACH/0.16 NLR) ATTACHED LEVEL 1 (3.0 ACH/0.26 NLR)
DUCT SEALING	ALL SUPPLY DUCTS & 1m OF RETURN DUCTS
LIGHTS	75% CFLs OR LEDs

CERTIFIED MODEL
PRE-APPROVED
FOR PERMIT APPLICATION AS PER THE
ONTARIO BUILDING CODE
TOWN OF CALEDON BUILDING DIVISION

REVIEWED BY: *AS S. SNEI*
DATE: *1 JULY 18/2019*
FILE # *WOODCROFT 3 - ELEV 1, 2, 3*

OPT. 5 - BED.
OPT. DECK
OPT. W.B.B.

CERAMIC TILE FOR CONVENTIONAL LUMBER (ORC 9.30.6)
SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0".
2 ROWS FOR SPANS GREATER THAN 7'0".



A COMPLETE SET OF REVIEWED DRAWINGS & SPECIFICATIONS MUST BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION AS PER O.B.C.



STRUCTURE INC.
FOR STRUCTURE ONLY

AREA CALCULATIONS

GROUND FLOOR AREA	1249 SF
SECOND FLOOR AREA	1658 SF
TOTAL FLOOR AREA	2907 SF (270.07 m2)
FIRST FLOOR OPEN AREA	XX SF
SECOND FLOOR OPEN AREA	XX SF
ADD TOTAL OPEN AREAS	+XX SF
ADD FINISHED BSMT AREA	+XX SF
GROSS FLOOR AREA	2907 SF (270.07 m2)
GROUND FLOOR COVERAGE	1256 SF
GARAGE COVERAGE/AREA	399 SF
PORCH COVERAGE/AREA	112 SF
COVERAGE W/ PORCH	1655 SF (153.75 m2)
COVERAGE W/O PORCH	1767 SF (164.16 m2)

AREA CALCULATIONS

GROUND FLOOR AREA	1257 SF
SECOND FLOOR AREA	1658 SF
TOTAL FLOOR AREA	2915 SF (270.81 m2)
FIRST FLOOR OPEN AREA	XX SF
SECOND FLOOR OPEN AREA	XX SF
ADD TOTAL OPEN AREAS	+XX SF
ADD FINISHED BSMT AREA	+XX SF
GROSS FLOOR AREA	2915 SF (270.81 m2)
GROUND FLOOR COVERAGE	1264 SF
GARAGE COVERAGE/AREA	399 SF
PORCH COVERAGE/AREA	56 SF
COVERAGE W/ PORCH	1653 SF (154.50 m2)
COVERAGE W/O PORCH	1719 SF (159.70 m2)

AREA CALCULATIONS

GROUND FLOOR AREA	1249 SF
SECOND FLOOR AREA	1658 SF
TOTAL FLOOR AREA	2907 SF (270.07 m2)
FIRST FLOOR OPEN AREA	XX SF
SECOND FLOOR OPEN AREA	XX SF
ADD TOTAL OPEN AREAS	+XX SF
ADD FINISHED BSMT AREA	+XX SF
GROSS FLOOR AREA	2907 SF (270.07 m2)
GROUND FLOOR COVERAGE	1256 SF
GARAGE COVERAGE/AREA	399 SF
PORCH COVERAGE/AREA	100 SF
COVERAGE W/ PORCH	1655 SF (153.75 m2)
COVERAGE W/O PORCH	1755 SF (163.04 m2)

APPLICANT COPY

FEB 06 2019



ENERGY STAR - V 17

WOODCROFT 3
ENERGY STAR

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

RECEIVED
JUN 10 2019

TOWN OF CALEDON
BUILDING SECTION



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
va3design.com



project name
LAMBERTS LANE HOME CORP. PH.2

GENERAL NOTES & CHARTS

18023-WOODCROFT-3

drawing no.

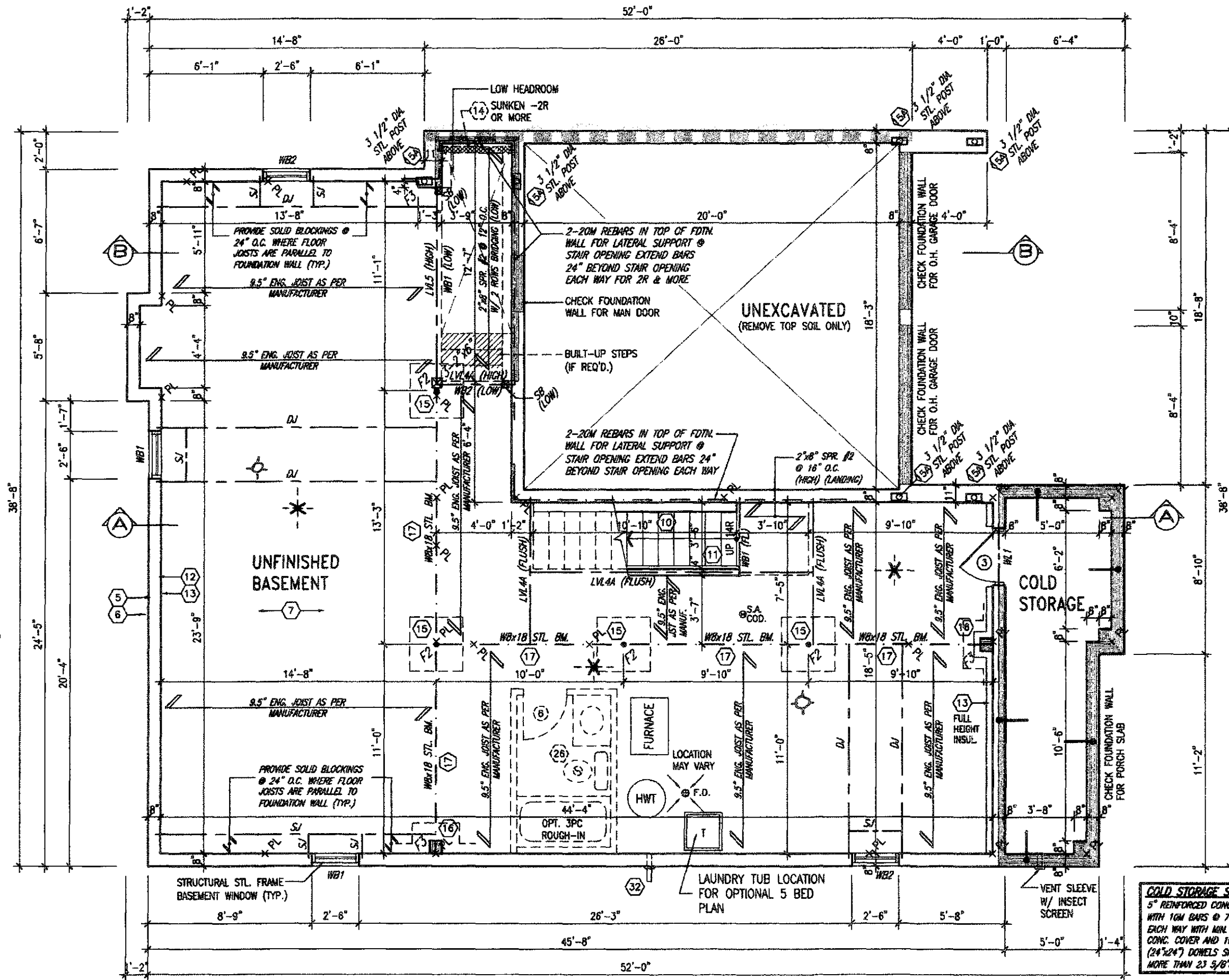
A0

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INDICATES REDUCED SIDE YARD CONDITION

TOWN OF CALEDON
BUILDING SECTION
FILE NO.

MINIMUM CEILING HEIGHT SHALL BE 2100 MM
OVER AT LEAST 75% OF BASEMENT
AREA EXCEPT THAT UNDER BEAMS AND
DUCTS THE CLEARANCE IS PERMITTED TO
BE REDUCED 1950 M M



COLD STORAGE SLAB
5" REINFORCED CONCRETE SLAB
WITH 10M BARS @ 7 7/8" o.c.
EACH WAY WITH MIN. 1 1/4"
CONC. COVER AND 10M BENT
(24"x24") DOWELS SPACED NOT
MORE THAN 23 5/8" o.c.

BASEMENT PLAN - ELEV. '1'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON



18				9			The undersigned has released and takes responsibility for this design and from the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17				8			
16				7			qualification information
15				6			Richard Vink 2448 <i>R Vink</i> signature NO
14				5	ISSUED FOR PERMIT.	JAN 31/19 GW	name
13				4	ROOF-FLOOR-ENG. CO-ORD.	JAN 08/19 GW	Registration Information VAS Design Inc. 4265
12				3	REAR UPGRADES REMOVED PER A/C.	NOV 22/18 GW	
11				2	NEED ROOF SLOPES PER CLIENT.	SEP. 27/18 GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.
10				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	SEP. 26/18 GW	
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
qualification information	
Richard Vink	2448
name	signature
qualification information	BC
VA3 Design Inc.	42655
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.	

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.478
vo3design.com

Greenpark.

project name
LAMBERTS LANE HOME CORP. PH.2

completed
CALEDON

date
SEP. 2018

area
BASEMENT F

drawn by
M.HURT

checked by
M.HURT

scale
3/16" = 1'-0"

notes
1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE 2018 ONTARIO BUILDING CODE AND ALL APPLICABLE BY-LAWS.

WOODCROFT 3
13.7m
project no.
18023
drawing no.
A1
W - ELEV. '1'
file name
18023-WOODCROFT-3
pr - Jan 31 2019 - 10:50 AM

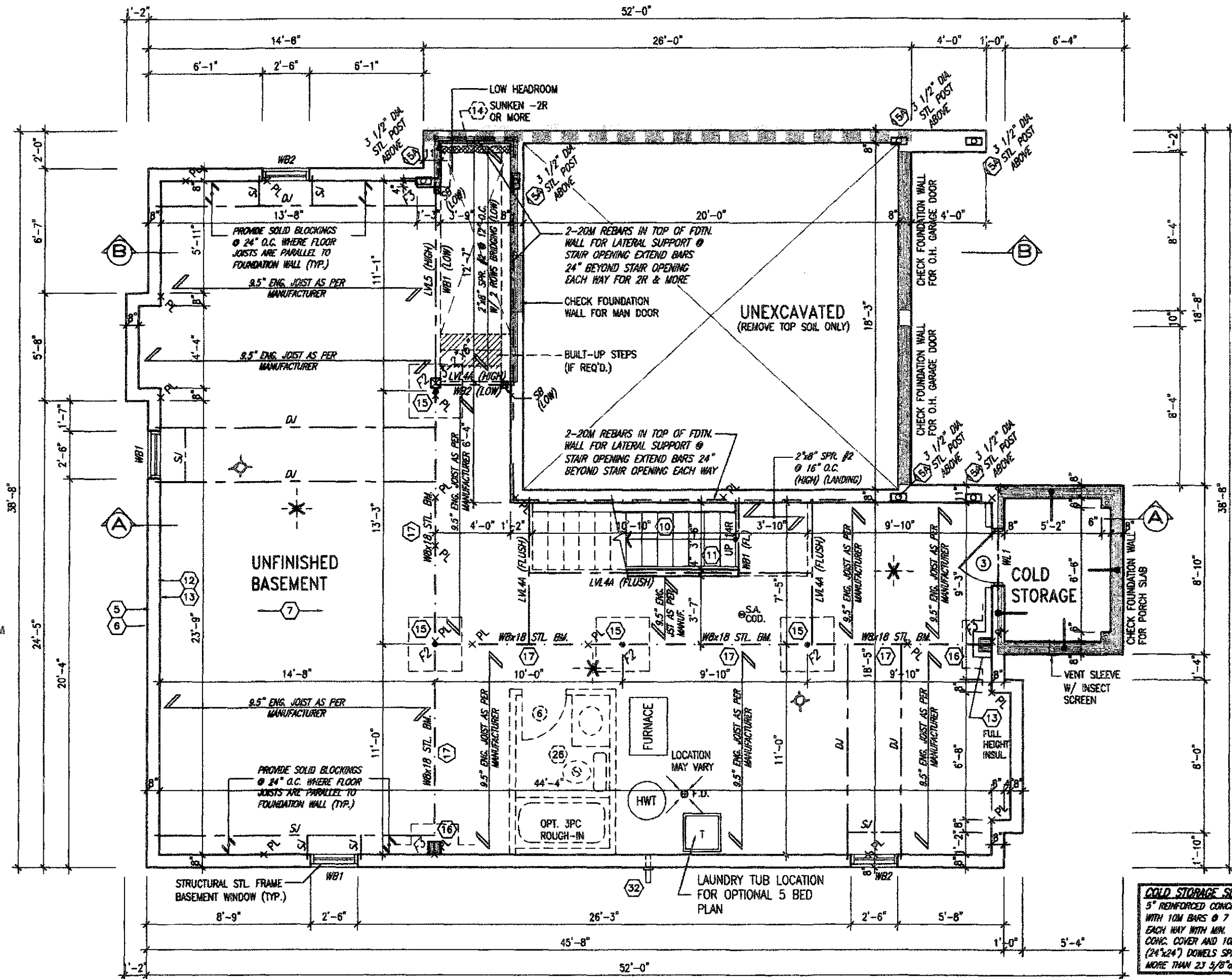
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2907 SF.

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

SMOKE ALARMS AND CARBON
MONOXIDE DETECTORS SHALL
CONFORM TO SUBSECTIONS
9.10.19. AND 9.33.4. OF THE
ONTARIO BUILDING CODE

MINIMUM CEILING HEIGHT SHALL BE 2100 MM
OVER AT LEAST 75% OF BASEMENT
AREA EXCEPT THAT UNDER BEAMS AND
DUCTS THE CLEARANCE IS PERMITTED TO
BE REDUCED 1950 MM



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TOWN OF CALEDON
FILE NO.

BASEMENT PLAN - ELEV. '2'

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WOODCROFT 3
ENERGY STAR

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ensure that all plans submitted for approval
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including zoning provisions and any provisions
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building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.



no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5	ISSUED FOR PERMIT.	JAN 31/19	GW
13				4	ROOF-FLOOR-ENG. CO-ORD.	JAN 08/19	GW
12				3	REAR UPGRADES REVISED PER A/C.	NOV 22/18	GW
11				2	REVISED ROOF SLOPES PER CLIENT.	SEP 27/18	GW
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP 26/18	GW

The undersigned has reviewed and takes responsibility for this design
and has the qualifications and meets the requirements set out in the
Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
name
signature
VA3 Design Inc. 42658
name
signature
Contractor must verify all dimensions on the job and report any
discrepancy to the Designer before proceeding with the work. All
drawings and specifications are indicators of intent and the property
of the Designer which must be returned at the completion of the work.
Drawings are not to be scaled.

**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vs3design.com

Greenpark.
Project name
LAMBERTS LANE HOME CORP. PH.2
residentially
CALEDON
Date
SEP. 2018
Drawn by
N.HUR
checked by
5/18" = 1'-0"
scale
18023-WOODCROFT-3
date
JUN 31 2019

WOODCROFT 3
13.7m
project no.
18023
drawing no.
A1a

2907 SF.

INDICATES REDUCED SIDE YARD CONDITION

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
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SMOKE ALARMS AND CARBON
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CONFORM TO SUBSECTIONS
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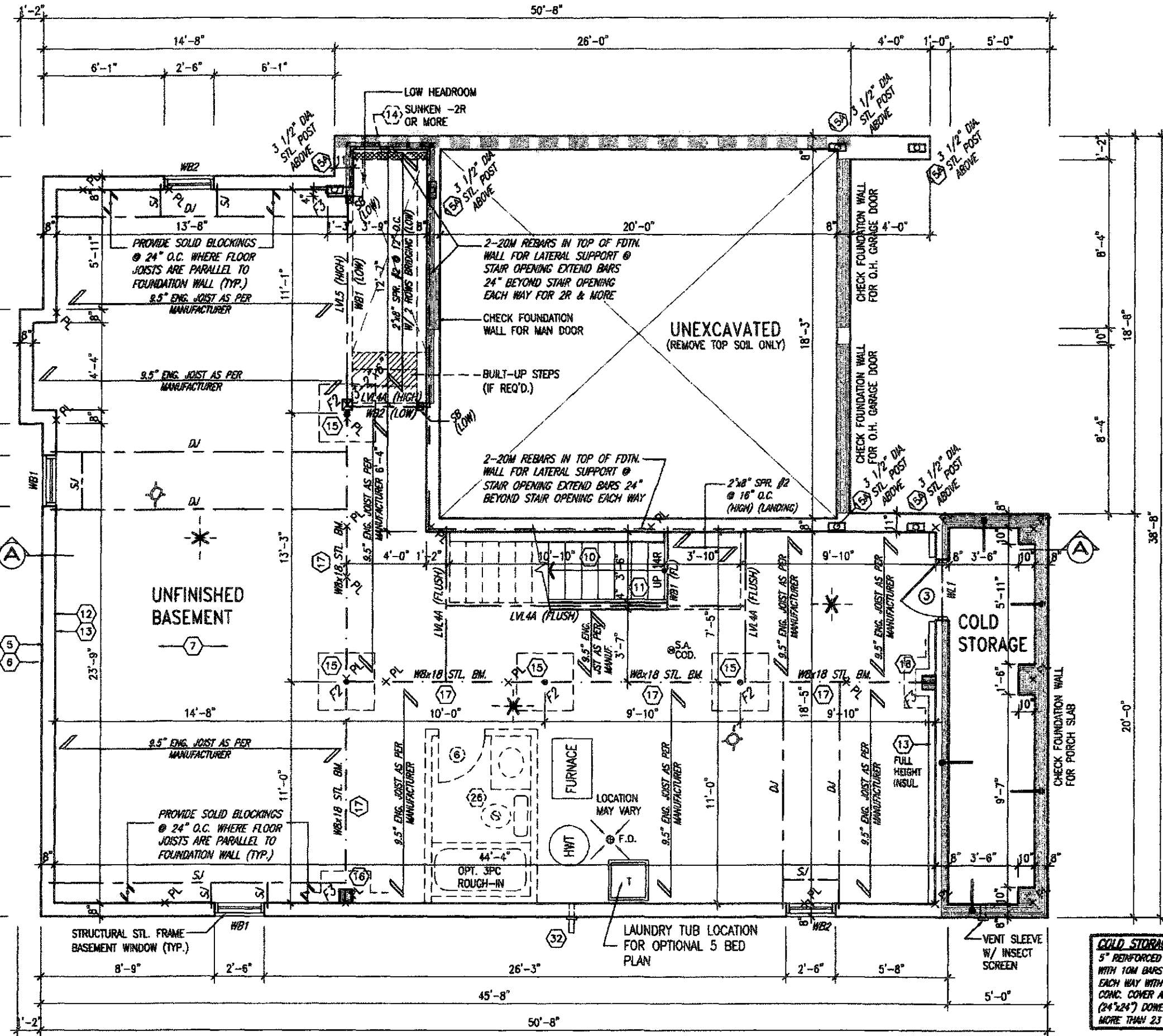
MINIMUM CEILING HEIGHT SHALL BE 2100 MM
OVER AT LEAST 75% OF BASEMENT
AREA EXCEPT THAT UNDER BEAMS AND
DUCTS THE CLEARANCE IS PERMITTED TO
BE REDUCED 1950 MM

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CALEDON.



BASEMENT PLAN - ELEV. '3'



COLD STORAGE SLAB
5" REINFORCED CONCRETE SLAB
WITH 10M BARS @ 7'8" o.c.
EACH WAY WITH MIN. 1 1/4"
CONC. COVER AND 10M BENT
(24" x 24") DOWELS SPACED NOT
MORE THAN 23 5/8" o.c.

FEB 06 2019

WOODCROFT 3
ENERGY STAR

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5	ISSUED FOR PERMIT.	JAN 31/19	GW
13				4	ROOF-FLOOR-ENG. CO-ORD.	JAN 08/19	GW
12				3	REAR UPGRADES REVISED PER A/C.	NOV 22/18	GW
11				2	REVISED ROOF SLOPES PER CLIENT.	SEP. 27/18	GW
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 26/18	GW

The undersigned has reviewed and takes responsibility for this design
and has the qualifications and meets the requirements set out in the
Ontario Building Code to be a Designer.

qualification information
Richard Vink 24488
signature
Vink
Vink Design Inc. 42656

Confirmer certifies that all dimensions on the job and report any
discrepancies to the Designer before proceeding with the work. All
drawings and specifications are instruments of service and the property
of the Designer which must be returned at the completion of the work.
Drawings are not to be copied.

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.
project name
LAMBERTS LANE HOME CORP. PH.2
city
SEP. 28/18
checked by
scale
3/16" = 1'-0"

WOODCROFT 3
13.7m
project no.
18023
drawing no.
A1b
BASEMENT PLAN - ELEV. '3'

2907 SF.

INDICATES REDUCED SIDE YARD CONDITION

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

SMOKE ALARMS AND CARBON
MONOXIDE DETECTORS SHALL
CONFORM TO SUBSECTIONS
9.10.19. AND 9.33.4. OF THE
ONTARIO BUILDING CODE

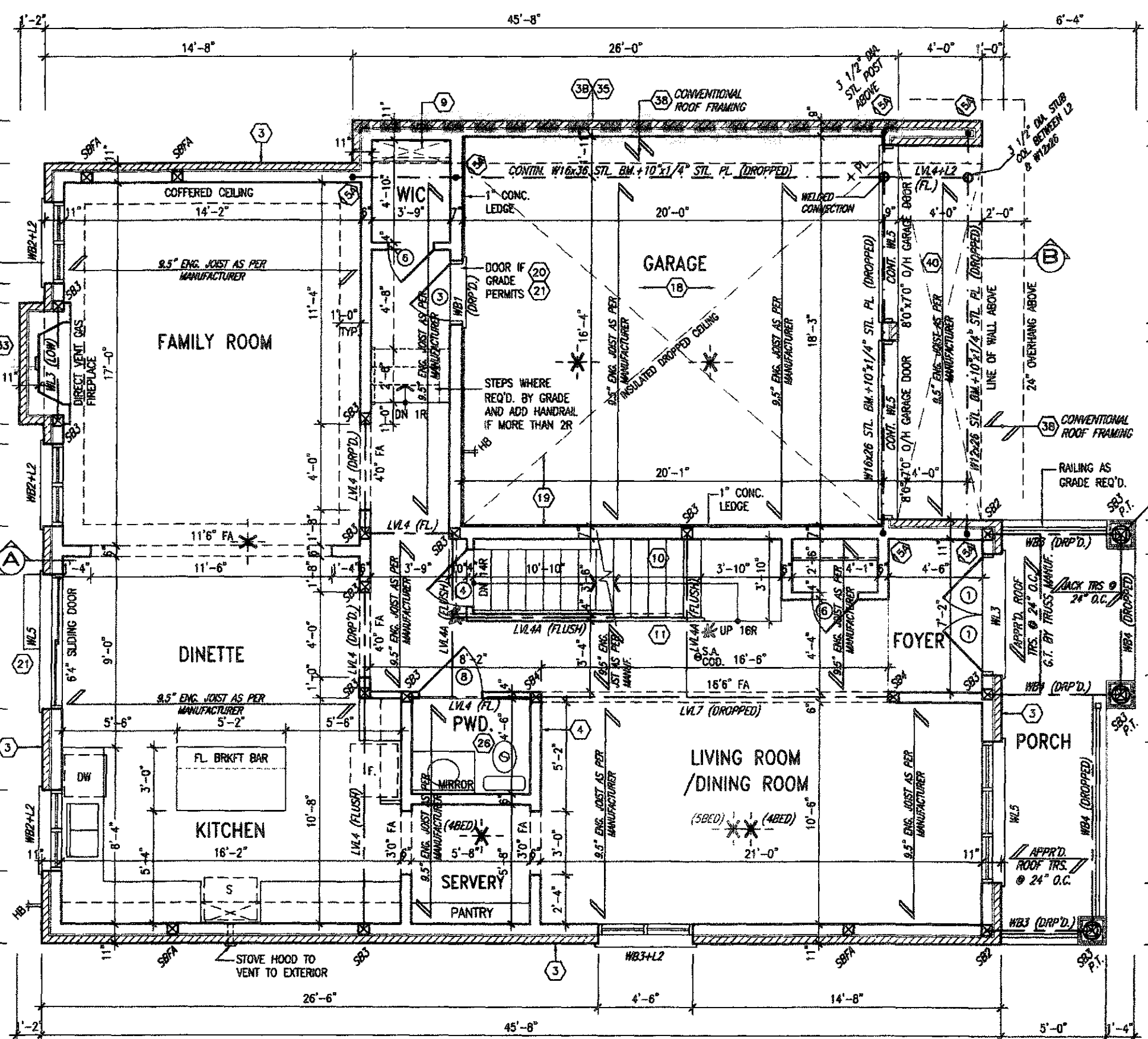
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AREA EXCEPT THAT UNDER BEAMS AND
DUCTS THE CLEARANCE IS PERMITTED TO
BE REDUCED 1950 MM

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CALEDON.



STRUDET INC.
FOR STRUCTURE ONLY



10" DIA. CLAD COLUMN WITH
6"x6" P.T. WOOD POST ANCHORED
TO 14"x14" SOLID MASONRY PIER
WITH GALVANIZED METAL SHOE
(TYP.). PROVIDE SIMPSON
STRONG-TIE CONNECTOR FOR
POST-BEAM CONNECTION (TYP.)

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TOWN OF CALEDON
BUILDING SECTION
FILE NO.

PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
WITH INTEGRATED MASONRY
LEDGE ON SIDES WHERE
GRADE REQUIRES.

GROUND FLOOR PLAN - ELEV. '1'

- * 3-WAY SWITCH CONTROLLING
LIGHT OVER STAIRS
- * MIN. 1-WAY SWITCH CONTROLLING
LIGHT OVER STAIRS TO BASEMENT

FEB 06 2019

WOODCROFT 3
ENERGY STAR

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
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signature
Vink
42858
Contractor must verify all dimensions on the job and report any
discrepancy to the Designer before proceeding with the work. All
drawings and specifications are instruments of service and the property
of the Designer which must be returned at the completion of the work.
Drawings are not to be used.

VAS
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256 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.
project name
LAMBERTS LANE HOME CORP. PH.2
checked by
3/18" = 1'-0"
18023-WOODCROFT-3
JAN 31 2019 - 10:38 AM

WOODCROFT 3
13.7m
project no.
18023
drawing no.
A2

2907 SF.

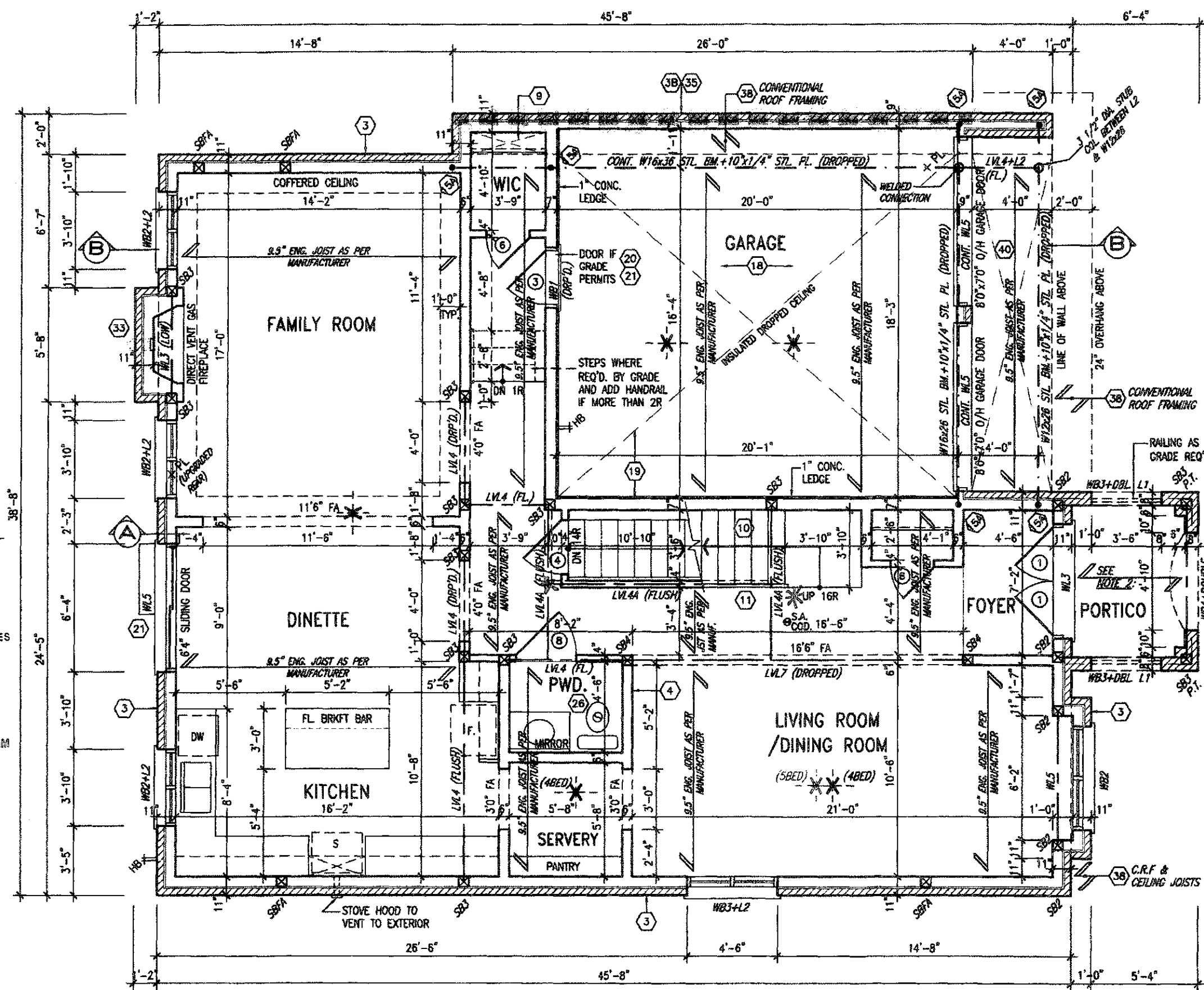
INDICATES REDUCED SIDE YARD CONDITION

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

SMOKE ALARMS AND CARBON
MONOXIDE DETECTORS SHALL
CONFORM TO SUBSECTIONS
9.10.19. AND 9.33.4. OF THE
ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

MINIMUM CEILING HEIGHT SHALL BE 2100 MM
OVER AT LEAST 75% OF BASEMENT
AREA EXCEPT THAT UNDER BEAMS AND
DUCTS THE CLEARANCE IS PERMITTED TO
BE REDUCED 1950 MM



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TOWN OF CALEDON
BUILDING DEPARTMENT

PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
WITH INTEGRATED MASONRY
LEDGE ON SIDES WHERE
GRADE REQUIRES.

NOTE 2:
3 PLY BITUMINOUS (OR ONE PLY
RUBBER) MEMBRANE ADHERED TO
EXT. TYPE 1/2" T&G PLYWOOD
SHEATHING ON 2"x2" SPR.
PURLINS (LAD PERPENDICULAR
TO JOISTS) ON 2"x8" P.T. SPR.
FLR. JOISTS @ 16" O.C. W/
PREFM. ALUM. SOFFIT ON U/S.

GROUND FLOOR PLAN - ELEV. '2'

FEB 06 2019

WOODCROFT 3
ENERGY STAR

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fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.



STRUDET INC.
FOR STRUCTURE ONLY

18		9			
17		8			
16		7			
15		6			
14		5	ISSUED FOR PERMIT	JAN 31/19	GW
13		4	ROOF-FLOOR-ENG. CO-ORD.	JAN 08/19	GW
12		3	REAR UPGRADES REVISED PER A/C.	NOV 22/18	GW
11		2	REVISED ROOF SLOPES PER CLIENT.	SEP. 27/18	GW
10		1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	SEP. 26/18	GW
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design
and has the qualifications and meets the requirements set out in the
Ontario Building Code to be a Designer.
Richard Vink 24488
signature
Vink
42658
name
registration information
Vink Design Inc.
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Greenpark.
project name
LAMBERTS LANE HOME CORP. PH.2
modelled by
CALEDON
date
SEP. 2018
checked by
3/16" = 1'-0"
drawing no.
18023-WOODCROFT-3
A2a

WOODCROFT 3
13.7m
project no.
18023
drawing no.
A2a

 INDICATES REDUCED SIDE YARD CONDITION



TOWN OF CALDON

NOTE 2:
3 PLY BITUMINOUS (OR ONE PLY RUBBER) MEMBRANE ADHERED TO EXT. TYPE $\frac{3}{8}$ " T&G PLYWOOD SHEATHING ON 2"x2" SPR. PURLINS (Laid PERPENDICULAR TO JOISTS) ON 2"x8" P.T. SPR. FLR. JOISTS @ 16" O.C. W/ PREFIN. ALUM. SCFFIT ON U/S.

WOODCROFT 3
ENERGY STAR

		WOODCROFT 3 13.7m	
project name LAMBERTS LANE HOME CORP. PH.2	municipality CALEDON	project 18023	
date SEP. 2018		drawing no. A2b	
GROUND FLOOR PLAN - ELEV. '3'			
drawn by JMR	checked by -	scale 3/16" = 1'-0"	file name 18023-WOODCROFT-3
© 2018 Greenpark Engineering Inc. All rights reserved. No part of this drawing may be reproduced without written permission from Greenpark Engineering Inc.			

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

18				9			
17				8			
16				7			
15				6			
14				5	ISSUED FOR PERMIT.	JUN 31/19	G
13				4	ROOF-FLOOR-ENG. CO-ORD.	JUN 08/19	G
12				3	REAR UPGRADES REVISED PER A/C.	NOV 22/18	G
11				2	REVISED ROOF SLOPES PER CLIENT.	SEP. 27/18	G
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 26/18	G
no	description	date	by	no	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Richard Vink name signature registration information VAS Design Inc.	244 6 426
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the project. Drawings are not to be copied.	

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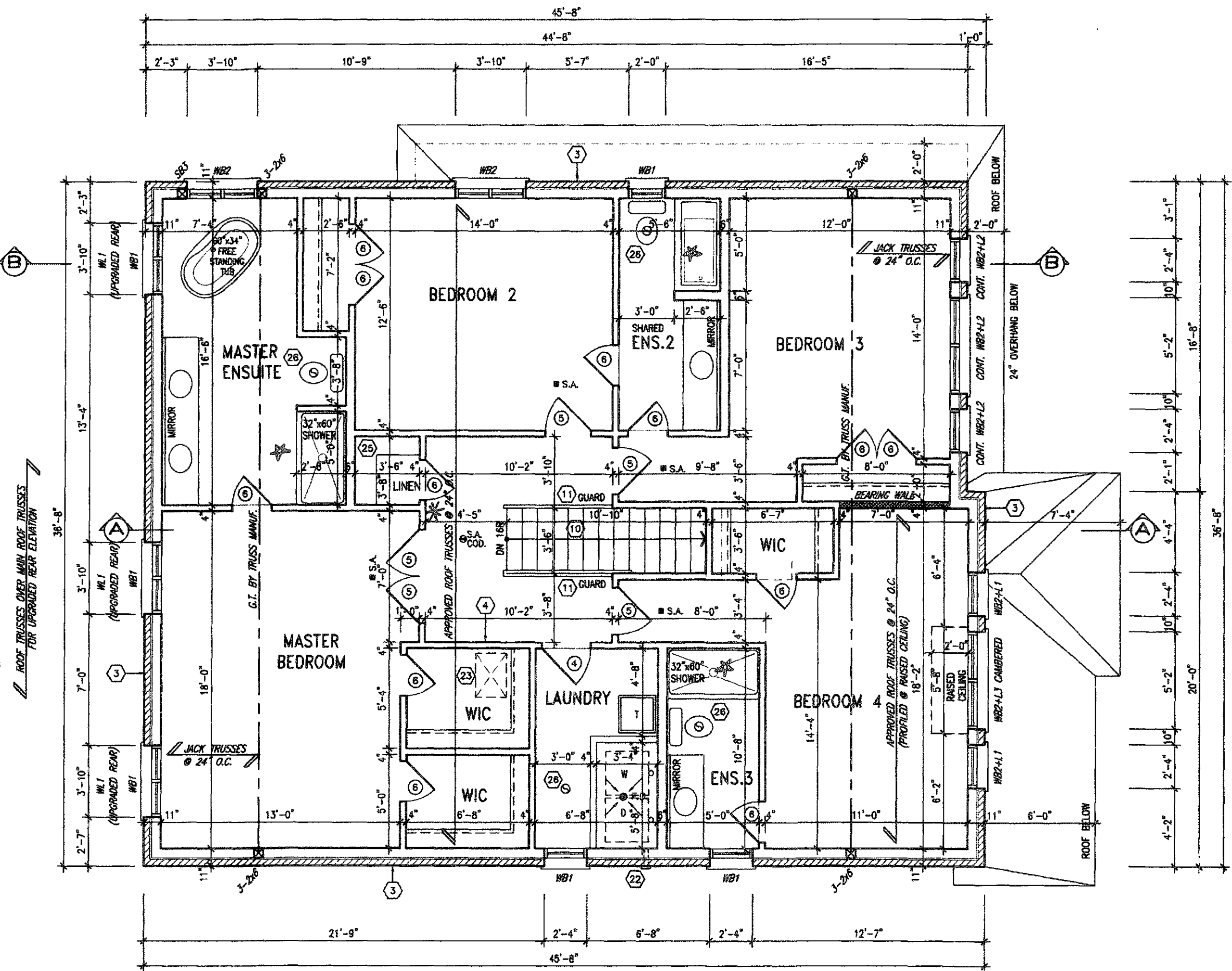
WOODCROFT 3
13.7m

2907 SF.

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EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

SMOKE ALARMS AND CARBON
MONOXIDE DETECTORS SHALL
CONFORM TO SUBSECTIONS
9.10.19. AND 9.33.4. OF THE
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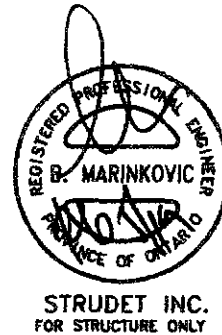
OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
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GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING



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TOWN OF CALEDON
PLANNING DEPARTMENT

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STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3,
3.8.3.8.(1)(d) & 3.8.3.13.(1)(f).

SECOND FLOOR PLAN - ELEV. '1'

- * 3-WAY SWITCH CONTROLLING LIGHT OVER STAIRS
- * WATERPROOF WALL FINISH AS PER OBC 9.29.2.1.(i)

FEB 06 2019

WOODCROFT 3
ENERGY STAR

18		9			
17		8			
16		7			
15		6			
14		5	ISSUED FOR PERMIT.	JAN 31/19	GW
13		4	ROOF-FLOOR-ENG. CO-ORD.	JAN 08/19	GW
12		3	REAR UPGRADES REVISED PER A/C.	NOV 22/18	GW
11		2	REVISED ROOF SLOPES PER CLIENT.	SEP. 27/18	GW
10		1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 26/18	GW
no.	description	date	by	no.	description

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink 24488
signature
42659

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Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.
project name
LAMBERTS LANE HOME CORP. PH.2
date
SEP. 2018
checked by
M.HUR
scale
3/16" = 1'-0"

WOODCROFT 3
13.7m
project no.
18023
drawing no.
A3
SECOND FLOOR PLAN - ELEV. '1'

THE STATIONER
 HAS BEEN
 COPIED TO
 EXTENDED
 THE OFFICE

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.10. AND 9.33.4. OF THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES
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**STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM.**
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3,
3.2.3.2.(1)(c) & 3.2.3.13.(1)(c).

SECOND FLOOR PLAN - ELEV. '2'

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WOODCROFT 3
ENERGY STAR

18				9			The undersigned has reviewed and takes responsibility for this design and from the specifications and made the requirements set out in the Ontario Building Code to be a Designer.
17				8			
16				7			qualification information
15				6			Richard Vink
14				5	ISSUED FOR PERMIT.	JAN 31/19	GW
13				4	ROOF-FLOOR-ENG. CO-ORD.	JAN 08/19	GW
12				3	REAR UPGRADES REVISED PER A/C.	NOV 22/18	GW
11				2	REVISED ROOF SLOPES PER CLIENT.	SEP. 27/18	GW
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 26/18	GW
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Richard Vink <i>R Vink</i> 24 name signature registration information VAS Design Inc. 42 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the project. Drawings are not to be copied.	
---	--



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Toronto ON M2J 1R4
1 416.630.2255 f 416.630.4782
va3design.com



project name **LAMBERTS LANE HOME CORP. PH.2** municipality **CALEDON**
date **SEP. 2016** SECOND FLOOR PLAN
drawn by **M.HUR** checked by **-** note **3/16" = 1'-0"**
files - c:\program files\microstation\data\160215\1 - 16021517 microstation\16021517 - 160215\16021517 - 160215

WOODCROFT 3
13.7m

Project no.
8023

drawing no.
A3a

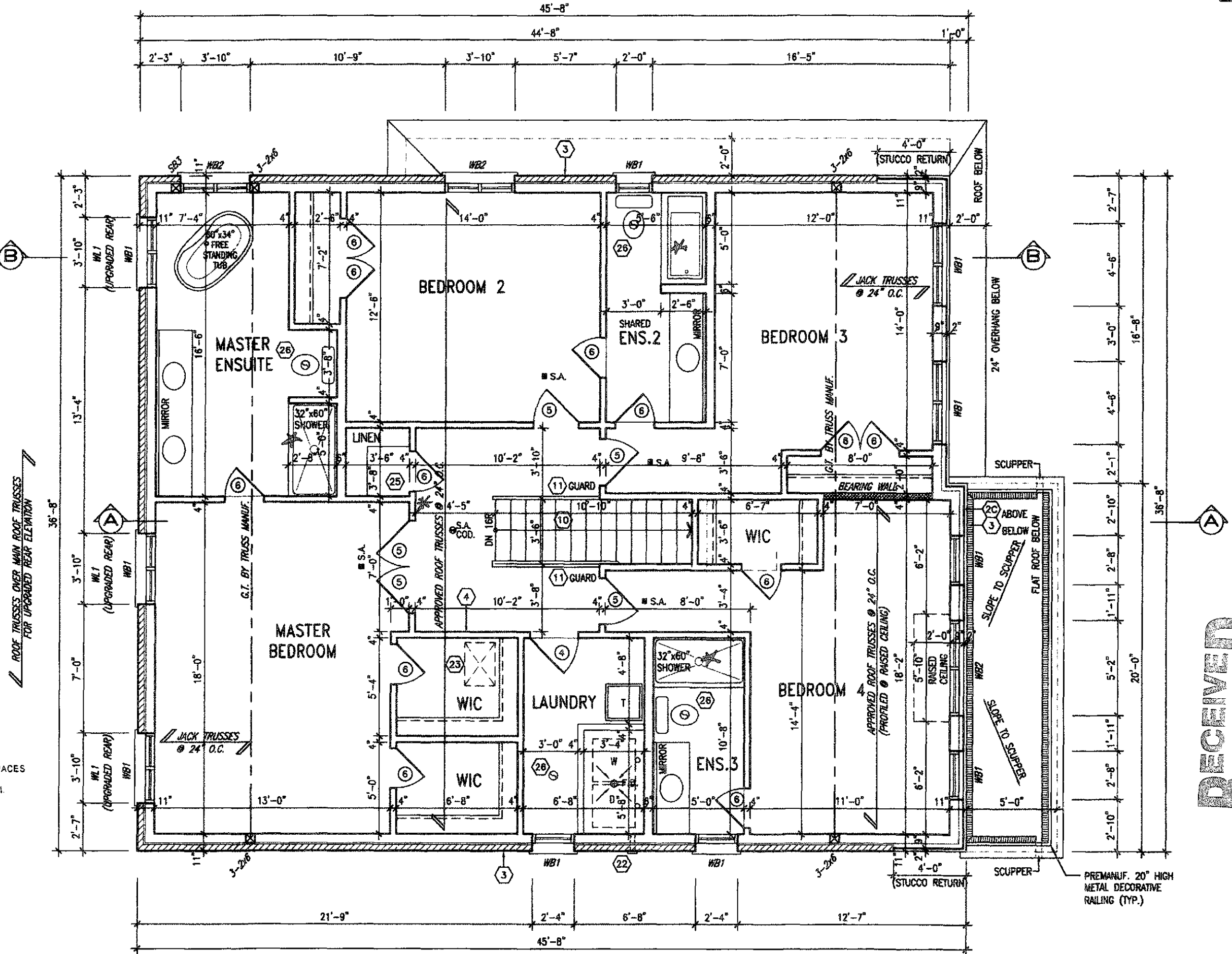
5. 1990年12月，国务院批准成立国家教育委员会，作为国务院的组成部门，主管全国教育行政工作。

2907 SF.

THIS STRUCTURE MUST BE
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EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

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JUN 10 2019
TOWN OF CALEDON
BUILDING SECTION

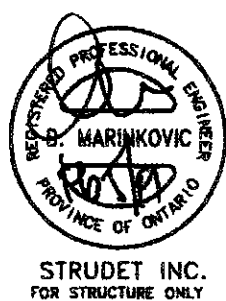
SECOND FLOOR PLAN - ELEV. '3'

FEB 06 2019

WOODCROFT 3
ENERGY STAR

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STRUDET INC.
FOR STRUCTURE ONLY

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3, 3.8.3.2.(1)(d) & 3.8.3.13.(1)(f).

18		9			
17		8			
16		7			
15		6			
14		5	ISSUED FOR PERMIT.	JAN 31/19	GW
13		4	ROOF-FLOOR-ENG. CO-ORD.	JAN 08/19	GW
12		3	REAR UPGRADES REVISED PER A/C.	NOV 22/18	GW
11		2	REVISED ROOF SLOPES PER CLIENT.	SEP. 27/18	GW
10		1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 26/18	GW
no.	description	date	by	no.	description

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qualification information
Richard Vink
24438
42658
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
416.630.2255 / 416.630.4782
v3design.com

**V3
DESIGN**

255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
416.630.2255 / 416.630.4782
v3design.com

Greenpark.

project name
LAMBERTS LANE HOME CORP. PH.2
date
SEP. 2018
designed by
N.HUR
checked by
3/18" = 1'-0"

WOODCROFT 3
13.7m

project no.
18023
drawing no.
18023-WOODCROFT-3
A3b

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AND CARBON
TORS SHALL
SECTIONS
OF THE
BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES
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OPT. SECOND FLOOR PLAN (5 BED) - ELEV. '1'

FEB 06 2019

WOODCROFT 3
ENERGY STAR

18				9					The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17				8					
16				7					
15				6					qualification information
14				5	ISSUED FOR PERMIT.	JAN 31/19	GW		Richard Vink 244
13				4	ROOF-FLOOR-ENG. CO-ORD.	JAN 08/19	GW		name signature 8
12				3	REAR UPGRADES REVISED PER A/C.	NOV 22/18	GW		registration information 426
11				2	REVISED ROOF SLOPES PER CLIENT.	SEP. 27/18	GW		VAS Design Inc.
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 26/18	GW		
no. description		date by		no. description		date by			

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t 416.630.2255 f 416.630.4782
va3design.com



Greenpark.

project name
LAMBERTS LANE HOME CORP. PH.2

municipality
CALEDON

ART SECOND FLOOR PLAN (5 BED) FLEM 949

SEP. 2018 OPT. SECOND FLOOR PLAN (5 BED) - ELEV. 1'

drawn by _____ checked by _____ scale _____ file name _____

2. NAME 3/16" = 1'-0" 18023-WOODCROFT-3

CSG - N:\ARC\BET\BOS\BOS\2018\18223\REF1-UNITS\137_HUDOCROFT\HUDOCROFT_1\18223-HUDOCROFT-3.dwg - Thu - Jan 31 2019 - 10:38 AM

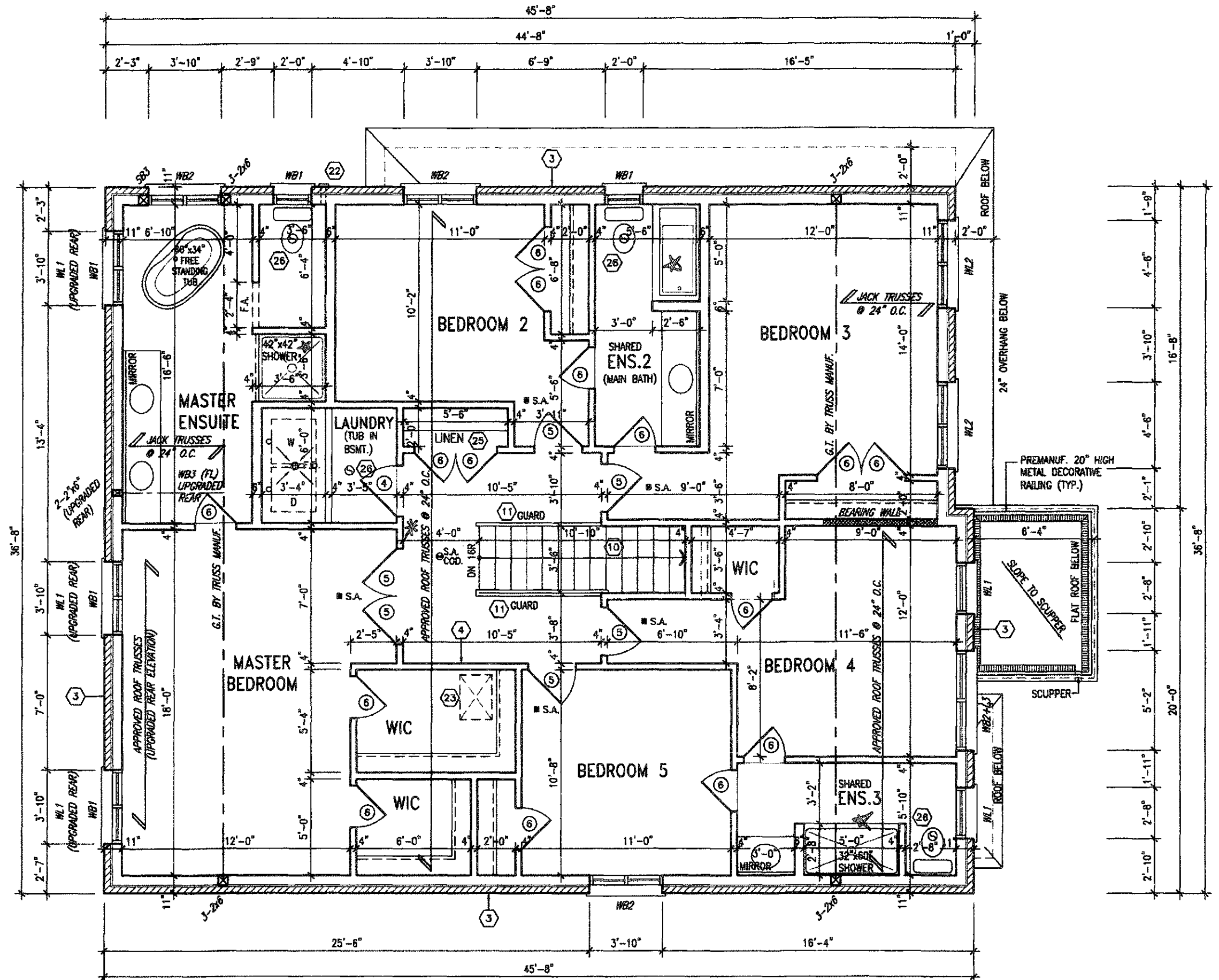
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2907 SF.

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BUILDING SECTION
FILE NO.

OPT. SECOND FLOOR PLAN (5 BED) - ELEV. '2'

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WOODCROFT 3
ENERGY STAR

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3.8.3.8.(1)(a) & 3.8.3.13.(1)(a).

18				9					
17				8					
16				7					
15				6					
14				5	ISSUED FOR PERMIT.	JAN 31/19	GW		
13				4	ROOF-FLOOR-ENG. CO-ORD.	JAN 08/19	GW		
12				3	REAR UPGRADES REVISED PER A/C.	NOV 22/18	GW		
11				2	REVISED ROOF SLOPES PER CLIENT.	SEP. 27/18	GW		
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 26/18	GW		
no.	description	date	by	no.	description	date	by		

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qualification information
Richard Vink 24488
name
signature
VAS Design Inc. 42658
registration information
VAS Design Inc.
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t 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.
project name
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multiplicity
CALEDON
date
SEP. 2018
checked by
N.HUR
scale
3/16" = 1'-0"
drawing no.
18023-WOODCROFT-3

WOODCROFT 3
13.7m
project no.
18023
drawing no.
A4a

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Chicago, Ill. 60610
U.S.A.

ROOF TRUSSES OVER MAIN ROOF TRUSSES
FOR UPGRADED REAR ELEVATION

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FEB 06 2019

WOODCROFT 3
ENERGY STAR

18				9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17				8				
16				7				questionnaire information
15				6				Richard Vink 244
14				5	ISSUED FOR PERMIT.	JAN 31/19	GW	note
13				4	ROOF-FLOOR-ENG. CO-ORD.	JAN 08/19	GW	regulation information
12				3	REAR UPGRADES PERFORMED PER A/C.	NOV 22/18	GW	VAS Design Inc. 426
11				2	REVISED ROOF SLOPES PER CLIENT.	SEP. 27/18	GW	
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 26/18	GW	
no. description				no. description	date	by		

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qualification information
Richard Vink *R Vink* 244

703780
registration information
VA3 Design Inc. 426

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va3design.com

Greenpark.

project name	LAMBERTS LANE HOME CORP. PH.2	municipality	CALEDON
--------------	-------------------------------	--------------	---------

DATE: 08-01-2010 08:01:00 AM PAGE: 001 OF 001

SEP. 2018 OPT. SECOND FC

2 **M.HUR** - 3/16" = 1'-0"

(REG - 4) (ACQ) (S) (MOR) (HCO) (DIA) (2023) (P7) (1-1) (MTR) (137) (BOD) (MTA) (FED)

WOODCROFT 3
13.7m

project no.
18023

01 - FLD/ '3'	drawing no.
---------------	-------------

44

18023-WOODCROFT-3 A40

10/25/2019 12:58 PM - 6102 IF 437

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JUN 10 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

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THE ONTARIO BUILDING CODE

ROOF PLAN '1'

PREFIN. VINYL SHAKES
SIDING (TYP.)
PRECAST CONC. BAND
OVER BRICK ROWLOCK
BAND
1"x6" ALUM. CLAD
FRIEZE BD. (TYP.)

BRICK PILASTER (TYP.)
BRICK ROWLOCK CAPITAL
ON 20" WIDE RAISED BRICK
PILASTER ON BRICK
ROWLOCK BASE. ALL WITH
1" PROJECTION (TYP.)

PRECAST CONC. SILL
(TYP.)

10" DIA. CLAD COLUMN WITH
6"x6" P.T. WOOD POST ANCHORED
TO 14"x14" SOLID MASONRY PIER
WITH GALVANIZED METAL SHOE
(TYP.). PROVIDE SIMPSON
STRONG-TIE CONNECTOR FOR
POST-BEAM CONNECTION (TYP.)

POURED CONC. PORCH SLAB
& DOOR SILL (TYP.)

POURED CONC. FOUNDATION
WALLS & FOOTINGS (TYP.)

X - ALUMARAIL
(SEE DETAILS)

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

FRONT ELEVATION '1'

PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
WITH INTEGRATED MASONRY
LEDGE ON SIDES WHERE
GRADE REQUIRES.

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

18				9					
17				8					
16				7					
15				6					
14				5	ISSUED FOR PERMIT.	JAN 31/19	GW		
13				4	ROOF-FLOOR-ENG. CO-ORD.	JAN 08/19	GW		
12				3	REAR UPGRADES REVISED PER A/C.	NOV 22/18	GW		
11				2	REVISED ROOF SLOPES PER CLIENT.	SEP. 27/18	GW		
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 26/18	GW		
no.	description	date	by	no.	description	date	by		

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink
signature
24488
BCIN

name
registration information
VA3 Design Inc.
42658

Designer must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be used.

VA3
DESIGN
255 Consumers Rd. Suite 120
Toronto, ON M2J 1R4
416.630.2255 / 416.630.4782
va3design.com

Greenpark.
project name
LAMBERTS LANE HOME CORP. PH.2
checked by
3/16" = 1'-0"
date
SEP. 2018
scale
18023-WOODCROFT-3

WOODCROFT 3
13.7m
project no.
18023
drawing no.
A5

WOODCROFT 3
ENERGY STAR

FEB 06 2019

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TOWN OF CALEDON
BUILDING SECTION
FILE NO.

ASPHALT SHINGLES
(TYP.)

MID-HEIGHT OF MAIN ROOF

VALLEY FLASHING
(TYP.)

PREFIN. ALUM. R.W.I.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

TOP OF PLATE

TOP OF WINDOW

PREFIN. METAL
FLASHING, W/
CAULKING TO
MATCH (TYP.)

FIN. SECOND FLOOR

TOP OF TRANSOM

TOP OF DOOR

1"x6" ALUM. CLAD
FRIEZE BD. (TYP.)
10" PRECAST CONC.
HEADER (TYP.)

1/2" FACE BRICK (TYP.)
CONT. PRECAST
CONC. BAND (TYP.)

FIN. GROUND FLOOR

FIN. GRADE

U/S GARAGE FOOTING

TOP OF BASEMENT SLAB

FEB 06 2019

WOODCROFT 3
ENERGY STAR

WOODCROFT 3
13.7m

Greenpark.

project name
LAMBERTS LANE HOME CORP. PH.2

residential

project no.
18023

date
SEP. 2018

FRONT ELEVATION - ELEV. '2'

checked by
3/16" = 1'-0"

drawing no.
18023-WOODCROFT-3

A5a

VAS
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
signature
name
registration information
VAS Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
WITH INTEGRATED MASONRY
LEDGE ON SIDES WHERE
GRADE REQUIRES.

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FINISHED GRADE.

18				9					
17				8					
16				7					
15				6					
14				5	ISSUED FOR PERMIT.	JAN 31/19	GW		
13				4	ROOF-FLOOR-ENG. CO-ORD.	JAN 08/19	GW		
12				3	REAR UPGRADES REVISED PER A/C	NOV 22/18	GW		
11				2	REVISED ROOF SLOPES PER CLIENT	SEP. 27/18	GW		
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW	SEP. 26/18	GW		
no.	description	date	by	no.	description	date	by		

ROOF PLAN '2'

FRONT ELEVATION '2'

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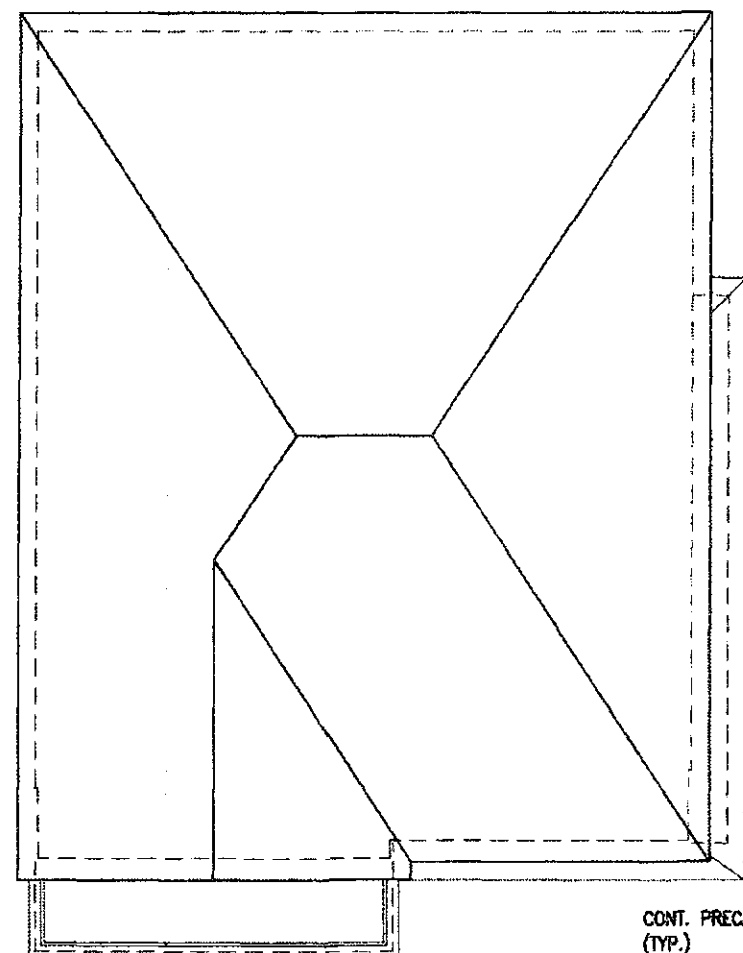
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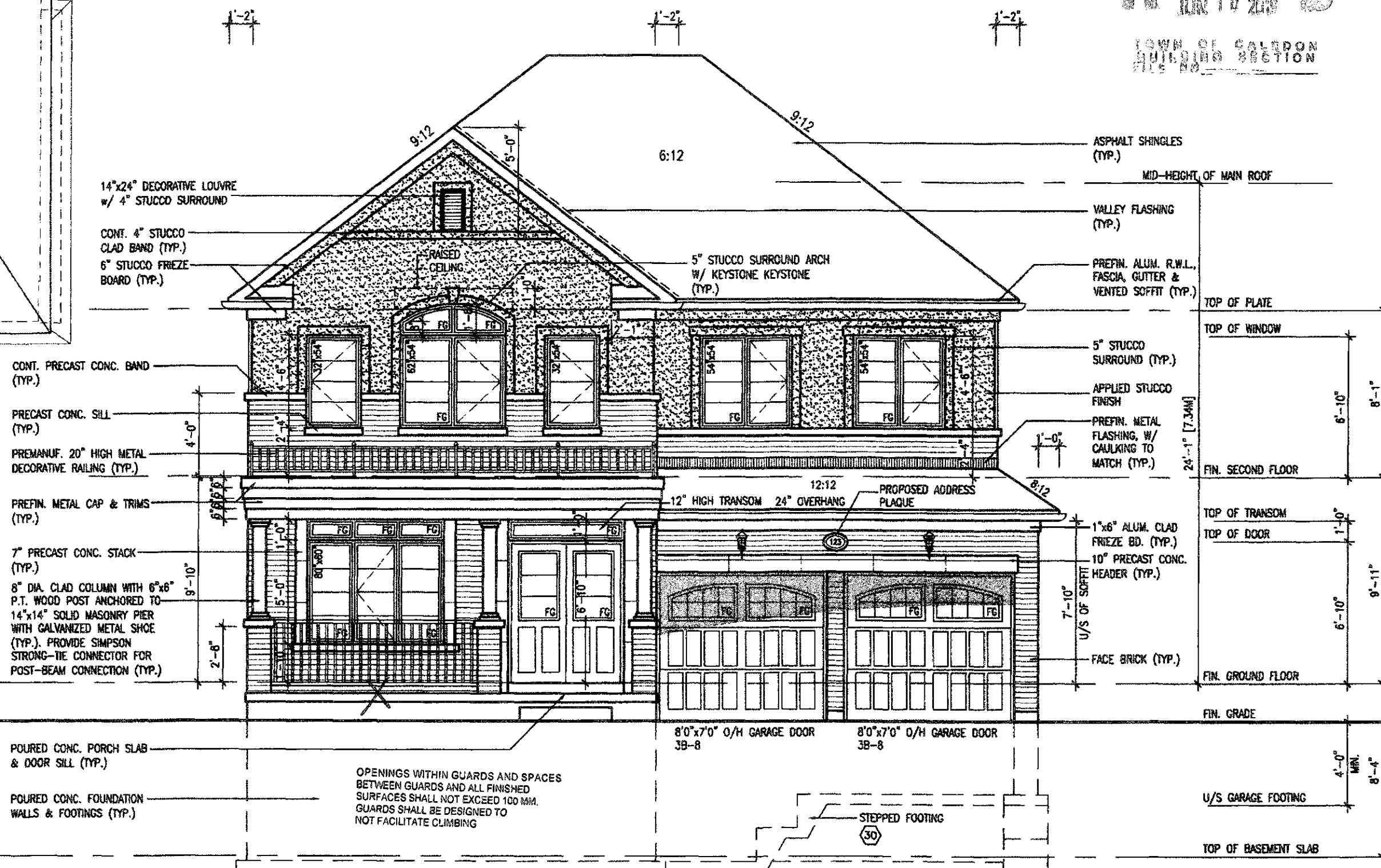
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TOWN OF CALEDON
BUILDING DEPARTMENT



ROOF PLAN '3'



FRONT ELEVATION '3'

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PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
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FINISHED GRADE.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

FEB 06 2019

WOODCROFT 3
ENERGY STAR

18				9					
17				8					
16				7					
15				6					
14				5	ISSUED FOR PERMIT.	JAN 31/19	GW		
13				4	ROOF-FLOOR-ENG. CO-ORD.	JAN 08/19	GW		
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11				2	REVISED ROOF SLOPES PER CLIENT.	SEP. 27/18	GW		
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 28/18	GW		
no. description		date	by	no. description		date	by		

The undersigned has reviewed and takes responsibility for this design and has the qualifications and creates the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink
signature
24488
BOM
home
registration information
VAB Design Inc.
42658
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VAB
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
vabdesign.com

Greenpark.

project name
LAMBERTS LANE HOME CORP. PH.2
municipality
CALEDON
date
SEP. 2018
drawn by
M.HUR
checked by
3/16" = 1'-0"

WOODCROFT 3
13.7m

FRONT ELEVATION - ELEV. '3'

project no.
18023

drawing no.
A5b

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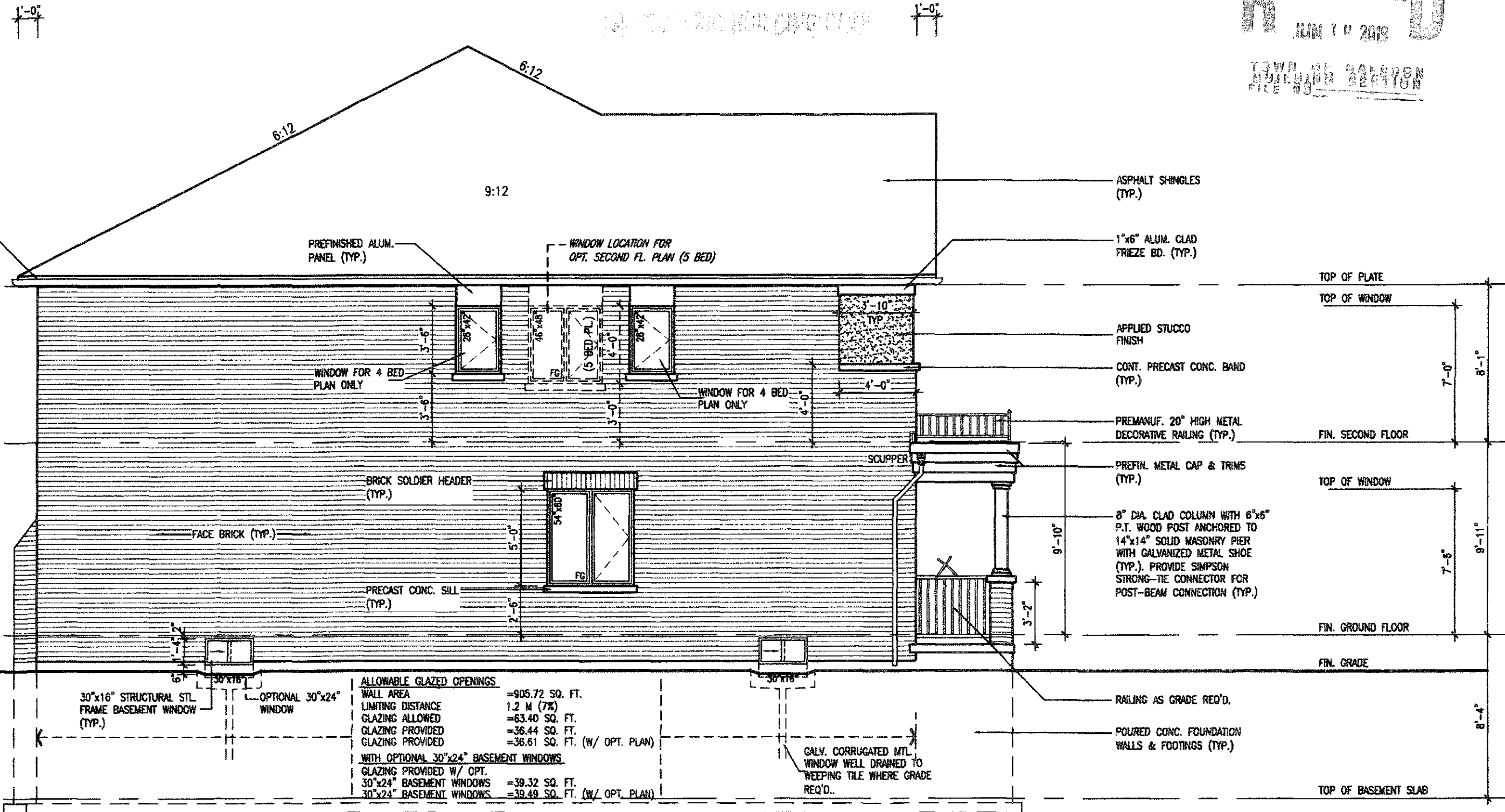
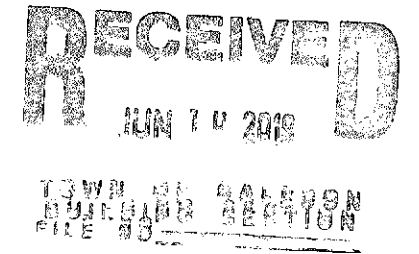
ALL INFORMATION CONTAINED
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UCBAW/STP/STP



 Greenpark.	WOODCROFT 3 13.7m
project name LAMBERTS LANE HOME CORP. PH.2	municipality CALEDON
date SEP. 2018	project no. 18023
LEFT SIDE ELEVATION - ELEV. '92'	
drawn by N.MUR	drawing no. A6a
checked by _____ note $\frac{3}{16}'' = 1'-0''$ file name 18023-WOODCROFT-3 date - 3/16/2019 project path C:\Users\N.Murphy\AppData\Local\Temp\18023-WOODCROFT-3.dwg	

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LEFT SIDE ELEVATION '3'

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
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WOODCROFT 3
ENERGY STAR

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18			9				
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no.	description	date	by	no.	description	date	by

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qualification information
Richard Vink 24488
signature
VA3 Design Inc. 42658
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 416.630.4782
va3design.com

VA3
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255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 416.630.4782
va3design.com

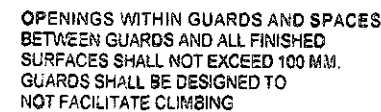
Greenpark
project name
LAMBERTS LANE HOME CORP. PH.2
checked by
M.HUR
date
3/16/19 = 1'-0"

WOODCROFT 3
13.7m
project no.
18023
drawing no.
A6b
LEFT SIDE ELEVATION - ELEV. '3'

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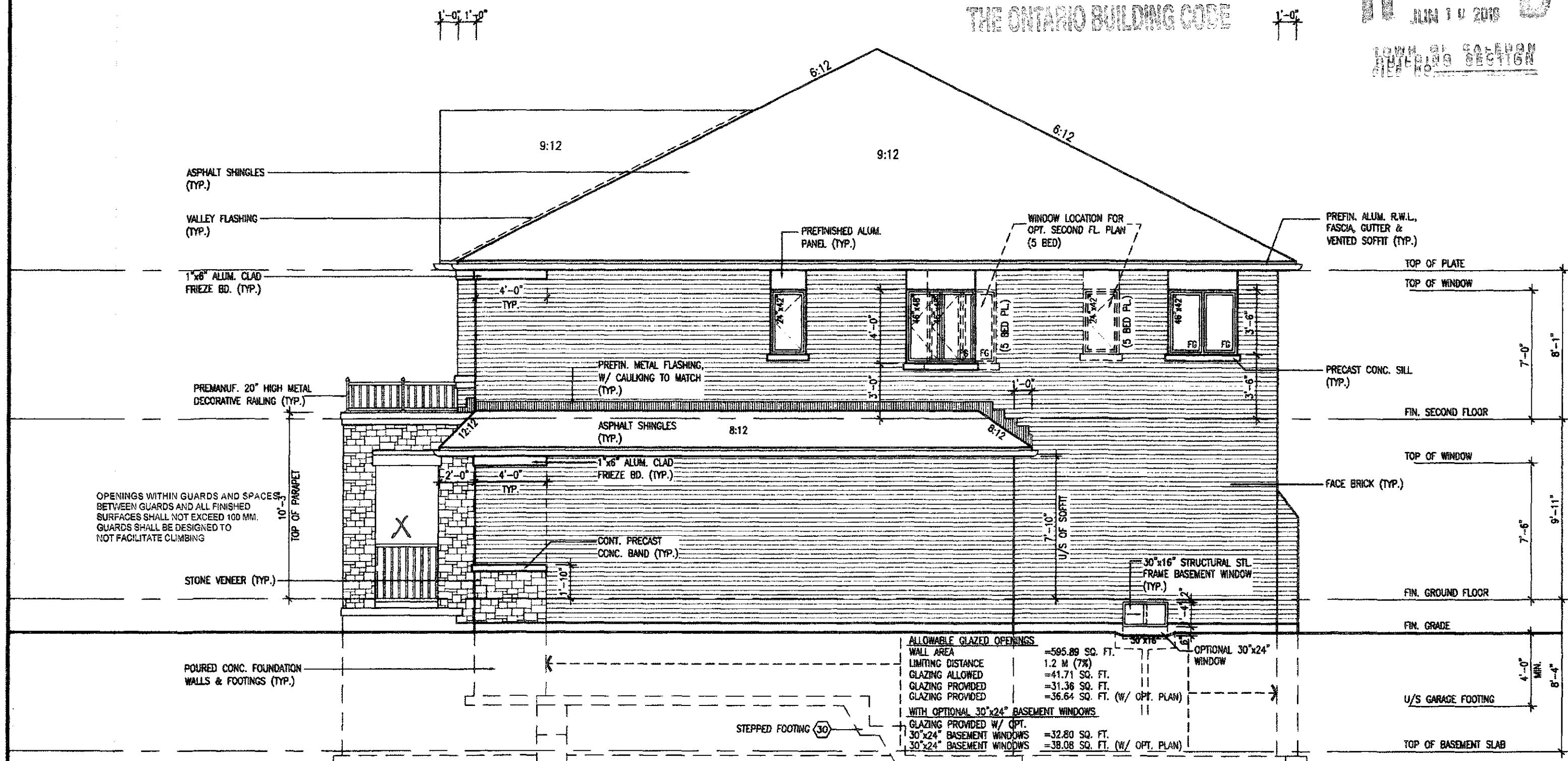
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U.S. DEPARTMENT OF JUSTICE



45 MINUTE FIRE RATED WALL

RIGHT SIDE ELEVATION '3'

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

FEB 06 2019

WOODCROFT 3
ENERGY STAR

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18				9		
17				8		
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9	description	date	by	no.	description	date

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DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

project name
LAMBERTS LANE HOME CORP. PH.2

municipality
CALEDON

dbs
SEP. 2018

RIGHT SIDE ELEVATION

drawn by
M.HUR

checked by
- 3/16" = 1'-0"

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project no.
18023

ON - ELEV. '3'

drawing no.
A7b

18023-WOODCROFT-3

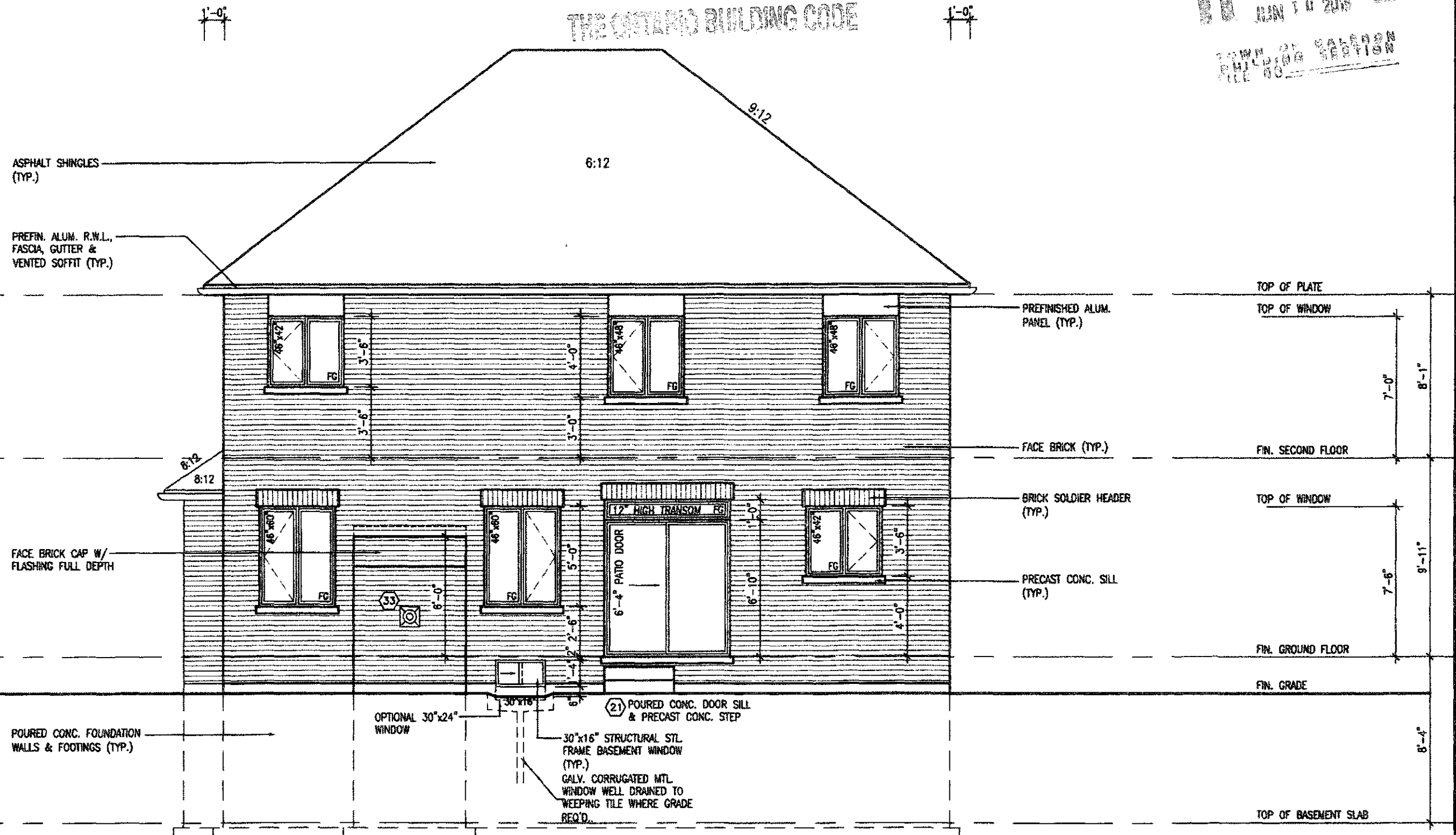
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TOWN OF CALEDON
BUILDING DEPARTMENT
FILE NO.



REAR ELEVATION '1'

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FEB 06 2019

WOODCROFT 3
ENERGY STAR

18.				9.			
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16.				7.			
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14.				5.	ISSUED FOR PERMIT.	JAN 31/19	GW
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no.	description	date	by	no.	description	date	by

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Qualification Information
Richard Vink
name
signature
24488
BCN
42658

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VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
vasdesign.com

Greenpark. **WOODCROFT 3**
13.7m

project name: **LAMBERTS LANE HOME CORP. PH.2** municipality: **CALEDON** project no.: **18023**

date: **SEP. 2018** drawing no.: **A8**

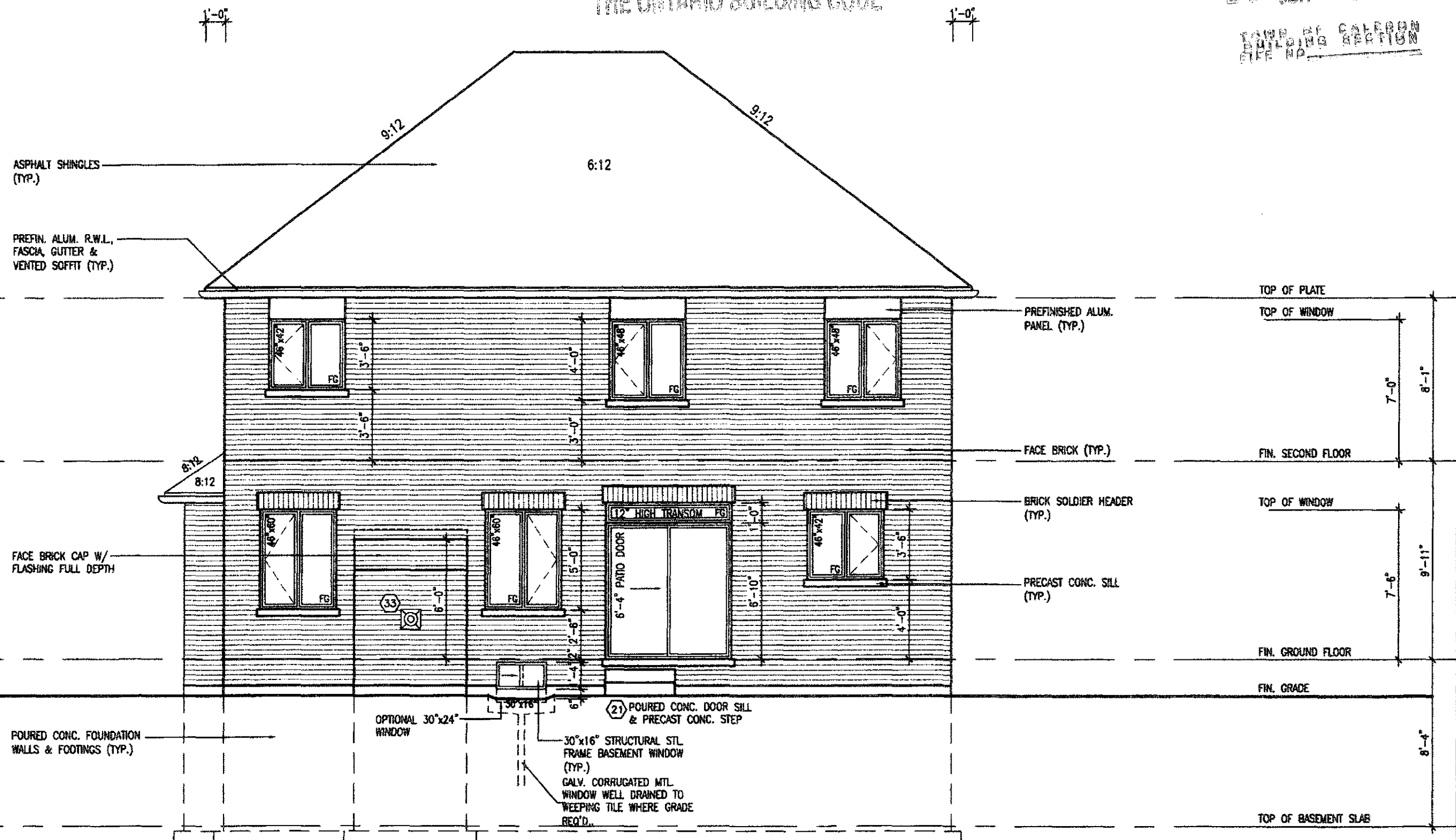
drawn by: **N.MUR** checked by: **3/16" = 1'-0"** title: **REAR ELEVATION - ELEV. '1'**

18023-WOODCROFT-3

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OFFICE OF THE
DIRECTOR
FEDERAL BUREAU OF INVESTIGATION
U. S. DEPARTMENT OF JUSTICE
WASHINGTON, D. C.



FEB 06 2019

WOODCROFT 3
ENERGY STAR

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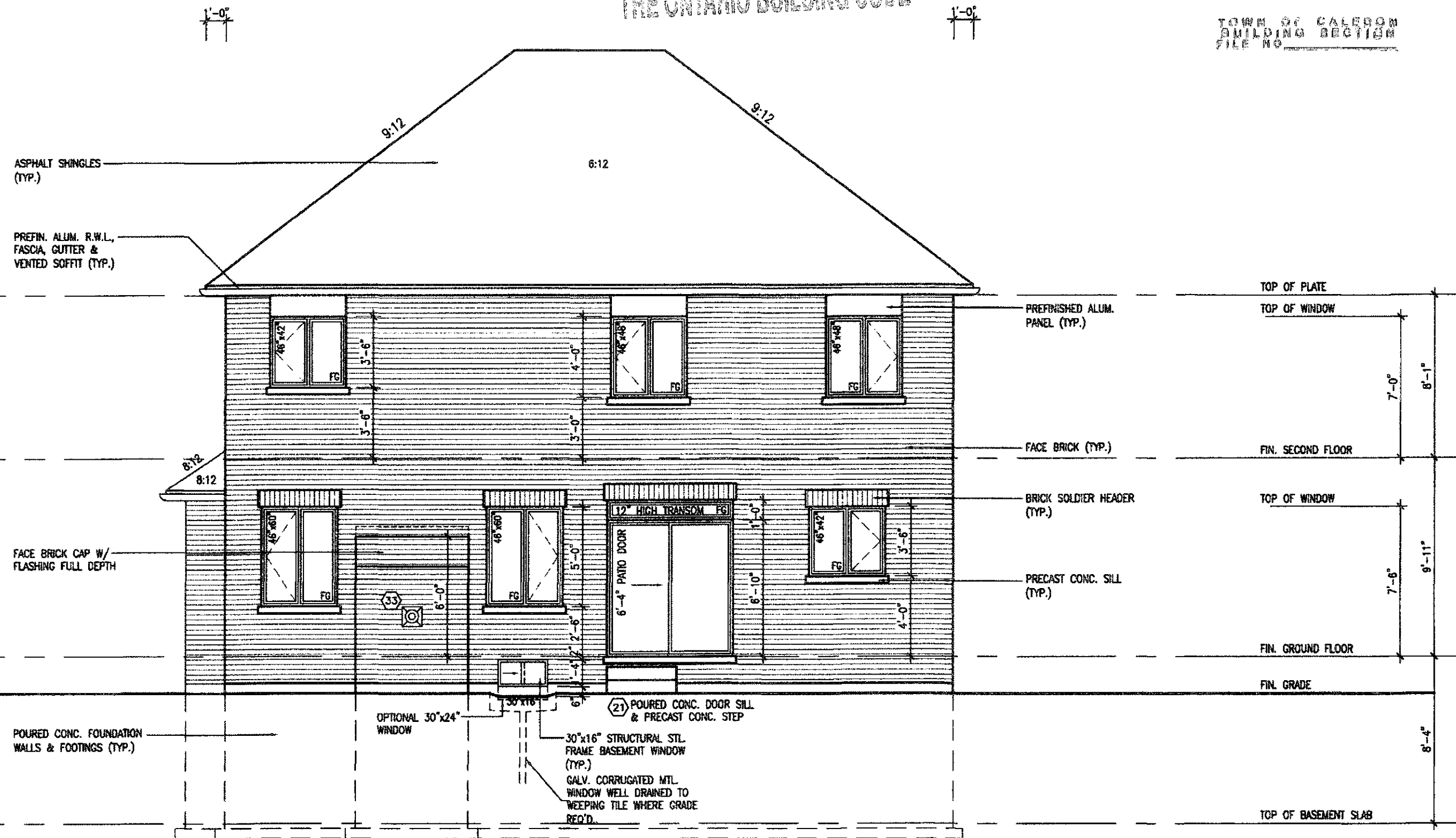
ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

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TOWN OF CALEDON
BUILDING SECTION
FILE NO.



REAR ELEVATION '3'

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FEB 06 2019

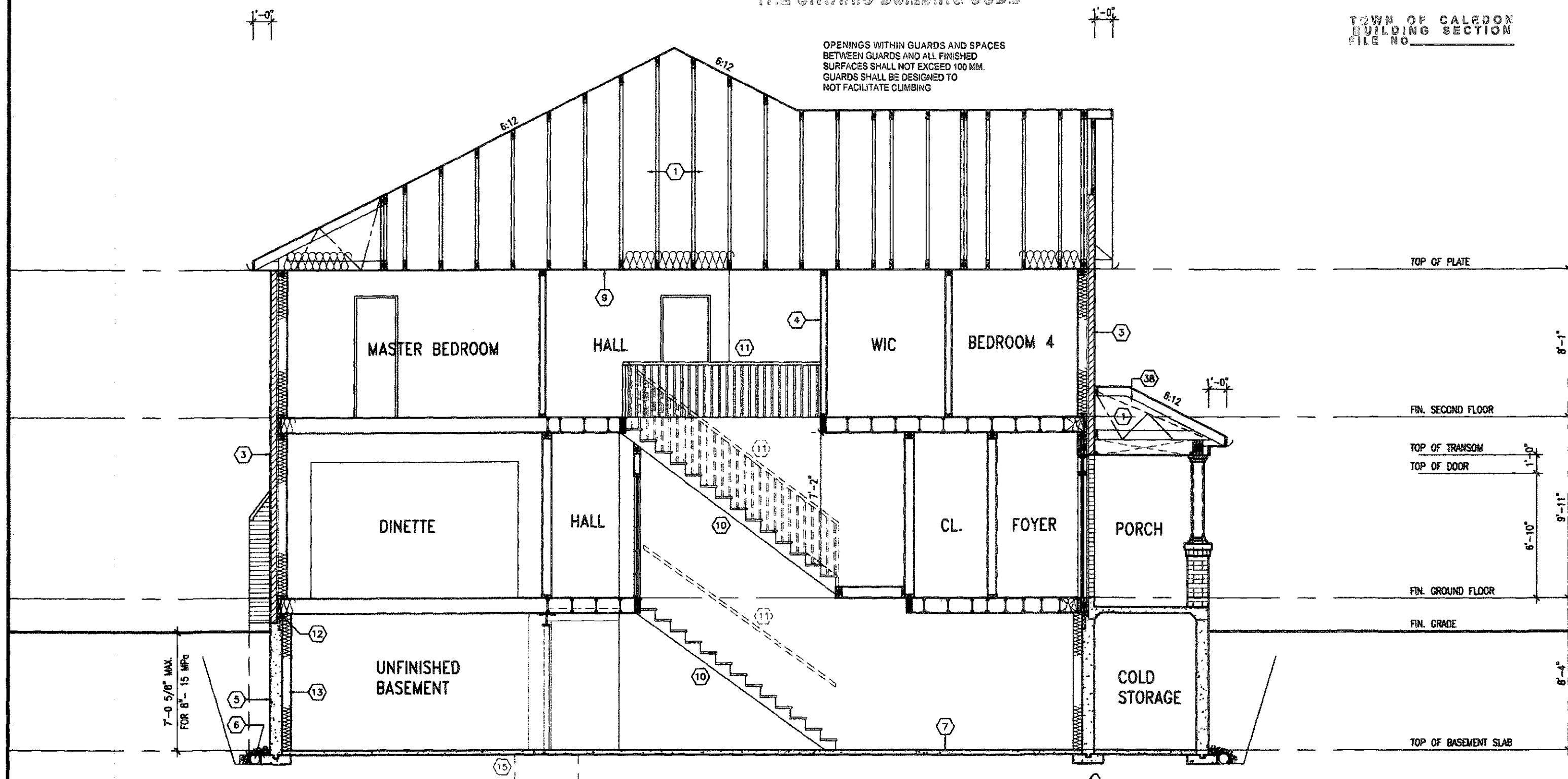
WOODCROFT 3
ENERGY STAR

18		9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	 VA3 DESIGN 255 Consumers Rd Suite 120 Toronto, ON M2J 1M4 T 416.630.2255 F 416.630.4782 v3design.com	 Greenpark. project name LAMBERTS LANE HOME CORP. PH.2 city/province CALEDON	WOODCROFT 3 13.7m project no. 18023	drawing no. A8b			
17		8			qualification information	project name					city/province	project no.	
16		7			Richard Vink	24488							
15		6			signature	BCO							
14		5			ISSUED FOR PERMIT.	JAN 31/18					GW		
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10		1			PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 26/18	GW						
no. description		date	by	no. description	date	by							

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OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING



STRUDET INC.
FOR STRUCTURE ONLY

WOODCROFT 3
ENERGY STAR

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

18				9	-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17				8	-	-	
16				7	-	-	qualification information
15				8	-	-	Richard Vink <i>R Vink</i> signature 24
14				5 ISSUED FOR PERMIT.	JAN 31/19	CW	same
13				4 ROOF-FLOOR-ENG. CO.-OND.	JAN 08/19	CW	VAS Design Inc. 426
12				3 REAR UPGRADES REVISED PER A/C.	NOV 22/18	CW	
11				2 REVISED ROOF SLOPES PER CLIENT.	SEP 27/18	CW	Contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be used.
10	description	date	by	no. description	date	by	
9				1 PRELIMINARY, ISSUED FOR CLIENT REVIEW.	SEP. 26/18	CW	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer:

qualification information

Richard Vink 2448

name

signature

registration information

VA3 Design Inc. 4263

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications herein remain the service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

**VA3
DESIGN**
255 Consumers Rd Suite 101
Toronto ON M2N 1L1
t 416.630.2255 f 416.630.2255
va3design.com

Greenpark

Project name
AMBERTS LANE HOME CORP. PH.2 CALIF.

Date
EP. 2018 CROSS SECTION

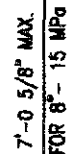
Drawing by
MUR checked by scale
3/16" = 1'-0"

CAD - J:\PROJECT\NEW PROJECTS\2018\GREEN PARK PHASE 2\DWG\SECTION\SECTION.DWG PLOTNO: 2018-09-07

WOODCROFT 3	
13.7m	
by N	project 1802
A-A - ELEV. '1'	drawing no.
18023-WOODCROFT-3	A9
13.7m	

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TOWN OF CALEDON
BUILDING SECTION
FILE NO. _____

FEB 06 2019

WOODCROFT 3
ENERGY STAR

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18				9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17				8				
16				7				qualification information
15				6				Richard Vink
14				5	ISSUED FOR PERMIT.	JAN 31/19	GW	name 244
13				4	ROOF-FLOOR-ENG. CO-ORD.	JAN 08/19	GW	signature 428
12				3	REAR UPGRADES REVISED PER A/C.	NOV 22/18	GW	
11				2	REVISED ROOF SLOPES PER CLIENT.	SEP. 27/18	GW	Contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 28/18	GW	
no. description		date by		no. description				

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va3design.com



Greenpark™

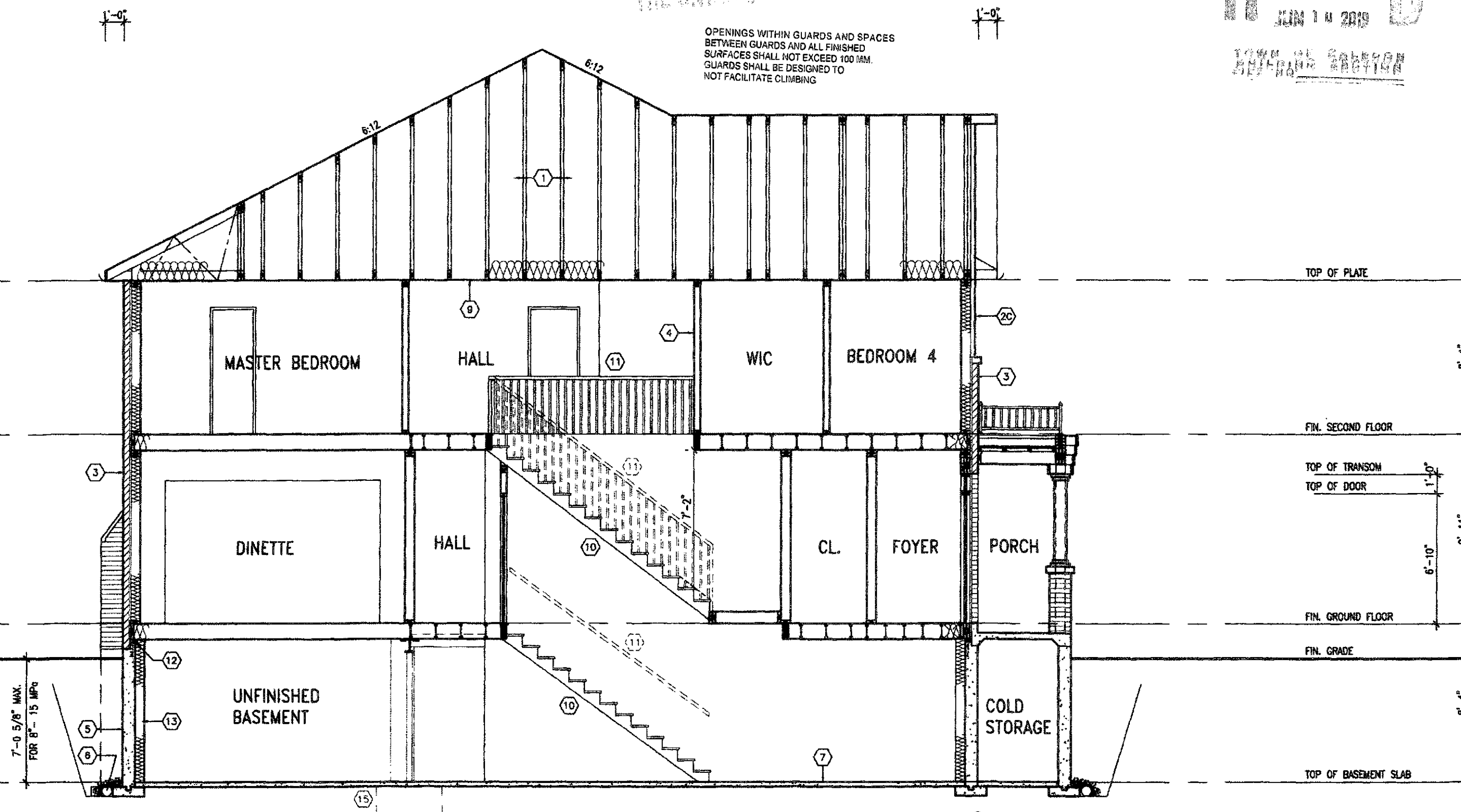
WOODCROFT 3
13.7m

project name	city	municipality	project no.
LAMBERTS LANE HOME CORP. PH.2	CALEDON		18023
date	CROSS SECTION A-A - ELEV. "2"		drawing no.
SEP. 2018			
drawn by	checked by	scale	file name
N.HUR	-	3/16" = 1'-0"	18023-WOODCROFT-3
CROSS - LAMBERTS LANE HOME CORP. PH.2 (PH.1) - LAMBERTS LANE (3/16" = 1'-0") WOODCROFT - 3 (3/16" = 1'-0")			

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TOWN OF GALETON
ENTERING SECTION

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING



CROSS SECTION A-A ELEVATION '3'

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ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

18			9					The undersigned has reviewed and takes responsibility for this design and has the qualifications and made the recommendations set out in the Ontario Building Code to be a Designer.
17			8					
16			7					qualification information
15			6					Richard Vink <i>R Vink</i> 244
14			5	ISSUED FOR PERMIT.	JAN 31/19	GW	name	signature
13			4	ROOF-FLOOR-ENG. CO-ORD.	JAN 08/19	GW	registration information	42B
12			3	REAR UPGRADES REVISED PER A/C.	MAY 22/18	GW	VAS Design Inc.	
11			2	REVISED ROOF SLOPES PER CLIENT.	SEP 27/18	GW		
10			1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	SEP 26/18	GW		
no.	description	date	by	no.	description	date	by	



REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

STRUDET INC
FOR STRUCTURE ONLY

FEB 06 2019

WOODCROFT 3
ENERGY STAR

**VA3
DESIGN**

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vn3design.com

Greenpark.

project name **LAMBERT'S LANE HOME CORP. PH.2** municipality **CALEDON**
date **SEP. 2018** **CROSS SECTION A**
drawn by **HLK/RL** checked by **3/18"** scale **1"=0"**

WOODCROFT 3
13.7m

project no.
18023

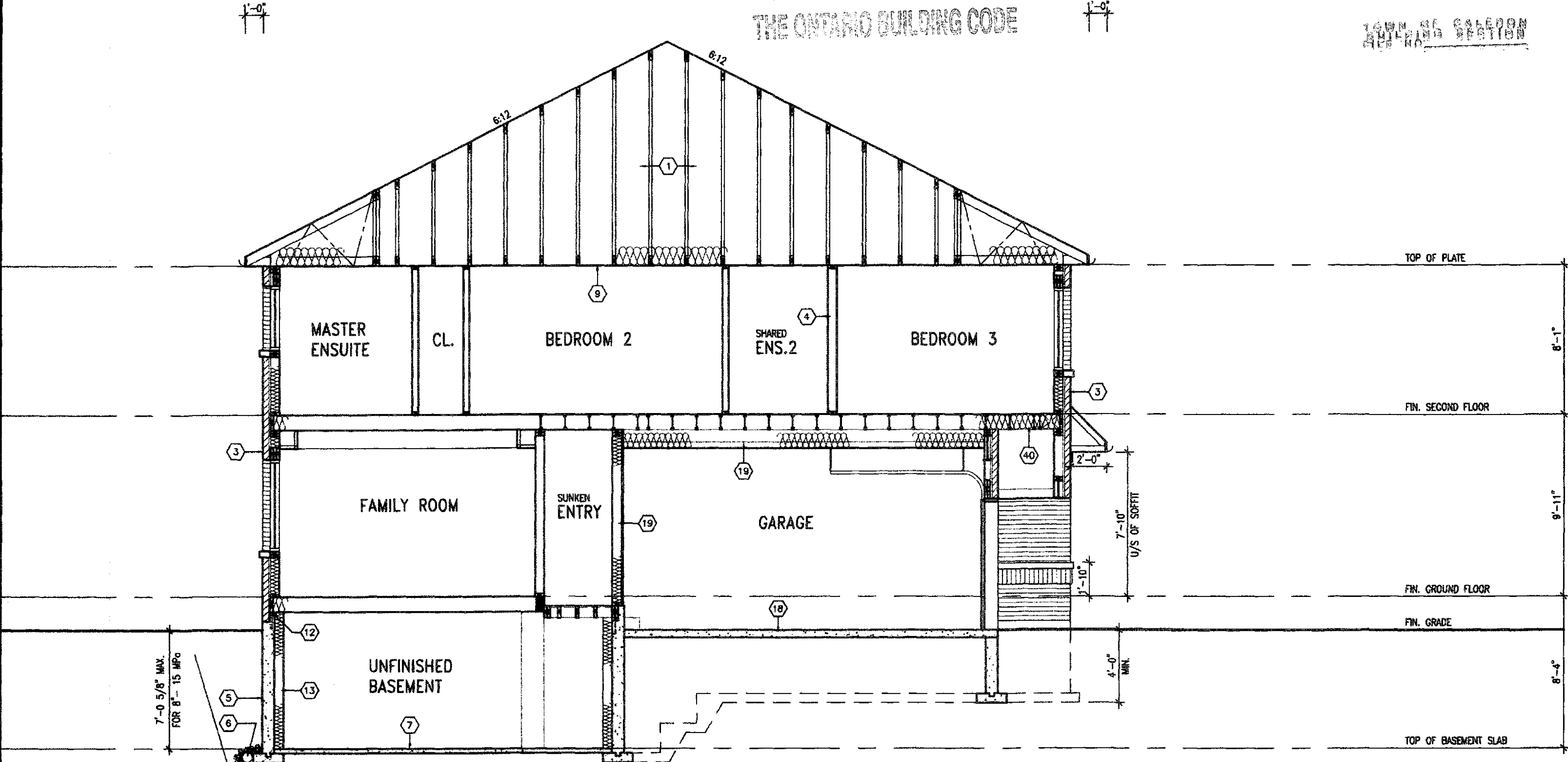
drawing no.
A9b

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TOWN OF CALEDON
BUILDING SECTION



CROSS SECTION B-B ELEVATION '1'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.



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WOODCROFT 3
ENERGY STAR

18			9		
17			8		
16			7		
15			6		
14			5	ISSUED FOR PERMIT.	JAN 31/19 GW
13			4	ROOF-FLOOR-ENG. CO-ORD.	JAN 08/19 GW
12			3	REAR UPGRADES REVISED PER A/C.	NOV 22/18 GW
11			2	REVISED ROOF SLOPES PER CLIENT.	SEP. 27/18 GW
10			1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 26/18 GW
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
signature
name
registration information
VAS Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.

project name
LAMBERTS LANE HOME CORP. PH.2

CALEDON

WOODCROFT 3
13.7m

project no.
18023

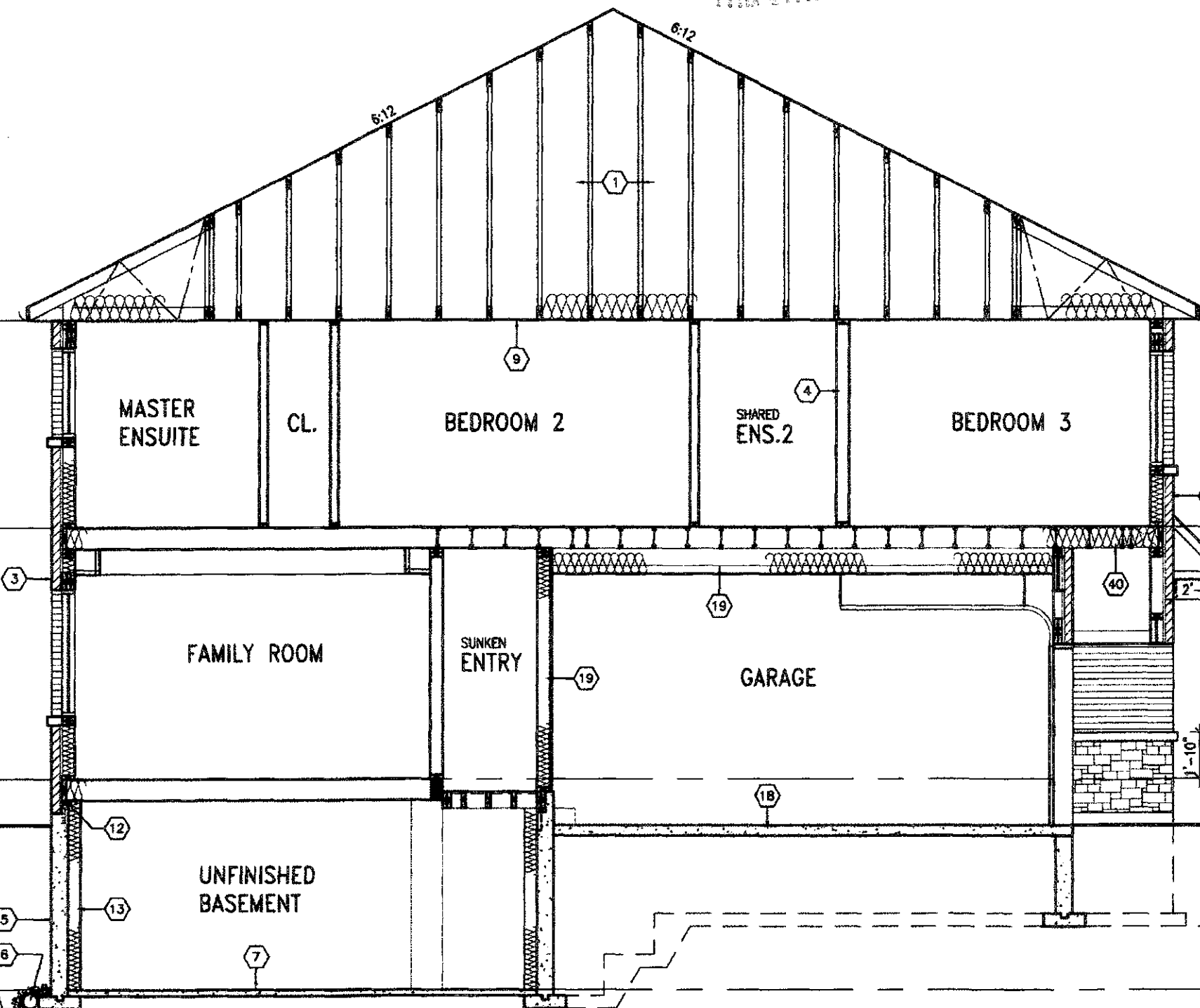
date
SEP. 2018
drawn by
N.HUR
checked by
3/16" = 1'-0"
drawing no.
18023-WOODCROFT-3
file name
A10
DATE - JUN 21 2019 - 10:38 AM

2907 SF.

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BUILDING SECTION
FILE NO.



CROSS SECTION B-B ELEVATION '2'

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ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.



STRUDET INC.
FOR STRUCTURE ONLY

FEB 06 2019

WOODCROFT 3
ENERGY STAR

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5	ISSUED FOR PERMIT.	JAN 31/19	GW
13				4	ROOF-FLOOR-ENG. CO-ORD.	JAN 08/19	GW
12				3	REAR UPGRADES REVISED PER A/C.	NOV 22/18	GW
11				2	REVISED ROOF SLOPES PER CLIENT.	SEP 27/18	GW
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP 26/18	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
signature
VA3 Design Inc. 42858
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
LAMBERTS LANE HOME CORP. PH.2
municipality
CALEDON
date
SEP. 2018
checked by
N.HUR
scale
3/16" = 1'-0"
drawing no.
18023-WOODCROFT-3

WOODCROFT 3
13.7m

project no.
18023

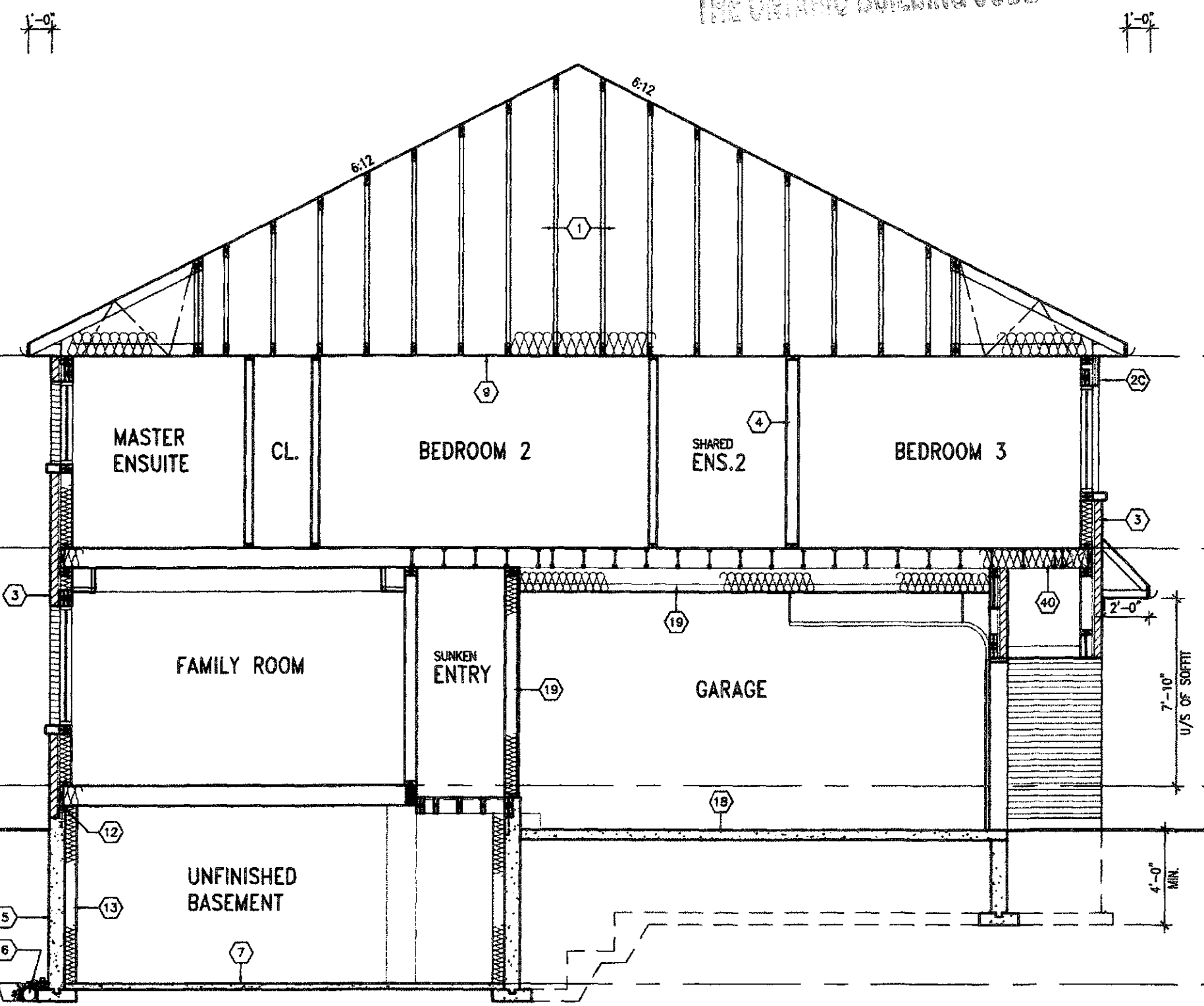
drawing no.
A10a

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TOWN OF CALEDON
BUILDING SECTION



CROSS SECTION B-B ELEVATION '3'

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
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WOODCROFT 3
ENERGY STAR

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ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

18				9					
17				8					
16				7					
15				6					
14				5	ISSUED FOR PERMIT.	JAN 31/19	GW		
13				4	ROOF-FLOOR-ENG. CO-ORD.	JAN 08/19	GW		
12				3	REAR UPGRADES REVISED PER A/C.	NOV 22/18	GW		
11				2	REVISED ROOF SLOPES PER CLIENT.	SEP. 27/18	GW		
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 26/18	GW		
no.	description	date	by	no.	description	date	by		

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
signature: *R. Vink*
Richard Vink 24488
signature: *[Signature]*
42858
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.830.2255 / 416.830.4782
vasdesign.com

Greenpark.	WOODCROFT 3 13.7m
project name LAMBERTS LANE HOME CORP. PH.2	project no. 18023
city CALEDON	drawing no. A10b
CROSS SECTION B-B - ELEV. '3'	
date SEP. 2018	drawn by MLHUR
checked by 3/15" = 1'-0"	scale 18023-WOODCROFT-3
GTC - 11/18/2018/18023/2018/18023/2018/18023/2018/18023-WOODCROFT-3.dwg - Thu - Apr 31 2019 - 16:38 AM	

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JUN 10 2019

**TOWN OF CALEDON
BUILDING SECTION**



NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION.

PLANS AND ELEVATION ILLUSTRATE DECK
CONDITIONS WHERE GRADE PERMITS. BASEMENT
WINDOWS APPLY TO CONDITIONS OF A MINIMUM
4'-4" FROM FINISHED FIRST FLOOR TO GRADE.

WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 5)
FOR ADDITIONAL WOOD DECK INFORMATION.

VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

STRUDET INC.
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PARTIAL BASEMENT PLAN -
DECK CONDITION

PARTIAL GROUND FLOOR PLAN -
DECK CONDITION

FEB 06 2019

WOODCROFT 3
ENERGY STAR

18				9					The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17				8					
16				7					qualification information
15				6					Richard Vink <i>R Vink</i> 244
14				5	ISSUED FOR PERMIT.	JAN 31/19	GW		name
13				4	ROOF-FLOOR-ENG. CO-ORD.	JAN 08/19	GW		signature
12				3	NEAR UPGRADES REVISED PER A/C.	NOV 22/18	GW		VA3 Design Inc. 426
11				2	REVISED ROOF SLOPES PER CLIENT.	SEP 27/18	GW		
10				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	SEP 25/18	GW		
9	no.	description	date	by	no.	description	date	by	no.

The undersigned has reviewed and takes responsibility for this design and its use. The undersigned has reviewed and creates the requirements and sets in the Ontario Building Code to be a Designer.

qualification information

Richard Vink *R. Vink* 244

name signature

registration information

VA3 Design Inc. 428

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**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.830.2255 f 416.630.478
va3design.com

 Greenpark.		WOODCROFT 3 13.7m
project name LAMBERTS LANE HOME CORP. PH.2	municipality CALEDON	project no. 18023
date SEP. 2018		drawing no. A11
PARTIAL PLANS - DECK CONDITION		
drawn by HJHUR	checked by -	file name 18023-WOODCROFT-3
scale 3/16" = 1'-0"		
notes CHECK - HADLOCK WOODWORK (2018) (2019) (1-DIST) (1) 2-HADLOCK WOODWORK (2018) (2019) (1-DIST) (1) 18023-WOODCROFT-3 (2018) (2019) (1-DIST) (1) 18023-WOODCROFT-3 (2018) (2019) (1-DIST) (1)		

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TOWN OF CALEDONIA
BUILDING SECTION
FILE NO. _____



REAR ELEVATION '1'
- DECK CONDITION
(SIMILAR FOR ELEV. 2 & 3)

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

FEB 06 2019

WOODCROFT 3
ENERGY STAR

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ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

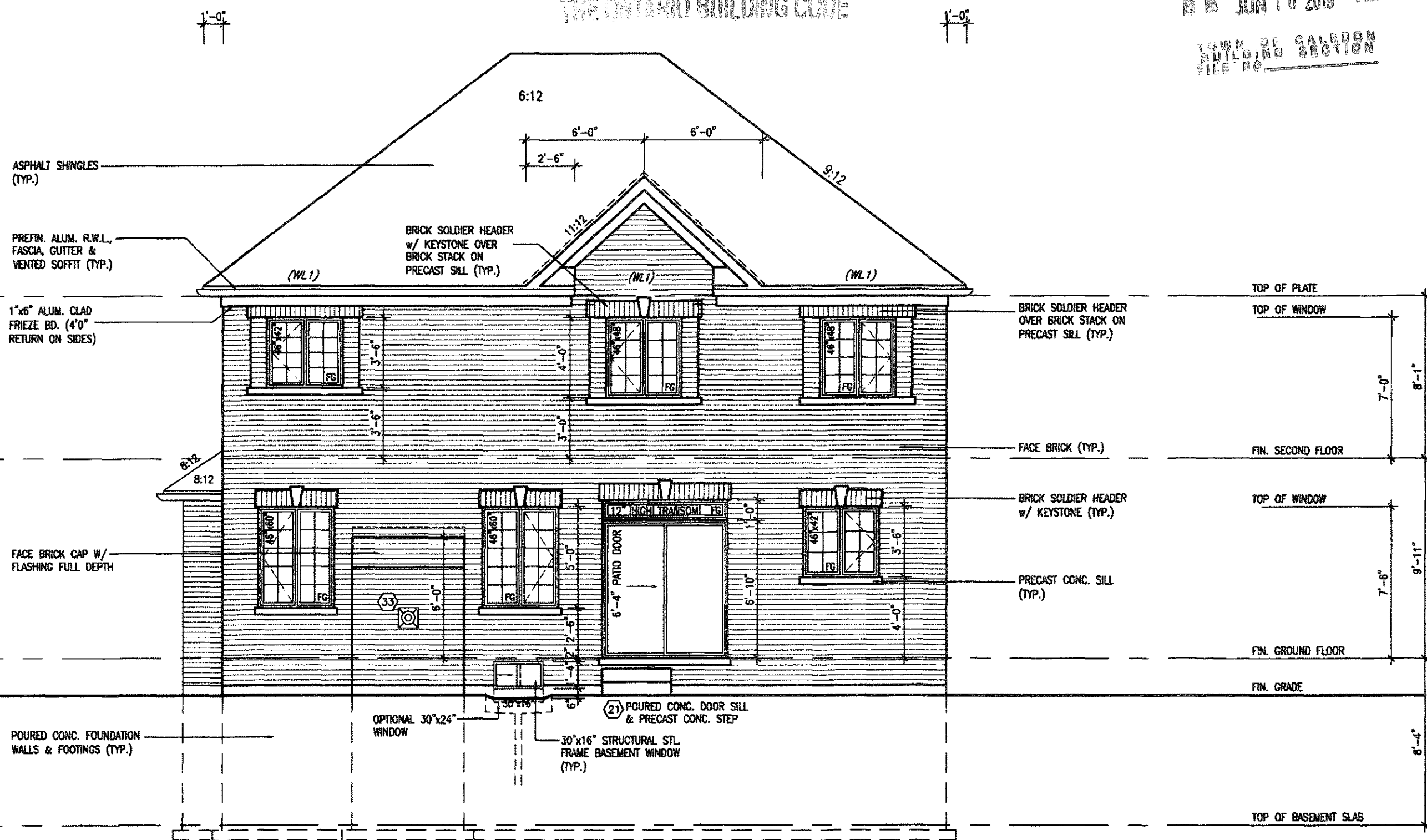
18	-	-	9		The undersigned has reviewed and takes responsibility for this design and how the specifications and meets the requirements set out in the Ontario Building Code to be a Designer.	VAS DESIGN	Greenpark..	WOODCROFT 3
17	-	-	8					13.7m
16	-	-	7		qualification information			
15	-	-	6		Richard Vink	signature		project no.
14	-	-	5	ISSUED FOR PERMIT.	JAN 31/19 GW	24468	municipality	1802
13	-	-	4	ROOF-FLOOR-ENG. CD-GRD.	JAN 09/19 GW	PEN	LAMBERTS LANE HOME CORP. PH.2	drawing no.
12	-	-	3	REAR UPGRADES REVISED PER A/C.	NOV 22/18 GW	42658	CALEDON	A12
11	-	-	2	REVISED ROOF SLOPES PER CLIENT.	SEP. 27/18 GW			
10	-	-	1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 26/18 GW			
no.	description	date	by	no.	description	date	by	no.

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UPGRADED REAR ELEVATION '1'

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ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

18			3						
17			8						
16			7						
15			6						
14			5	ISSUED FOR PERMIT.	JAN 31/19	GW			
13			4	ROOF-FLOOR-ENG. CO-ORD.	JAN 08/19	GW			
12			3	REAR UPGRADES REVISED PER A/C.	NOV 22/18	GW			
11			2	REVISED ROOF SLOPES PER CLIENT.	SEP. 27/18	GW			
10			1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 26/18	GW			
no.	description	date	by	no.	description	date	by		

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Viik
signature
24488
606
42658
VAS Design Inc.
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be used.

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.
project name
LAMBERTS LANE HOME CORP. PH.2
municipality
CALEDON
date
SEP. 2018
checked by
H.M.H.R.
scale
3/16" = 1'-0"

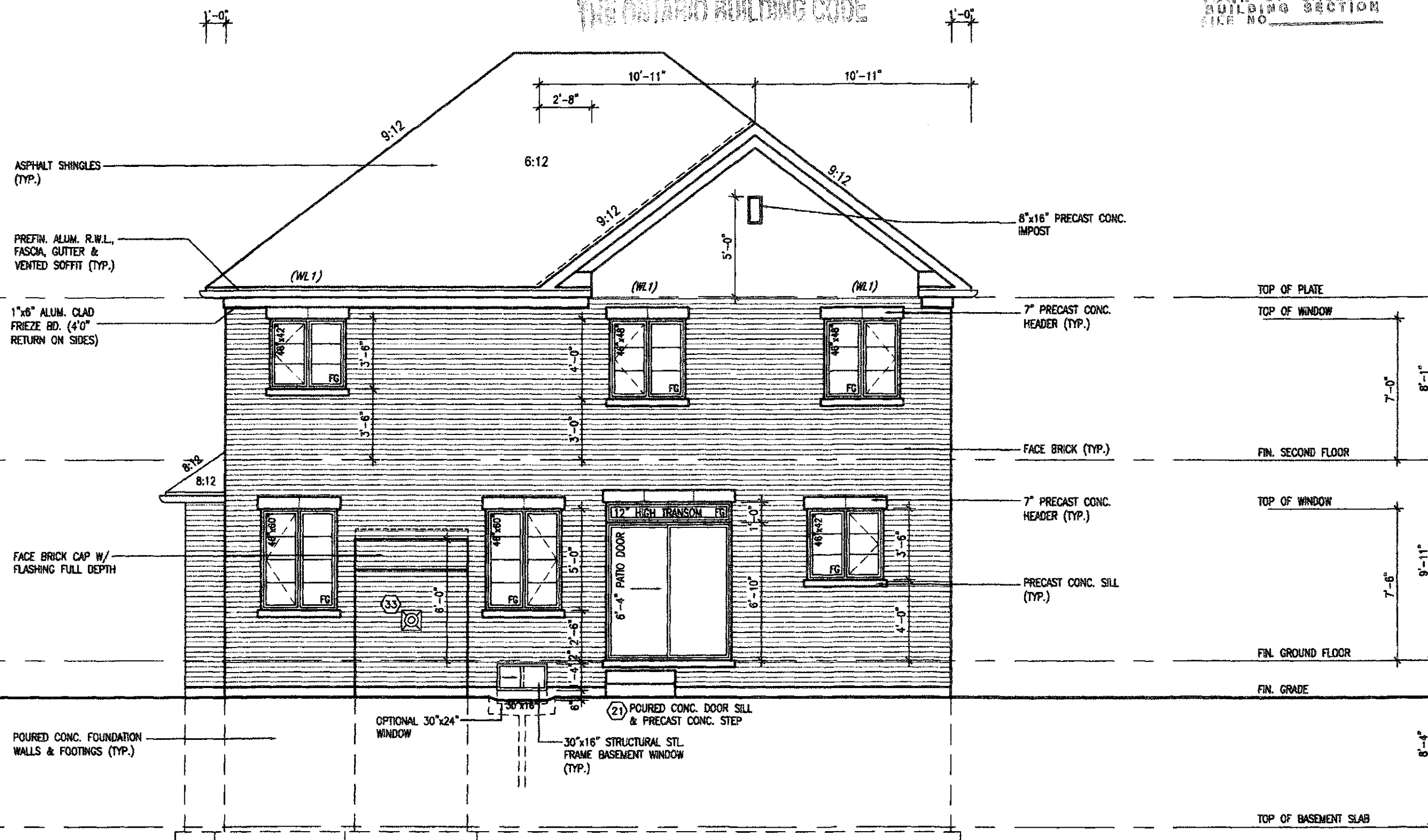
WOODCROFT 3
13.7m
project no.
18023
drawing no.
A13
UPGRADED REAR ELEVATION - ELEV. '1'
18023-WOODCROFT-3
date
SEP. 31 2019 - 12:35 PM

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JUN 10 2019

TOWN OF CALEDON
BUILDING SECTION
FILE NO. _____

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UPGRADED REAR ELEVATION '2'

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

FEB 06 2019

WOODCROFT 3
ENERGY STAR

[illegible]

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TOWN OF CALEDON
BUILDING SECTION
FILE NO _____

WOODCROFT 3
ENERGY STAR

[illegible]

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