

STRIP FOOTINGS FOR SINGLES AND SEMIS UP TO 2 STOREY

120 KPa NATIVE SOIL
20"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS

90 KPa ENGINEERED FILL SOIL
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW FOUNDATION WALLS
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS

100 KPa NATIVE SOIL
22"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS
28"x10" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS
OR
28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS

GENERAL NOTE:
ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa
FOR ENGINEERED FILL. TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL
FOOTING DETAIL FOR REINFORCEMENT.

(REFER TO ENG. FILL FOOTING DETAIL)

PAD FOOTING

120 KPa NATIVE SOIL	90 KPa ENGINEERED FILL SOIL	100 KPa NATIVE SOIL
F1 = 42"x42"x16" CONCRETE PAD	F1 = 48"x48"x20" CONCRETE PAD	F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD	F2 = 40"x40"x16" CONCRETE PAD	F2 = 36"x36"x16" CONCRETE PAD
F3 = 35"x30"x12" CONCRETE PAD	F3 = 34"x34"x14" CONCRETE PAD	F3 = 32"x32"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD	F4 = 28"x28"x12" CONCRETE PAD	F4 = 26"x26"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD	F5 = 18"x18"x8" CONCRETE PAD	F5 = 17"x17"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

**CERTIFIED MODEL
PRE-APPROVED**
FOR PERMIT APPLICATION AS PER THE
ONTARIO BUILDING CODE
TOWN OF CALEDON BUILDING DIVISION

REVIEWED BY **J. SNELL**
DATE **3/15/19**
FILE # **PRESTON 12 ELEV. 1, 2**

APPLICANT COPY

**BUILDING INSPECTOR IS REQUIRED TO BE ON SITE
FOR ALL MANDATORY INSPECTIONS. REFER TO
ATTACHED BUILDING PERMIT FOR DETAILS**

A COMPLETE SET OF REVIEWED DRAWINGS &
SPECIFICATIONS MUST BE KEPT ON SITE AT ALL TIME
DURING CONSTRUCTION AS PER O.B.C.

NOTE:

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.

NOTE:

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa
WITH 5-8% AIR ENTRAINMENT

BRICK VENEER LINTELS:

WL1 = 3'12" x 3'12" x 14" (90x90x14) + 2-2" x 8" SPR.
WL2 = 4' x 3'12" x 5'16" (100x90x16) + 2-2" x 8" SPR.
WL3 = 5' x 3'12" x 5'16" (125x90x16) + 2-2" x 10" SPR.
WL4 = 6' x 3'12" x 3'8" (150x90x10) + 2-2" x 12" SPR.
WL5 = 6' x 4' x 3'8" (150x100x10) + 2-2" x 12" SPR.

WOOD LINTELS:

WB1 = 2-2" x 8" SPRUCE BEAM
WB2 = 3-2" x 8" SPRUCE BEAM
WB3 = 2-2" x 10" SPRUCE BEAM
WB4 = 3-2" x 10" SPRUCE BEAM
WB5 = 2-2" x 12" SPRUCE BEAM
WB6 = 3-2" x 12" SPRUCE BEAM
WB7 = 5-2" x 12" SPRUCE BEAM
WB8 = 4-2" x 8" SPRUCE BEAM
WB9 = 4-2" x 10" SPRUCE BEAM

STEEL LINTELS:

L1 = 3'12" x 3'12" x 14" (90x90x14)
L2 = 4' x 3'12" x 5'16" (100x90x16)
L3 = 5' x 3'12" x 5'16" (125x90x16)
L4 = 6' x 3'12" x 3'8" (150x90x10)
L5 = 6' x 4' x 3'8" (150x100x10)
L6 = 7' x 4' x 3'8" (180x100x10)

LAMINATED VENEER LUMBER (LVL BEAMS)

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)

ALL ELECTRICAL INSTALLATIONS
MUST BE INSPECTED BY THE
ELECTRICAL SAFETY AUTHORITY
SEPARATE INSPECTION AUTHORITY
APPLICATIONS MUST BE FILED
FOR MORE INFORMATION PLEASE CALL:
1-877-454-SAFE (372-7233)
PLUG IN SAFELY HIRE A LICENSED
ELECTRICAL CONTRACTOR AT
www.electricalsafety.ca

DOOR SCHEDULE:

1 = 2'-10" x 6'-8" INSULATED ENTRANCE DOOR
1A = 2'-8" x 6'-8" INSULATED ENTRANCE DOOR
2 = 2'-8" x 6'-8" EXTERIOR GLAZED DOOR
3 = 2'-8" x 6'-8" SLAB DOOR (1 3/4" EXTERIOR)
4 = 2'-8" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
5 = 2'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
6 = 2'-2" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
7 = 1'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
8 = 2'-6" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
9 = 3'-0" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
10 = 2'-2" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
11 = 2'-2" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
12 = 2'-6" x 6'-8" FRENCH DOOR (1 3/8" INTERIOR)

AREA CALCULATIONS EL-1

GROUND FLOOR AREA	=	1214 Sq. Ft.
SECOND FLOOR AREA	=	1527 Sq. Ft.
TOTAL FLOOR AREA	=	2741 Sq. Ft.
ADD OPEN AREAS	=	0 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2741 Sq. Ft.
GROUND FLOOR COVERAGE	=	1214 Sq. Ft.
GARAGE COVERAGE / AREA	=	418 Sq. Ft.
PORCH COVERAGE / AREA	=	129 Sq. Ft.
COVERAGE W/ PORCH	=	1761 Sq. Ft.
	=	1636 Sq. Ft.
COVERAGE W/O PORCH	=	1632 Sq. Ft.
	=	1516 Sq. Ft.

AREA CALCULATIONS EL-2

GROUND FLOOR AREA	=	1230 Sq. Ft.
SECOND FLOOR AREA	=	1523 Sq. Ft.
TOTAL FLOOR AREA	=	2753 Sq. Ft.
ADD OPEN AREAS	=	0 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2753 Sq. Ft.
GROUND FLOOR COVERAGE	=	1230 Sq. Ft.
GARAGE COVERAGE / AREA	=	418 Sq. Ft.
PORCH COVERAGE / AREA	=	89 Sq. Ft.
COVERAGE W/ PORCH	=	1736 Sq. Ft.
	=	1611 Sq. Ft.
COVERAGE W/O PORCH	=	1648 Sq. Ft.
	=	1531 Sq. Ft.

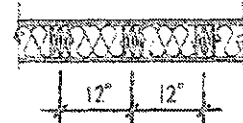
PRESTON 12 ELEV-1 ENERGY EFFICIENCY- ENERGY STAR

ELEVATION	WALL FT ²	OPENING FT ²	PERCENTAGE
FRONT	698.32	153.53	21.89 %
LEFT SIDE	1059.71	217.50	20.52 %
RIGHT SIDE	1059.73	26.83	2.53 %
REAR	687.32	120.94	17.42 %
TOTAL	3465.08	518.10	14.81 %

PRESTON 12 ELEV-2 ENERGY EFFICIENCY- ENERGY STAR

ELEVATION	WALL FT ²	OPENING FT ²	PERCENTAGE
FRONT	725.04	137.65	18.97 %
LEFT SIDE	1059.87	225.83	20.70 %
RIGHT SIDE	1059.73	26.83	2.53 %
REAR	690.24	120.94	17.40 %
TOTAL	3444.48	511.25	14.82 %

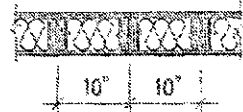
2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @12" O.C.
FULL HT. C/W SOLID BLOCKING 4'-0" O.C. VERTICAL AND 7/16" EXT.
PLYWOOD SHEATHING



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

**TWO STOREY HEIGHT WALL
DETAIL**

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED
AND NAILED TOGETHER AND SPACED MAX. @10" O.C. FULL HT.
C/W SOLID BLOCKING MAX. 6'-0" O.C. VERTICAL AND 7/16" EXT.
OSB SHEATHING



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

TWO STOREY HEIGHT WALL DETAIL

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 8'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
FLOOR TRUSS LAYOUT BY MANUFACTURER

NOTE:

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND
EQUIPMENT SHALL CONFORM TO THE FOLLOWING

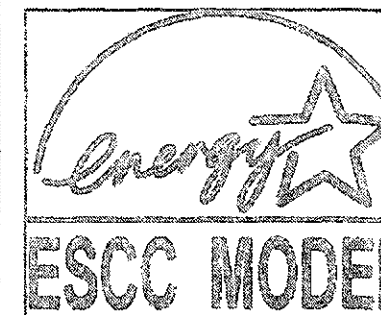
ENERGY STAR V-17

COMPONENT	NOTE
CEILING WITH ATTIC SPACE	10.56 (R60)
MINIMUM RSI (R) VALUE	
CEILING WITHOUT ATTIC SPACE	5.46 (R31)
MINIMUM RSI (R) VALUE	
EXPOSED FLOOR	5.46 (R31)
MINIMUM RSI (R) VALUE	
WALLS ABOVE GRADE	4.75 (R22+R5)
MINIMUM RSI (R) VALUE	
BASEMENT WALLS	3.52 (R20 BLANKET)
MINIMUM RSI (R) VALUE	
EDGE OF BELOW GRADE SLAB	1.76 (R10)
< 600mm BELOW GRADE	
MINIMUM RSI (R) VALUE	
SLAB < 600mm BELOW GRADE	1.76 (R10)
MINIMUM RSI (R) VALUE	
WINDOWS & SLIDING GLASS DOORS	ENERGY STAR @ ZONE 2 (R 20/UV 14)
MAXIMUM U-VALUE	
SPACE HEATING EQUIPMENT	MIN. 98% AFUE
MINIMUM AFUE	
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HRV	TIER 2 75% SRE ENERGY STAR @ HRV TO BE
MINIMUM EFFICIENCY	INTERCONNECTED TO THE FURNACE FAN
	MUST BE BALANCED INDICATING ON HIGH
	SPEED FRESH/AIR
HOT WATER TANK	CONDENSING HOT WATER TANK 95% TE
	ENVIRONMENT
DRAIN WATER HEAT RECOVERY	TWO SHOWERS > 25% STEADY R3-42
	OR T3342
AIR TIGHTNESS MUST MEET MINIMUM:	DETACHED LEVEL 1 (2.5 ACH50 NLR)
	ATTACHED LEVEL 1 (3.0 ACH50 NLR)
DUCT SEALING	ALL SUPPLY DUCTS AND 1 m OF
	RETURN DUCTS
LIGHTS	75% CFLs OR LEDs

RECEIVED
JUN 25 2019

TOWN OF CALEDON
BUILDING SECTION

MAR 21 2019



ENERGY STAR - V 17

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Council
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

2741

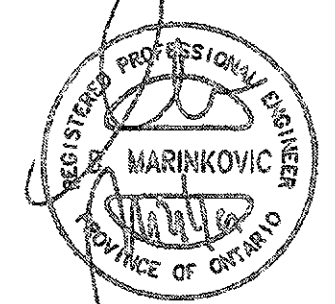
CORNER

PRESTON 12
ELEVATION 1, 2

ENERGY STAR

O.REG. 332/12

STRODET INC.



FOR STRUCTURAL ONLY

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION AND
COMPLY WITH ALL BUILDING DEPARTMENT REQUIREMENTS WITH CORRECT, SPEC.
ANY ADDITIONALS SHALL BE REPORTED TO THE BUILDING GROUP
FOR REVIEW TO COMPLETION OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY
OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON
THESE DRAWINGS OR FOR THE CONSTRUCTION OF THE SAME. THE
OWNER OF A BUILDING PROJECT, REFER TO THE APPROPRIATE
PROFESSIONAL DRAWINGS FOR THE PROJECT'S DESIGN.
AS CONSTRUCTED, THE BUILDING MUST BE VERIFIED FOR TO MEET
FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT
GENERAL REVIEW OF THE DRAWINGS AND ASSUMES NO RESPONSIBILITY
FOR THE FAILURE OF THE CONSTRUCTION OF THE BUILDING OR TO
CHECK OR THE WORK IN ADDITION TO THE CONTRACTOR'S
OBLIGATIONS.
THIS DRAWING IS A REPRESENTATION OF SERVICE PROVIDED BY AND IS
THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT
TO BE REPRODUCED.

7		
6		
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2	JAN 17, 2019	ISSUED FOR BUILDING PERMIT
1	AUG 28, 2018	INTRODUCED INTO PROJECT FROM LENTILLA 11-65- WINDFELD 11

No. DATE: WORK DESCRIPTION:
jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

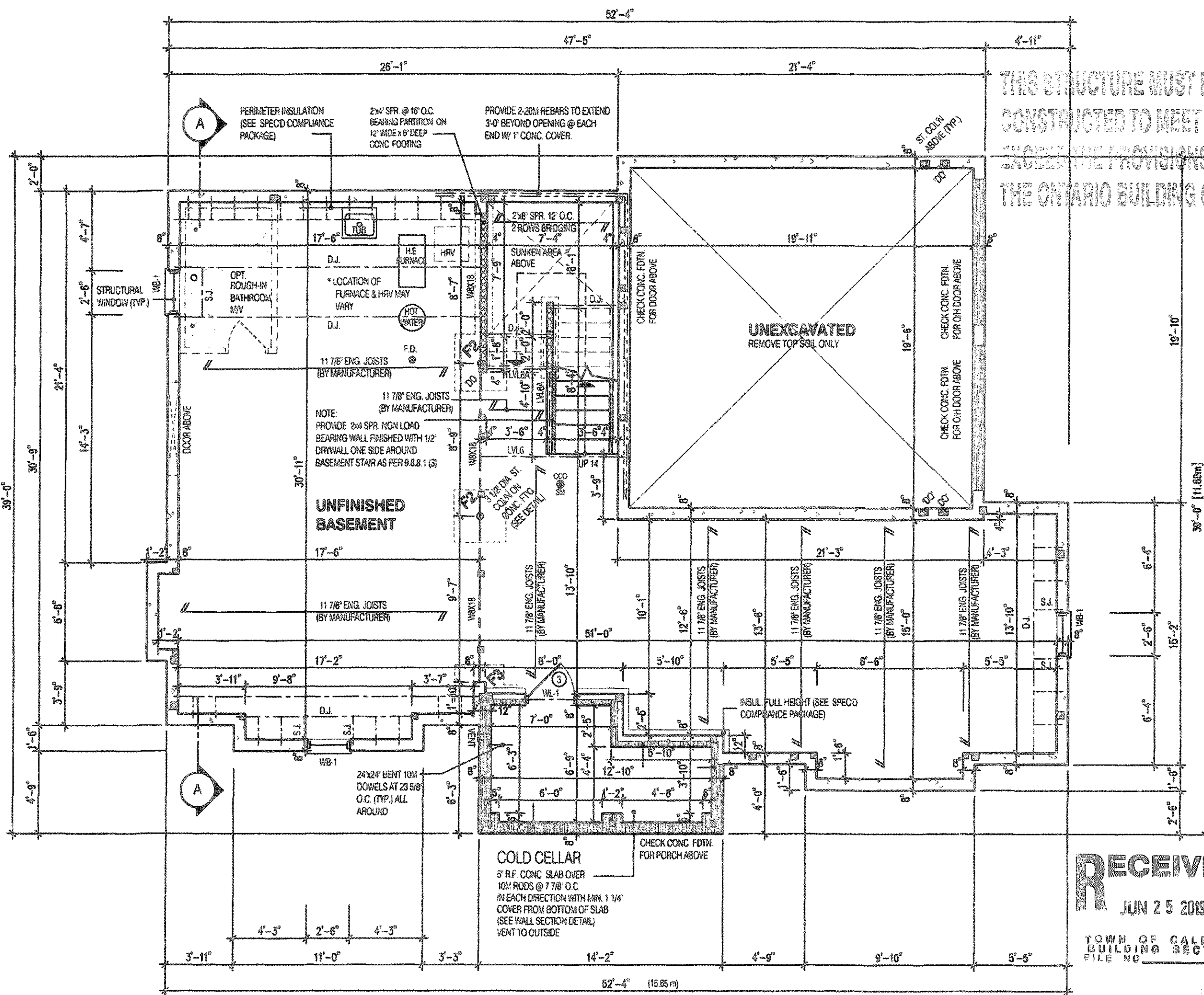
The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
1.1.5 of the Code.

Walter Boller 21031
NAME SIGNATURE BORN
Required unless design is exempt under Division C, Subsection
1.1.4 of the building code.
jardin design group inc. 27763
FIRM NAME BORN

TITLE SHEET

LAMBERT LANE PHASE 2
TOWN OF CALEDON

TYPE	T	AREA	2741
SCALE	3/16" = 1'-0"		
PROJ. No.	18-18	DWG. No.	0



THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

2741
CORNER
PRESTON 12
ELEVATION 2
ENERGY STAR
O.REG. 332/12

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

THE CONTRACTOR SHALL OBTAIN PAYMENT IN ALL CIRCUMSTANCES AND
CONDITIONS OF THE SITE BEFORE PROCEEDING WITH CONSTRUCTION.
ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP
INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY
OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON
THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE
ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE
ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED, THE WORK MUST BE VERIFIED AGAINST THE PERMITS
AND RECORDS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN OBTAINED TO CARRY OUT
GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY
FOR THE FAILURE OF THE CONSTRUCTION OR FOR THE CONSTRUCTION TO
CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT
DOCUMENTS.
THIS DRAWING IS A PRELIMINARY OF SERVICE. IT IS NOT TO BE USED
FOR THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT
TO BE SCALED.

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2	JAN. 17, 2019 ISSUED FOR BUILDING PERMIT
1	AUG. 26, 2018 INTRODUCED INTO PROJECT FROM LENTILLA 11-08 WINDFIELD 11

DATE: WORK DESCRIPTION:
jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.co

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.5 of the building code.

Waiter Boller 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

BASEMENT FL. PL. EL-2

LAMBERT LANE PHASE 2
TOWN OF CALEDON

TYPE	AREA
T	2653
SCALE	3/16" = 1'-0"
PROJ. No.	18-18
DWG. No.	1A

RECEIVED
JUN 25 2019

TOWN OF CALEDON
BUILDING SECTION
FILE NO.

SMOKE ALARMS AND CARBON
MONOXIDE DETECTORS SHALL
CONFORM TO SUBSECTIONS
9.10.19. AND 9.33.4. OF THE
ONTARIO BUILDING CODE

MINIMUM CEILING HEIGHT SHALL BE 2100 MM
OVER AT LEAST 75% OF BASEMENT
AREA EXCEPT THAT UNDER BEAMS AND
DUCTS THE CLEARANCE IS PERMITTED TO
BE REDUCED 1950 MM

NOTE:
REFER TO SHEET NO. 0-1 FOR LINTEL BEAMS AND DOOR SIZE

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:
SUBFLOOR TO BE
3/4" PLYWOOD ON
THIS LEVEL
ALL FLOORS TO BE
NAILED AND GLUED
ON THIS LEVEL

- LEGEND:**
- BUILDING FACE < THAN 4'-0" (1.2m)
(45 MIN. FIRE RATING REQ'D)
 - INDICATES SOLID BEARING REQUIRED
OR POINT LOAD FROM ABOVE
 - STL. PLATE FOR STEEL COLL. W/ ABOVE
 - LVL. LAMINATED VENEER LUMBER
 - S.J. SINGLE JOIST
 - D.J. DOUBLE JOIST
 - T.J. TRIPLE JOIST
 - REPEAT NOTE
 - SHOWER KEEPER

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (holding) plans or
various drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

ROBIN C. WILLIAMS LTD. ARCHITECT
PROFESSIONAL CONTROL REVIEW
2019-06-19
CHECKED BY: [Signature]
DATE: 2019-06-19
THESE PLANS HAVE BEEN REVIEWED AND APPROVED FOR THE TOWN OF CALEDON.

2741

CORNER

PRESTON 12
ELEVATION 2

ENERGY STAR

O.REG. 332/12

STRUDET INC.



FOR STRUCTURE ONLY

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND LOCATIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN GROUP PRIOR TO COMMENCEMENT OF WORK.

JARDIN & DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF ALL JOISTS PERMIT. REFER TO THE APPROPRIATE PERMITS AND DRAWINGS BEFORE PROCEEDING WITH WORK.

ANY DISCREPANCIES MUST BE VERIFIED PRIOR TO COMMENCEMENT OF WORK.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN & DESIGN GROUP INC. IT IS NOT TO BE REPRODUCED OR COPIED.

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2	JAN 17, 2019 ISSUED FOR BUILDING PERMIT
1	AUG 28, 2018 INTRODUCED INTO PROJECT FROM LENTELLA 11-08 WINDFIELD 11
No.	DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 1.2.5 of the Building Code.

Walter Boller *Walter Boller* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 1.2.4 of the Building Code.

Jardin design group inc. 27763
FIRM NAME BCIN

FIRST FLOOR PLAN EL-2

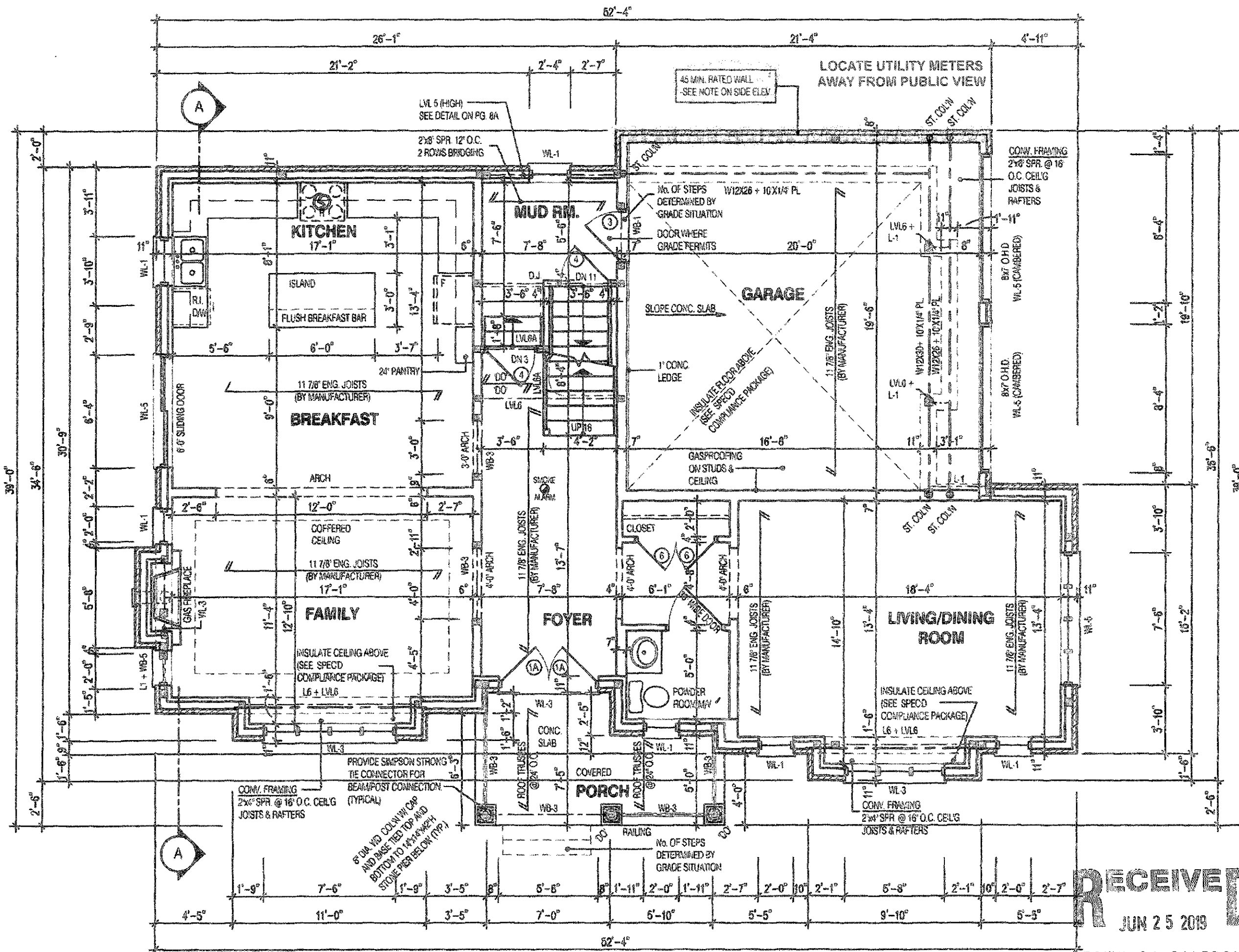
LAMBERT LANE PHASE 2
TOWN OF CALEDON

TYPE T AREA 2653

SCALE 3/16" = 1'-0"

PROJ. No. 18-18 DWG. No. 2A

BILD



THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

SMOKE ALARMS AND CARBON
MONOXIDE DETECTORS SHALL
CONFORM TO SUBSECTIONS
9.10.19. AND 9.33.4. OF THE
ONTARIO BUILDING CODE

NOTE:

REFER TO SHEET NO. D-1 FOR UNTEL
BEAMS AND DOOR SIZE

NOTE:

THESE DRAWINGS ARE TO BE READ IN
CONJUNCTION WITH ENGINEER APPROVED
ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12"
O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE
1 ROW BRIDGING FOR SPANS OF 5'-7, 2 ROWS
FOR SPANS GREATER THAN 7'

NOTE:

THESE DRAWINGS ARE TO BE READ IN
CONJUNCTION WITH ENGINEER APPROVED
FLOOR TRUSS LAYOUT BY MANUFACTURER

NOTE:

SUBFLOOR TO BE
5/8" PLYWOOD ON
THIS LEVEL

ALL FLOORS TO BE
NAILED AND GLUED
ON THIS LEVEL

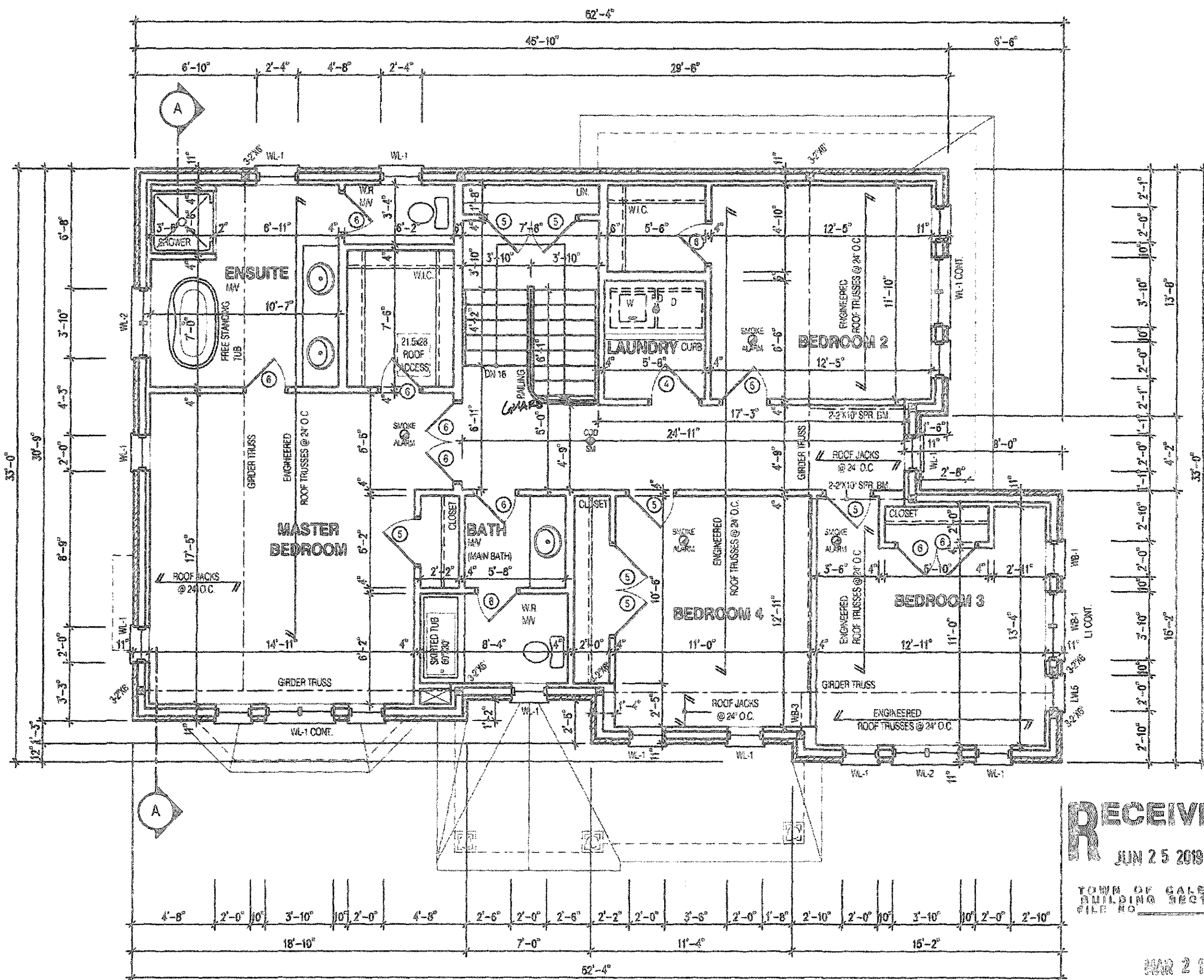
LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2M)
(46 MIN. FIRE RATING REQ.)
- INDICATES SOLID BEARING REQUIRED
OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLUMN ABOVE
- LAMINATED VENEER LUMBER
- LVL SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

It is the builder's complete responsibility to
ensure that all plans submitted for approval
comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving the (setting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

JORDAN C. VETULAIN LTD., ARCHITECT
REGISTERED PROFESSIONAL ARCHITECT
AND APPROVAL
DATE: JUN 18, 2019
TOWN OF CALEDON BUILDING SECTION
FILE NO. 18-18



SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

- LEGEND:**
- BUILDING FACE < THAN 4-0 (1.2m) (45 MIN. FIRE RATING REQ.)
 - INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
 - STL. PLATE FOR STEEL COLN. ABOVE
 - WL LAMINATED VENEER LUMBER
 - SJ SINGLE JOIST
 - DJ DOUBLE JOIST
 - TJ TRIPLE JOIST
 - REPEAT NOTE
 - SHOWER WEEPERS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreements. The Control Architect is not responsible in any way for approving or approving site (lotting) plans or parking drawings with respect to any zoning or building code or permit matter or that any notice can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Caledon.

ROBIN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
DATE: JUN 25 2019
PROJECT: LAMBERT LANE PHASE 2
TOWN OF CALEDON

RECEIVED
JUN 25 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO. _____

MAR 21 2019

2741
CORNER
PRESTON 12
ELEVATION 1
ENERGY STAR
O.REG. 332/12

STRUDET INC.



FOR STRUCTURE ONLY

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF THE STRUCTURE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN GROUP PRIOR TO COMMENCEMENT OF WORK.
DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, OR ENGINEERING INFORMATION ON THESE DRAWINGS OR FOR CONSTRUCTION OF THE STRUCTURE OR THE ISSUANCE OF A BUILDING PERMIT. DESIGN GROUP INC. SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION OF THE STRUCTURE OR THE ISSUANCE OF A BUILDING PERMIT.
THIS DRAWING IS AN INSTRUMENT OF SERVICE PROVIDED BY DESIGN GROUP INC. TO THE CLIENT. IT IS NOT TO BE USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED OR COPIED.

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2	JUN 17, 2019	ISSUED FOR BUILDING PERMIT
1	AUG 25, 2018	INTRODUCED INTO PROJECT FROM LEWELLA 11-89-WIND-BLD 11
NO	DATE	WORK DESCRIPTION

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 2.2.5 of the Building Code.

Water Boiler 21031
NAME SIGNATURE BEN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 2.2.5 of the Building Code.

jardin design group inc. 27763
FIRM NAME BEN

SECOND FL. PLAN EL-1
LAMBERT LANE PHASE 2
TOWN OF CALEDON

TYPE	AREA
T	2653
SCALE	3/16"=1'-0"
PROJ. NO	DWG. NO
18-18	3

FOR STRUCTURE ONLY

THIS DRAWING IS AN INSTRUMENT OF SERVICE OF JAPANESE DESIGN GROUP AND IS THE PROPERTY OF JAPANESE DESIGN GROUP, INC. THIS DRAWING IS NOT TO BE COPIED

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2	JAN. 17, 2019	ISSUED FOR BUILDING PERMIT
1	AUG. 28, 2018	INTRODUCED INTO PROJECT FROM LENTIELLA 11-60- WINDFELD 11
No.	DATE	WORK DESCRIPTION

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is classified under Division C, Subsection
3.2.9 of the Building Code.

Walker Boller 21031

NAME	SIGNATURE	DATE
REGISTRATION INFORMATION		

1.1.4 of the building code
jardin design group inc. 27763

FIRM NAME BCN

SECOND FL PLAN FL 2

SECOND FL. PLAN EL-2
LAMBERT LANE PHASE 2

TOWN OF CALEDON

	TYPE	AREA
	T	2653

SCALE $3/16" = 1'-0"$

BILD	18-18	3A
------	-------	----

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE OULAH BUILDING CODE

RECEIVED
JUN 25 2019

TOWN OF CALEDON
BUILDING SECTION
FILE NO _____

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
ROOF TRUSS DRAWINGS BY MANUFACTURER.

LEGEND:

BUILDING FACE < THAN 4'-0" (1.2m)
(45 MIN. FIRE RATING REQ'D)

INDICATES SOLID BEARING REQUIRED
OR POINT LOAD FROM ABOVE

STL. PLATE FOR STEEL COLN ABOVE

LVL LAMINATED VENEER LUMBER

S.J. SINGLE JOIST

D.J. DOUBLE JOIST

T.J. TRIPLE JOIST

REPEAT NOTE

SHOWER WEEPERS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements, including zoning provisions and any provisions in the subdivision agreement. The Contract Architect is not responsible in any way for determining or approving site planning plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

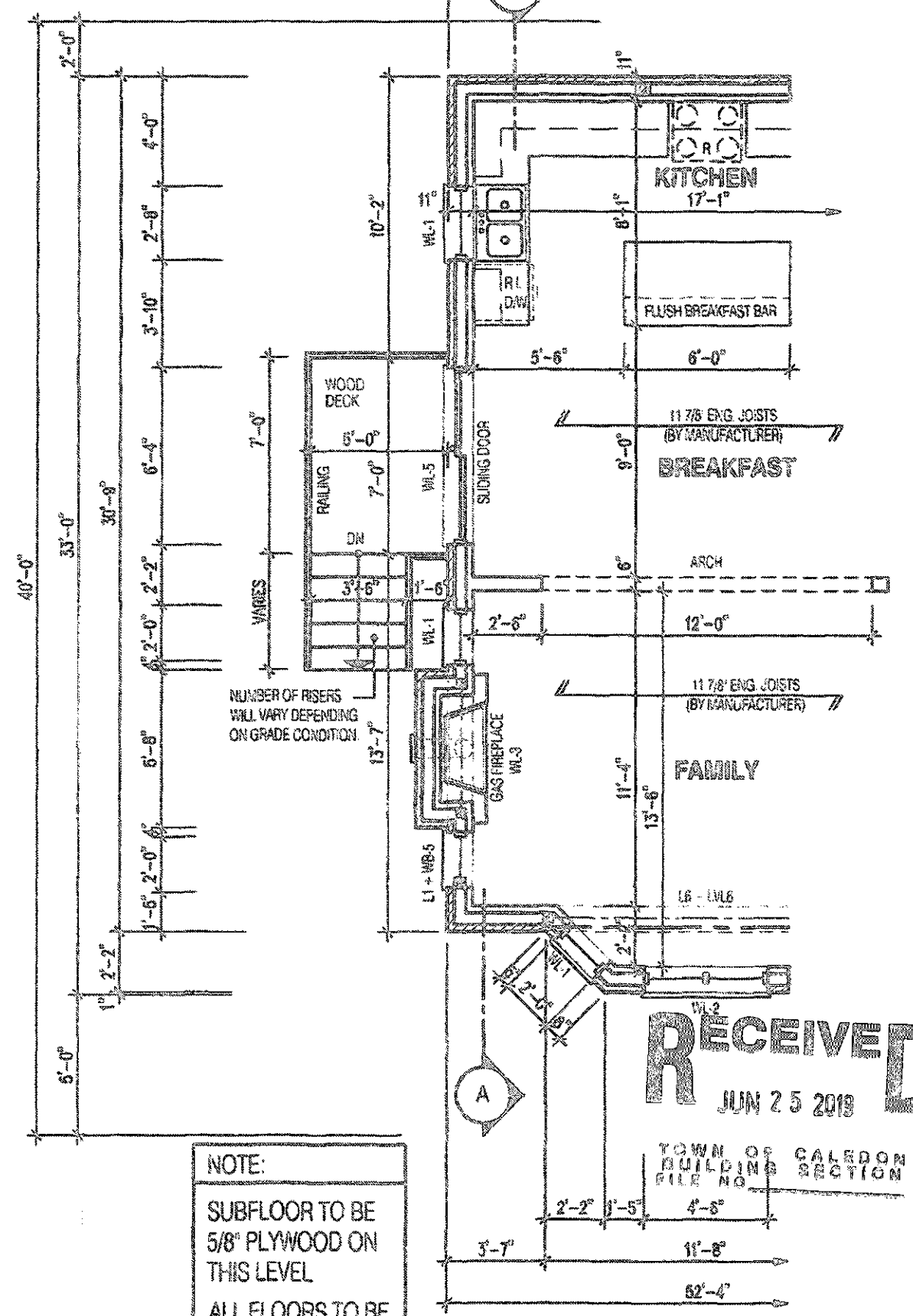
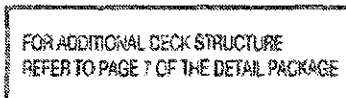
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

ROSE L. WILLIAMS LTD., 28, BELL ST.

ARCHITECTURAL CONTROL DIVISION
NEW YORK, N.Y.

100-443887-100

המחיר הנמוך ביותר של המוצר הוא 1.5 שקלים, והמחיר הגבוה ביותר הוא 2.5 שקלים.



WOOD LINTELS:

WB1 = 2'-2" x 8" SPRUCE BEAM
WB2 = 3'-2" x 8" SPRUCE BEAM
WB3 = 2'-2" x 10" SPRUCE BEAM
WB4 = 3'-2" x 10" SPRUCE BEAM
WB5 = 2'-2" x 12" SPRUCE BEAM
WB6 = 3'-2" x 12" SPRUCE BEAM
WB7 = 5'-2" x 12" SPRUCE BEAM
WB10 = 4'-2" x 8" SPRUCE BEAM
WB11 = 4'-2" x 10" SPRUCE BEAM
WB12 = 4'-2" x 12" SPRUCE BEAM
LSL = TIMBERSTRAND BOARD

(REFER TO ENG. FILL FOOTING DETAIL)

 BILD®	TYPE T	AREA 2653
	SCALE 3/16" = 1'-0"	
	PROJ. No. 18-18	DRG. No. 3-1

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving any (existing) plans or existing structures with respect to any zoning or building code or permit matter or that any house can be properly built or treated on its lot.

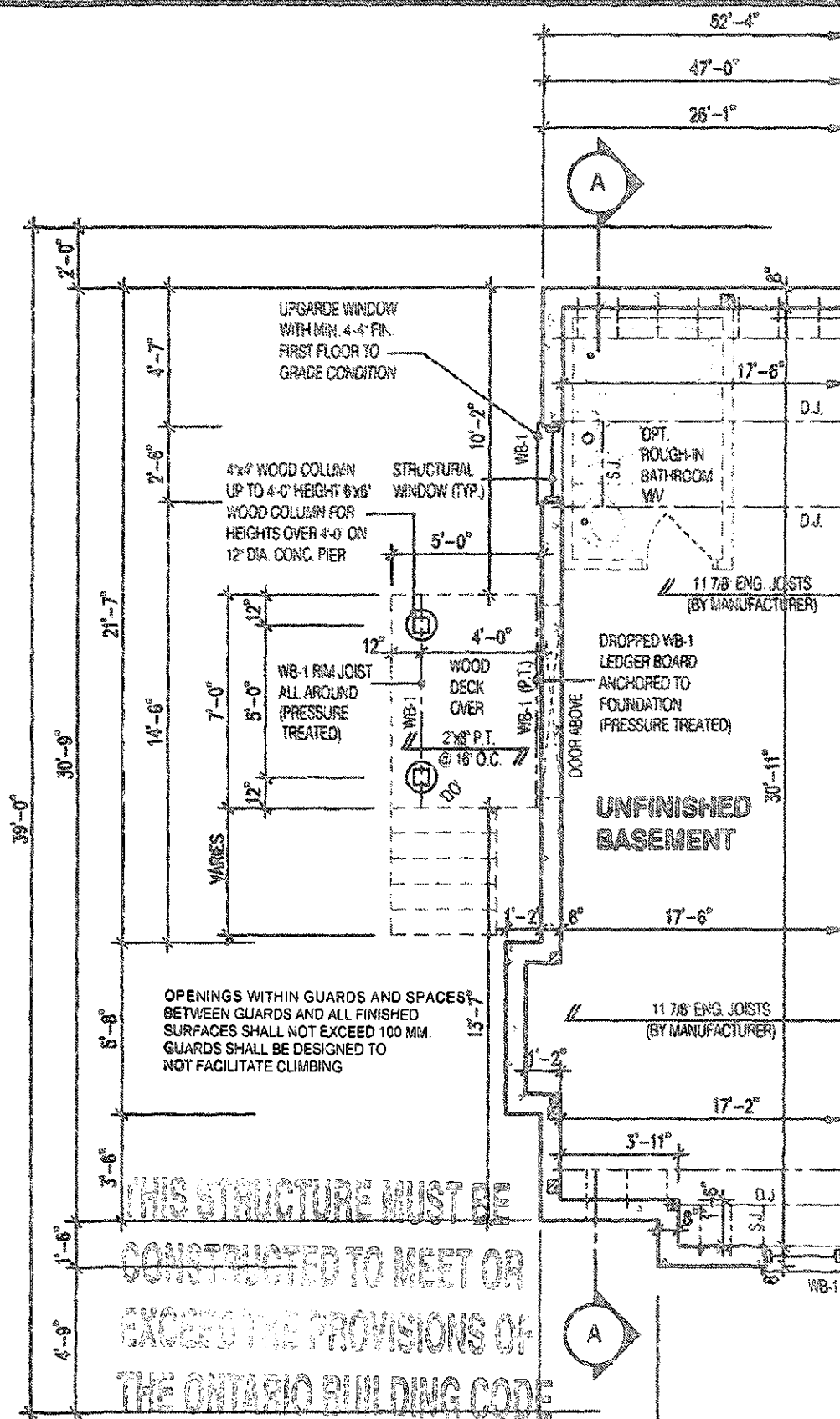
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

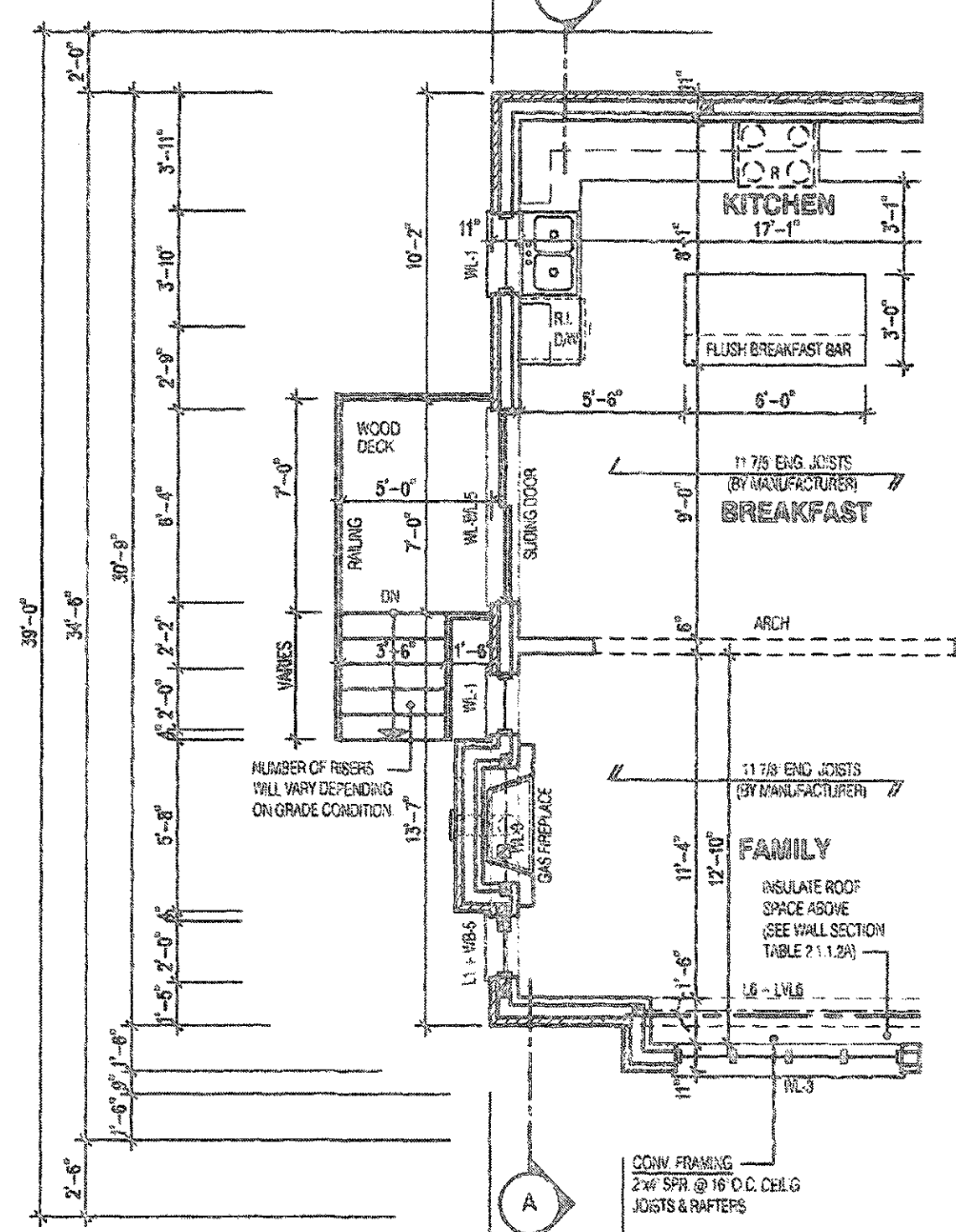
JOHN C. WHITNEY, JR., ARCHITECT
ARCHITECTURAL CONTROL BOARD
AND COUNCIL

APPROVED: _____
DATE: APR 18, 2002

THIS IS CERTIFIED TO BE A TRUE AND CORRECT
COPY OF THE ORIGINAL AS SUBMITTED TO THE
TOWN OF CALEDON.



FOR ADDITIONAL DECK STRUCTURE
REFER TO PAGE 7 OF THE DETAIL PACKAGE



THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

NOTE:
WHEN VENEER CUT IS GREATER THAN
28\"/>

NOTE:
SUBFLOOR TO BE
3/4\"/>

STEEL LINTELS:
L1 = 3 1/2\"/>

NOTE:
ALL GARAGE SLABS, PORCH SLABS,
STAIRS (EXPOSED CONC. FLAT WORK) TO
BE 32 MPa WITH 5-8% AIR ENTRAINMENT

BRICK VENEER LINTELS
WL1 = 3 1/2\"/>

WOOD LINTELS:
WB1 = 2-2\"/>

PARTIAL BASEMENT LAYOUT
FOR DECK CONDITION EL-2

NOTE:
SUBFLOOR TO BE
5/8\"/>

PARTIAL FIRST FLOOR LAYOUT
FOR DECK CONDITION EL-2

STRIP FOOTINGS FOR SINGLES AND SEMIS UP TO 2 STOREY

120 KPa NATIVE SOIL
20\"/>

90 KPa ENGINEERED FILL SOIL
24\"/>

100 KPa NATIVE SOIL
22\"/>

GENERAL NOTE:
ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa
FOR ENGINEERED FILL, TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL
FOOTING DETAIL FOR REINFORCEMENT

(REFER TO ENG. FILL FOOTING DETAIL)

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (posting) plans or
working drawings with respect to any zoning or
zoning code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

JOHN C. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONSULTANTS
AND ENGINEERS
DATE: JUN 25, 2013
The design of this plan was prepared by the
designer and is not to be used for any other
purpose without the written consent of the
designer.

2741
CORNER
PRESTON 12
ELEVATION 2
ENERGY STAR
O.REG. 332/12

RECEIVED
JUN 25 2013

TOWN OF CALEDON
BUILDING SECTION
FILE NO.
STRUDET INC.



FOR STRUCTURE ONLY

THE CONTRACTOR SHALL ENSURE THAT ALL DIMENSIONS AND
CONNECTIONS ON THE SITE ARE ACCORDING TO THE CONSTRUCTION
AND DIMENSIONS SHALL BE REPORTED TO JARDIN DESIGN GROUP
INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY
OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION ON
THESE DRAWINGS OR FOR ANY INFORMATION REPORTED TO THE
ASSOCIATION OF BUILDERS OR ANY OTHER PARTY. THE ASSOCIATION
OF BUILDERS IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION
PROVIDED IN THESE DRAWINGS.
AS CONSTRUCTED, THE WORK MUST BE VERIFIED PRIOR TO FILING
FOR THE RECORD.
JARDIN DESIGN GROUP INC. HAS BEEN AFFIDAVIT TO CONDUCT A
GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY
FOR THE WORK OR THE CONSTRUCTION OF THE CONSTRUCTION
TO COMPLY WITH THE WORK IN ACCORDANCE WITH THE CONSTRUCTION
REQUIREMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS
THE PROPERTY OF JARDIN DESIGN GROUP INC. IT IS NOT TO BE
REPRODUCED OR COPIED.

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2	JAN 17, 2013 ISSUED FOR BUILDING PERMIT
1	AUG 26, 2012 INTRODUCED INTO PROJECT FROM LENTELLA 11-03 WINDFIELD 11
NO.	DATE:
	WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

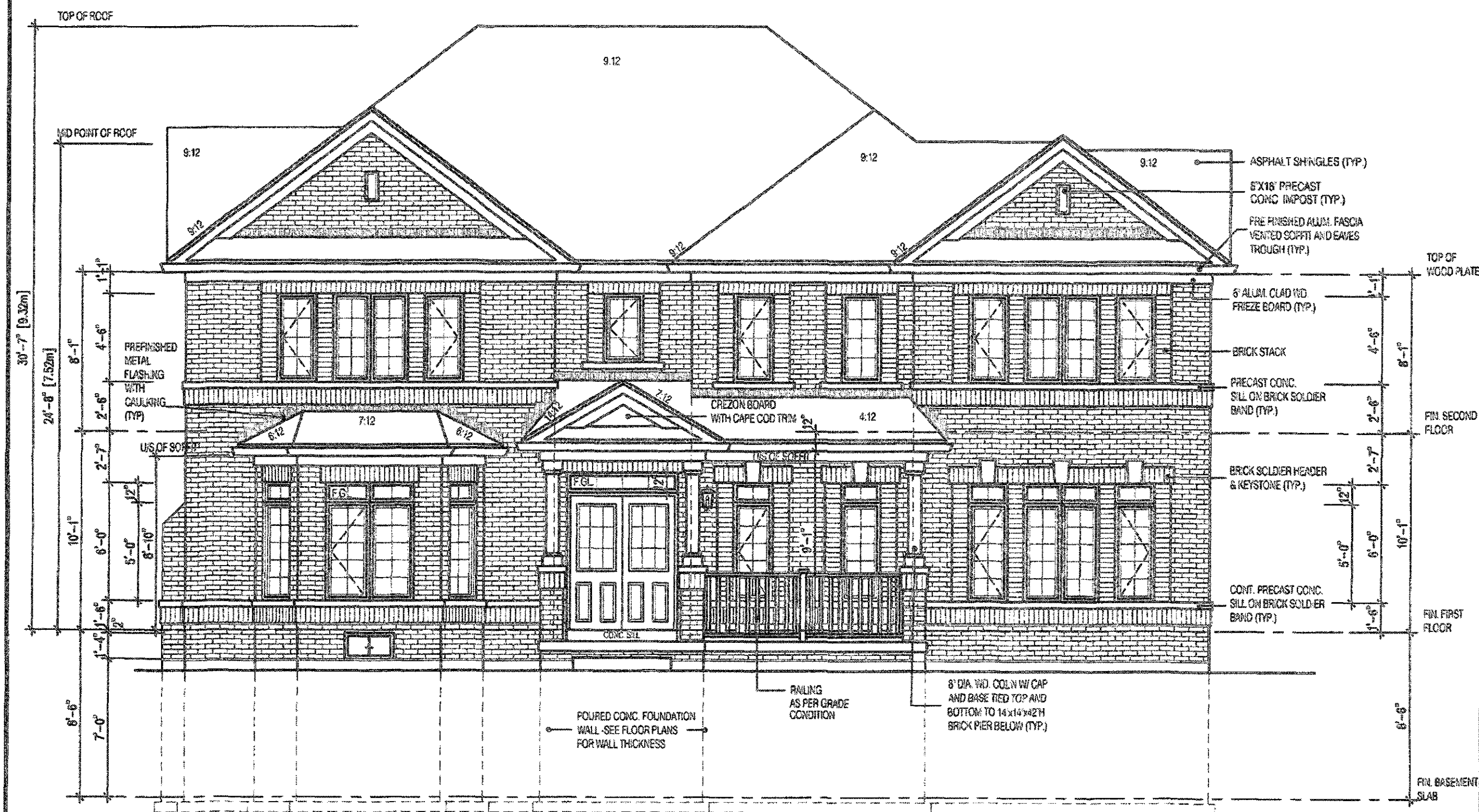
The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.5 of the Building Code.

Walter Botter 21031
NAME SIGNATURE BCN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.5 of the Building Code.
jardin design group inc. 27763
FIRM NAME BCN

PARTIAL DECK EL-2
LAMBERT LANE PHASE 2
TOWN OF CALEDON

TYPE T AREA 2653
SCALE: 3/16\"/>

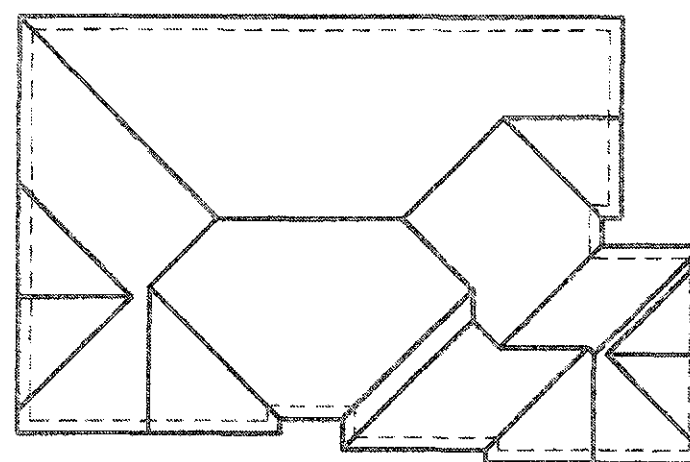


**PRESTON 12
FLANKAGE
ELEVATION 1**

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

RECEIVED
JUN 25 2019

TOWN OF CALEDON
BUILDING SECTION
FILE NO.



**PRESTON 12
ROOF PLAN EL-1**

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Central Architect is not responsible in any way for examining or approving the (existing) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JENNIFER WHITMAN LTD. ARCHITECT
ARCHITECTURAL, INTERIOR DESIGN
AND ARTS
DATE: JUN 18, 2019
PROJECT: PRESTON 12 FLANKAGE ELEVATION 1

**2741
CORNER
PRESTON 12
ELEVATION 1
ENERGY STAR
O.REG. 332/12**

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED, DIMENSIONS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUBCONTRACTOR TO COMPLY WITH THE WORK AS ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. IT IS GRANTED AS A LENT TO BE SAVED.

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2	JAN 17, 2019	ISSUED FOR BUILDING PERMIT
1	AUG 25, 2018	INTRODUCED INTO PROJECT FROM LENTELLA 11-08-KINDFIELD 11

No. DATE: WORK DESCRIPTION:
jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walker Botter *WBE* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

Jardin design group inc. 27763
FIRM NAME BCIN

**FLANKAGE ELEV.-1
LAMBERT LANE PHASE 2
TOWN OF CALEDON**

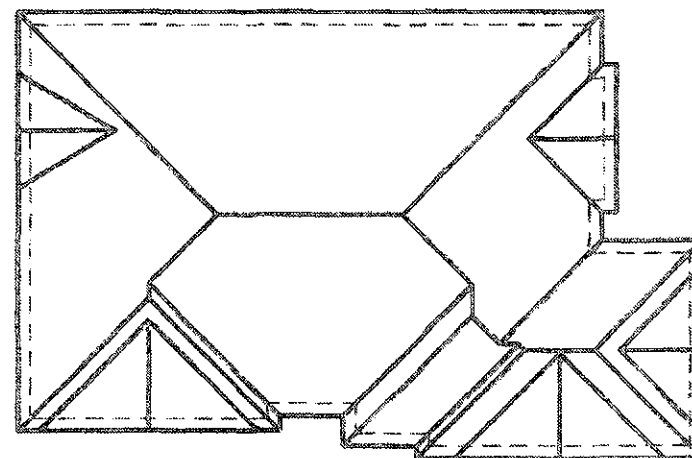
BILD
TYPE T AREA 2653
SCALE 3/16" = 1'-0"
PROJ. No. 18-18 DWG. No. 4



PRESTON 12

FLANKAGE
ELEVATION 2

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING



PRESTON 12
ROOF PLAN EL-2

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

RECEIVED
JUN 25 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

2741

CORNER

PRESTON 12
ELEVATION 2

ENERGY STAR

O.REG. 332/12

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND
LOCATIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.
ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP
AND PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY
OF SURVEY, STRUCTURAL, OR ENGINEERING INFORMATION SHOWN
ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE
ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE
ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONTRACTED, INVENTS MUST BE VERIFIED PRIOR TO POURING
FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CHECK OUT
GENERAL REVIEW OF THE CONTRACT DOCUMENTS. NO RESPONSIBILITY
FOR THE FAILURE OF THE CONSTRUCTION OR FOR THE CONTRACTOR TO
CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT
DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS
THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT
TO BE REPRODUCED.

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2	JAN 17, 2019	ISSUED FOR BUILDING PERMIT
1	AUG 28, 2018	INTRODUCED INTO PROJECT FROM LENTILLA 11-63-WINDFIELD 11

No. DATE WORK DESCRIPTION:

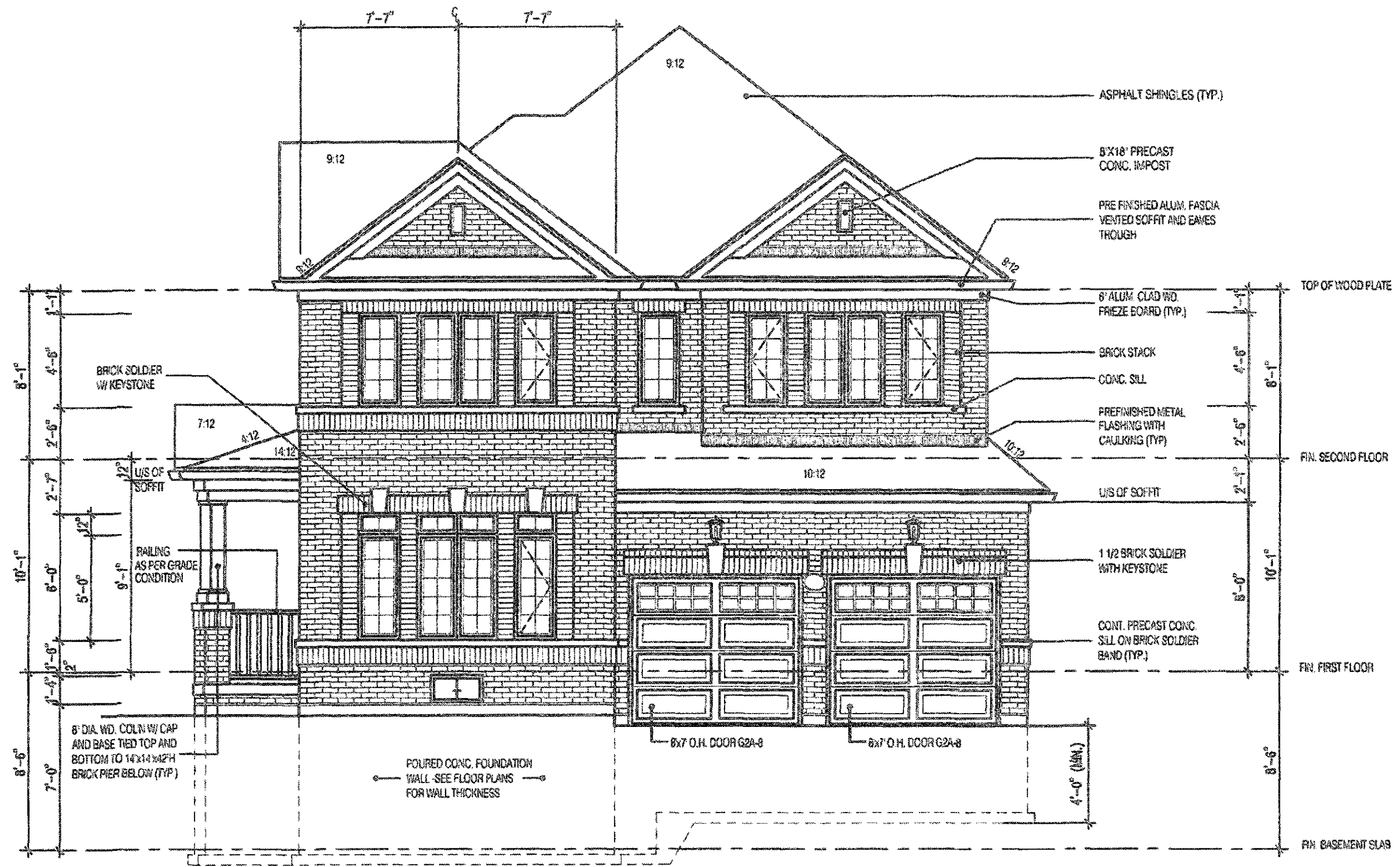
jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
2.2.5 of the building code.

Walter Boller *Walter Boller* 21037
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
2.2.4 of the building code.
jardin design group inc. 27763
FIRM NAME BCIN

FLANKAGE ELEV.-2
LAMBERT LANE PHASE 2
TOWN OF CALEDON

	TYPE	AREA
	T	2653
	SCALE	3/16"=1'-0"
PROJ. No.	18-18	DWG. No.
		4A



**FRONT
ELEVATION 1**

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

RECEIVED
JUN 25 2018
TOWN OF CALEDON
BUILDING SECTION

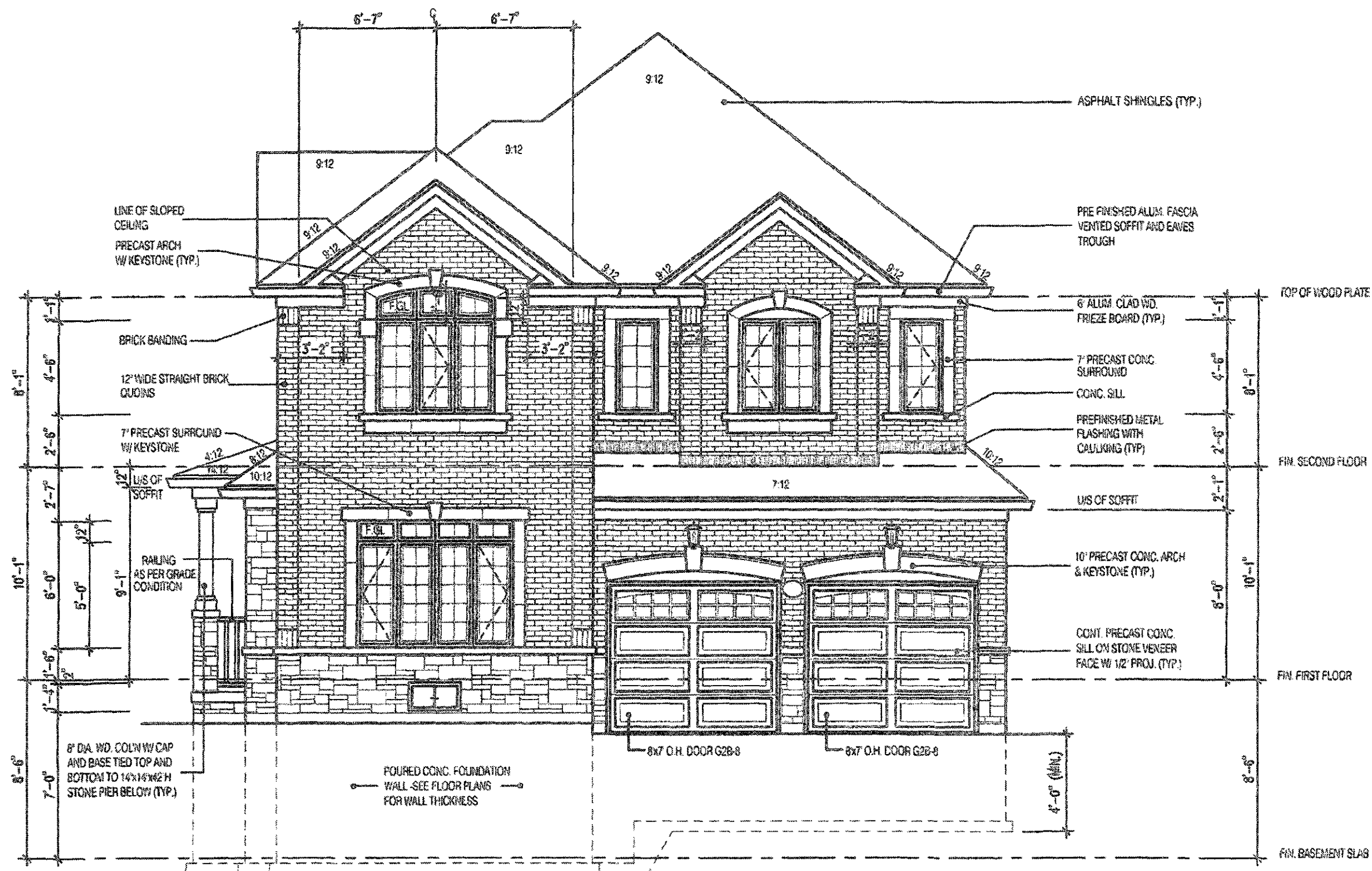
THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any variations
to the subdivision agreement. The General
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
newer can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONSULTANT
ARCHITECT
DATE: JUN 14, 2018
THIS DOCUMENT IS THE PROPERTY OF JOHN C. WILLIAMS LTD. AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF JOHN C. WILLIAMS LTD.

2741	
CORNER	
PRESTON 12 ELEVATION 1	
ENERGY STAR	
O.REG. 332/12	
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR OTHER INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED BEFORE THE RECEIPT OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK. AS CONSTRUCTED, WORKS MUST BE WORKED PRIOR TO FOLDING FOOTINGS. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE PROJECT AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY JARDIN DESIGN GROUP INC. AS A PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE BOARDED.	
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2	JAN 17, 2019 ISSUED FOR BUILDING PERMIT
1	AUG 26, 2018 INTRODUCED INTO PROJECT FROM LEXTELLE 11-89 WINDFIELD 11
No:	DATE: WORK DESCRIPTION:
Jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.co	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and means the requirements set out in the Ontario Building Code to be a designer. QUANTIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code.	
Walter Botter	21031
NAME	SIGNATURE
REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code.	
Jardin design group inc.	27763
FIRM NAME	BCIN
FRONT ELEVATION-1	
LAMBERT LANE PHASE 2	
TOWN OF CALEDON	
TYPE	AREA
T	2663
SCALE:	3/16" = 1'-0"
PROJ. No	DWG. No.
18-18	5



**FRONT
ELEVATION 2**

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

RECEIVED
JUN 25 2019

TOWN OF CALEDON
PLANNING DEPARTMENT

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (staking) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on the lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

JOHN C. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONSULTANTS
AND APPROVAL
APPROVED BY: *[Signature]*
NAME: JOHN C. WILLIAMS
This drawing is for use only with the conditions
of the Architectural Design Guidelines.

2741	
CORNER	
PRESTON 12 ELEVATION 2	
ENERGY STAR	
O.REG. 332/12	
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, SURVEYING, PRELIMINARY FOUNDATION SIZES OR THESE DIMENSIONS OR THE CONSTRUCTION STARTED BEFORE THE ISSUANCE OF A BUILDING PERMIT. REPORT TO THE APPROPRIATE ENGINEER AS DRAWINGS BEFORE PROCEEDING WITH WORK. AS CONSTRUCTED IN THESE MUST BE WORKED FROM TO POLING FOOTINGS. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETIRED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONSTRUCTION OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE AS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.	
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2	JAN 17, 2019 ISSUED FOR BUILDING PERMIT
1	AUG 28, 2018 INTRODUCED INTO PROJECT FROM LENTILLA 11-69 (UNAPPROVED)
No.	DATE: WORK DESCRIPTION:
jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUANTIFICATION INFORMATION Registered unless design is exempt under Division C, Subsection 1.2.5 of the building code. Walter Boller <i>[Signature]</i> 21031 NAME SIGNATURE BCIN REGISTRATION INFORMATION Registered unless design is exempt under Division C, Subsection 1.2.4 of the building code. jardin design group inc. 27763 FIRM NAME BCIN	
FRONT ELEVATION-2	
LAMBERT LANE PHASE 2 TOWN OF CALEDON	
TYPE T	AREA 2653
SCALE 3/16" = 1'-0"	
PROJ. NO. 18-18	DRG. NO. 5A

O. REG. 332/12

THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JACO IN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SOLD.

No.	DATE	WORK DESCRIPTION
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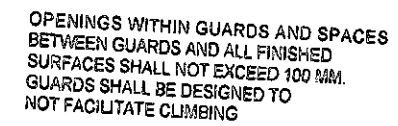
ORIGIN	jardin design group inc.	27763
FIRM NAME		80A

 BILD®	TYPE	AREA
	T	2853
	SCALE: 3/16" = 1'-0"	
	PROJ. No.	DWG. No.
	18-18	6

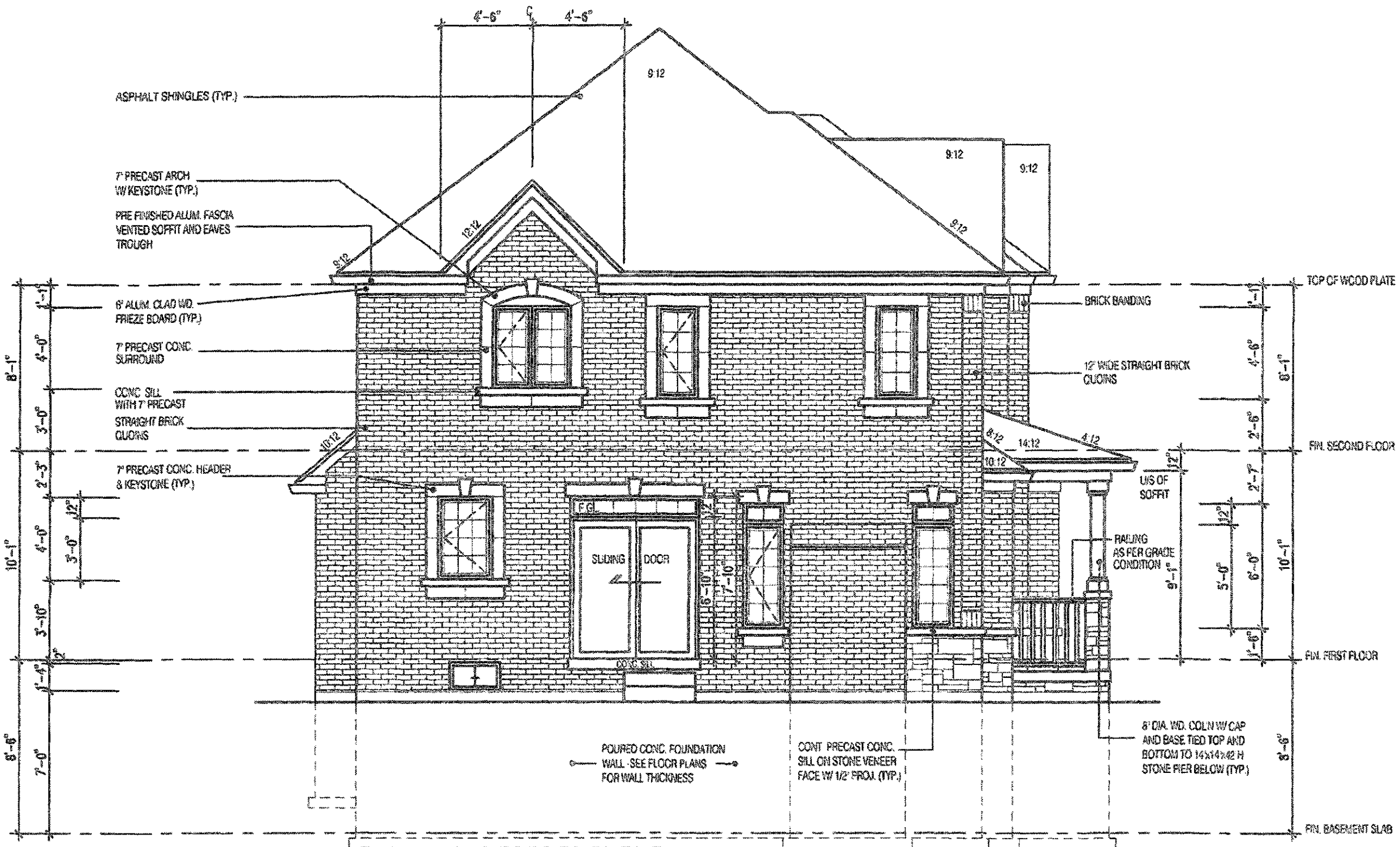
THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE DAKOTA BUILDING CODE

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALIFORNIA.

ROBIN C. WILLIAMS LTD ARCHITECT
 100 TECHNICAL CENTER CENTER
 BOSTON 02114
 617-552-1212
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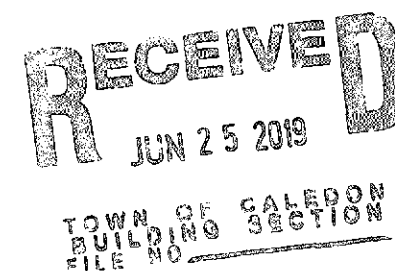


DRAWN BY	FRANCIS A. JEFF
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REAR
ELEVATION 2

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING



THIS STRUCTURE MUST BE
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THE ONTARIO BUILDING CODE

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning bylaws and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (existing) plans or
existing drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on the lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL REVIEW
ANY APPROVAL
APPROVED BY: *[Signature]*
DATE: JUN 18 2019
The undersigned hereby certifies that the plans shown
herein comply with the applicable Architectural Design
Guidelines approved by the Town of Caledon.

2741																									
CORNER																									
PRESTON 12 ELEVATION 2																									
ENERGY STAR																									
O.REG. 332/12																									
THE DESIGNER SHALL OBTAIN ALL NECESSARY PERMITS AND COMMITMENTS ON THE PROJECT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN GROUP P.C. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION PROVIDED BY THOSE PROVIDED OR FOR CONSEQUENCES DERIVED FROM THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK. ALL CONSTRUCTED WORKS MUST BE MARKED PRIOR TO POURING FOUNDATIONS. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK. JARDIN ASSUMES NO RESPONSIBILITY FOR THE REVIEW OF THE CONTRACTOR'S SUBS CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE COPIED. <table border="1"> <tr><td>7</td><td></td></tr> <tr><td>6</td><td></td></tr> <tr><td>5</td><td></td></tr> <tr><td>4</td><td></td></tr> <tr><td>3</td><td></td></tr> <tr><td>2</td><td>JAN. 17, 2019 ISSUED FOR BUILDING PERMIT</td></tr> <tr><td>1</td><td>JULY 26, 2010 INTRODUCED INTO PROJECT FROM LENTELLA 11-69 WINDFIELD 11</td></tr> </table> No. DATE: WORK DESCRIPTION: jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P9 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.3 of the building code. Walter Botter <i>[Signature]</i> 21031 NAME SIGNATURE BCIN REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code. jardin design group inc. 27769 FIRM NAME BCIN REAR ELEVATION-2 LAMBERT LANE PHASE 2 TOWN OF CALEDON <table border="1"> <tr> <td rowspan="3">BILD</td> <td>TYPE</td> <td>AREA</td> </tr> <tr> <td>SCALE</td> <td>2653</td> </tr> <tr> <td>PROJ. No</td> <td>3/16" = 1'-0"</td> </tr> <tr> <td></td> <td>18-18</td> <td>DWG No. 6A</td> </tr> </table>		7		6		5		4		3		2	JAN. 17, 2019 ISSUED FOR BUILDING PERMIT	1	JULY 26, 2010 INTRODUCED INTO PROJECT FROM LENTELLA 11-69 WINDFIELD 11	BILD	TYPE	AREA	SCALE	2653	PROJ. No	3/16" = 1'-0"		18-18	DWG No. 6A
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BILD	TYPE	AREA																							
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2741
CORNER
PRESTON 12
ELEVATION 1
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACQUISITION OF SURVEY, STRUCTURAL, CHEMICAL AND PHYSICAL ANALYSIS OR THE DESIGN OF ANY FOUNDATION OR STRUCTURE PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. IT IS THE RESPONSIBILITY OF THE CLIENT TO OBTAIN ALL NECESSARY PERMITS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED, ROOFS MUST BE VERIFIED AS TO FLOORING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CONDUCT A GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUBCONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AND TO COMPLY WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY JARDIN DESIGN GROUP INC. AS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

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2	JUN 17, 2019 ISSUED FOR BUILDING PERMIT
1	AUG 26, 2018 INTRODUCED INTO PROJECT FROM LENTELLA 11-68-WINDFELD 11

NO. DATE WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Requires unless design is exempt under Division C, Subsection 1.2.5 of the Building Code.

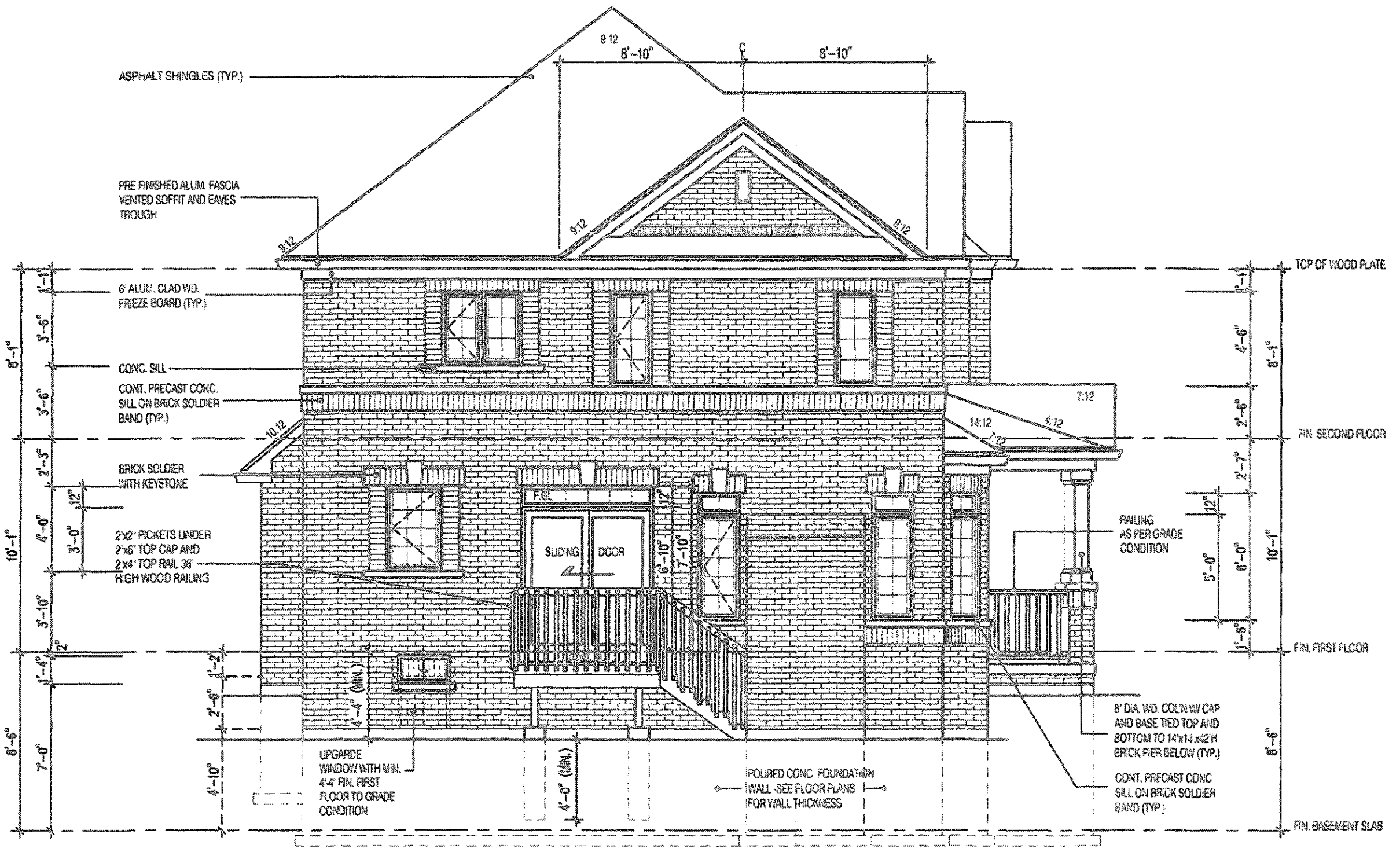
Walter Boller *WBE* 21031
NAME SIGNATURE BCN

REGISTRATION INFORMATION
Requires unless design is exempt under Division C, Subsection 1.2.5 of the Building Code.

Jardin design group inc. 27763
FIRM NAME BCN

REAR DECK EL-1
LAMBERT LANE PHASE 2
TOWN OF CALEDON

TYPE	T	AREA	2653
SCALE	3/16" = 1'-0"		
PROJ NO	18-18	DWG NO	6-1



PRESTON 12
REAR ELEVATION 1
DECK CONDITION

FOR ADDITIONAL DECK STRUCTURE
REFER TO PAGE 7 OF THE DETAIL PACKAGE

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

RECEIVED
JUN 25 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

MAR 21 2019

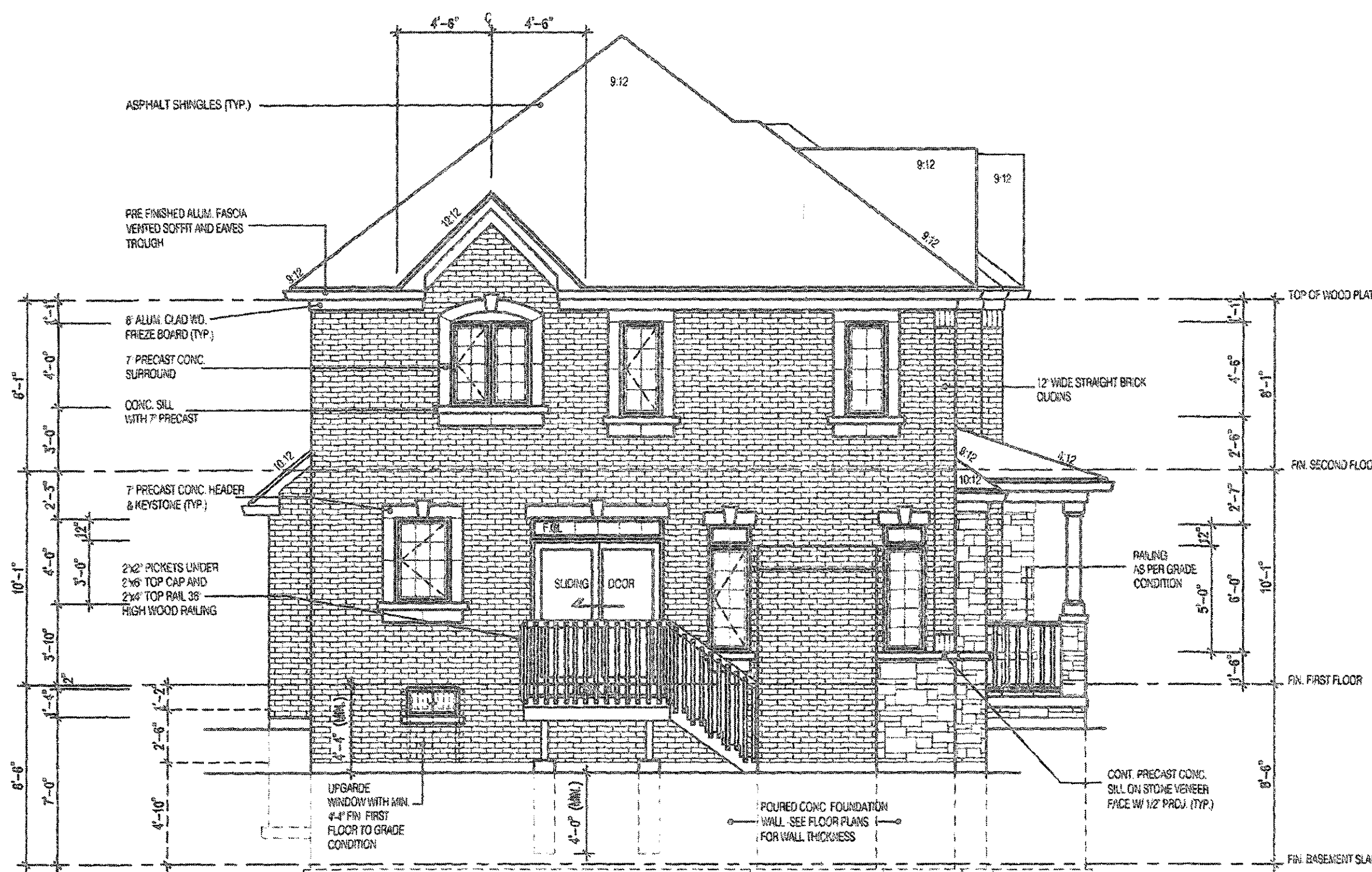
NOTE:
WHEN VENEER CUT IS GREATER THAN
26" A 10" POURED CONC. FOUNDATION
WALL IS REQUIRED.
(FOUNDATION PLAN TO BE REVIEWED
IN CONJUNCTION WITH SITE PLAN)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the Caledon or regional code. The Designer Architect is not responsible in any way for creating or approving any (existing) plans or working drawings with respect to any zoning or building code or permit matter or that any errors can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS, CHL, ARCHITECT
ARCHITECTURAL DESIGN, INC. LTD.
AND ASSOCIATES

APPROVED BY: *[Signature]*
DATE: JUN 12, 2019



**PRESTON 12
REAR ELEVATION 2
DECK CONDITION**

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

FOR ADDITIONAL DECK STRUCTURE
REFER TO PAGE 7 OF THE DETAIL PACKAGE

**THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE**

NOTE:
WHEN VENEER CUT IS GREATER THAN
28" A 10" POURED CONC. FOUNDATION
WALL IS REQUIRED.
(FOUNDATION PLAN TO BE REVIEWED
IN CONJUNCTION WITH SITE PLAN)

RECEIVED
JUN 25 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

MAR 21 2019

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECTS
ARCHITECTURAL DESIGN SERVICES
AND APPROVAL
DATE: JUN 20 2019
1. A CONTRACTOR SHALL IMMEDIATELY REPORT TO THE TOWN OF CALEDON ANY VIOLATION OF THE BUILDING CODE OR ANY OTHER VIOLATION OF THE BUILDING CODE.

**2741
CORNER
PRESTON 12
ELEVATION 2
ENERGY STAR
O.REG. 332/12**

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REACHED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRIKES, RAIL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION OF STAKES FOR THE INSURANCE OF A RELEASED PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH CONSTRUCTION.
AS CONSTRUCTED, ALL WORK MUST BE VERIFIED FROM TOPOGRAPHIC PHOTOGRAPHS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO VERIFY OR INSURE THE REVIEW OF THE WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE FAILURE OF THE CONTRACTOR OR ANY CONTRACTOR TO CHECK THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
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2	JAN 17, 2019 ISSUED FOR BUILDING PERMIT
1	AUG 28, 2018 INTRODUCED INTO PROJECT FROM LENTELLA 17-01-WINDFIED 11

No. DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, subsection 3.2.5 of the building code.

Walter Botter 21031
NAME SIGNATURE BCN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCN

**REAR DECK EL-2
LAMBERT LANE PHASE 2
TOWN OF CALEDON**

 BILD®	TYPE	AREA
	T	2653
	SCALE	3/16"=1'-0"
	PROJ. No.	Draw. No.
	18-18	6A-1

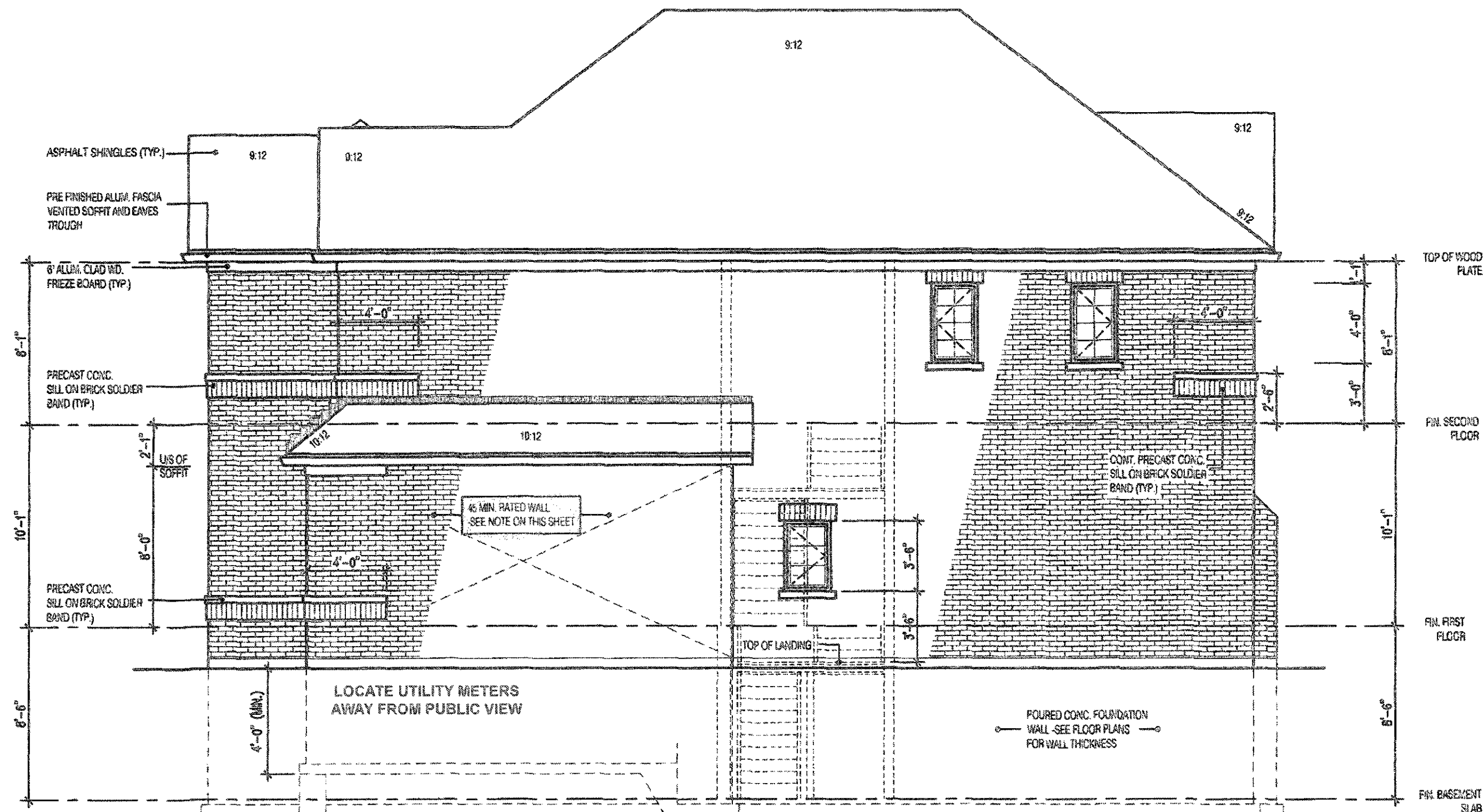
2741

CORNER

PRESTON 12
ELEVATION 1

ENERGY STAR

O.REG. 332/12

SIDE
ELEVATION 1**BRICK VENEER CONSTRUCTION**

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.

(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)

HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED AT HEADER

PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN

(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)

UNPROTECTED OPENINGS (GLASS AREA)

WALL AREA

ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDEYARD)

ACTUAL WINDOW AREA

= 1060 #

= 74.2 #

= 26.8 #



THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site building plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JONG C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: APR 18, 2019
This plan is not for use on any other project without the written consent of the architect.

No. DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

COMMUNICATION INFORMATION
Required unless design is exempt under Section C, Subsection 3.2.5 of the building code.

Water Butler [Signature] 21031
NAME SIGNATURE BCN

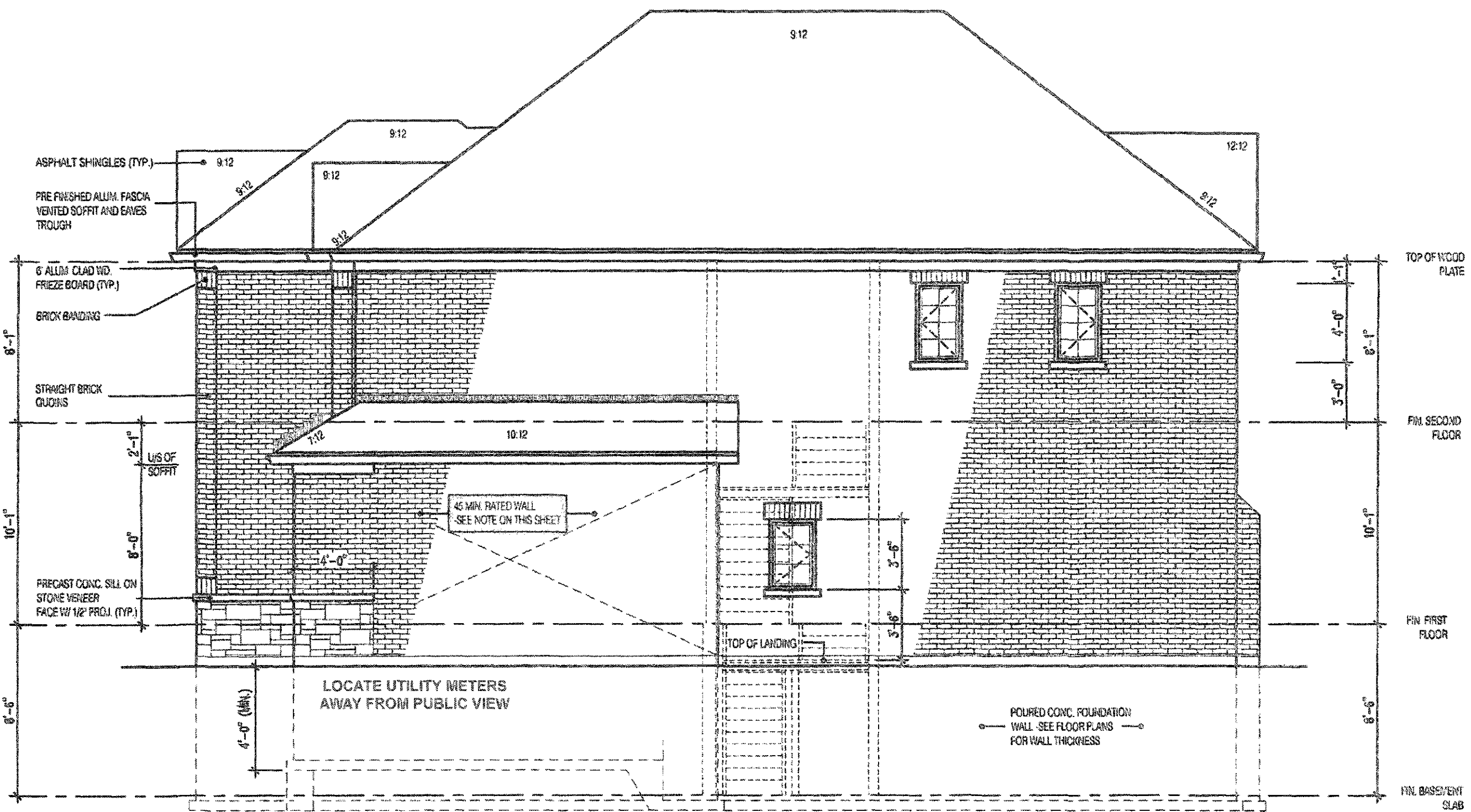
REGISTRATION INFORMATION
Required unless design is exempt under Section C, Subsection 3.2.4 of the building code.

Jardin design group inc. 27763
FIRM NAME BCN

SIDE ELEVATION-1
LAMBERT LANE PHASE 2
TOWN OF CALEDON

TYPE T AREA 2653
SCALE: 3/16" = 1'-0"
PROJ. No. 18-18 Dwg. No. 7





SIDE
ELEVATION 2

BRICK VENEER CONSTRUCTION
(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 60% OF THE CAVITY THICKNESS. THE TYPE 'X' INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.

(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)

HEADER/RIM JOIST LEVEL
(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED AT HEADER

PROVIDE 15.2mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN

(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)

UNPROTECTED OPENINGS (GLASS AREA)
WALL AREA = 1080 sq ft
ALLOWABLE GLASS AREA @ 7.0% (1.2m SIDEYARD) = 74.2 sq ft
ACTUAL WINDOW AREA = 26.8 sq ft

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

RECEIVED
JUN 25 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

ERIN C. WHELAN LTD. ARCHITECT
ARCHITECTURAL DESIGN REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: JUN 12 2019

The approved design complies with the applicable Design Guidelines and all applicable zoning and building code requirements.

2741	
CORNER	
PRESTON 12 ELEVATION 2	
ENERGY STAR	
O.REG. 332/12	
THE CONTRACTOR SHALL CHECK AND VERIFY ALL EXISTING AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.	
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, ORIGINALLY OR OTHERWISE, AND SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT.	
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND SHALL NOT BE RESPONSIBLE FOR THE FAILURE OF THE CONTRACTOR OR ITS CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.	
THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE COPIED.	
7	
6	
5	
4	
3	
2	JAN 17, 2019 ISSUED FOR BUILDING PERMIT
1	AUG 28, 2018 INTRODUCED INTO PROJECT FROM LETTELLA 1-18- WINDFELD 11
No.	DATE WORK DESCRIPTION
jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	
QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.	
Walter Boffer [Signature] 21031 NAME SIGNATURE BCIN	
REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.	
jardin design group inc. 27763 FIRM NAME BCIN	
SIDE ELEVATION-2 LAMBERT LANE PHASE 2 TOWN OF CALEDON	
TYPE T AREA 2653	
SCALE 3/16"=1'-0"	
PROJ. NO. 18-18 DWG. NO. 7A	

2741

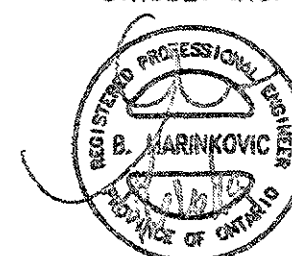
CORNER

PRESTON 12
ELEVATION 1

ENERGY STAR

O.REG. 332/12

STRUDET INC.



FOR STRUCTURE ONLY

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND LOCATIONS ON THE CONSTRUCTION DOCUMENTS. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN GROUP AND TRIP TO CORRECT LIST OF WORK.

ARCHITECTURAL GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR CIVIL DATA OR INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION INFORMATION PERTAINING TO THE ISLAND OF A BELLAND PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK. AS CONSTRUCTED DIMENSIONS MUST BE VERIFIED PRIOR TO POURING FOOTING.

ARCHITECTURAL GROUP INC. HAS NOT BEEN EMPLOYED TO CARRY OUT VISUAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE PROVIDED BY A.D.S. THE PROPERTY OF ARCHITECTURAL GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

7	
6	
5	
4	
3	
2	JAN 17, 2019 ISSUED FOR BUILDING PERMIT
1	AUG 23, 2018 INTRODUCED INTO PROJECT FROM LENTELLA 11-68-VINCEFIELD 11

No. DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC.
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Boller *W.B.* 21031
NAME SIGNATURE BCIN

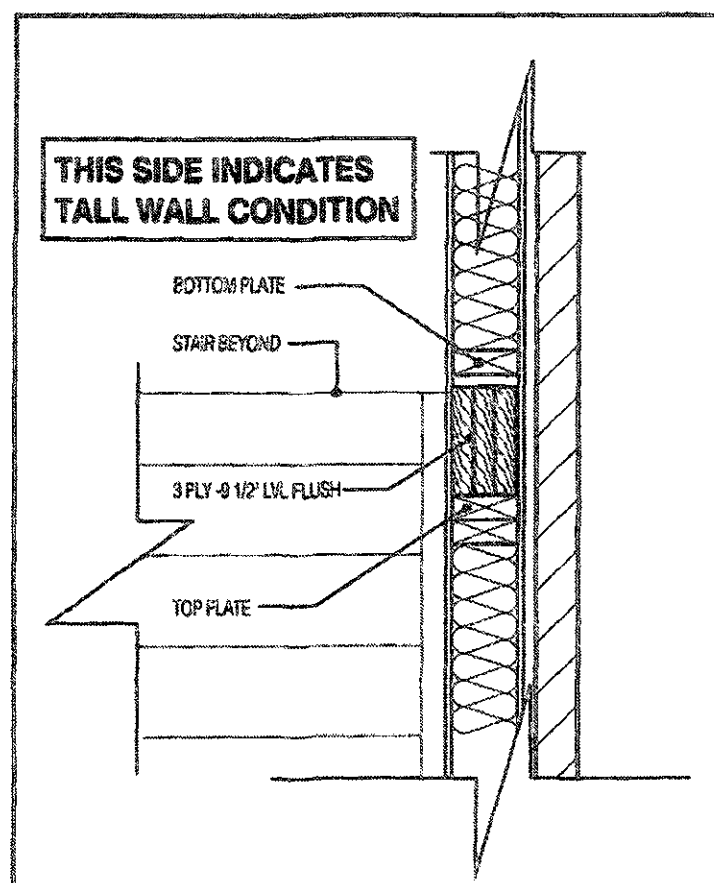
Registration Information
Required unless design is exempt under Division C, Subsection 3.2.6 of the building code.

Jardin design group inc. 27763
FIRMS NAME BCIN

SECTION ELEVATION-1

LAMBERT LANE PHASE 2
TOWN OF CALEDON

BILD	TYPE	T	AREA	2653
	SCALE	3/16"=1'-0"		
	PROJ. No.	18-18	DWG. No.	8

THIS SIDE INDICATES
TALL WALL CONDITION

BOTTOM PLATE

STAIR BEYOND

3 PLY 9 1/2" LVL FLUSH

TOP PLATE

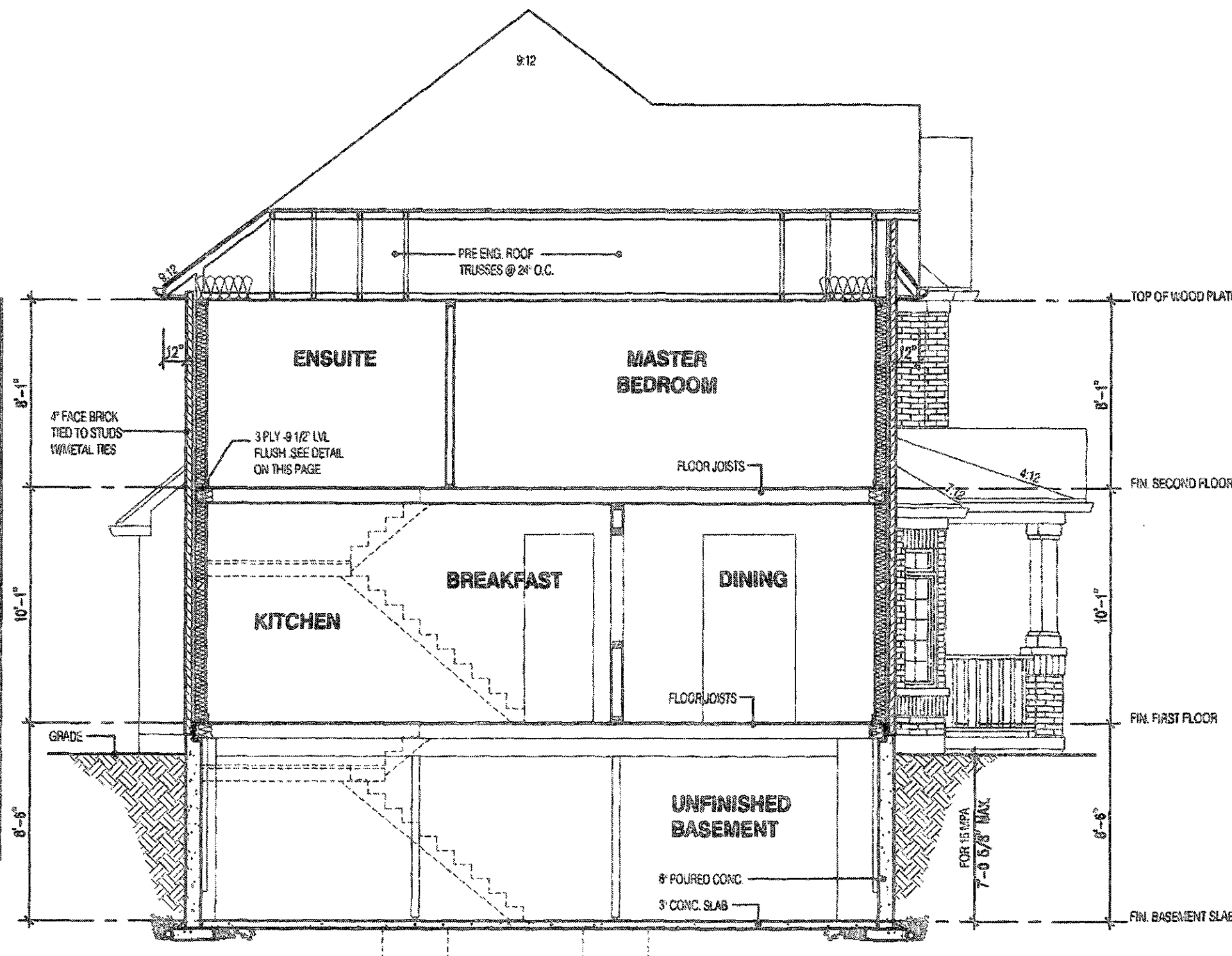
B TALL WALL FRAMING

N.T.S.

STRUDET INC.



FOR STRUCTURE ONLY

SECTION A-A
ELEVATION 1

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

RECEIVED
JUN 25 2019

TOWN OF CALEDON
BUILDING SECTION
FILE NO.

THIS STRUCTURE MUST BE
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