STRIP FOOTINGS -

FOR SINGLES & SEMIS UP TO 2 STOREY

120 KPa NATIVE SOIL

- 20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS
- 24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS

100 KPa NATIVE SOIL

- 22"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS
- 28"x10" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS
  OR
  28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS

90 KPa ENGINEERED FILL SOIL

- 24"x8" CONCRETE STRIP FOOTING WITH REINFORCING BELOW FOUNDATION WALLS
- 30"x8" CONCRETE STRIP FOOTING WITH REINFORCING BELOW PARTY WALLS

(ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL FOOTING DETAIL FOR REINFORCEMENT)

PAD FOOTINGS

120 KPa NATIVE SOIL

F1 = 42"x42"x18" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD

100 KPa NATIVE SOIL

F1 = 46"x46"x20" CONCRETE PAD
F2 = 39"x39"x16" CONCRETE PAD
F3 = 32"x32"x14" CONCRETE PAD
F4 = 26"x26"x12" CONCRETE PAD
F5 = 17"x17"x8" CONCRETE PAD

90 KPa ENGINEERED FILL SOIL

F1 = 48"x48"x20" CONCRETE PAD
F2 = 40"x40"x16" CONCRETE PAD
F3 = 34"x34"x14" CONCRETE PAD
F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

BRICK VENEER LINTELS

WL1 = 3-1/2"x3-1/2"x1/4"L (90x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4"x3-1/2"x5/16"L (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5"x3-1/2"x5/16"L (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6"x3-1/2"x3/8"L (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6"x4"x3/8"L (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5"x3-1/2"x5/16"L (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5"x3-1/2"x5/16"L (125x90x8.0L) + 3-2"x10" SPR. No.2
WL8 = 5"x3-1/2"x5/16"L (125x90x8.0L) + 3-2"x12" SPR. No.2
WL9 = 6"x4"x3/8"L (150x100x10.0L) + 3-2"x12" SPR. No.2

WOOD LINTELS AND BEAMS

WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)
WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)
WB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)
WB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)
WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)
WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)
WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)
WB11 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)
WB12 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)
LVL10 = 2-1 3/4" x 18" (3-45x456)

LVL BEAMS SHALL BE VERSA-LAM 2.0E (Fb=2800psi MIN) OR EQUIVALENT.

LOOSE STEEL LINTELS

L1 = 3-1/2"x3-1/2"x1/4"L (90x90x6.0L)
L2 = 4"x3-1/2"x5/16"L (100x90x8.0L)
L3 = 5"x3-1/2"x5/16"L (125x90x8.0L)
L4 = 6"x3-1/2"x3/8"L (150x90x10.0L)
L5 = 6"x4"x3/8"L (150x100x10.0L)
L6 = 7"x4"x3/8"L (175x100x10.0L)

ALL ELECTRICAL INSTALLATIONS MUST BE INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY. APPLICATIONS MUST BE FILED FOR MORE INFORMATION PLEASE CALL: ELECTRICAL SAFETY AUTHORITY 1-877-ESA-SAFE (372-7233)
PLUG IN SAFELY
FIND A LOCAL LICENSED ELECTRICAL CONTRACTOR AT www.plugintosafety.ca

Electrical Contractor Registration Agency of the Electrical Safety Authority

DOOR SCHEDULE

1 = 3'-0" x 6'-8" (914x2035) - INSULATED ENTRANCE DOOR
1a = 2'-10" x 7'-10" (815x2387) - INSULATED FRONT DOORS
2 = 2'-8" x 6'-8" (815x2033) - WOOD & GLASS DOOR
3 = 2'-8" x 6'-8 x 1-3/4" (815x2033x45) - EXTERIOR SLAB DOOR
4 = 2'-8" x 6'-8" x 1-3/8" (815x2033x35) - INTERIOR SLAB DOOR
5 = 2'-6" x 6'-8" x 1-3/8" (760x2033x35) - INTERIOR SLAB DOOR
6 = 2'-2" x 6'-8" x 1-3/8" (660x2033x35) - INTERIOR SLAB DOOR
7 = 1'-6" x 6'-8" x 1-3/8" (460x2033x35) - INTERIOR SLAB DOOR
8 = 3'-0" x 6'-8" (914x2033) - BARRIER FREE ACCESS DOOR

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FDTN. WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAITMENT

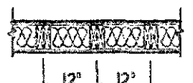
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7', 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

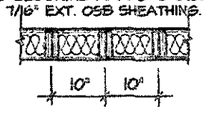
2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @12" O.C. FULL HT C/W SOLID BLOCKING 4'-0" O.C. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0"

TWO STORY HEIGHT WALL DETAIL

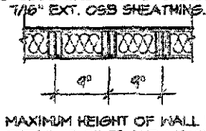
2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED AND NAILED TOGETHER AND SPACED MAX. @10"O.C. FULL HT C/W SOLID BLOCKING MAX. 8'-0"O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND MAXIMUM WIDTH IS 40'-0"

TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED AND NAILED TOGETHER AND SPACED MAX. 6"O.C. FULL HT C/W SOLID BLOCKING MAX. 8'-0"O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 21'-5" AND MAXIMUM WIDTH IS 40'-0"

TWO STORY HEIGHT WALL DETAIL

CERTIFIED MODEL

PRE-APPROVED
FOR PERMIT APPLICATION AS PER THE ONTARIO BUILDING CODE
TOWN OF CALEDON BUILDING DIVISION
REVIEWED BY S. SNELL
DATE AUG 27/19
FILE # KINMOUNT 6A - ELEV. 1,2,3

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

A COMPLETE SET OF REVIEWED DRAWINGS & SPECIFICATIONS MUST BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION AS PER O.B.C.

AREA CALCULATIONS - ELEV. 1

GROUND FLOOR AREA		=	1363	Sq. Ft.
SECOND FLOOR AREA		=	1691	Sq. Ft.
TOTAL FLOOR AREA		=	3054	Sq. Ft.
			283.73	Sq. M.
1st FLOOR OPEN AREA	=	0	Sq. Ft.	
2nd FLOOR OPEN AREA	=	0	Sq. Ft.	
ADD TOTAL OPEN AREAS		=	0	Sq. Ft.
ADD FIN. BASEMENT AREA		=	0	Sq. Ft.
GROSS FLOOR AREA		=	3054	Sq. Ft.
			283.73	Sq. M.
GROUND FLOOR COVERAGE		=	1363	Sq. Ft.
GARAGE COVERAGE / AREA		=	402	Sq. Ft.
PORCH COVERAGE / AREA		=	80	Sq. Ft.
TOTAL COVERAGE W/ PORCH		=	1845	Sq. Ft.
		=	171.41	Sq. m.
TOTAL COVERAGE W/O PORCH		=	1765	Sq. Ft.
		=	163.97	Sq. m.

AREA CALCULATIONS - ELEV. 3

GROUND FLOOR AREA		=	1363	Sq. Ft.
SECOND FLOOR AREA		=	1691	Sq. Ft.
TOTAL FLOOR AREA		=	3054	Sq. Ft.
			283.73	Sq. M.
1st FLOOR OPEN AREA	=	0	Sq. Ft.	
2nd FLOOR OPEN AREA	=	0	Sq. Ft.	
ADD TOTAL OPEN AREAS		=	0	Sq. Ft.
ADD FIN. BASEMENT AREA		=	0	Sq. Ft.
GROSS FLOOR AREA		=	3054	Sq. Ft.
			283.73	Sq. M.
GROUND FLOOR COVERAGE		=	1363	Sq. Ft.
GARAGE COVERAGE / AREA		=	402	Sq. Ft.
PORCH COVERAGE / AREA		=	80	Sq. Ft.
TOTAL COVERAGE W/ PORCH		=	1845	Sq. Ft.
		=	171.41	Sq. m.
TOTAL COVERAGE W/O PORCH		=	1765	Sq. Ft.
		=	163.97	Sq. m.

AREA CALCULATIONS - ELEV. 2

GROUND FLOOR AREA		=	1363	Sq. Ft.
SECOND FLOOR AREA		=	1691	Sq. Ft.
TOTAL FLOOR AREA		=	3054	Sq. Ft.
			283.73	Sq. M.
1st FLOOR OPEN AREA	=	0	Sq. Ft.	
2nd FLOOR OPEN AREA	=	0	Sq. Ft.	
ADD TOTAL OPEN AREAS		=	0	Sq. Ft.
ADD FIN. BASEMENT AREA		=	0	Sq. Ft.
GROSS FLOOR AREA		=	3054	Sq. Ft.
			283.73	Sq. M.
GROUND FLOOR COVERAGE		=	1363	Sq. Ft.
GARAGE COVERAGE / AREA		=	402	Sq. Ft.
PORCH COVERAGE / AREA		=	80	Sq. Ft.
TOTAL COVERAGE W/ PORCH		=	1845	Sq. Ft.
		=	171.41	Sq. m.
TOTAL COVERAGE W/O PORCH		=	1765	Sq. Ft.
		=	163.97	Sq. m.

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING

ENERGY STAR V-17

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.56 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSE FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	4.15 (R22+R5)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY STAR ® ZONE 2 (ER 27MN 1.4)
SPACE HEATING EQUIPMENT MINIMUM AFUE	MIN. 96% AFUE
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HRV MINIMUM EFFICIENCY	TIER 2 75% SRE ENERGY STAR ® HRV TO BE INTERCONNECTED TO THE FURNACE FAN MUST BE BALANCED INDICATING ON HIGH SPEED FRESHVSTALE
HOT WATER TANK	CONDENSING HOT WATER TANK 90% TE ENVIROSENSE
DRAIN WATER HEAT RECOVERY	TWO SHOWERS > 42% STEADY RS-42 OR TD542
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (2.5 ACH/0.18 NLR) ATTACHED LEVEL 1 (3.0 ACH/0.29 NLR)
DUCT SEALING	ALL SUPPLY DUCTS AND 1 m OF RETURN DUCTS
LIGHTS	75% CFLs OR LEDs

BUILDING INSPECTOR IS REQUIRED TO BE ON SITE FOR ALL MANDATORY INSPECTIONS. REFER TO ATTACHED BUILDING PERMIT FOR DETAILS.

KINMOUNT 6A - ELEV. 1

ELEVATION	WALL FT²	(WALL M²)	OPENING FT²	(OPENING M²)	PERCENTAGE
FRONT	638.62	(59.33)	126.22		19.76 %
LEFT SIDE	1114.73	(103.56)	26.11	(2.43)	2.34 %
RIGHT SIDE	1114.73	(103.56)	82.00	(7.62)	7.36 %
REAR	633.97	(58.90)	143.16	(13.30)	22.58 %
TOTAL	3501.07 FT²	(325.35 M²)	377.49 FT²	(35.07M²)	10.78 %

KINMOUNT 6A - ELEV. 2

ELEVATION	WALL FT²	(WALL M²)	OPENING FT²	(OPENING M²)	PERCENTAGE
FRONT	638.62	(59.33)	112.21	(10.42)	17.57 %
LEFT SIDE	1114.73	(103.56)	26.11	(2.43)	2.34 %
RIGHT SIDE	1114.73	(103.56)	82.00	(7.62)	7.36 %
REAR	633.97	(58.90)	82.00	(7.62)	12.93 %
TOTAL	3502.07 FT²	(325.35 M²)	302.32 FT²	(28.08M²)	8.63 %

KINMOUNT 6A - ELEV. 3

ELEVATION	WALL FT²	(WALL M²)	OPENING FT²	(OPENING M²)	PERCENTAGE
FRONT	692.79	(64.36)	124.33	(11.55)	17.95 %
LEFT SIDE	1149.05	(106.66)	26.11	(2.43)	2.27 %
RIGHT SIDE	1138.62	(105.78)	82.00	(7.62)	7.20 %
REAR	633.97	(58.90)	143.16	(13.30)	22.58 %
TOTAL	3608.43 FT²	(335.10 M²)	375.60 FT²	(34.90M²)	10.34 %

RECEIVED
JUN 13 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the TOWN OF CALEDON.

APPLICANT COPY

ESCC MODEL
ENERGY STAR - V 17

KINMOUNT 6A

ENERGY STAR

5.		
4.		
3.		
2.		
1.	REVISED KINMOUNT 6 FROM LAMBERTS LANE HOME I	AUG 2018

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

NAME	SIGNATURE	BCIN
VIKAS GAJJAR		28770

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S3
P (416) 736-4098
F (905) 660-0748

REGION DESIGN INC.

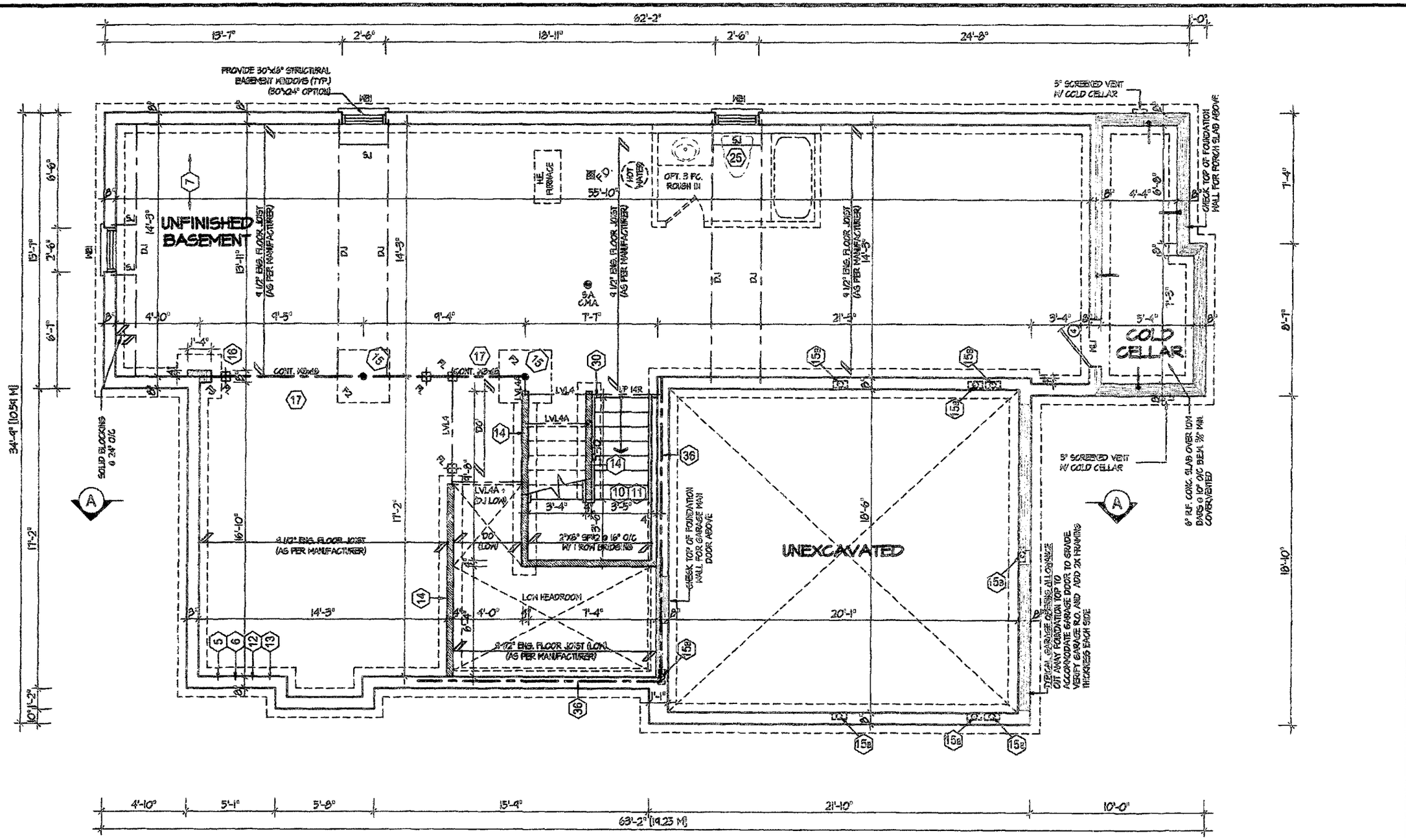
SHEET TITLE: AREA CHARTS

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

SCALE	BY	PAGE No.
3/16"=1'-0"	ZMP	0
DATE: SEP 2018	AREA: 3054	

Greenpark

PROJECT NAME: LAMBERTS LANE HOME CORP. II



BASEMENT PLAN ELEV. I

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

MINIMUM CEILING HEIGHT SHALL BE 2100 MM OVER AT LEAST 75% OF BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED 1950 M M

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

RECEIVED
JUN 13 2018
TOWN OF CALEDON
BUILDING SECTION
FILE NO

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
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KINMOUNT 6A

ENERGY STAR

5.		
4.		
3.		
2.		
1.	REVISED KINMOUNT 6 FROM LAMBERTS LANE HOME I	AUG 2018

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

NAME	SIGNATURE	BCIN
VIKAS GAJJAR		28770

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S5
P (416) 736-4036
F (905) 660-0748

REGION DESIGN INC.

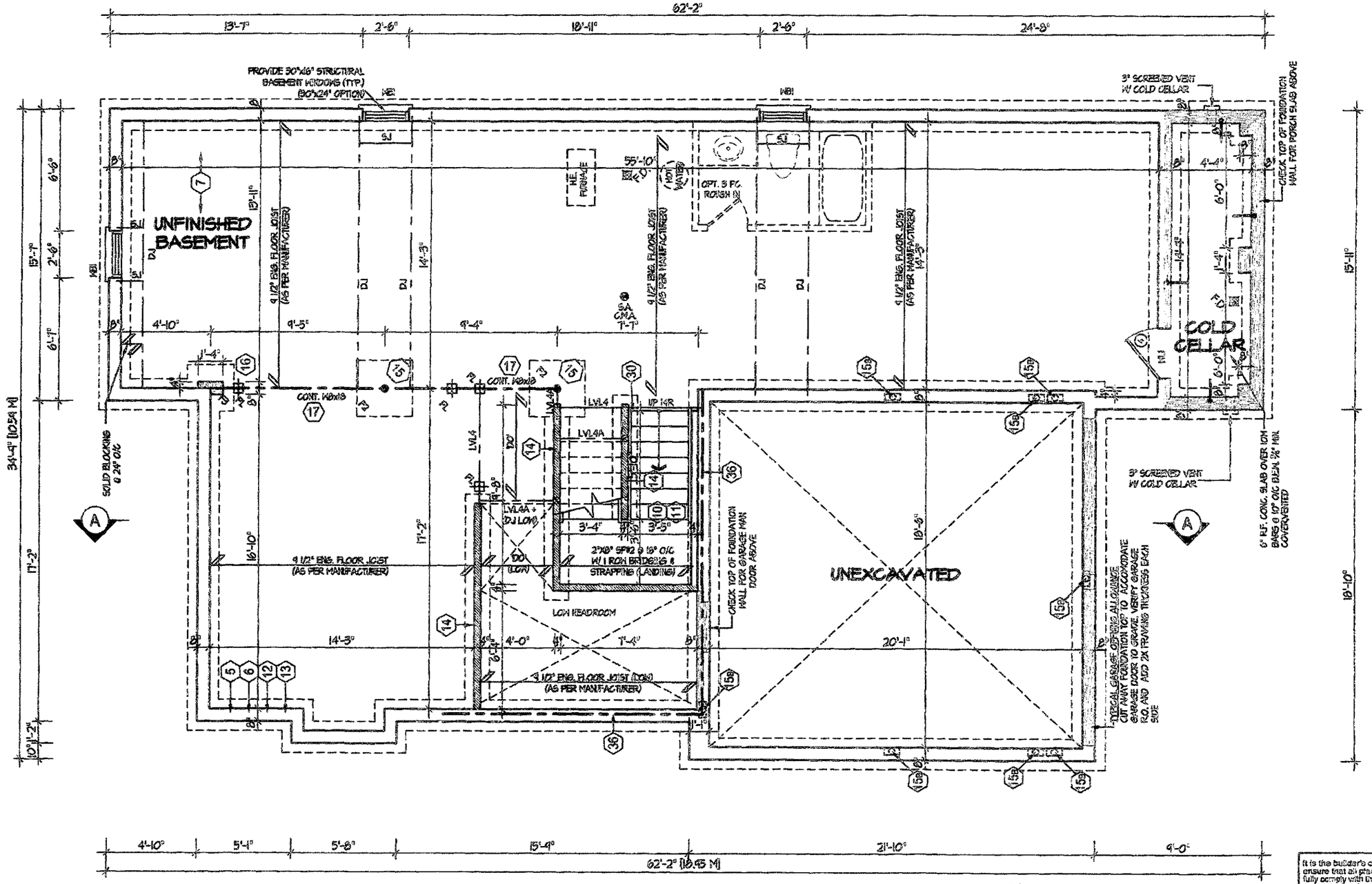
SHEET TITLE: BASEMENT PLAN 1

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

SCALE	BY	PAGE No.
3/16"=1'-0"	ZMP	1
DATE: SEP 2018	AREA: 3054	

Greenpark

PROJECT NAME: LAMBERTS LANE HOME CORP. II



BASEMENT PLAN ELEV. 2

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

MINIMUM CEILING HEIGHT SHALL BE 2100 MM OVER AT LEAST 75% OF BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED 1950 M M

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

RECEIVED
JUN 13 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the TOWN OF CALEDON.

KINMOUNT 6A

ENERGY STAR

5.		
4.		
3.		
2.		
1.	REVISED KINMOUNT 6 FROM LAMBERTS LANE HOME I	AUG 2018

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

NAME	SIGNATURE	BCIN
VIKAS GAJJAR		28770

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4099
F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE: BASEMENT PLAN 2

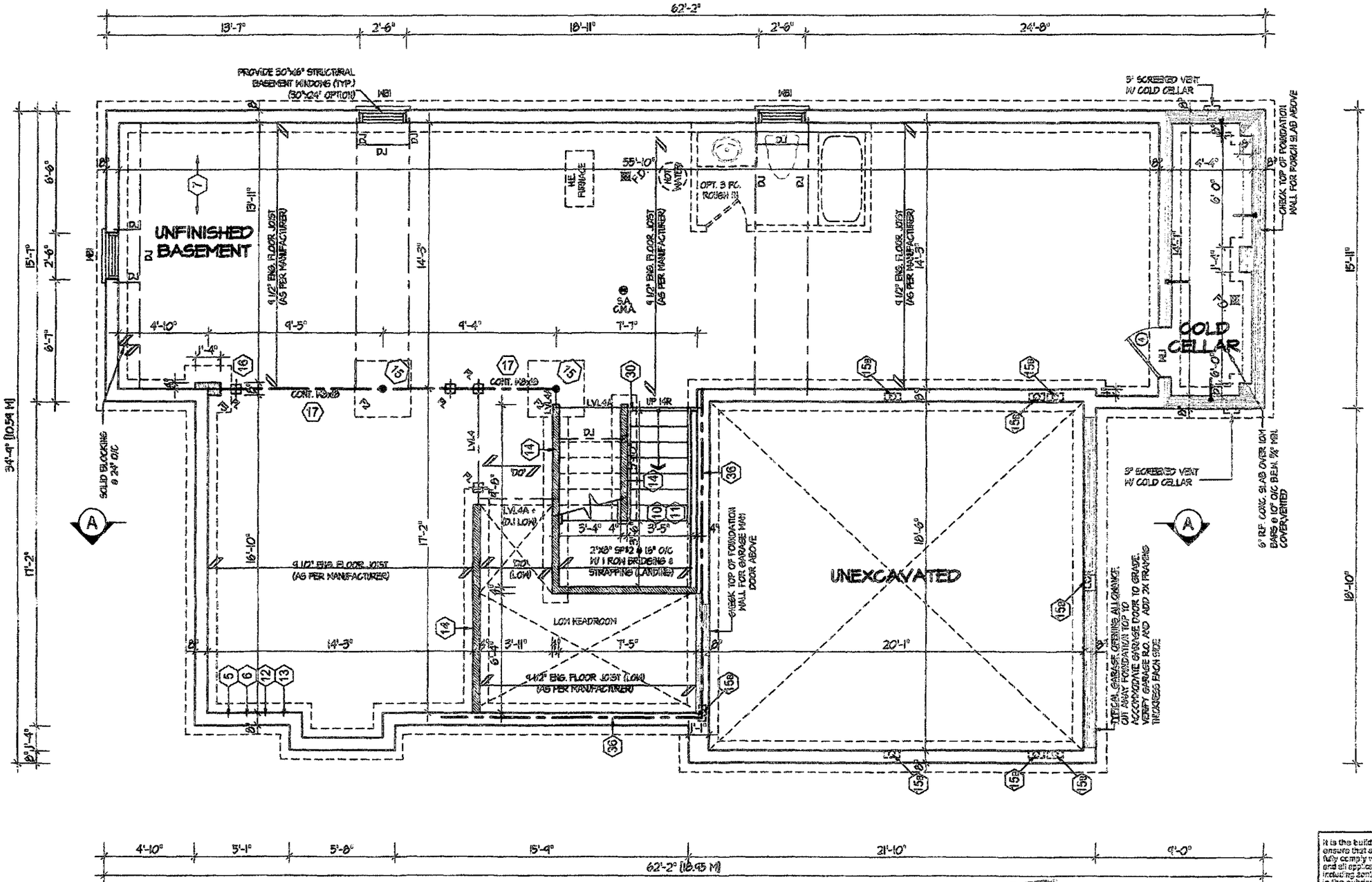
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

SCALE	BY	PAGE No.
3/16"=1'-0"	ZMP	1-2
DATE: SEP 2018	AREA: 3054	

Greenpark

PROJECT NAME: LAMBERTS LANE HOME CORP. II

March 4, 2010 11:13:30 AM B:\PROJECTS\LAMBERTS LANE\KINMOUNT 6A - BEFORE MOTHER INT RA MASTER.DWG



BASEMENT PLAN ELEV. 3

RECEIVED
JUN 13 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the TOWN OF CALEDON.

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

MINIMUM CEILING HEIGHT SHALL BE 2100 MM OVER AT LEAST 75% OF BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED 1950 M M

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

KINMOUNT 6A

ENERGY STAR

5.		
4.		
3.		
2		
1	REVISED KINMOUNT 6 FROM LAMBERTS LANE HOME I	AUG 2018

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

NAME	SIGNATURE	BCIN
VIKAS GAJJAR		28770

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4086
F (905) 660-0748

REGION DESIGN INC.

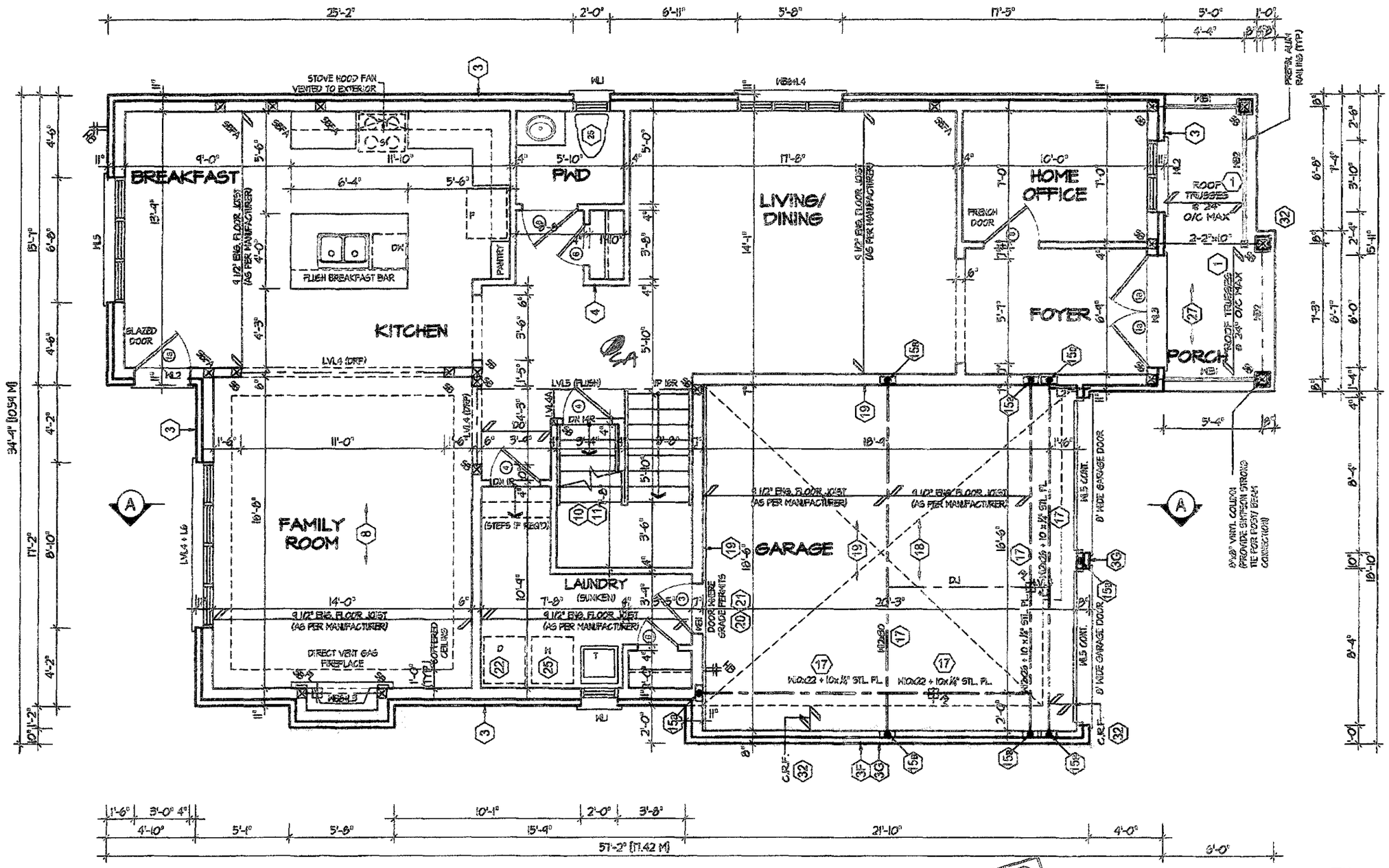
SHEET TITLE: BASEMENT PLAN 3

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

SCALE	BY	PAGE No.
3/16"=1'-0"	ZMP	1-3
DATE: SEP 2018	AREA: 3054	

Greenpark

PROJECT NAME: LAMBERTS LANE HOME CORP. II



GROUND FLOOR PLAN ELEV. 1

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

45 MIN. F.R.R.

OPENINGS WITHIN GUARDS AND ST... BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

RECEIVED
JUN 13 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the TOWN OF CALEDON.

KINMOUNT 6A

ENERGY STAR

5.		
4.		
3.		
2.		
1.	REVISED KINMOUNT 6 FROM LAMBERTS LANE HOME I	AUG 2018

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

NAME	SIGNATURE	BCIN
VIKAS GAJJAR		28770

REGION DESIGN INC.
8769 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4056
F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE: GROUND FLOOR PLAN 1

SCALE: 3/16"=1'-0" | BY: ZMP

DATE: SEP 2018 | AREA: 3054

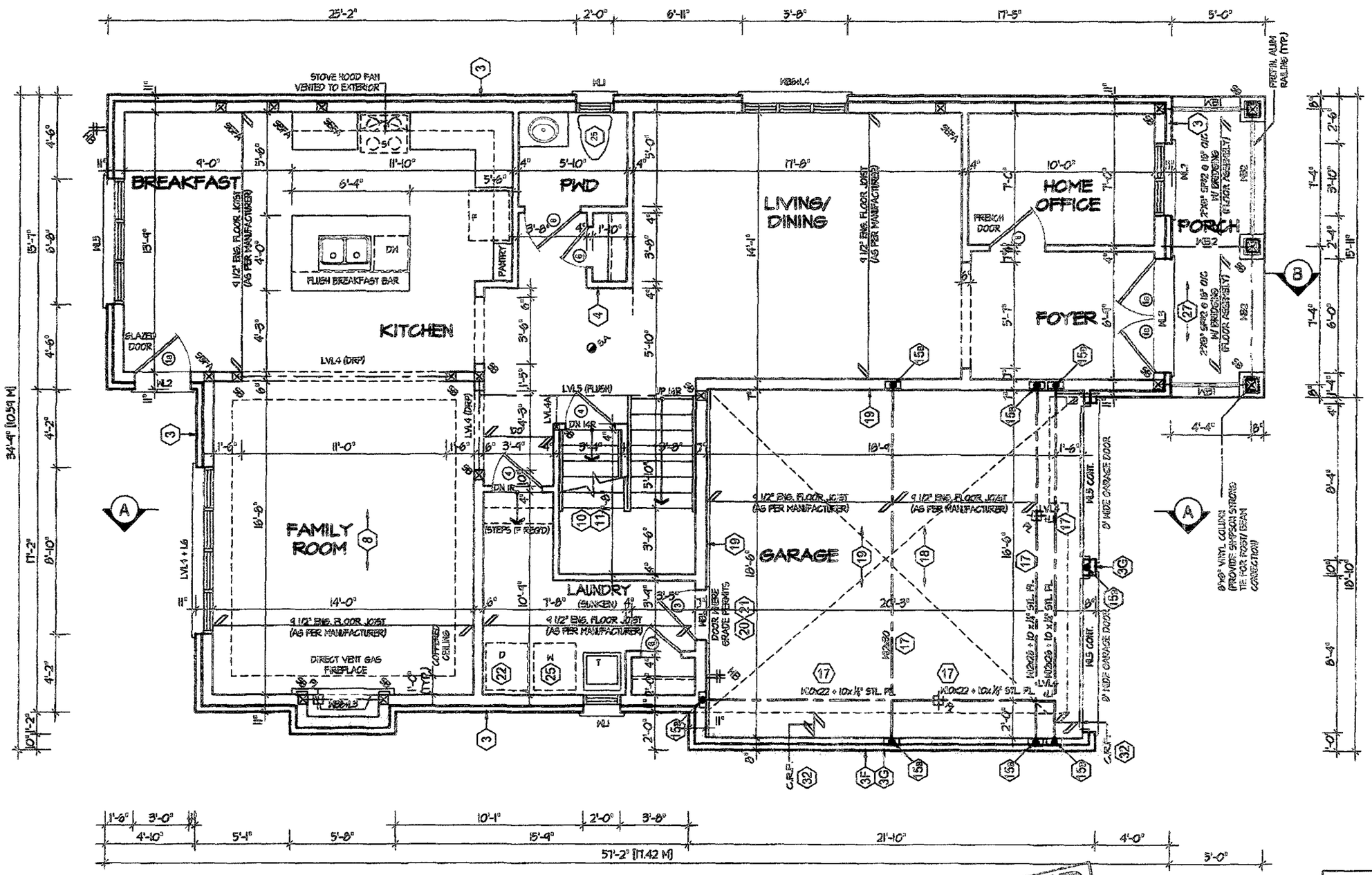
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

PAGE No. 2

Greenpark

PROJECT NAME: LAMBERTS LANE HOME CORP. II

March 1, 2010 4:29:05 PM M:\BRY\ERTSN AMBERTS LANE (GROUP B)\DISTAMPS\KINMOUNT INT RA - SEPARATION BUT RA MASTER.DWG



GROUND FLOOR PLAN ELEV. 2

RECEIVED
JUN 13 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

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THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

KINMOUNT 6A

ENERGY STAR

5.		
4.		
3.		
2.		
1.	REVISED KINMOUNT 6 FROM LAMBERTS LANE HOME I	AUG 2018

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

NAME	SIGNATURE	BCIN
VIKAS GAJJAR		28770

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4086
F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE: GROUND FLOOR PLAN 2

SCALE: 3/16"=1'-0" | BY: ZMP

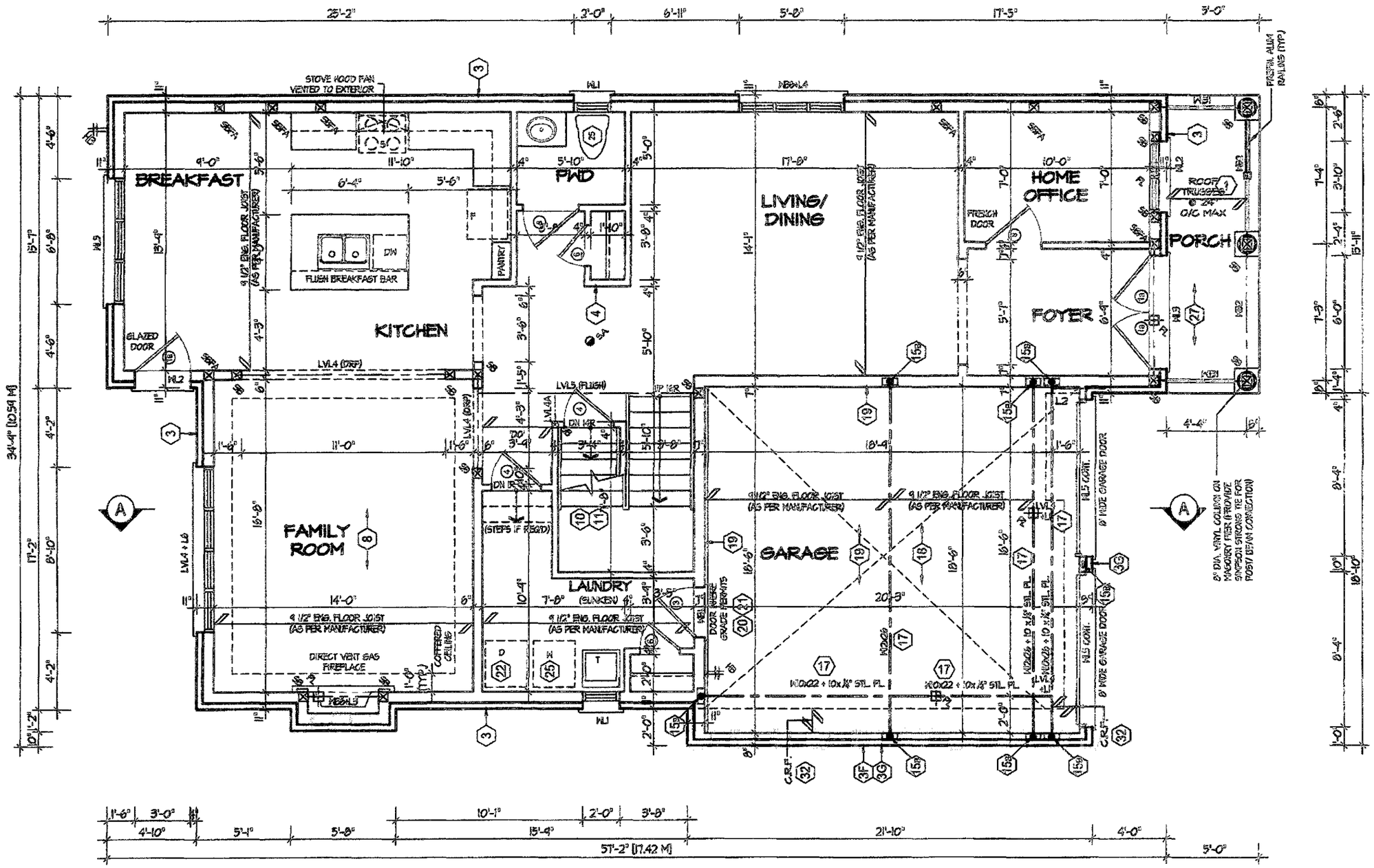
DATE: SEP 2018 | AREA: 3054

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

PAGE No. 2-2

Greenpark

PROJECT NAME: LAMBERTS LANE HOME CORP. II



GROUND FLOOR PLAN ELEV. 3

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

RECEIVED
JUN 13 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

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KINMOUNT 6A

ENERGY STAR

5.		
4.		
3.		
2.		
1.	REVISED KINMOUNT 6 FROM LAMBERTS LANE HOME I	AUG 2018

REVISIONS

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

NAME	SIGNATURE	BCIN
VIKAS GAJJAR		28770

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0748

REGION DESIGN INC.

SHEET TITLE	GROUND FLOOR PLAN 3
SCALE	3/16"=1'-0"
BY	ZMP
DATE	SEP 2018
AREA	3054

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

PAGE No. 2-3

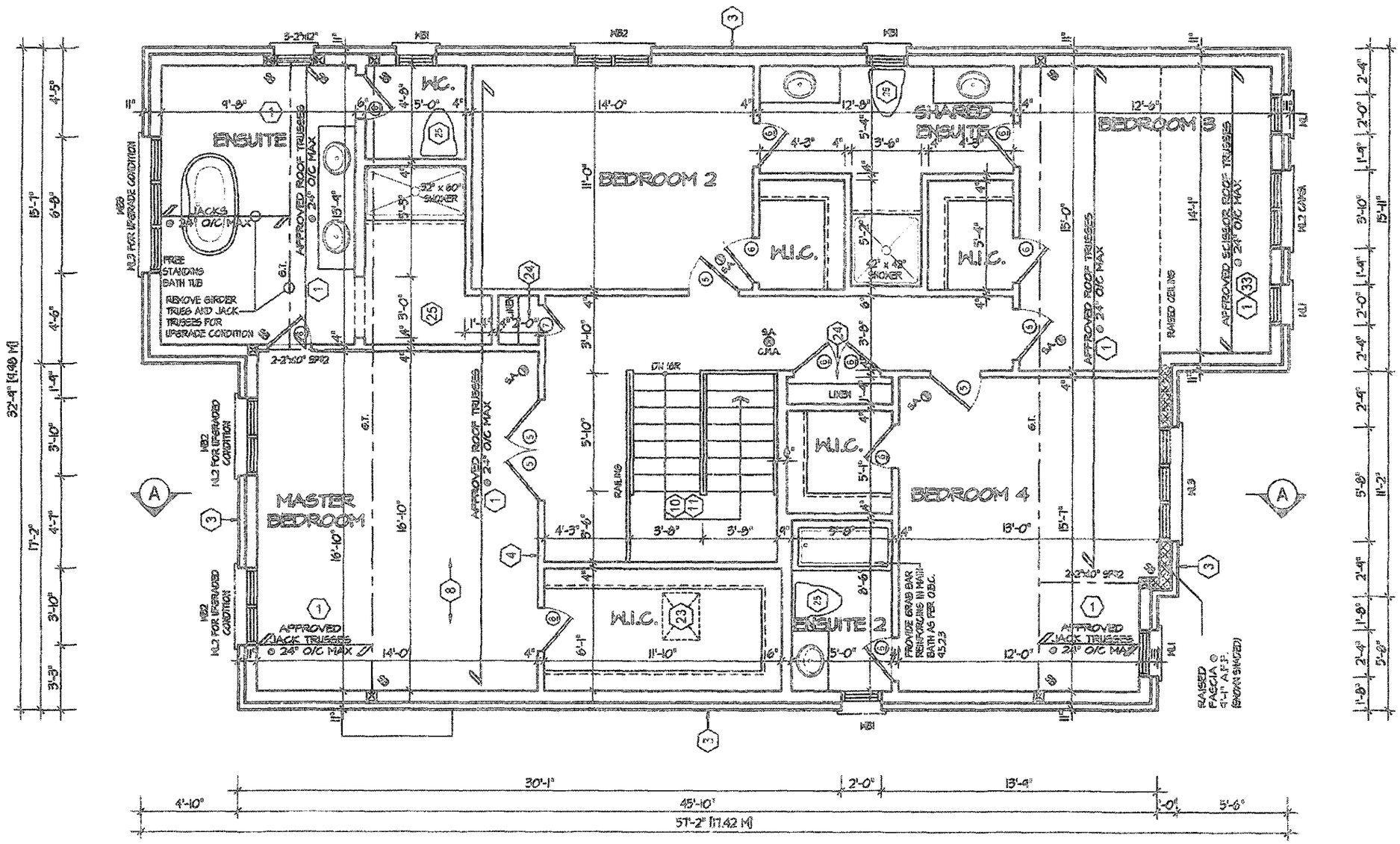
Greenpark

PROJECT NAME
LAMBERTS LANE HOME CORP. II

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE



SECOND FLOOR PLAN ELEV. 1

JUL 09 2019

RECEIVED
JUL 11 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

FOR STRUCTURE ONLY

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the TOWN OF CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE JUL 05, 2019
This plan complies with the applicable Design Guidelines only. See reverse for other provisions (if applicable)

KINMOUNT 6A

ENERGY STAR

5		
4		
3		
2	DEFICIENCIES	JULY 2019
1	REVISED KINMOUNT 6 FROM LAMBERTS LANE HOME I	AUG 2018

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

NAME	SIGNATURE	BCIN
VIKAS GAJJAR		28770

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S0
P (416) 736-4088
F (905) 660-0766

REGION DESIGN INC.

SHEET TITLE: SECOND FLOOR PLAN 1

SCALE: 3/16"=1'-0" | BY: ZMP

DATE: SEP 2018 | AREA: 3054

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

PAGE No. 3

Greenpark

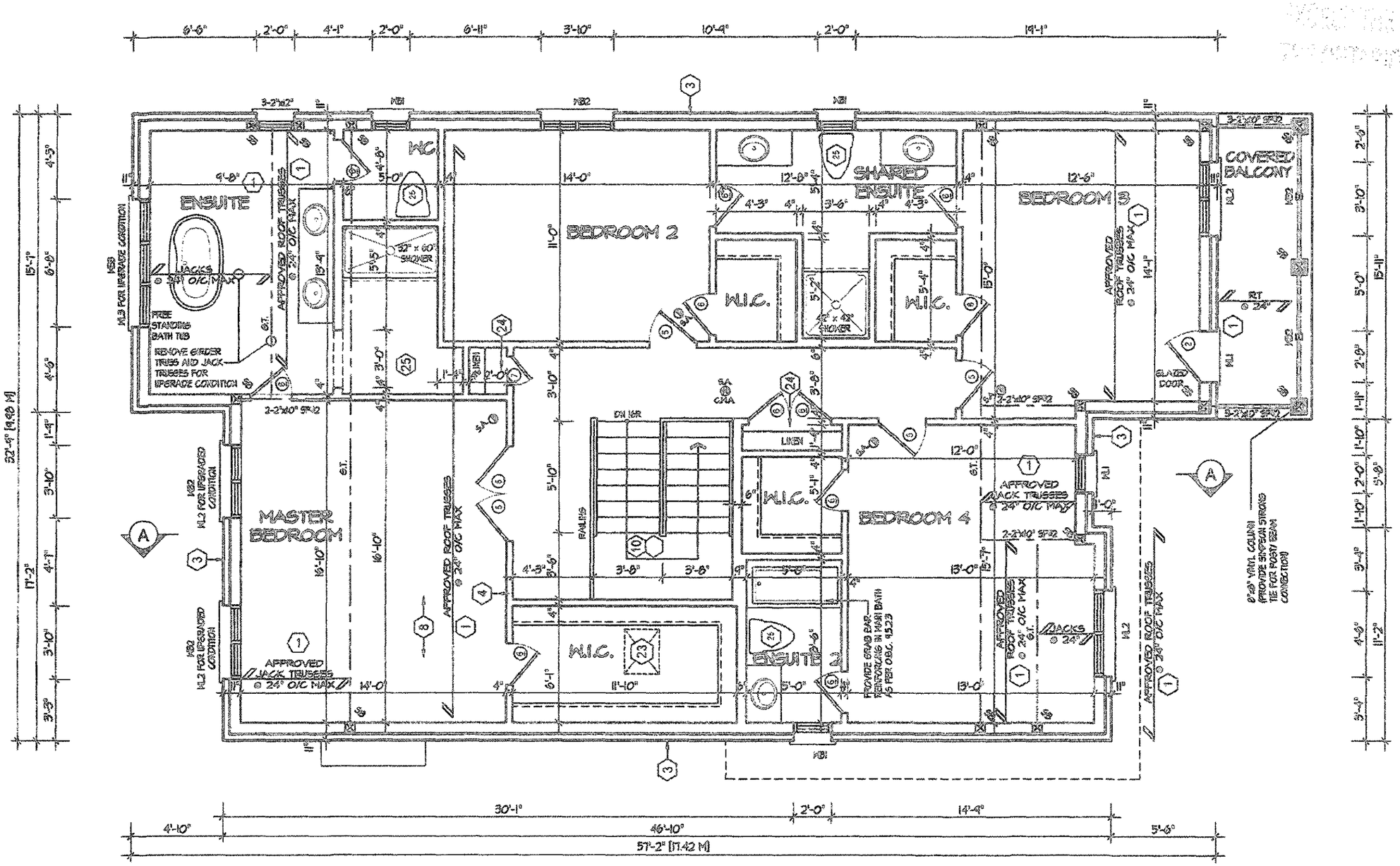
PROJECT NAME: LAMBERTS LANE HOME CORP. II

July 4, 2019 10:34:24 AM M:\PROJECTS\LAMBERTS LANE (ARGO) PH 2\STANDARDS\KINMOUNT 6A - RECONFIGURE\KINMOUNT 6A MASTER.DWG

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE EDITION OF THE ONTARIO BUILDING CODE



SECOND FLOOR PLAN ELEV. 2

RECEIVED JUL 11 2019 TOWN OF CALEDON BUILDING SECTION FILE NO. STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER B. MARINKOVIC PROVINCE OF ONTARIO

FOR STRUCTURE ONLY

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE JUL 05 2019

JUL 09 2019

KINMOUNT 6A

ENERGY STAR

5		
4		
3		
2	DEFICIENCIES	JULY 2019
1	REVISED KINMOUNT 6 FROM LAMBERTS LANE HOME I	AUG 2018

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under Division C Subsection 3.2.5 of the building code

NAME	SIGNATURE	BCIN
VIKAS GAJJAR		28770

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0749

REGION DESIGN INC.

SHEET TITLE: SECOND FLOOR PLAN 2

SCALE: 3/16"=1'-0" | BY: ZMP

DATE: SEP 2018 | AREA: 3054

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

PAGE No. 3-2

Greenpark

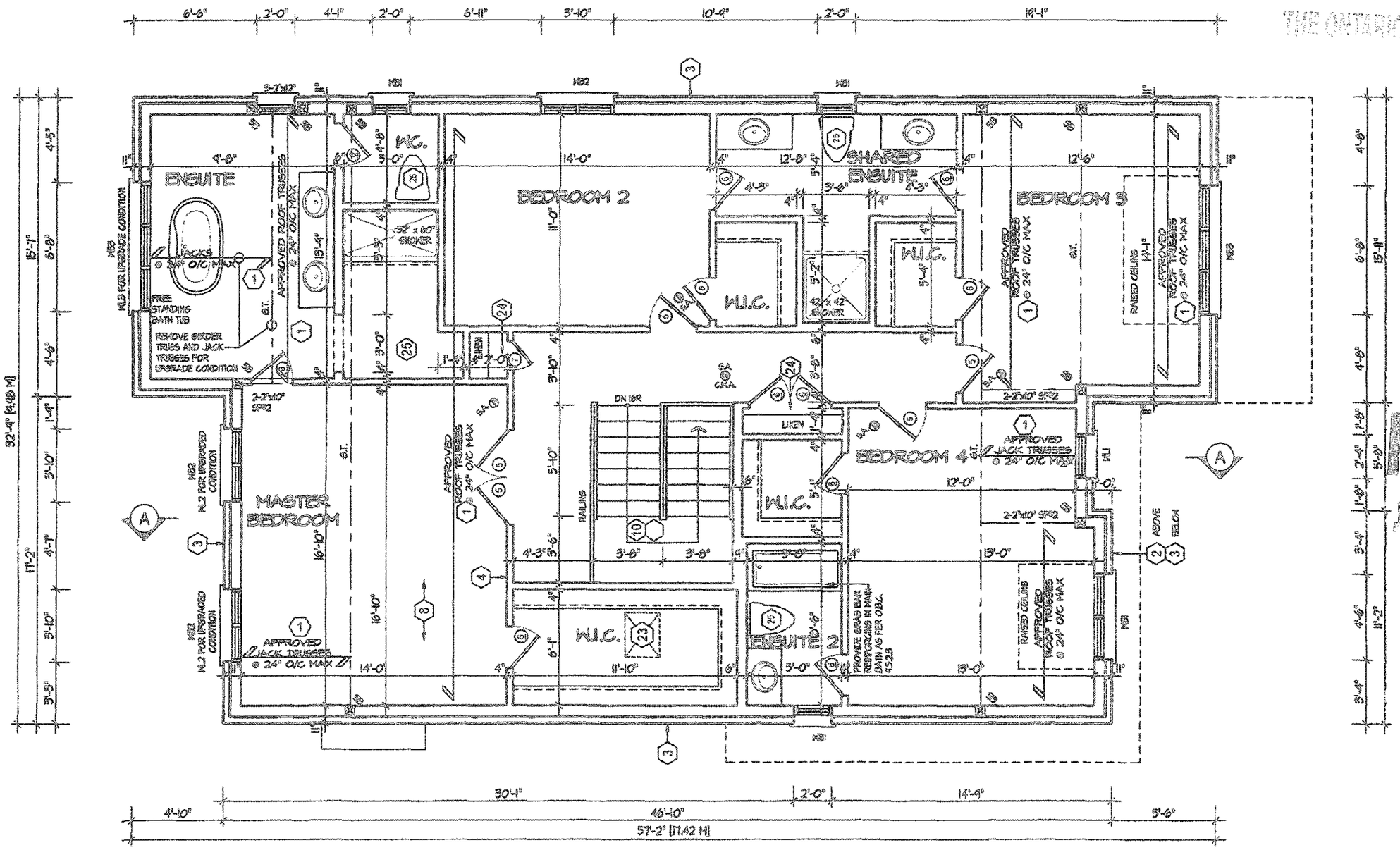
PROJECT NAME: LAMBERTS LANE HOME CORP. II

July 4, 2019 10:34:26 AM M:\PROJECTS\LAMBERTS LANE (ARGO) PH 2\STANDARDS\KINMOUNT 6A - REG\KINMOUNT 6A MASTER.DWG

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE



SECOND FLOOR PLAN ELEV. 3

RECEIVED
JUL 11 2019
TOWN OF CALEDON
PLANNING SECTION

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the TOWN OF CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: _____
DATE: JUL 09 2019
This stamp does not constitute approval of the building permit. Design Guidelines may also include additional provisions, requirements.

JUL 09 2019

KINMOUNT 6A

ENERGY STAR

5		
4		
3		
2	DEFICIENCIES	JULY 2019
1	REVISED KINMOUNT 6 FROM LAMBERTS LANE HOME I	AUG 2018

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

NAME	SIGNATURE	BCIN
VIKAS GAJJAR		28770

REGION DESIGN INC.
9700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S8
P (416) 733-4986
F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE: SECOND FLOOR PLAN 3

SCALE: 3/16"=1'-0" | BY: ZMP

DATE: SEP 2018 | AREA: 3054

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

PAGE No. 3-3

Greenpark.

PROJECT NAME: LAMBERTS LANE HOME CORP. II

July 4, 2019 10:34:28 AM M:\PROJECTS\LAMBERTS LANE (ARGO) PH 2\STANDARDS\KINMOUNT 6A - REGION\KINMOUNT 6A MASTER.DWG

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

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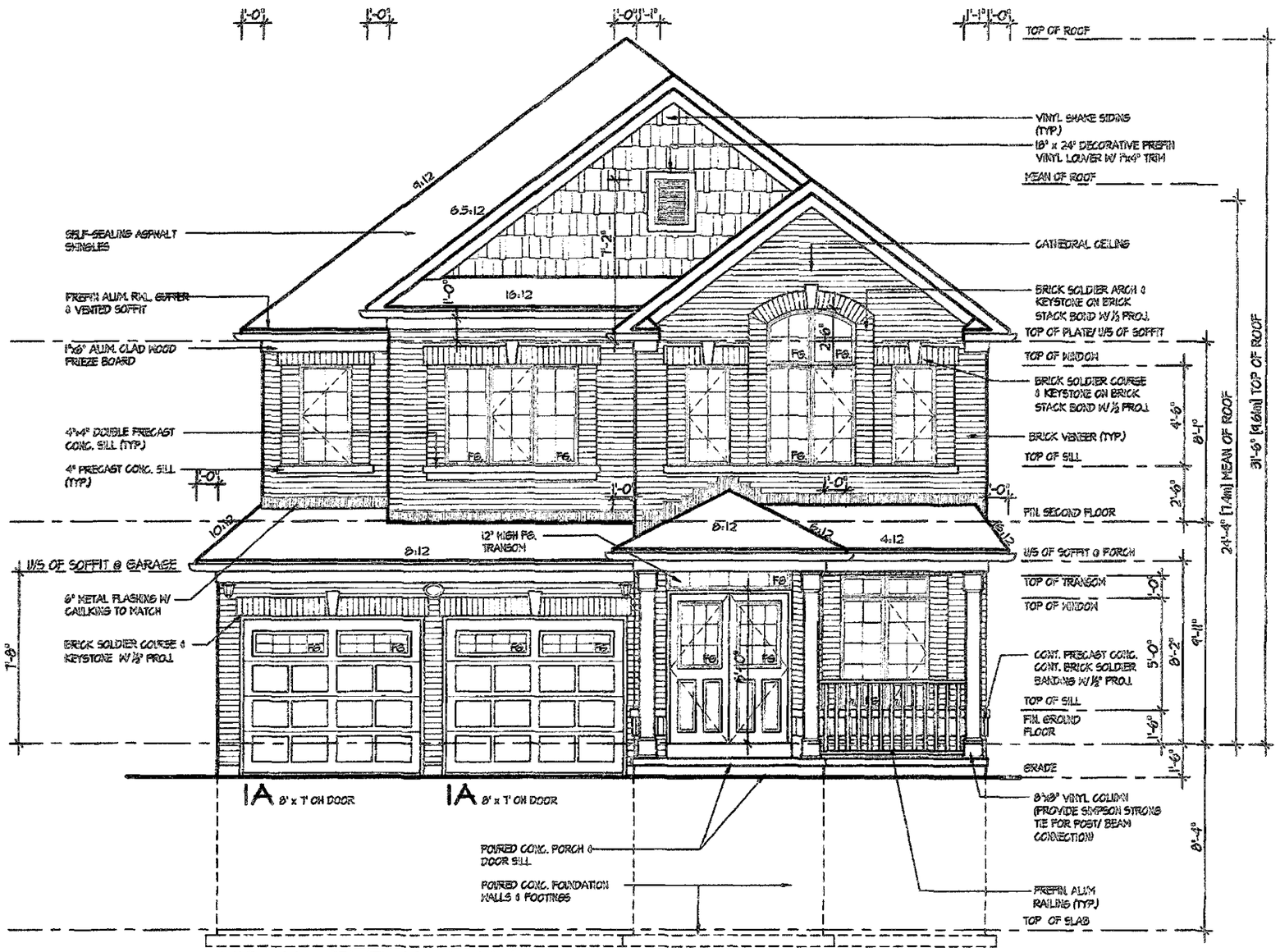
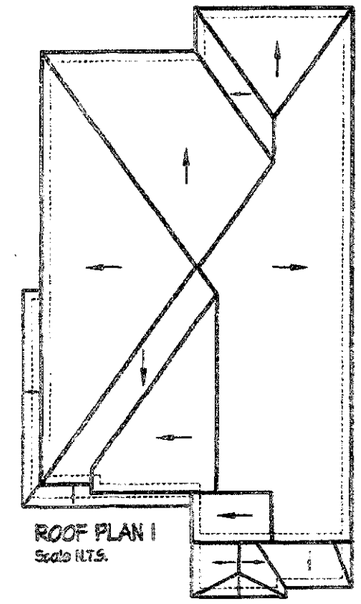


FRONT ELEVATION 1



ROOF PLAN 1
Scale N.T.S.

RECEIVED
JUN 13 2018
TOWN OF CALEDON
BUILDING SECTION
FILE NO

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (grading) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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KINMOUNT 6A

ENERGY STAR

5.		
4.		
3.		
2.		
1.	REVISED KINMOUNT 6 FROM LAMBERTS LANE HOME I	AUG 2018

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR — SIGNATURE — 28770 BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4036
F (905) 660-0745

REGION DESIGN INC.

SHEET TITLE: FRONT ELEVATION 1

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

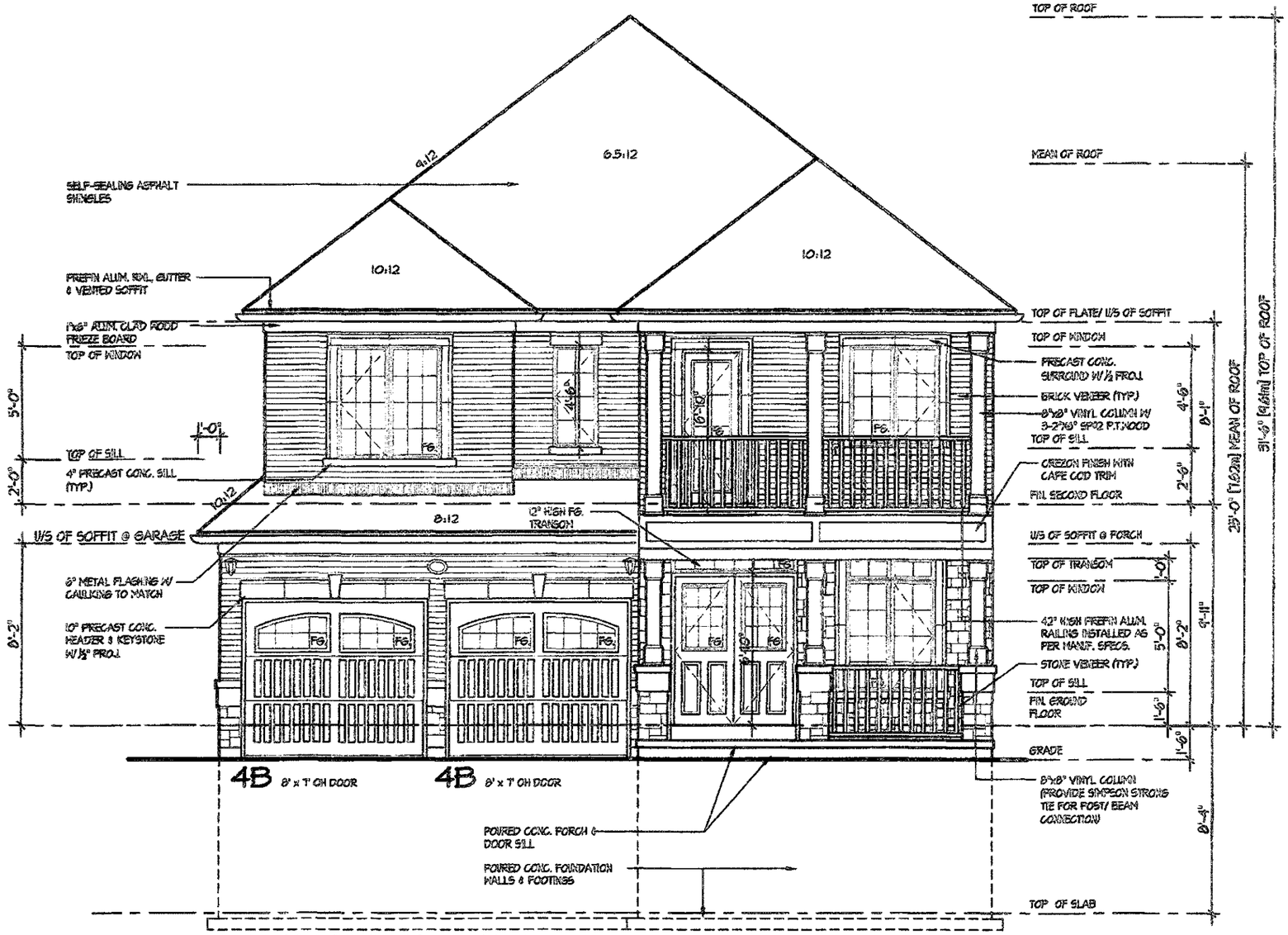
SCALE	BY	PAGE No.
3/16"=1'-0"	ZMP	4
DATE: SEP 2018	AREA: 3054	

Greenpark™

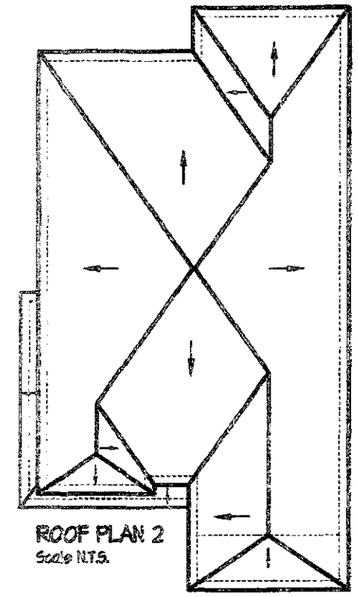
PROJECT NAME: LAMBERTS LANE HOME CORP. II

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING



FRONT ELEVATION 2



ROOF PLAN 2
Scale N.T.S.

RECEIVED
JUN 13 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO

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TOWN OF CALEDON CONTROL ARCHITECT
ARCHITECTURAL CONTROL SERVICES
AND ASSOCIATES

KINMOUNT 6A

ENERGY STAR

5.		
4.		
3.		
2.		
1.	REVISED KINMOUNT 6 FROM LAMBERTS LANE HOME I	AUG 2018

REVISIONS

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QUALIFICATION INFORMATION

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NAME	SIGNATURE	BCIN
VIKAS GAJJAR		28770

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8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4095
F (905) 660-0749

REGION DESIGN INC.

SHEET TITLE: FRONT ELEVATION 2

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

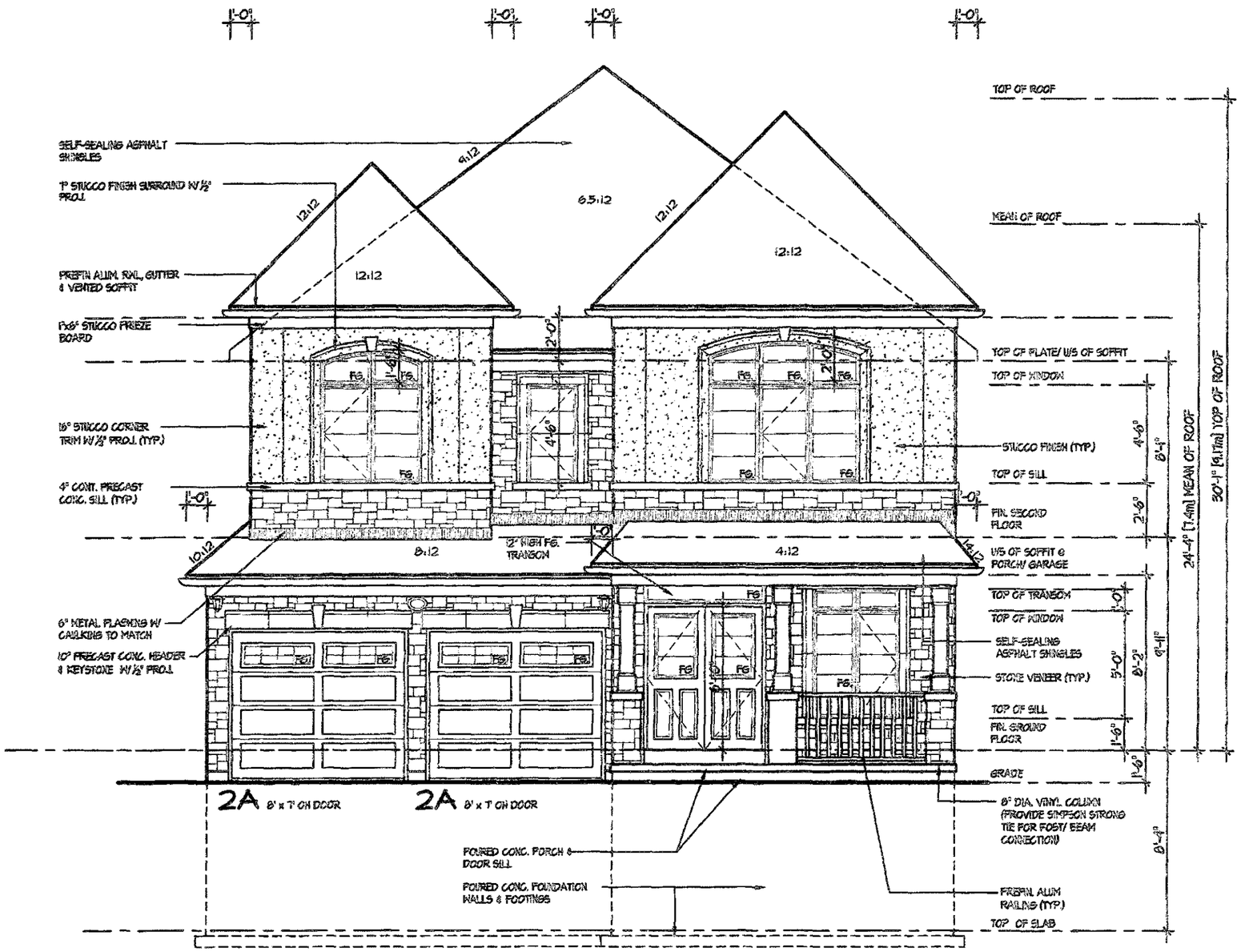
SCALE	BY	PAGE No.
3/16"=1'-0"	ZMP	4-2
DATE SEP 2018	AREA 3054	

Greenpark

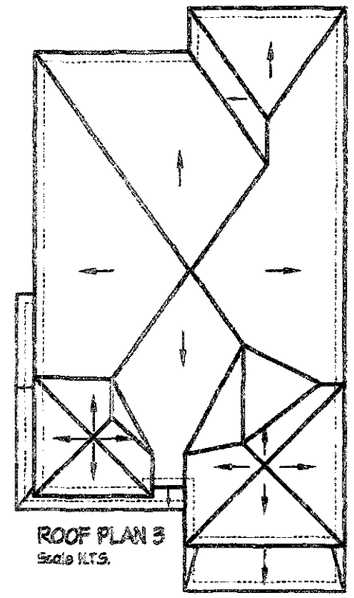
PROJECT NAME: LAMBERTS LANE HOME CORP. II

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING



FRONT ELEVATION 3



ROOF PLAN 3
Scale N.T.S.

RECEIVED
JUN 13 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the TOWN OF CALEDON.

KINMOUNT 6A

ENERGY STAR

5.		
4		
3.		
2.		
1.	REVISED KINMOUNT 6 FROM LAMBERTS LANE HOME I	AUG 2018

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR — NAME — SIGNATURE — 28770 BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION DESIGN INC.

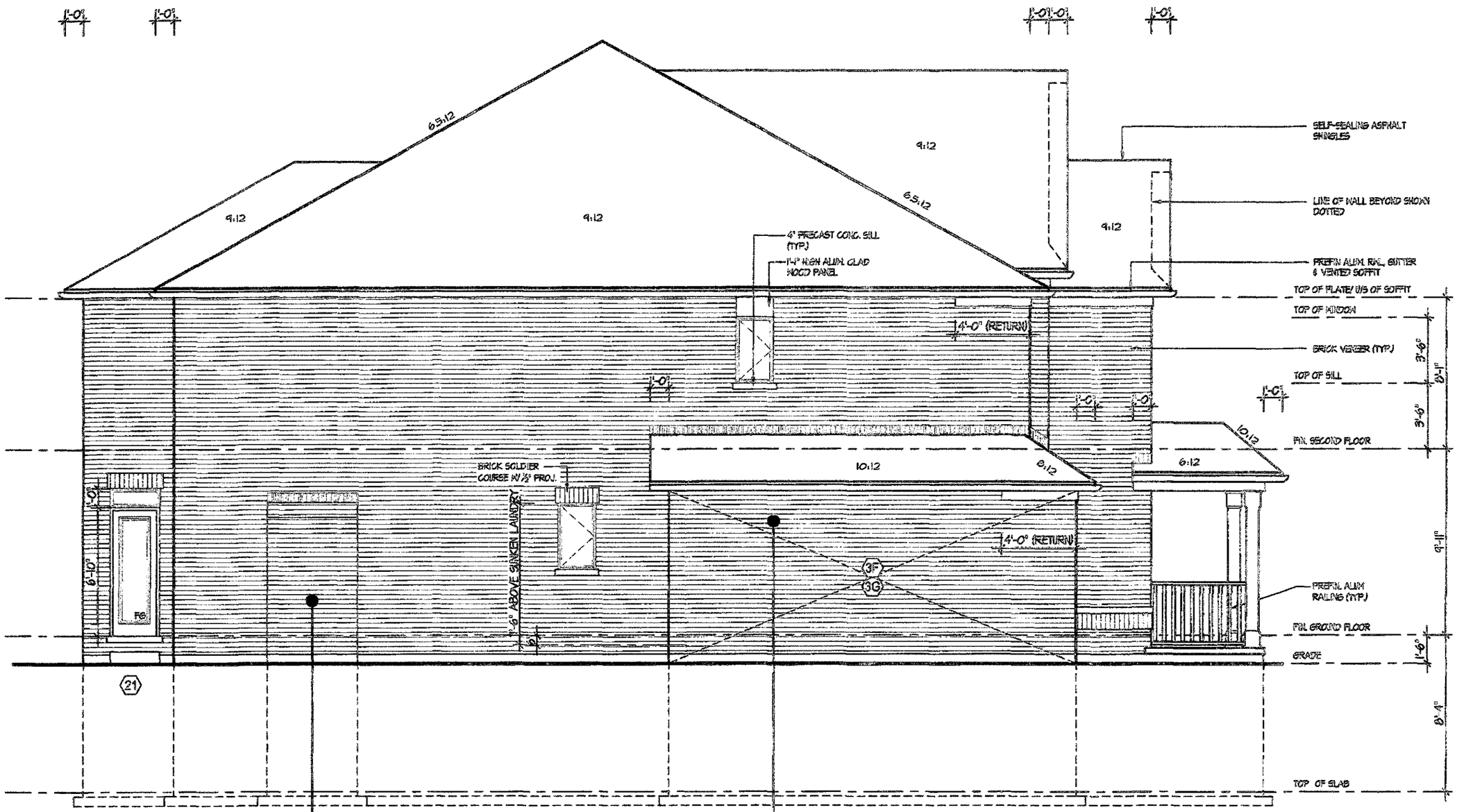
SHEET TITLE: FRONT ELEVATION 3

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

SCALE	BY	PAGE No.
3/16"=1'-0"	ZMP	4-3
DATE: SEP 2018	AREA: 3054	

Greenpark

PROJECT NAME: LAMBERTS LANE HOME CORP. II



LEFT SIDE ELEVATION 1

ALLOWABLE GLAZING

WALL AREA	=	706	Sq. Ft.
ALLOWABLE GLAZED AREA @ 7 % 1.2 M SIDE YARD	=	44.42	Sq. Ft.
ACTUAL GLAZED AREA	=	121	Sq. Ft.
~~WITH OPTIONAL 30"X24" BASEMENT WINDOWS, ACTUAL GLAZED AREA~~	=	~~121~~	~~Sq. Ft.~~

BRICK VENEER CONSTRUCTION
(FOR WALLS AND ROOF GABLES LESS THAN 1.2m (3'-9") FROM LOT LINE)
45 MINUTE FIRE RATED WALL
PROVIDE 12.7mm (1/2") TYPE "X" GYPSUM BOARD INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M.
(REFER TO SECTION SB-2, 2.3. OF SUPPLEMENTARY STANDARDS)

HEADER / RIM JOIST LEVEL
(FOR WALLS LESS THAN 1.2m (3'-9") FROM LOT LINE)
45 MINUTE FIRE RATING AT HEADER
PROVIDE 15.9mm (5/8") TYPE "X" GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.
(REFER TO SECTION SB-2, 2.3. OF SUPPLEMENTARY STANDARDS)

RECEIVED
JUN 13 2018
TOWN OF CALEDON
BUILDING SECTION
FILE NO _____

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KINMOUNT 6A

ENERGY STAR

5.		
4.		
3.		
2.		
1.	REVISED KINMOUNT 6 FROM LAMBERTS LANE HOME I	AUG 2018

REVISIONS

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

NAME	SIGNATURE	BCIN
VIKAS GAJJAR		28770

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 738-4096
F (905) 660-0749

REGION DESIGN INC.

SHEET TITLE: LEFT SIDE ELEVATION 1

SCALE: 3/16"=1'-0" | BY: ZMP
DATE: SEP 2018 | AREA: 3054

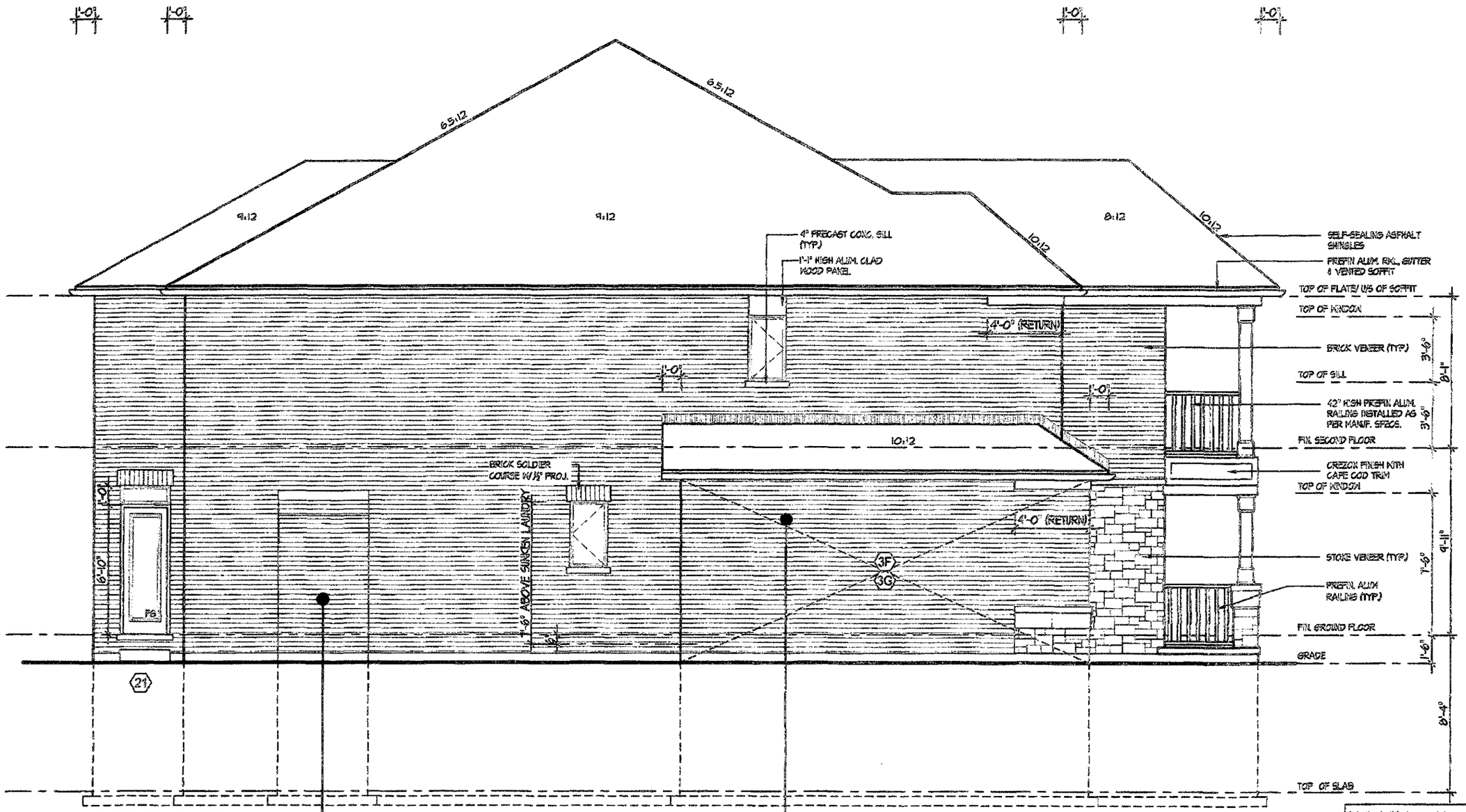
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

PAGE No. 5

Greenpark™

PROJECT NAME: LAMBERTS LANE HOME CORP. II

March 1 2016 4:27:41 PM M:\PROJECTS\LAMBERTS LANE (ARGO) PH 2\STANDARDS\KINMOUNT 6A - REFS\KINMOUNT 6A MASTER.DWG



LEFT SIDE ELEVATION 2

ALLOWABLE GLAZING

WALL AREA	=	716	Sq. Ft.
ALLOWABLE GLAZED AREA @ 7 % 1.2 M SIDE YARD	=	50.12	Sq. Ft.
ACTUAL GLAZED AREA	=	121	Sq. Ft.
WITH OPTIONAL 30"X24" BASEMENT WINDOWS - ACTUAL GLAZED AREA	=	121	Sq. Ft.

BRICK VENEER CONSTRUCTION
(FOR WALLS AND ROOF GABLES LESS THAN 1.2m (3'-11") FROM LOT LINE)
45 MINUTE FIRE RATED WALL
PROVIDE 12.7mm (1/2") TYPE "X" GYPSUM BOARD INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/SQM.
(REFER TO SECTION 9B-2, 2.3. OF SUPPLEMENTARY STANDARDS)

HEADER / RIM JOIST LEVEL
(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)
45 MINUTE FIRE RATING AT HEADER
PROVIDE 15.9mm (5/8") TYPE "X" GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.
(REFER TO SECTION 9B-2, 2.3. OF SUPPLEMENTARY STANDARDS)

RECEIVED
JUN 13 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO. _____

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KINMOUNT 6A

ENERGY STAR

5.		
4.		
3.		
2.		
1	REVISED KINMOUNT 6 FROM LAMBERTS LANE HOME I	AUG 2018

REVISIONS

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VIKAS GAJJAR		28770

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S9
P (416) 736-4096
F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE: LEFT SIDE ELEVATION 2

SCALE: 3/16"=1'-0" | BY: ZMP
DATE: SEP 2018 | AREA: 3054

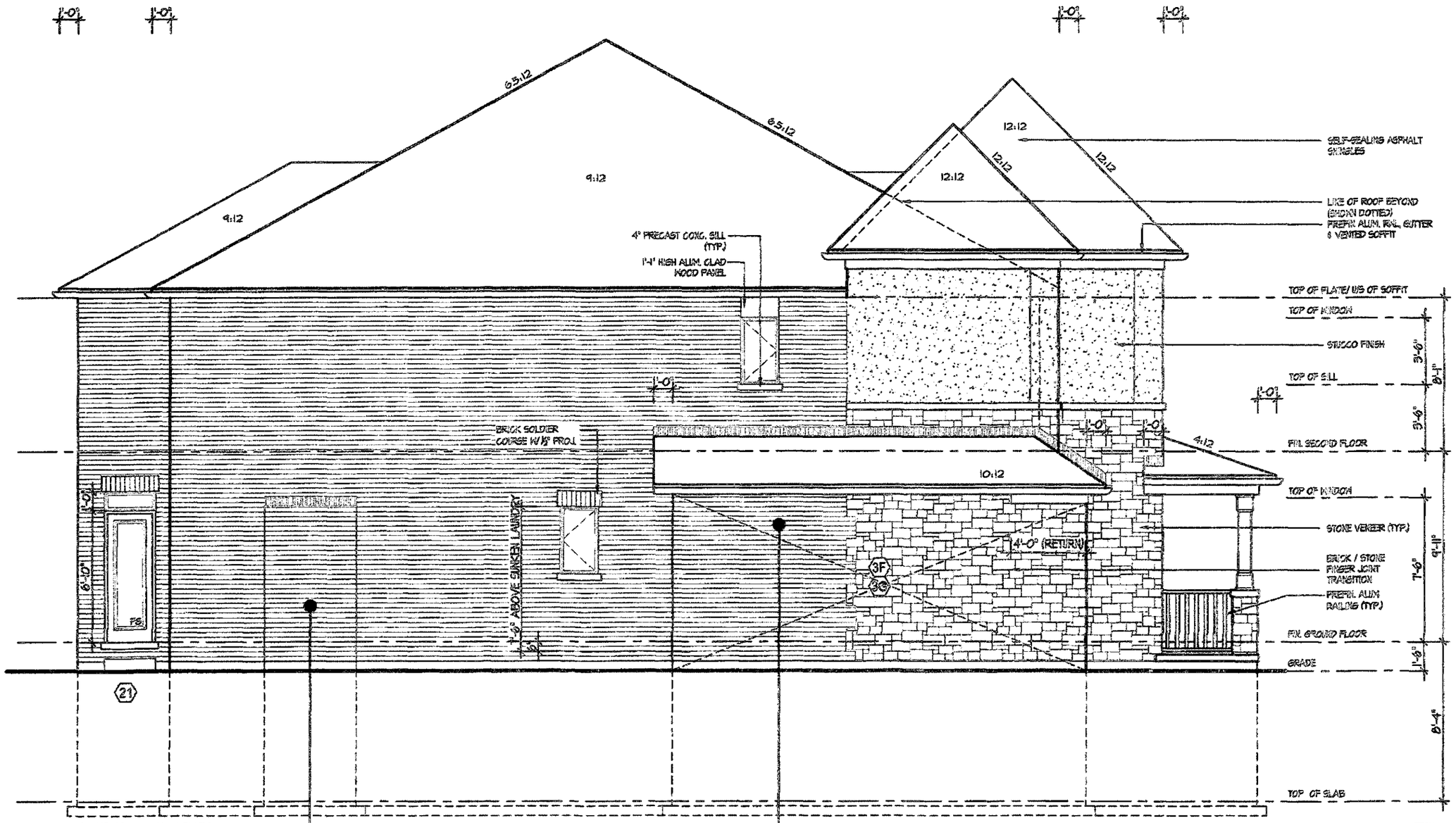
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

PAGE No. 5-2

Greenpark

PROJECT NAME: LAMBERTS LANE HOME CORP. II

March 1 2019 4:26:41 PM M:\PROJECTS\LAMBERTS LANE (ARCO) PH 2\STANDARD\KINMOUNT INT 6A - REDESIGN\KINMOUNT INT 6A - MASTER.DWG



LEFT SIDE ELEVATION 3

ALLOWABLE GLAZING

WALL AREA	=	115	Sq. Ft.
ALLOWABLE GLAZED AREA @ 7 % 1.2 M SIDE YARD	=	50.12	Sq. Ft.
ACTUAL GLAZED AREA	=	121	Sq. Ft.
~~WITH OPTIONAL 30"x24" BASEMENT WINDOWS~~ ACTUAL GLAZED AREA	=	121	Sq. Ft.

BRICK VENEER CONSTRUCTION
(FOR WALLS AND ROOF GABLES LESS THAN 1.2m (3'-11") FROM LOT LINE)
45 MINUTE FIRE RATED WALL
PROVIDE 12.7mm (1/2") TYPE "X" GYPSUM BOARD INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/SQM.
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(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)
45 MINUTE FIRE RATING AT HEADER
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(REFER TO SECTION 9B-2, 2.3. OF SUPPLEMENTARY STANDARDS)

RECEIVED
JUN 13 2018
TOWN OF CALEDON
BUILDING SECTION
FILE NO

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JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL ARCHITECT
CALEDON
APPROVED BY
DATE

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE REQUIREMENTS OF THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM
GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

KINMOUNT 6A

ENERGY STAR

5.		
4.		
3.		
2.		
1.	REVISED KINMOUNT 6 FROM LAMBERTS LANE HOME I	AUG 2018

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

NAME	SIGNATURE	BCIN
VIKAS GAJJAR		28770

REGION DESIGN INC.
8760 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S8
P (416) 736-4086
F (905) 660-0746

REGION DESIGN INC.

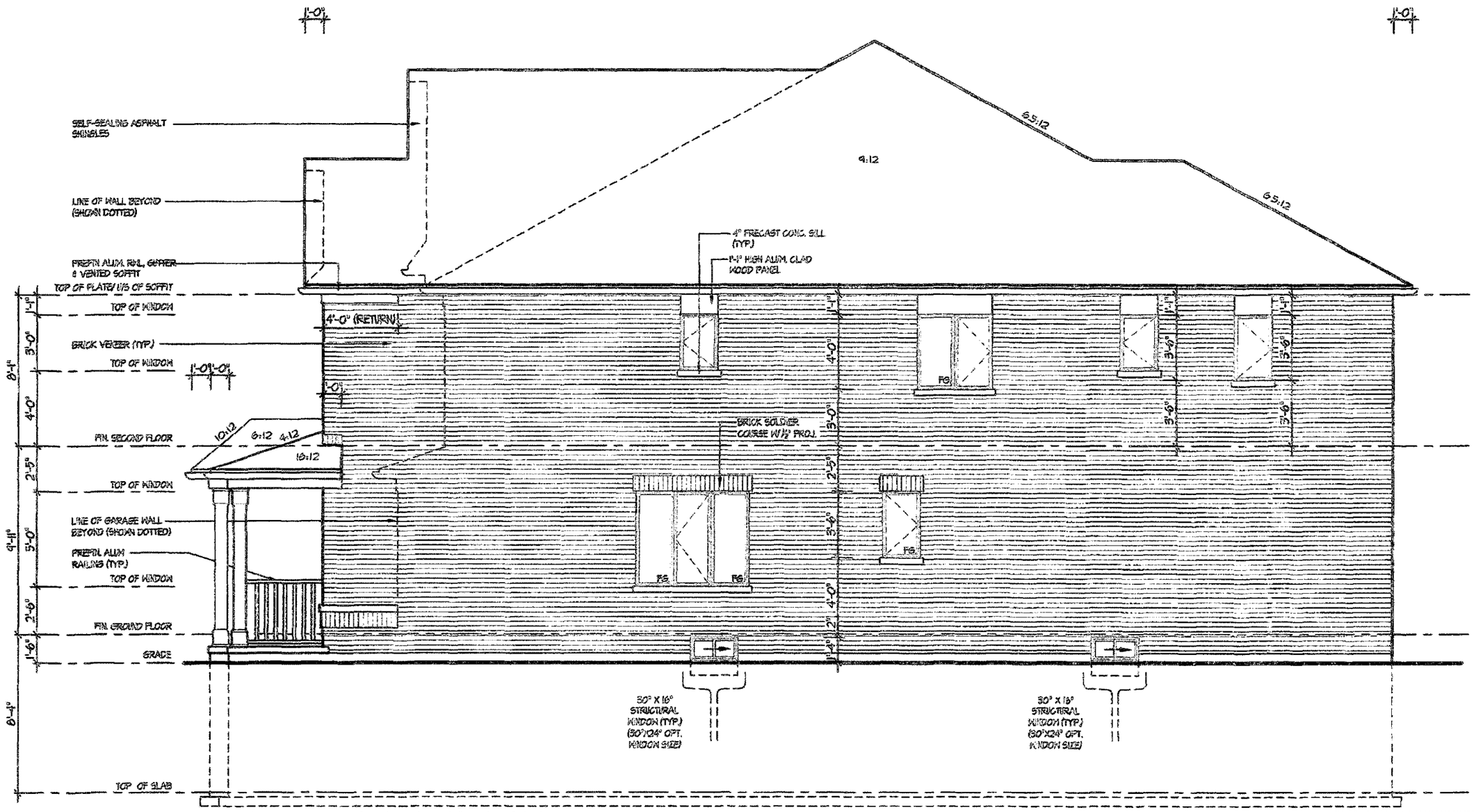
SHEET TITLE: LEFT SIDE ELEVATION 3

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

SCALE	BY	PAGE No.
3/16"=1'-0"	ZMP	5-3
DATE: SEP 2018	AREA: 3054	

Greenpark

PROJECT NAME: LAMBERTS LANE HOME CORP. II



RIGHT SIDE ELEVATION 1

ALLOWABLE GLAZING

WALL AREA	=	116	Sq. Ft.
ALLOWABLE GLAZED AREA @ 1/3 12 M SIDE YARD	=	77.69	Sq. Ft.
ACTUAL GLAZED AREA	=	59.3	Sq. Ft.
WITH OPTIONAL 30"X24" BASEMENT WINDOWS ACTUAL GLAZED AREA	=	61.0	Sq. Ft.

RECEIVED
JUN 13 2018
TOWN OF CALEDON
BUILDING SECTION
FILE NO _____

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

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JOHN D. BRYANT LTD., ARCHITECT
CONTROL ARCHITECT FOR
SUBDIVISION
APPROVED BY _____
DATE _____ 20 _____
THIS CERTIFICATE IS VALID FOR ONE YEAR FROM THE DATE OF ISSUE

KINMOUNT 6A

ENERGY STAR

5.		
4.		
3.		
2.		
1.	REVISED KINMOUNT 6 FROM LAMBERTS LANE HOME I	AUG 2018

REVISIONS

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QUALIFICATION INFORMATION
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NAME	SIGNATURE	BCIN
VIKAS GAJJAR		28770

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S3
P (416) 736-4096
F (905) 660-0748

REGION DESIGN INC.

SHEET TITLE: RIGHT SIDE ELEVATION 1

SCALE: 3/16"=1'-0" | BY: ZMP
DATE: SEP 2018 | AREA: 3054

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

PAGE No. 6

Greenpark

PROJECT NAME: LAMBERTS LANE HOME CORP. II

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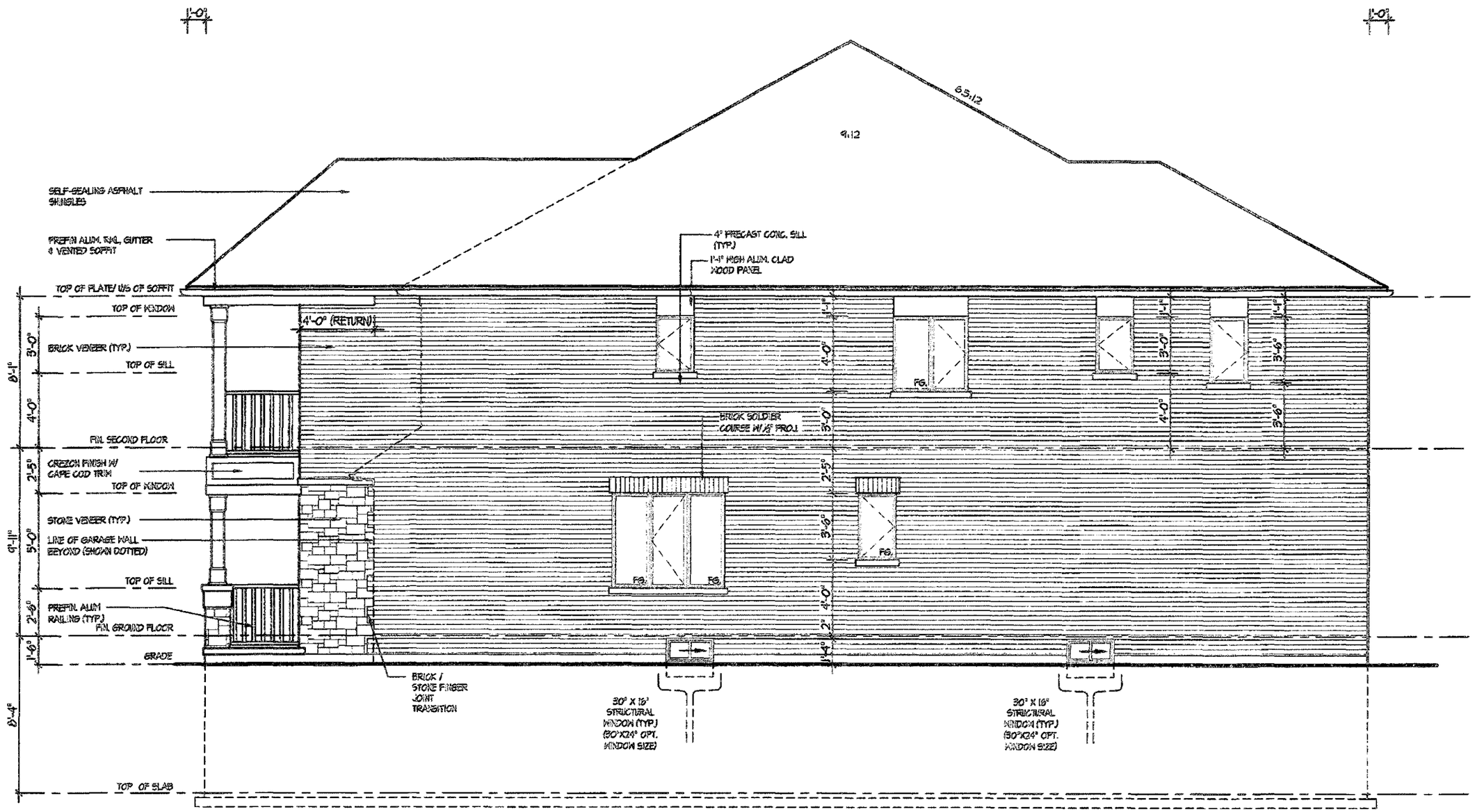

RIGHT SIDE ELEVATION 2

ALLOWABLE GLAZING

WALL AREA	=	114	Sq. Ft.
ALLOWABLE GLAZED AREA @ 7% 1.2 M SIDE YARD	=	77.98	Sq. Ft.
ACTUAL GLAZED AREA	=	59.3	Sq. Ft.
WITH OPTIONAL 30"X24" BASEMENT WINDOWS, ACTUAL GLAZED AREA	=	61.0	Sq. Ft.

RECEIVED
JUN 13 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO

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KINMOUNT 6A

ENERGY STAR

5.		
4.		
3.		
2.		
1.	REVISED KINMOUNT 6 FROM LAMBERTS LANE HOME I	AUG 2018

REVISIONS

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QUALIFICATION INFORMATION

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8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4086
F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE: RIGHT SIDE ELEVATION 2

SCALE: 3/16"=1'-0" | BY: ZMP

DATE: SEP 2018 | AREA: 3054

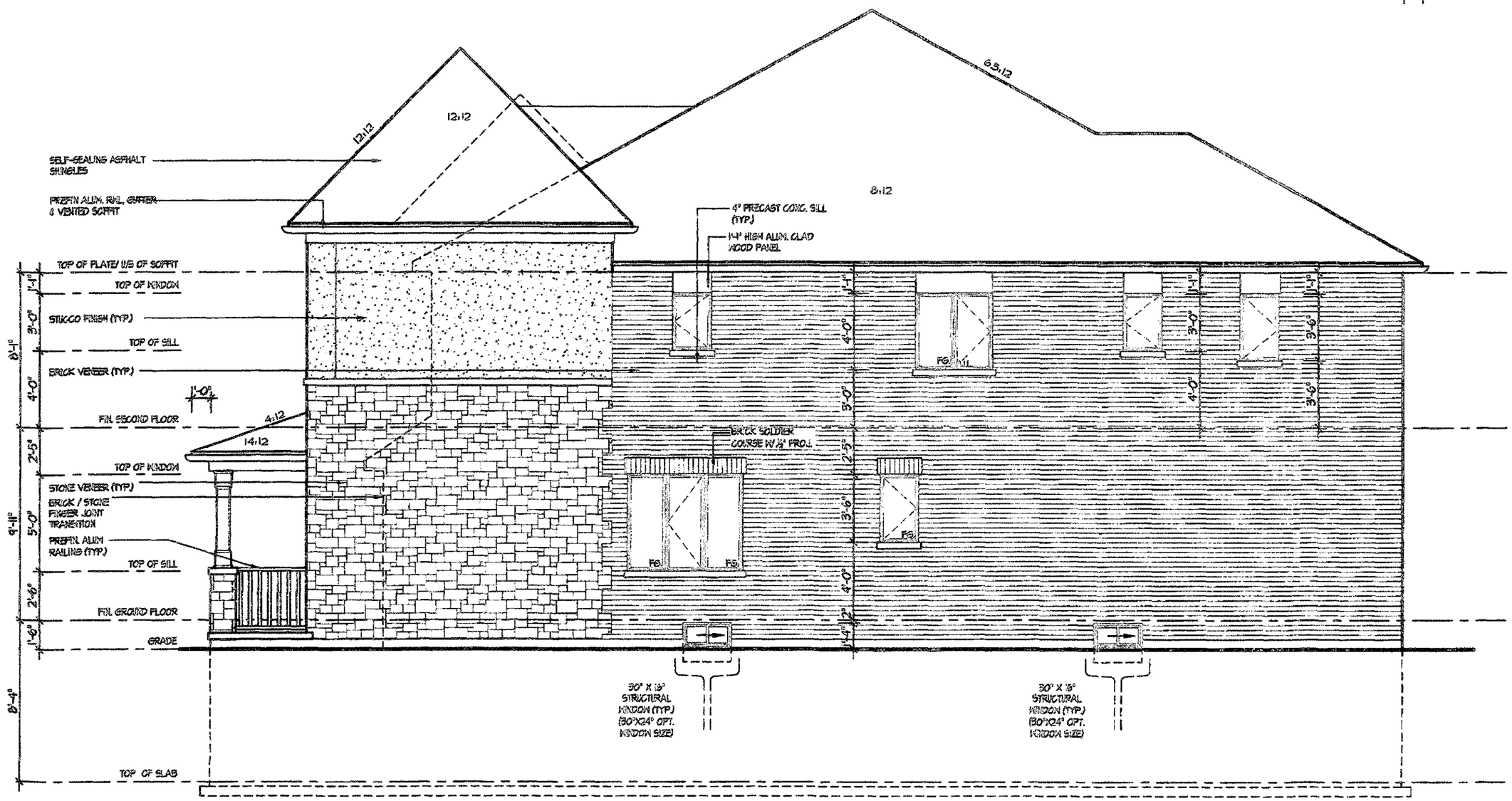
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

PAGE No. 6-2

Greenpark

PROJECT NAME: LAMBERTS LANE HOME CORP. II

March 1, 2019 4:36:48 PM M:\PROJECTS\LAMBERTS LANE (ADRIAN)\PH 2\STANDARDS\KINMOUNT 6A - REFORMATTED\KINMOUNT 6A MASTER.DWG



RIGHT SIDE ELEVATION 3

ALLOWABLE GLAZING

WALL AREA	=	114	Sq. Ft.
ALLOWABLE GLAZED AREA @ 7% (2 M SIDE YARD	=	77.49	Sq. Ft.
ACTUAL GLAZED AREA	=	58.3	Sq. Ft.
WITH OPTIONAL 30"X24" BASEMENT WINDOWS ACTUAL GLAZED AREA	=	61.0	Sq. Ft.

RECEIVED
JUN 13 2018
TOWN OF CALEDON
BUILDING SECTION
FILE NO

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JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL ARCHITECT
APPROVED BY
DATE

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KINMOUNT 6A

ENERGY STAR

5.		
4.		
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1.	REVISED KINMOUNT 6 FROM LAMBERTS LANE HOME I	AUG 2018

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8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4036
F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE: RIGHT SIDE ELEVATION 3

SCALE: 3/16"=1'-0" | BY: ZMP

DATE: SEP 2018 | AREA: 3054

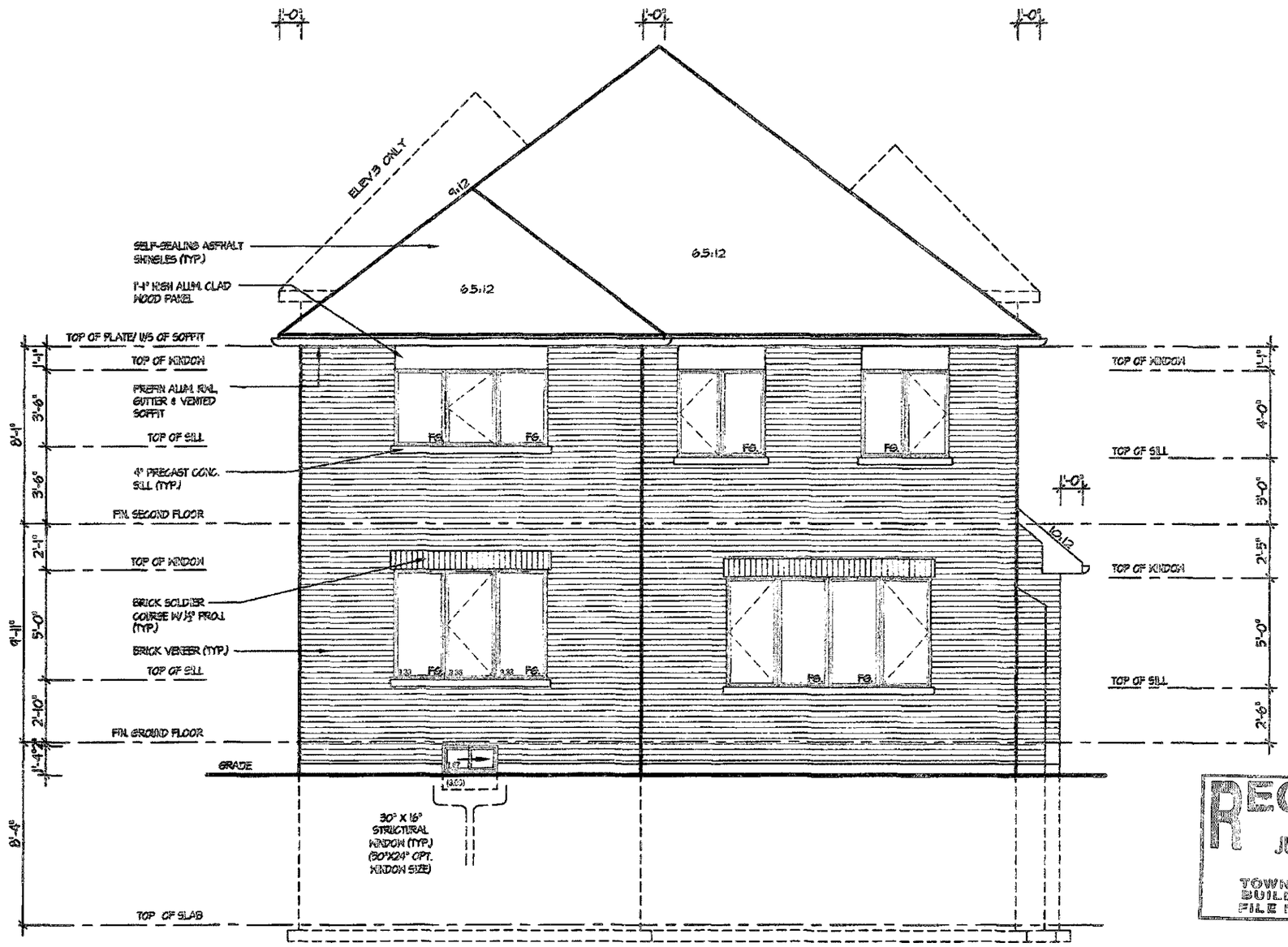
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

PAGE No. 6-3

Greenpark

PROJECT NAME: LAMBERTS LANE HOME CORP. II

March 1, 2010 6:20:26 PM M:\PROJECTS\KINMOUNT\KINMOUNT 6A - REGION\KINMOUNT 6A MASTER.DWG



REAR ELEVATION 1, 2 & 3

RECEIVED
JUN 13 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO

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CONCORD, ONTARIO
L4K 4S6
P (416) 736-4086
F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE: REAR ELEVATION

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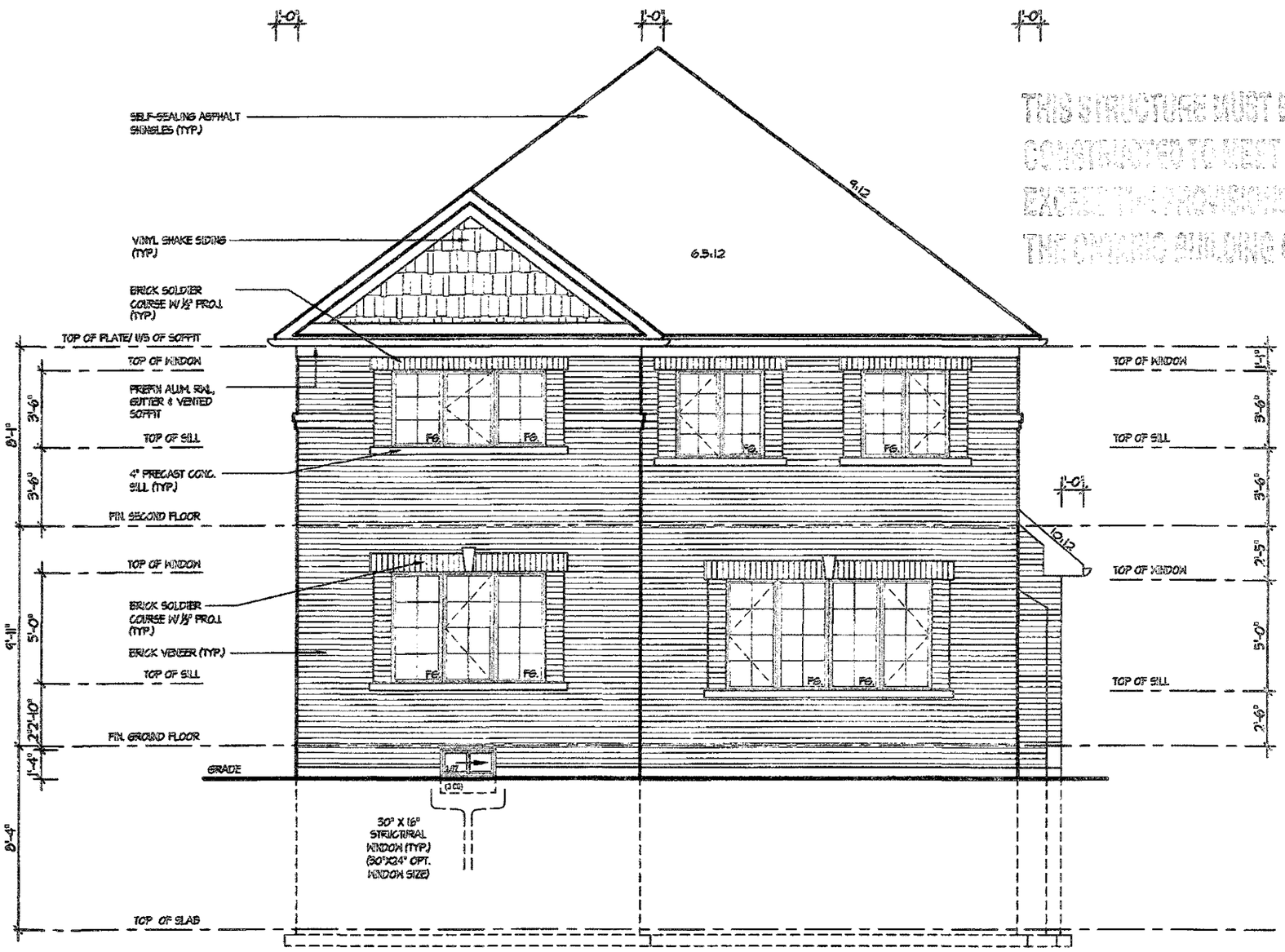
SCALE	BY	PAGE No.
3/16"=1'-0"	ZMP	7
DATE: SEP 2018	AREA: 3054	

Greenpark

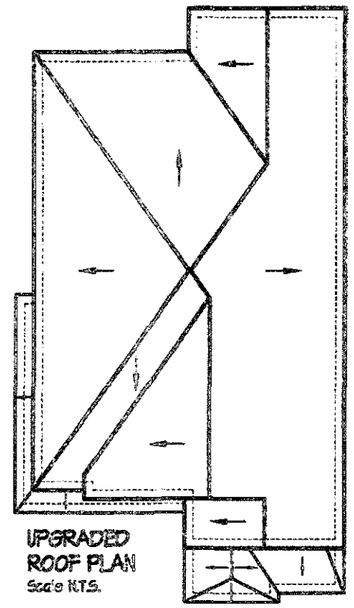
PROJECT NAME: LAMBERTS LANE HOME CORP. II

March 4, 2019 11:45:00 AM M:\REG DESIGN\LAMBERTS LANE (MARCH) OH PASTEL\KINMOUNT 6A - REFRAMING\KINMOUNT 6A MASTER.DWG



UPGRADED REAR ELEVATION 1

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE



UPGRADED ROOF PLAN
Scale N.T.S.

RECEIVED
JUN 13 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (zoning) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the TOWN OF CALEDON.

KINMOUNT 6A

ENERGY STAR

5.		
4.		
3.		
2.	UPGRADED REAR	JAN 2019
1.	REVISED KINMOUNT 6 FROM LAMBERTS LANE HOME I	AUG 2018

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

NAME	SIGNATURE	BCIN
VIKAS GAJJAR		28770

REGION DESIGN INC.
6700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 738-4095
F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE: UPGRADED REAR ELEVATION 1

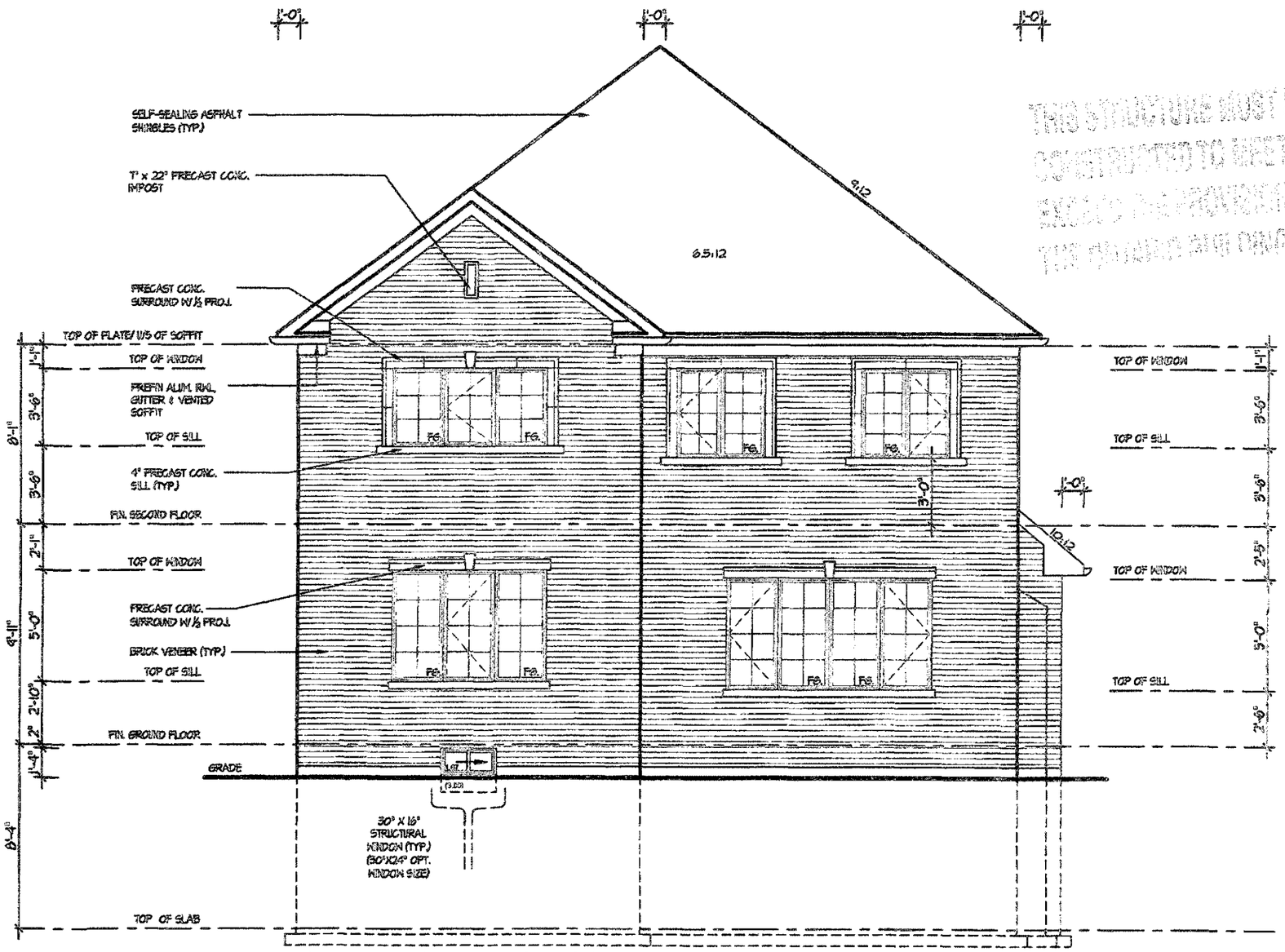
SCALE: 3/16"=1'-0" | BY: ZMP | DATE: JAN 2019 | AREA: 3054

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

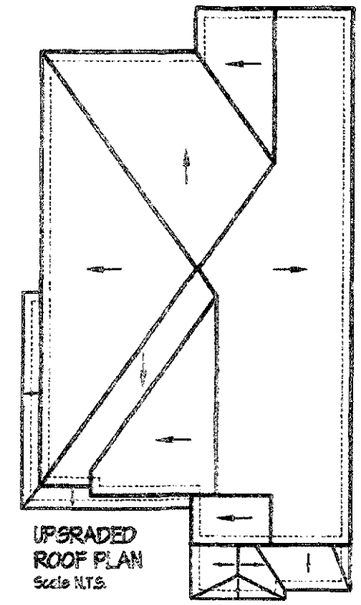
PAGE No. 7A

Greenpark

PROJECT NAME: LAMBERTS LANE HOME CORP. II



UPGRADED REAR ELEVATION 2



UPGRADED ROOF PLAN
Scale N.T.S.

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

RECEIVED
JUN 13 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO

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JOHN ALLEN WILLIAMS (1973) LTD. ARCHITECT
ARCHITECTURAL CONTROL ARCHITECT
APPROVED BY
DATE

KINMOUNT 6A

ENERGY STAR

5.		
4.		
3.		
2	UPGRADED REAR	JAN 2019
1.	REVISED KINMOUNT 6 FROM LAMBERTS LANE HOME I	AUG 2018

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

NAME	SIGNATURE	BCIN
VIKAS GAJJAR		28770

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4036
F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE
UPGRADED
REAR ELEVATION 2

SCALE 3/16"=1'-0" | BY ZMP
DATE JAN 2019 | AREA 3054

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

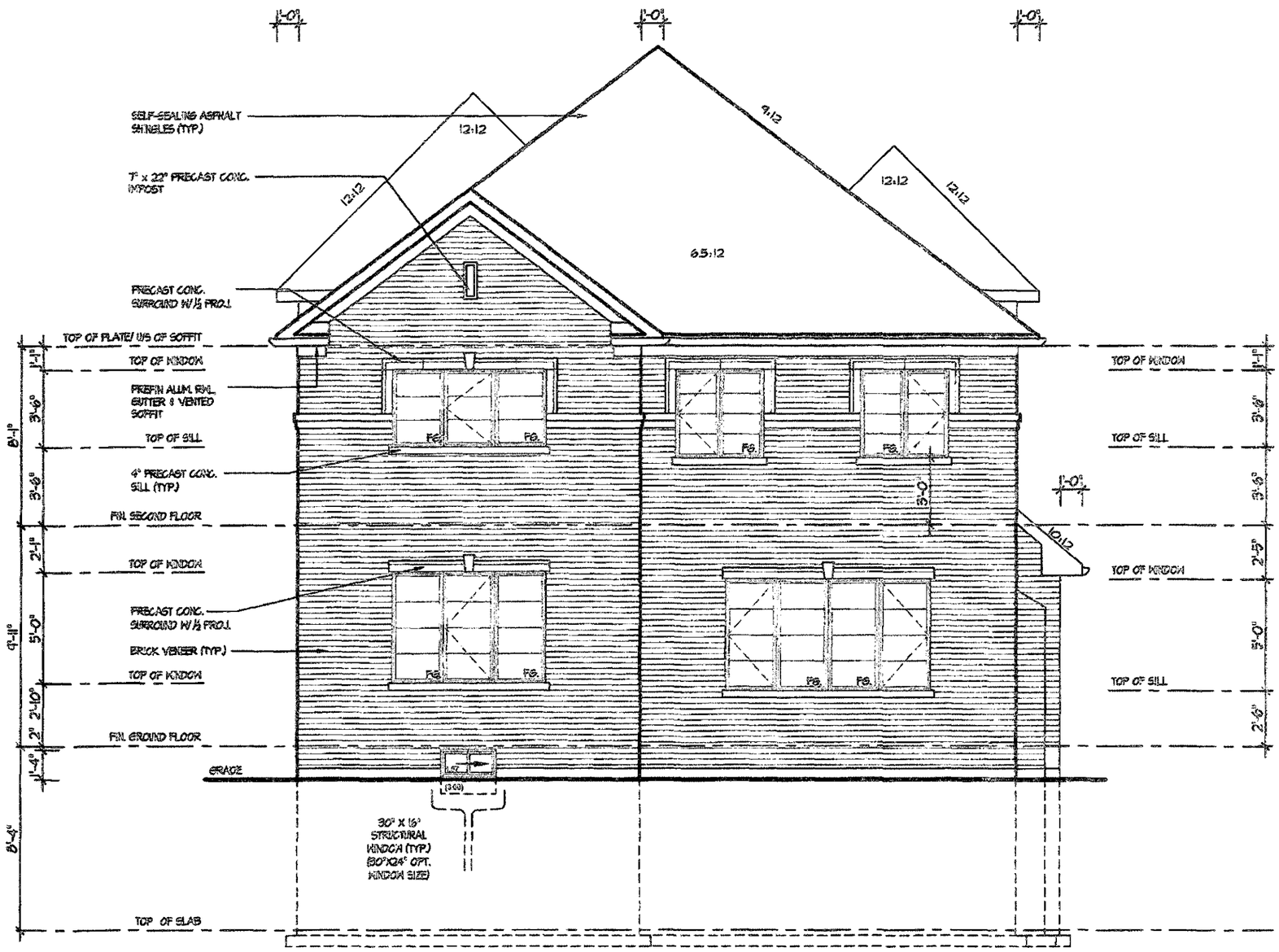
PAGE No. 7B

Greenpark

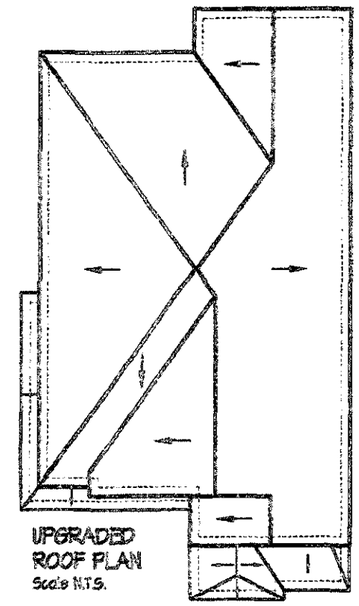
PROJECT NAME
LAMBERTS LANE HOME CORP. II

March 4 2019 11:47:22 AM M:\PROJECTS\LAMBERTS LANE (ALDERGROVE) PH 2\STANDARDS\KINMOUNT 6A - REVISIONS\KINMOUNT 6A MASTER.DWG

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE



UPGRADED REAR ELEVATION 3



UPGRADED ROOF PLAN
Scale N.T.S.

RECEIVED
JUN 13 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL ARCHITECT
AND ARPEG

Per: _____
Date: _____

KINMOUNT 6A

ENERGY STAR

5.		
4.		
3.		
2.	UPGRADED REAR	JAN 2019
1.	REVISED KINMOUNT 6 FROM LAMBERTS LANE HOME I	AUG 2018

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

NAME	SIGNATURE	BCIN
VIKAS GAJJAR		28770

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S0
P (416) 736-4698
F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE: UPGRADED REAR ELEVATION 3

SCALE: 3/16"=1'-0" | BY: ZMP
DATE: JAN 2019 | AREA: 3054

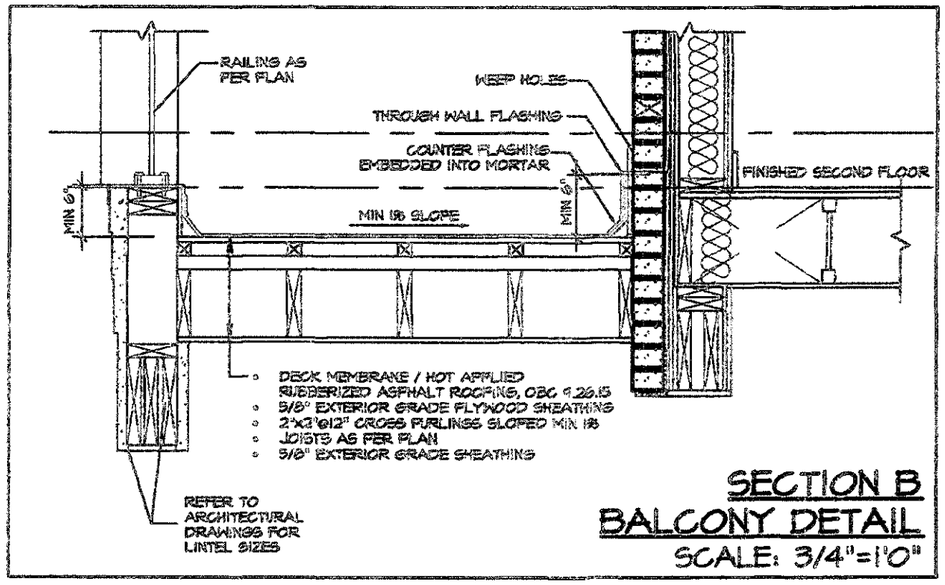
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

PAGE No. 7C

Greenpark™

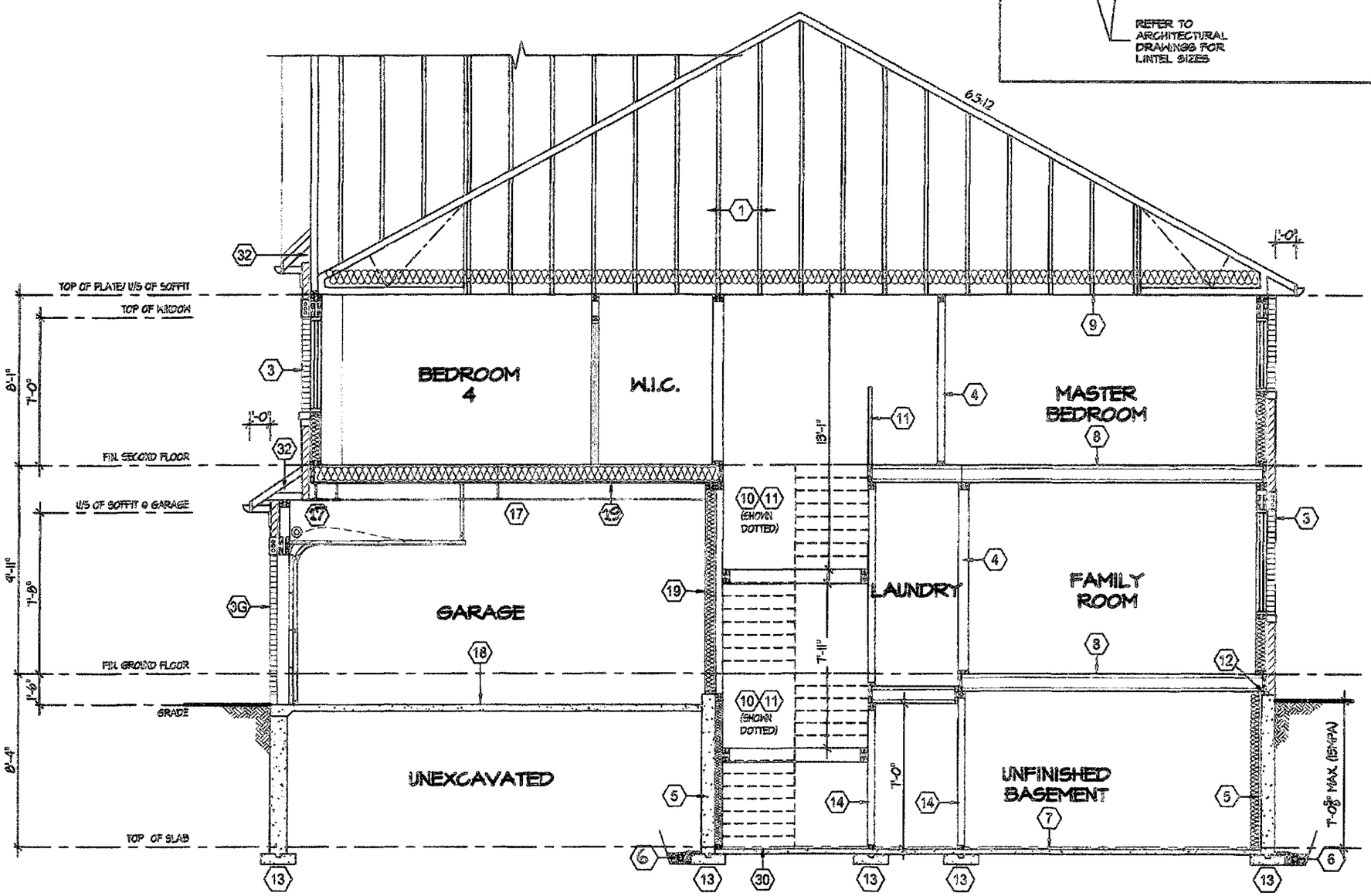
PROJECT NAME: LAMBERTS LANE HOME CORP. II

March 6, 2019 11:07:56 AM LAMBERTS LANE HOME CORP. II - DESIGN PLAN STANDARD KINMOUNT 6A - DESIGN PLAN STANDARD KINMOUNT 6A.DWG



SECTION B
BALCONY DETAIL
SCALE: 3/4"=1'0"

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE



SECTION A-A

RECEIVED
JUN 13 2018
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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KINMOUNT 6A

ENERGY STAR

5.		
4.		
3.		
2.		
1.	REVISED KINMOUNT 6 FROM LAMBERTS LANE HOME I	AUG 2018

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

NAME	SIGNATURE	BCIN
VIKAS GAJJAR		28770

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4095
F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE: CROSS SECTION

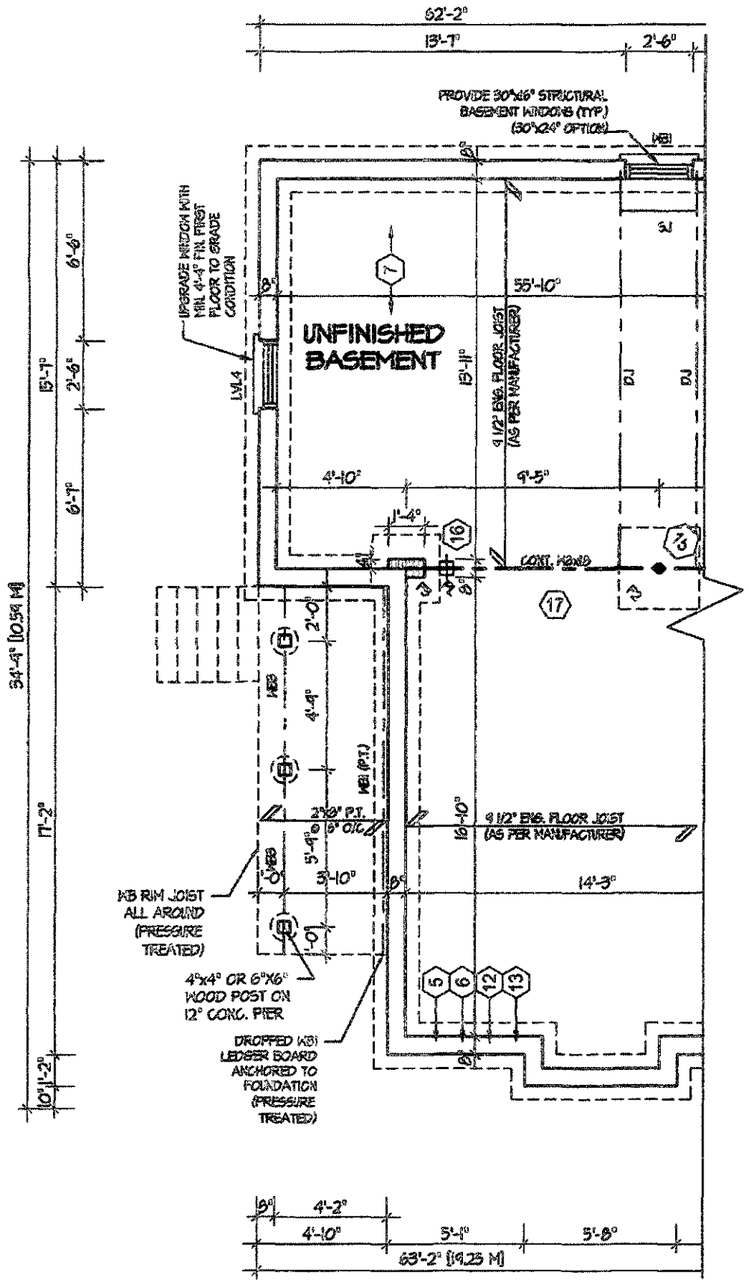
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

SCALE	BY	PAGE No.
3/16"=1'-0"	ZMP	8
DATE: SEP 2018	AREA: 3054	

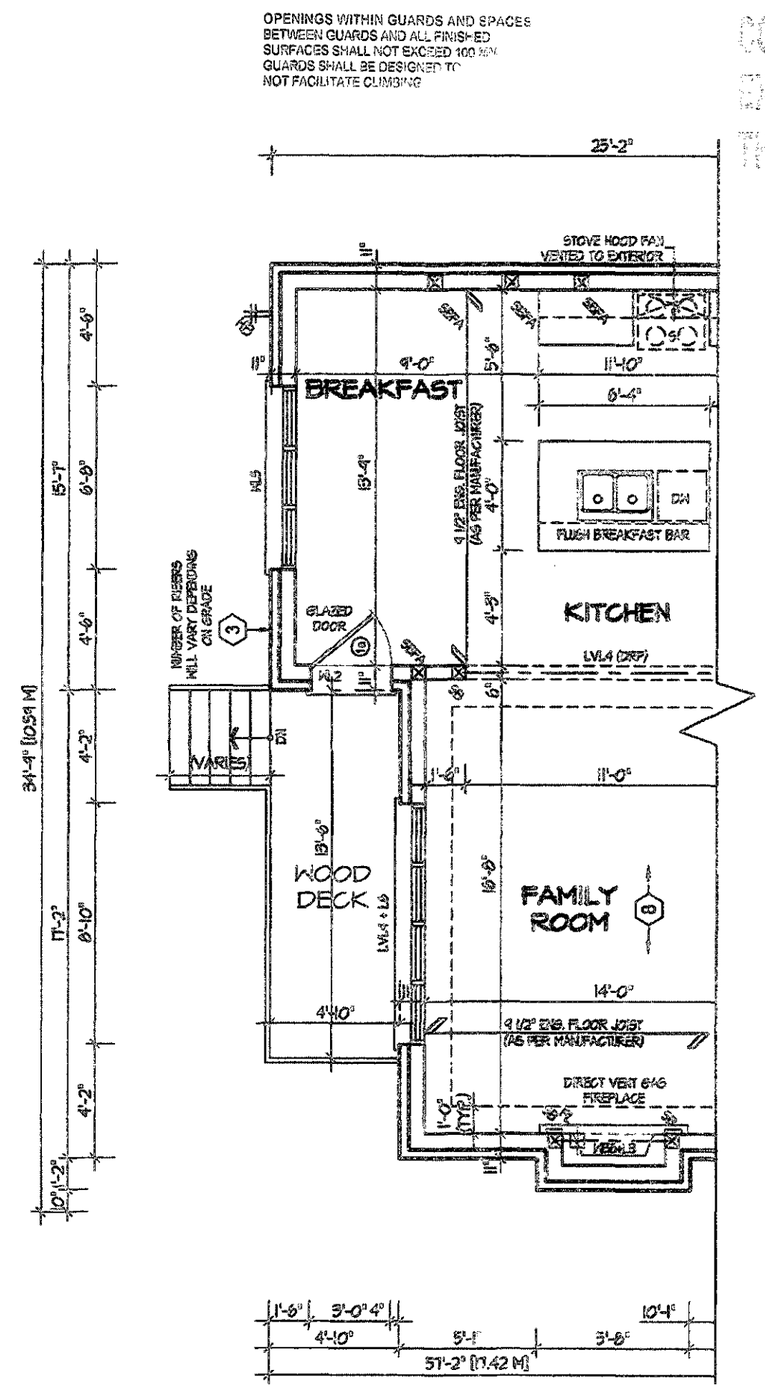
Greenpark™

PROJECT NAME: LAMBERTS LANE HOME CORP. II

March 1 2018 A-0022 SM MARIO DETTORI AMBERTS I AMF (AMFO) PH PKT:AMFMARYSIMONSEN INT 6A - REFRAMED INT 6A MASTER TOWER



PARTIAL BASEMENT PLAN
FOR DECK CONDITION



PARTIAL GROUND FLOOR PLAN
FOR DECK CONDITION

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

RECEIVED
JUN 13 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

FOR STRUCTURE ONLY

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JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL ARCHITECT
AND APPROVER

APPROVED BY _____
DATE _____

KINMOUNT 6A

ENERGY STAR

5.		
4.		
3.		
2.		
1.	REVISED KINMOUNT 6 FROM LAMBERTS LANE HOME I	AUG 2018

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR		28770
NAME	SIGNATURE	BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4086
F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE
PARTIAL PLANS
FOR DECK CONDITION

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

SCALE	BY	PAGE No.
3/16"=1'-0"	ZMP	9
DATE SEP 2018	AREA 3054	

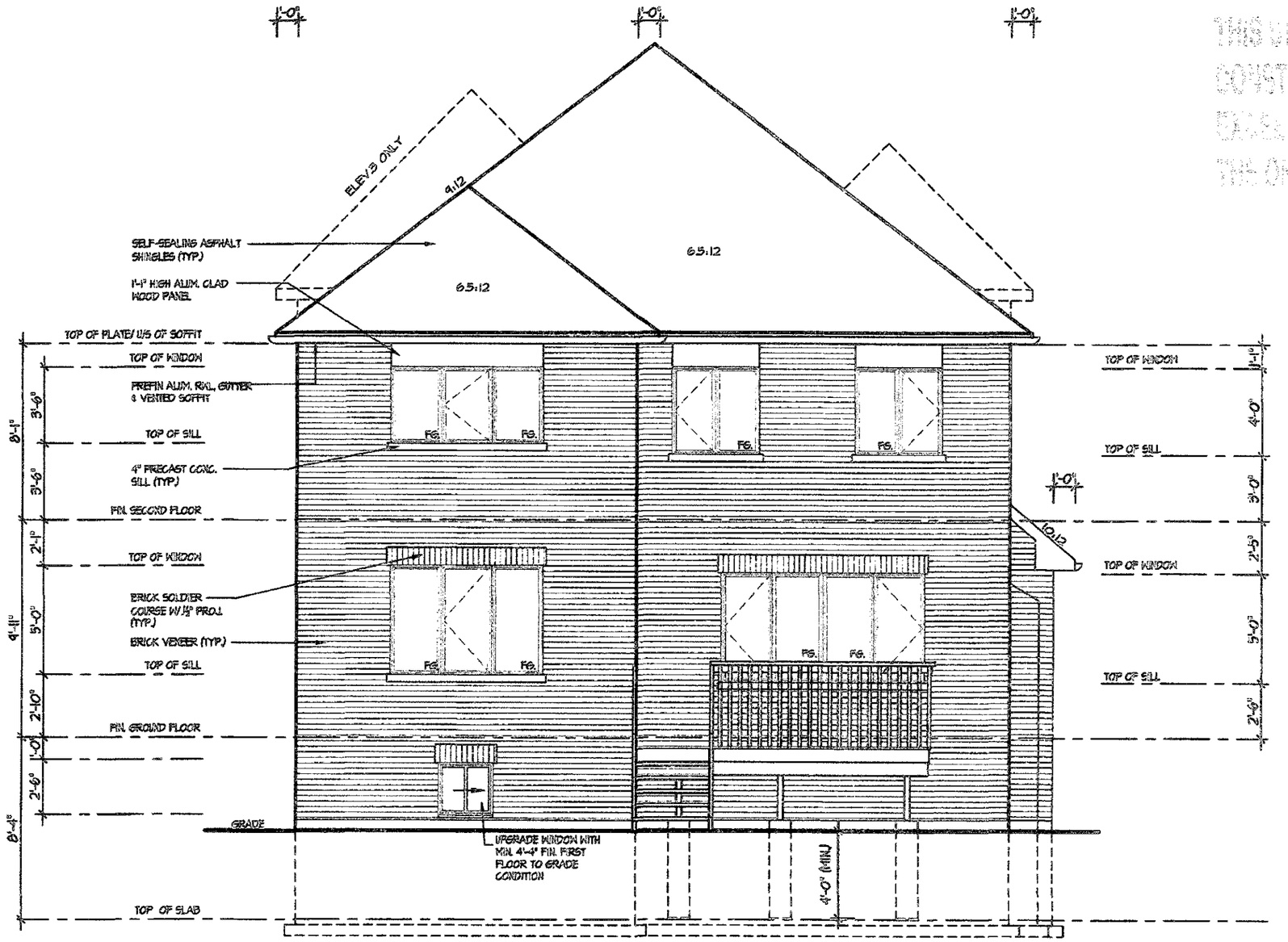
Greenpark

PROJECT NAME
LAMBERTS LANE HOME CORP. II

March 1, 2018 A-29.77 PM MODIFY SECTION AMBERLY LANE JORDAN PM PATTAMADDSUBMISSION INT RA - REFERENCE INT RA MASTER DWG

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE



REAR ELEVATION FOR DECK CONDITION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.

RECEIVED
JUN 13 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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KINMOUNT 6A

ENERGY STAR

5.		
4.		
3.		
2.		
1.	REVISED KINMOUNT 6 FROM LAMBERTS LANE HOME I	AUG 2018

REVISIONS

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QUALIFICATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR — 28770

NAME — SIGNATURE — BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S9
P (416) 736-4098
F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE: REAR ELEVATION FOR DECK CONDITION

SCALE: 3/16"=1'-0" | BY: ZMP

DATE: SEP 2018 | AREA: 3054

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

PAGE No. 9-2

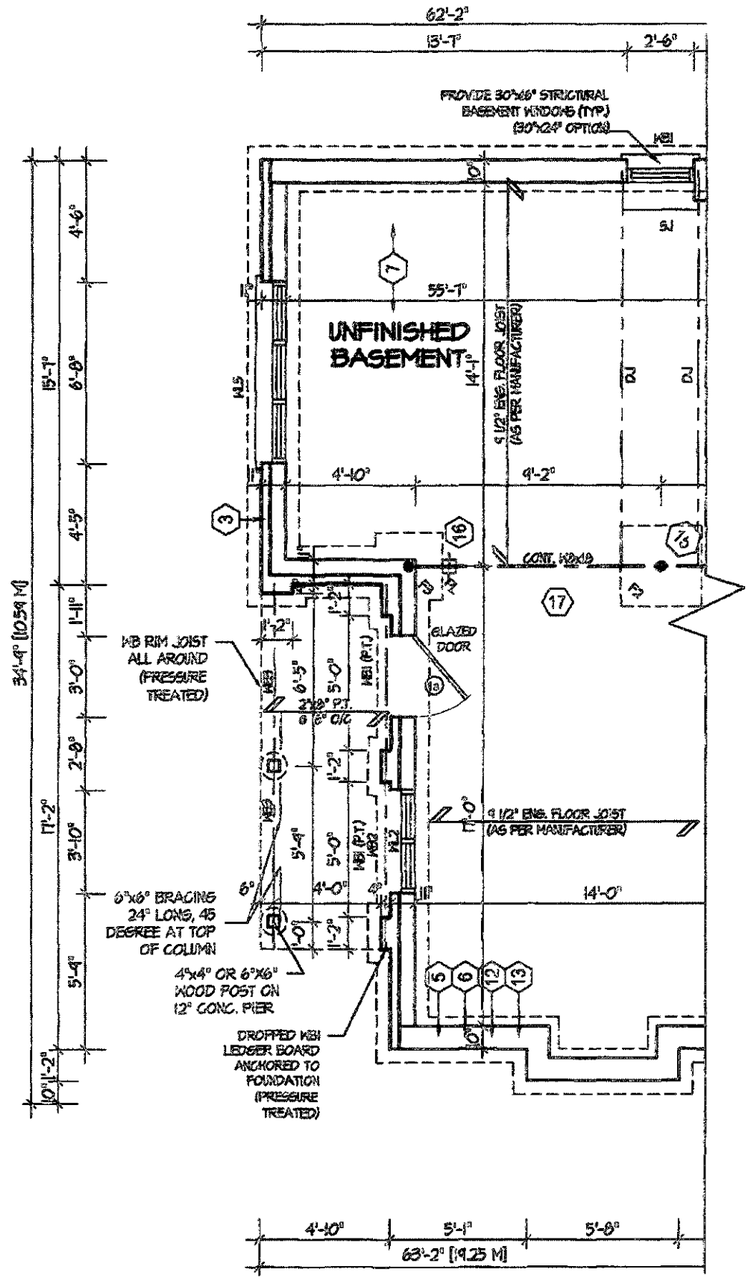
Greenpark

PROJECT NAME: LAMBERTS LANE HOME CORP. II

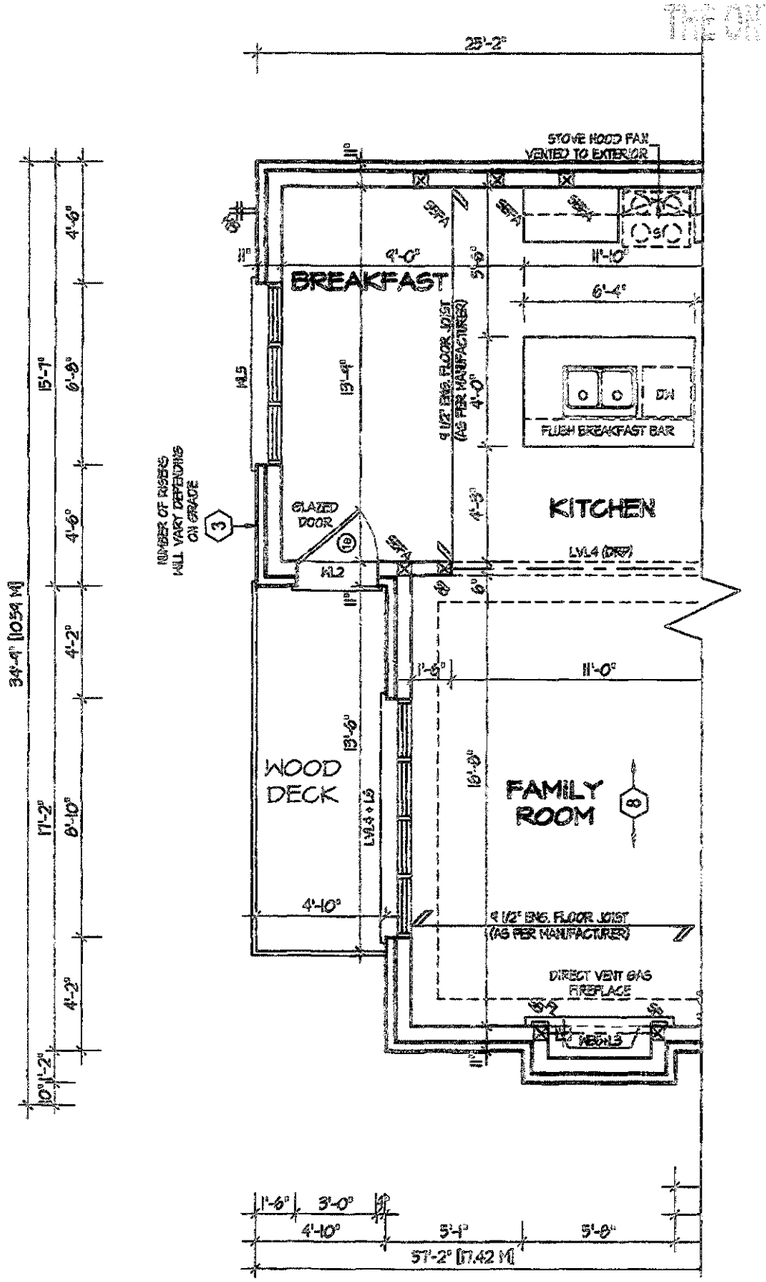
March 1, 2010 6:23:10 PM G:\PROJECTS\LAMBERTS LANE HOME\LAMBERTS LANE HOME I\ARCHITECTURAL\PLANS\DWG\KINMOUNT 6A - REFINEMENT MT 6A MASTER.DWG

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING



PARTIAL BASEMENT PLAN
FOR WALK-OUT CONDITION



PARTIAL GROUND FLOOR PLAN
FOR WALK-OUT CONDITION

RECEIVED
JUN 13 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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KINMOUNT 6A

ENERGY STAR

5.		
4.		
3.		
2.	WALK-OUT CONDITION	FEB 2019
1.	REVISED KINMOUNT 6 FROM LAMBERTS LANE HOME I	AUG 2018

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

NAME	SIGNATURE	BCIN
VIKAS GAJJAR		28770

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4099
F (905) 660-0798

REGION DESIGN INC.

SHEET TITLE
PARTIAL PLANS
FOR WALK-OUT CONDITION

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

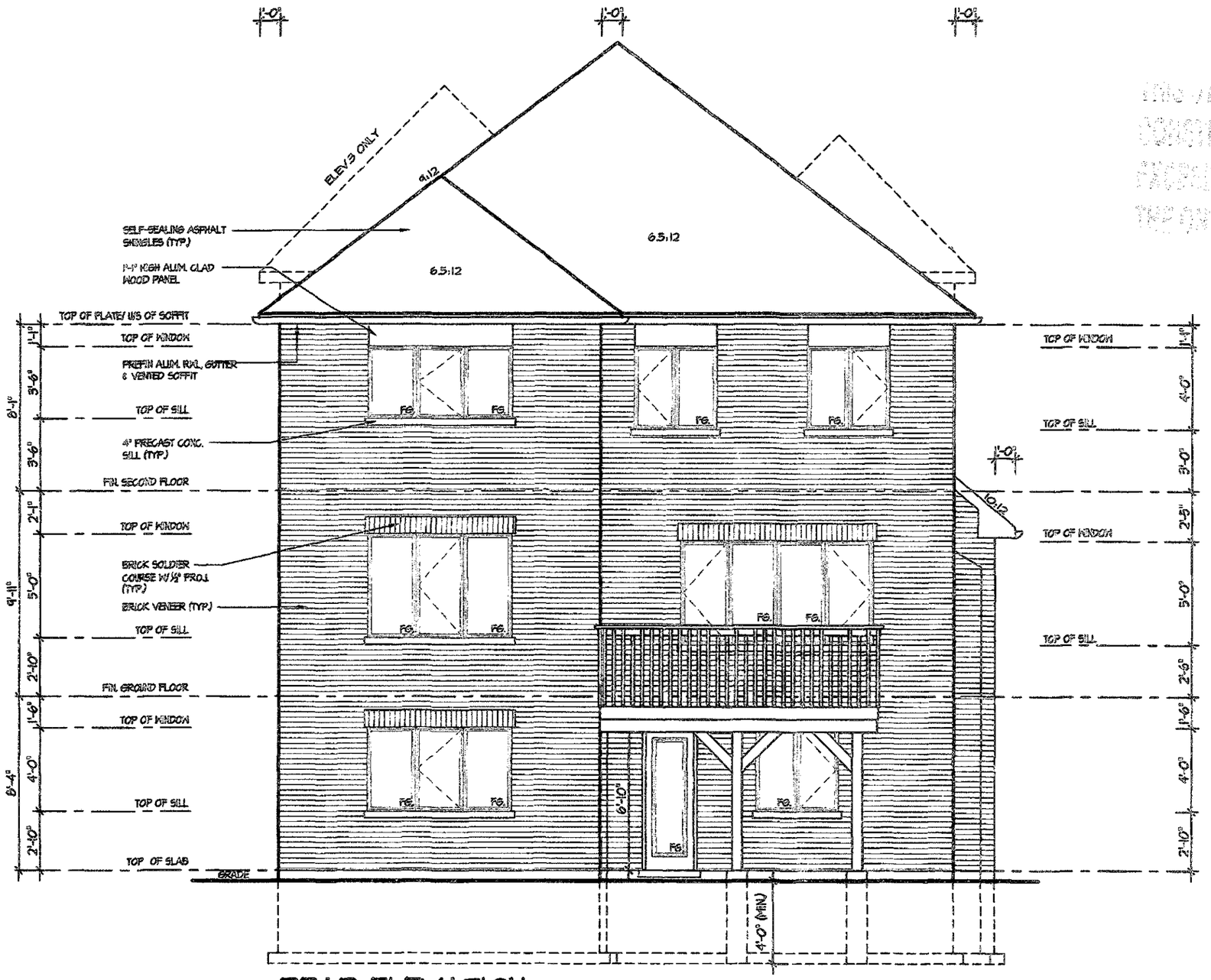
SCALE	BY	PAGE No.
3/16"=1'-0"	ZMP	10
DATE FEB 2019	AREA 3054	

Greenpark

PROJECT NAME
LAMBERTS LANE HOME CORP. II

March 22 2019 11:20:08 AM M:\PROJECTS\LAMBERTS LANE (GROOT) PH2\STANDARDS\KINMOUNT 6A - BEGRIMENT INT 6A MASTER.DWG

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING



REAR ELEVATION FOR WALK-OUT CONDITION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.

THE ARROW TUNE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

RECEIVED
JUN 13 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO

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KINMOUNT 6A

ENERGY STAR

5.		
4.		
3.		
2.	WALK-OUT CONDITION	FEB 2019
1.	REVISED KINMOUNT 6 FROM LAMBERTS LANE HOME I	AUG 2018

REVISIONS

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QUALIFICATION INFORMATION

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NAME	SIGNATURE	BCIN
VIKAS GAJJAR		28770

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE: REAR ELEVATION FOR WALK-OUT CONDITION

SCALE: 3/16"=1'-0" | BY: ZMP

DATE: FEB 2019 | AREA: 3054

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

PAGE No. 10-2

Greenpark

PROJECT NAME: LAMBERTS LANE HOME CORP. II

March 28 2019 11:16:56 AM B:\REGION\PROJ\LAMBERTS LANE (ARCO) PH 2\STANDARD\KINMOUNT 6A - REDESIGN\KINMOUNT 6A MASTER.DWG