

2007

TOWNHOUSE

HORIZON 2
ELEVATION 1 & 2

ENERGY STAR

O.REG. 332/12

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED, DIMENSIONS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

7		
6		
5		
4		
3		
2	DEC. 13, 2018	ISSUED FOR BUILDING PERMIT
1	JULY 24, 2018	CAME FROM SECONDO VALES 17-41

NO: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.1.5 of the Building Code.

Walter Botter: *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the Building Code.

jardin design group inc. 27763
FIRM NAME BCIN

TITLE SHEET
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

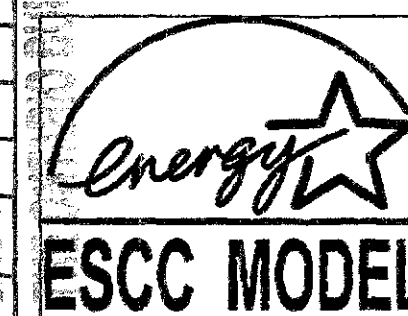
BILD
MODEL
SCALE 3/16" = 1'-0"
PROJ. No. 18-18 DWG. No. 0

AREA CALCULATIONS EL-1 & 2

GROUND FLOOR AREA	=	1003 Sq. Ft.
SECOND FLOOR AREA	=	992 Sq. Ft.
TOTAL FLOOR AREA	=	1995 Sq. Ft.
ADD OPEN AREAS	=	12 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2007 Sq. Ft.
GROUND FLOOR COVERAGE	=	1003 Sq. Ft.
GARAGE COVERAGE / AREA	=	412 Sq. Ft.
PORCH COVERAGE / AREA	=	70 Sq. Ft.
COVERAGE W/ PORCH	=	1485 Sq. Ft.
COVERAGE W/O PORCH	=	1379 Sq. Ft.
	=	1415 Sq. Ft.
	=	1314 Sq. Ft.

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLIN ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS



ENERGY STAR - V 17

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Authority is not responsible in any way for examining or approving any (filling) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

HORIZON 2 ELEV.-1 ENERGY EFFICIENCY- ENERGY STAR

ELEVATION	WALL FT ²	OPENING FT ²	PERCENTAGE
FRONT	463.00	97.00	20.95 %
LEFT SIDE	911.00	0.00	0.00 %
RIGHT SIDE	911.00	0.00	0.00 %
REAR	444.00	111.00	25.00 %
TOTAL	2729.00	208.00	7.62 %

HORIZON 2 ELEV.-2 ENERGY EFFICIENCY- ENERGY STAR

ELEVATION	WALL FT ²	OPENING FT ²	PERCENTAGE
FRONT	454.00	91.00	20.04 %
LEFT SIDE	865.00	0.00	0.00 %
RIGHT SIDE	865.00	0.00	0.00 %
REAR	444.00	111.00	25.00 %
TOTAL	2628.00	202.00	7.69 %

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING

ENERGY STAR V-17

COMPONENT	NOTE
CEILING WITH ATTIC SPACE	10.56 (R60)
MINIMUM RSI (R) VALUE	
CEILING WITHOUT ATTIC SPACE	5.46 (R31)
MINIMUM RSI (R) VALUE	
EXPOSE FLOOR	5.46 (R31)
MINIMUM RSI (R) VALUE	
WALLS ABOVE GRADE	4.75 (R22+R5)
MINIMUM RSI (R) VALUE	
BASEMENT WALLS	3.52 (R20 BLANKET)
MINIMUM RSI (R) VALUE	
EDGE OF BELOW GRADE SLAB	1.76 (R10)
< 600mm BELOW GRADE	
MINIMUM RSI (R) VALUE	
SLAB < 600mm BELOW GRADE	1.76 (R10)
MINIMUM RSI (R) VALUE	
WINDOWS & SLIDING GLASS DOORS	ENERGY STAR ® ZONE 2 (ER 29/UV 1.4)
MAXIMUM U-VALUE	
SPACE HEATING EQUIPMENT	MIN. 86% AFUE
MINIMUM AFUE	
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HRV	TIER 2 75% SPE ENERGY STAR ® HRV TO BE INTERCONNECTED TO THE FURNACE FAN MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/AIR
MINIMUM EFFICIENCY	
HOT WATER TANK	CONDENSING HOT WATER TANK 90% TE ENV-ROSENCE
DRAIN WATER HEAT RECOVERY	TWO SHOWERS > 42% STEADY R3-12 OR T0342
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (2.5 ACH@10 NLR) ATTACHED LEVEL 1 (3.0 ACH@10 NLR)
DUCT SEALING	ALL SUPPLY DUCTS AND 1 m OF RETURN DUCTS
LIGHTS	75% CFLS OR LEDS

DOOR SCHEDULE:

- 1 = 2'-10" x 6'-8" INSULATED ENTRANCE DOOR
- 1A = 2'-8" x 6'-8" INSULATED ENTRANCE DOOR
- 2 = 2'-8" x 6'-8" EXTERIOR GLAZED DOOR
- 3 = 2'-8" x 6'-8" SLAB DOOR (1 3/4" EXTERIOR)
- 4 = 2'-8" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
- 5 = 2'-8" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
- 6 = 2'-2" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
- 7 = 1'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
- 8 = 2'-6" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
- 9 = 3'-0" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
- 10 = 2'-2" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
- 11 = 2'-2" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
- 12 = 2'-8" x 6'-8" FRENCH DOOR (1 3/8" INTERIOR)

STRUDET INC.

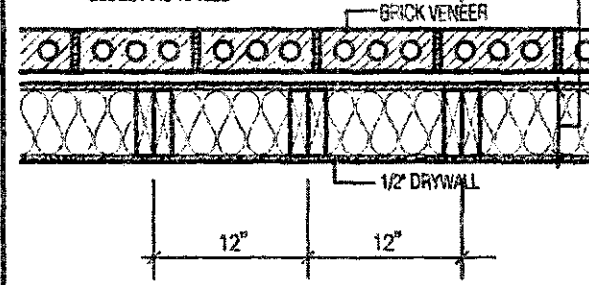


APPLICANT COPY

FEB 06 2019

FOR STRUCTURE ONLY

2-2"x8" STUD WALL LAMINATED @ 12" O.C.
FULL HEIGHT CMW SOLID BLOCKING @ 4'-0" O.C. VERTICAL AND 7'-10" EXT.
PLYWOOD SHEATHING.
GLUED AND NAILED



FULL HEIGHT WALL DETAIL 1

WITH BRICK VENEER N.T.S.

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7', 2 ROWS FOR SPANS GREATER THAN 7'

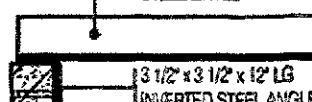
NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

STEEL LINTEL



SECTION

STEEL LINTEL

3 1/2" x 3 1/2" x 12" LG

INVERTED STEEL ANGLE

BRICK VENEER WALL

ISOMETRIC

3 1/2" x 3 1/2" x 12" LG

INVERTED STEEL ANGLE

BRICK VENEER WALL

INVERTED STEEL ANGLE DETAIL

Scale: 3/4" = 1'-0"

CERTIFIED MODEL

PRE-APPROVED
FOR PERMIT APPLICATION AS PER THE
ONTARIO BUILDING CODE
TOWN OF CALEDON BUILDING DIVISION

REVIEWED BY *SSNELL*
DATE *JULY 25/19*

FILE: *HORIZON 2 - ELEV 1 & 2 OPT. DECK*

NOTE:

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.

NOTE:

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-6% AIR ENTRAINMENT.

BRICK VENEER LINTELS:

- WL1 = 3 1/2" x 3 1/2" x 14" (90x90x6) + 2-2" x 8" SPR.
- WL2 = 4" x 3 1/2" x 5'16" (100x90x6) + 2-2" x 8" SPR.
- WL3 = 5" x 3 1/2" x 5'16" (125x90x6) + 2-2" x 10" SPR.
- WL4 = 6" x 3 1/2" x 3'8" (150x90x10) + 2-2" x 12" SPR.
- WL5 = 6" x 4" x 3'8" (150x100x10) + 2-2" x 12" SPR.
- WL6 = 5" x 3 1/2" x 5'16" (125x90x6) + 2-2" x 12" SPR.
- WL7 = 5" x 3 1/2" x 5'16" (125x90x6) + 3-2" x 10" SPR.
- WL8 = 5" x 3 1/2" x 5'16" (125x90x6) + 3-2" x 12" SPR.
- WL9 = 6" x 4" x 3'8" (150x100x10) + 3-2" x 12" SPR.

WOOD LINTELS:

- WB1 = 2-2" x 8" SPRUCE BEAM
- WB2 = 3-2" x 8" SPRUCE BEAM
- WB3 = 2-2" x 10" SPRUCE BEAM
- WB4 = 3-2" x 10" SPRUCE BEAM
- WB5 = 2-2" x 12" SPRUCE BEAM
- WB6 = 3-2" x 12" SPRUCE BEAM
- WB7 = 5-2" x 12" SPRUCE BEAM
- WB8 = 4-2" x 6" SPRUCE BEAM
- WB10 = 4-2" x 10" SPRUCE BEAM

STEEL LINTELS:

- L1 = 3 1/2" x 3 1/2" x 14" (90x90x6)
- L2 = 4" x 3 1/2" x 5'16" (100x90x6)
- L3 = 5" x 3 1/2" x 5'16" (125x90x6)
- L4 = 6" x 3 1/2" x 3'8" (150x90x10)
- L5 = 6" x 4" x 3'8" (150x100x10)
- L6 = 7" x 4" x 3'8" (180x100x10)

LAMINATED VENEER LUMBER (LVL BEAMS)

- LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
- LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
- LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
- LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
- LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
- LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
- LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
- LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
- LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
- LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
- LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
- LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
- LVL8 = 2-1 3/4" x 14" (2-45x356)
- LVL9 = 3-1 3/4" x 14" (3-45x356)

BUILDING INSPECTOR IS REQUIRED TO BE ON SITE

FOR ALL MANDATORY INSPECTIONS. REFER TO

ATTACHED BUILDING PERMIT FOR DETAILS

ALL ELECTRICAL INSTALLATIONS

MUST BE INSPECTED BY THE

ELECTRICAL SAFETY AUTHORITY

SEPARATE INSPECTION

APPLICATIONS MUST BE FILED

FOR MORE INFORMATION PLEASE CALL

ELECTRICAL SAFETY AUTHORITY

1-877-ESA-SAFE (372-7233)

PLUG IN SAFELY. HIRE A LICENSED

ELECTRICAL CONTRACTOR AT

www.plugin safely.ca



THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

A COMPLETE SET OF REVIEWED DRAWINGS & SPECIFICATIONS MUST BE KEPT ON SITE AT ALL TIME DURING CONSTRUCTION AS PER O.B.C.

PAD FOOTING 120 KPa NATIVE SOIL

- F1 = 42"x42"x18" CONCRETE PAD
- F2 = 36"x36"x16" CONCRETE PAD
- F3 = 30"x30"x12" CONCRETE PAD
- F4 = 24"x24"x12" CONCRETE PAD
- F5 = 16"x16"x8" CONCRETE PAD

90 KPa ENGINEERED FILL SOIL

- F1 = 48"x48"x20" CONCRETE PAD
- F2 = 40"x40"x16" CONCRETE PAD
- F3 = 34"x34"x14" CONCRETE PAD
- F4 = 28"x28"x12" CONCRETE PAD
- F5 = 18"x18"x8" CONCRETE PAD

100 KPa NATIVE SOIL

- F1 = 46"x46"x20" CONCRETE PAD
- F2 = 38"x38"x16" CONCRETE PAD
- F3 = 32"x32"x14" CONCRETE PAD
- F4 = 26"x26"x12" CONCRETE PAD
- F5 = 17"x17"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

STRIP FOOTINGS FOR HORIZONS

REFER TO FOUNDATION PLAN FOR DIMENSIONS AND FOOTING DETAIL FOR REINFORCEMENT

120 KPa NATIVE SOIL

- 20"x6" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS AS NOTED ON PLANS
- 24"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED.)
- 24"x8" CONCRETE STRIP FOOTINGS (WITH REINF.) BELOW PARTY WALLS

90 KPa ENGINEERED FILL SOIL

- 24"x8" CONCRETE STRIP FOOTINGS - WITH REINF., AS NOTED ON PLANS
- 32"x8" CONCRETE STRIP FTGS BELOW EXT. WALLS - WITH REINF. (UNLESS OTHERWISE NOTED.)
- 32"x8" CONCRETE STRIP FOOTINGS - WITH REINF., BELOW PARTY WALLS

100 KPa NATIVE SOIL

- 22"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
- 28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW EXTERIOR WALLS
- 28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS

GENERAL NOTE:

ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL FOOTING DETAIL FOR REINFORCEMENT.
(REFER TO ENG. FILL FOOTING DETAIL)

NOTE:

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

NOTE:

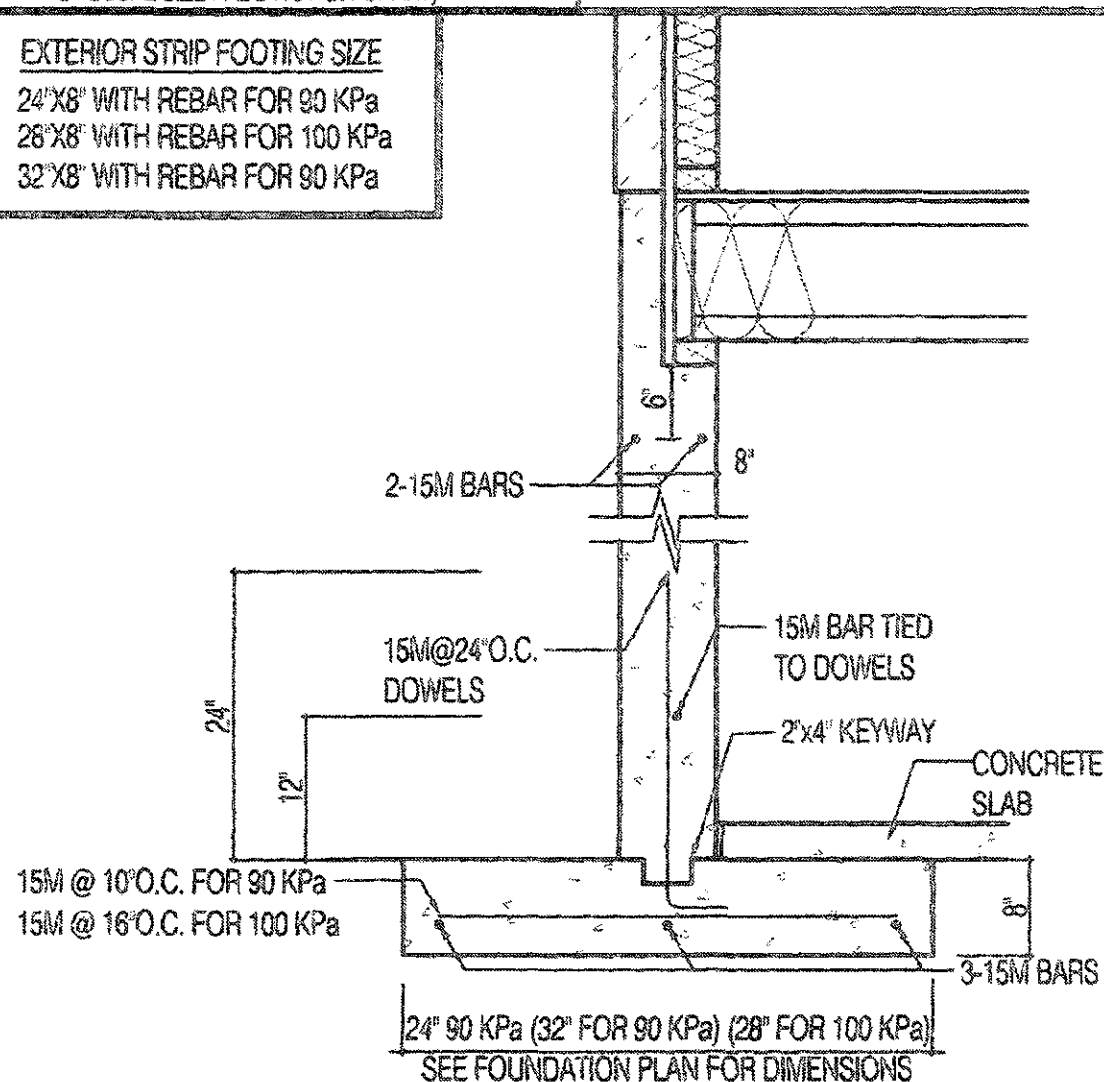
WHEN VENEER CUT IS GREATER THAN 26" A 10' POURED CONC. FOUNDATION WALL IS REQUIRED. (FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

RECEIVED
JUL 18 2019

EXTERIOR STRIP FOOTING SIZE

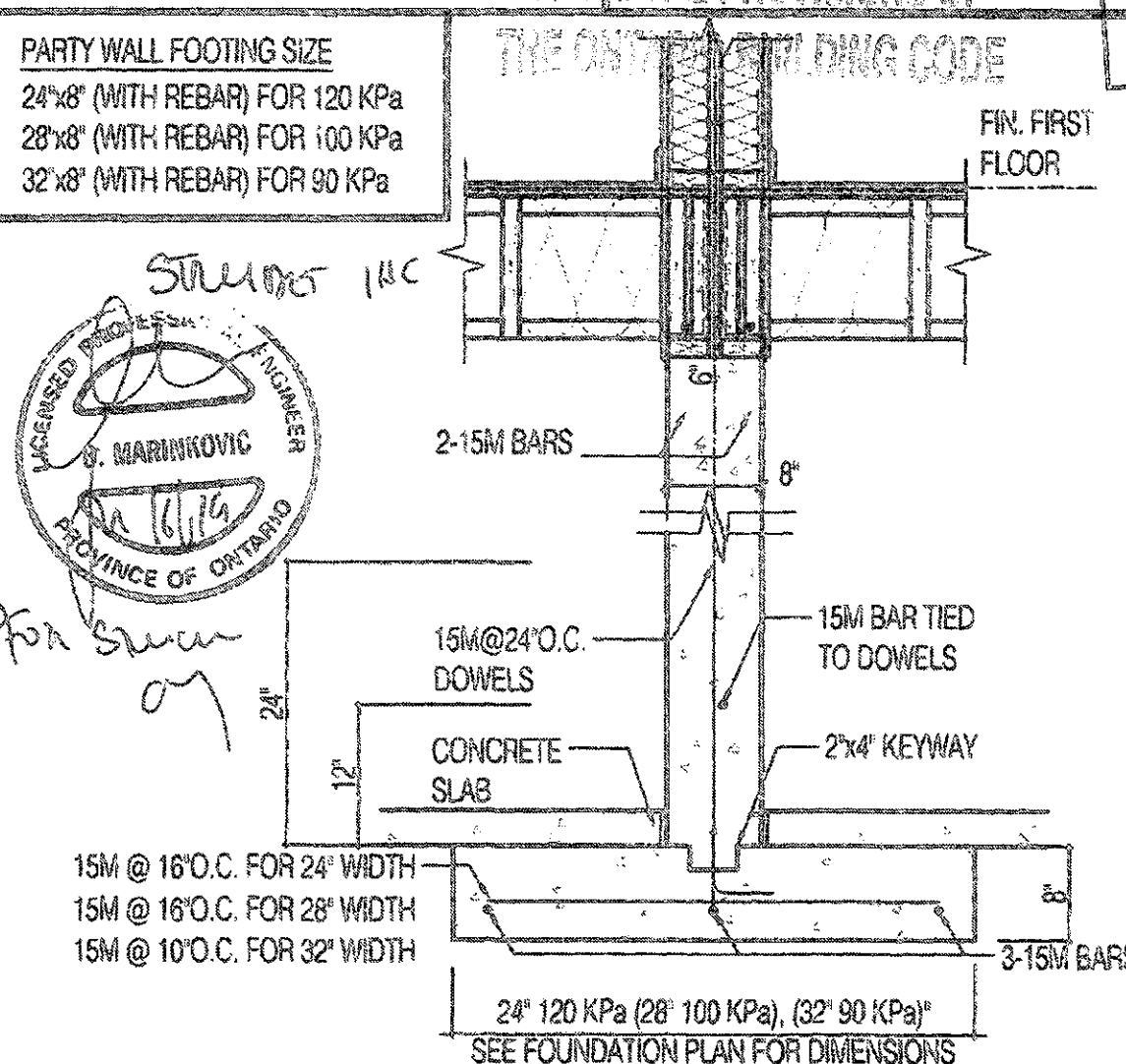
- 24"x8" WITH REBAR FOR 90 KPa
- 28"x8" WITH REBAR FOR 100 KPa
- 32"x8" WITH REBAR FOR 90 KPa



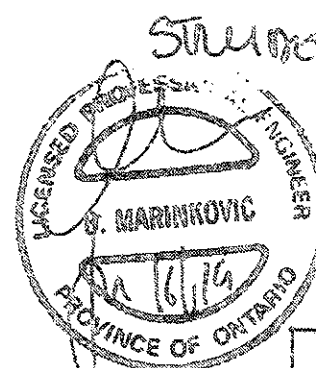
EXTERIOR STRIP FOOTINGS

PARTY WALL FOOTING SIZE

- 24"x8" (WITH REBAR) FOR 120 KPa
- 28"x8" (WITH REBAR) FOR 100 KPa
- 32"x8" (WITH REBAR) FOR 90 KPa



PARTY WALL FOOTINGS



RECEIVED
JUL 18 2019

RECEIVED
JUL 18 2019

RECEIVED
JUL 18 2019

RECEIVED
JUL 18 2019

RECEIVED
JUL 18 2019

RECEIVED
JUL 18 2019

RECEIVED
JUL 18 2019

RECEIVED
JUL 18 2019

RECEIVED
JUL 18 2019

RECEIVED
JUL 18 2019

RECEIVED
JUL 18 2019

RECEIVED
JUL 18 2019

RECEIVED
JUL 18 2019

2007	
TOWNHOUSE	
HORIZON 2	
ELEVATION 1 & 2	
ENERGY STAR	
O.REG. 332/12	
THE CITY OF CALEDON AND THE TOWN OF CALEDON ARE NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THIS DRAWING. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THIS DRAWING. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO OBTAIN A GENERAL REVIEW OF THE WORK AND ASSURES NO RESPONSIBILITY FOR THE FAILURE OF THE CONSTRUCTION OF THE CONSTRUCTION TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS A PRELIMINARY OF SERVICE IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.	
7	
8	
9	
10	
11	
12	
13	
14	
15	
16	
17	
18	
19	
20	
21	
22	
23	
24	
25	
26	
27	
28	
29	
30	
31	
32	
33	
34	
35	
36	
37	
38	
39	
40	
41	
42	
43	
44	
45	
46	
47	
48	
49	
50	
51	
52	
53	
54	
55	
56	
57	
58	
59	
60	
61	
62	
63	
64	
65	
66	
67	
68	
69	
70	
71	
72	
73	
74	
75	
76	
77	
78	
79	
80	
81	
82	
83	
84	
85	
86	
87	
88	
89	
90	
91	
92	
93	
94	
95	
96	
97	
98	
99	
100	

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

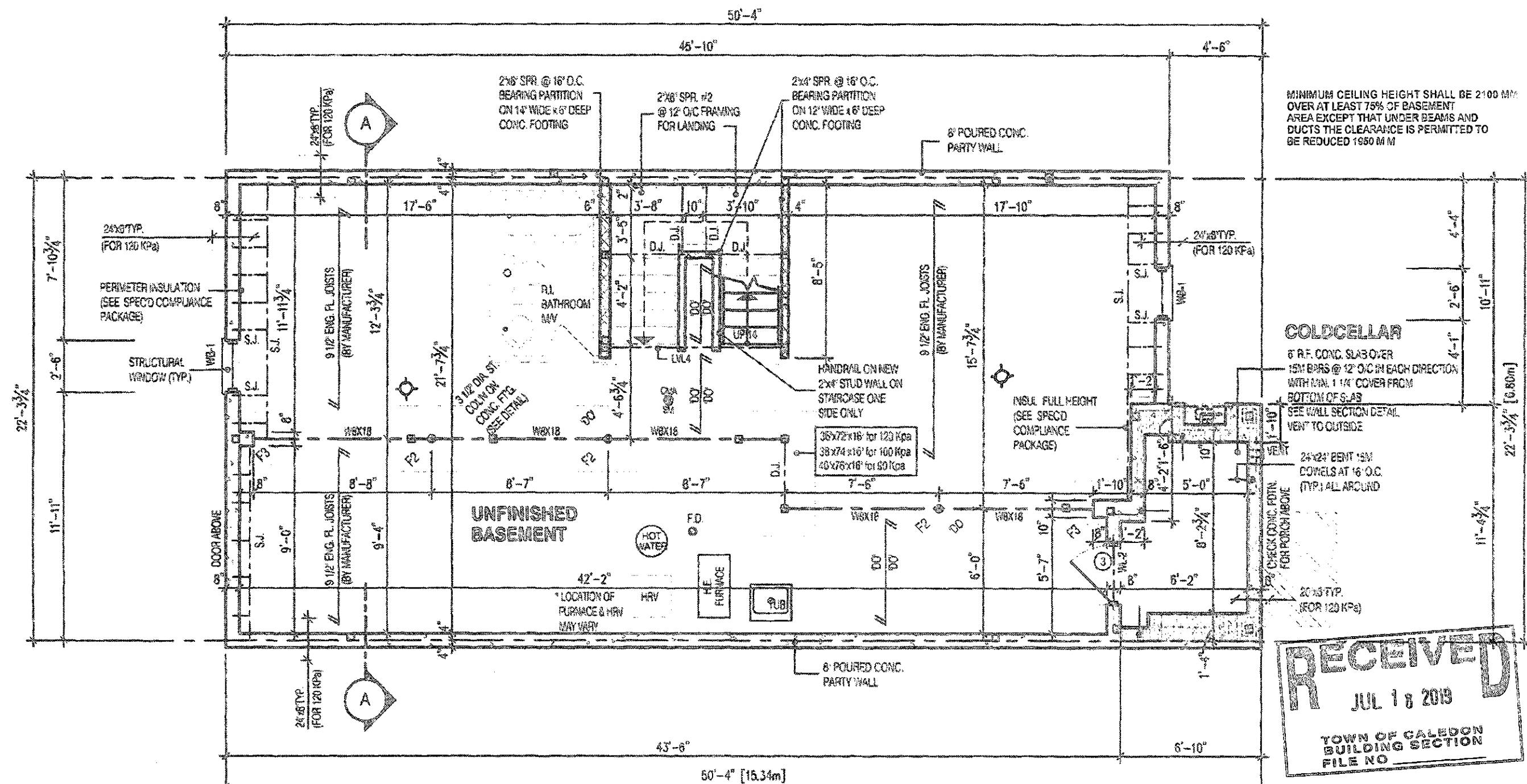
Walter Boker
NAME
SIGNATURE
21031

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.1 of the Building Code

jardin design group inc. 27763

FOOTING SIZES/DETAILS
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL
SCALE 3/16" = 1'-0"
PROJ. No. 18-18 DWG. No. 0-1



ELEV-1 TH 96-3
ELEV-2 TH 95-2
TH 96-2 TH 95-3

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

NOTE: THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH BLOCK PLAN DRAWINGS.

NOTE:
REFER TO SHEET NO. 0-1 FOR UNTEL, BEAMS AND DOOR SIZE

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 3'-7" 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:
SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

LEGEND:
 [Symbol] BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
 [Symbol] INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
 [Symbol] STL. PLATE FOR STEEL COLUMN ABOVE
 [Symbol] LAMINATED VENEER LUMBER
 [Symbol] SINGLE JOIST
 [Symbol] DOUBLE JOIST
 [Symbol] TRIPLE JOIST
 [Symbol] REPEAT NOTE
 [Symbol] SMOKE/WEEPERS



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Quality Act and all applicable regulations and are relevant to the subdivision agreement. The Control Architect is not responsible in any way for examining or approving any (existing) plans or working drawings with respect to any zoning or building code or permit matter or that any plans can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Caledon.

JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL POWER AND APPROVAL

APPROVED BY: [Signature]
DATE: JUL 17, 2019

2007
TOWNHOUSE
HORIZON 2
ELEVATION 1 & 2
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED DIMENSIONS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CONDUCT A GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUBCONTRACTOR TO COMPLY WITH THE WORKING APPROXIMATE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY J.D.G. AS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SOLD.

7	
6	
5	
4	
3	JULY 11, 2019 REVISED PER CITY COMMENTS
2	DEC 13, 2018 ISSUED FOR BUILDING PERMIT
1	JULY 24, 2018 CAME FROM SECOND DOWNS

No. DATE WORK DESCRIPTION

Jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN, ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Registered unless design is exempt under Division C, Subsection 1.2.3 of the Building Code

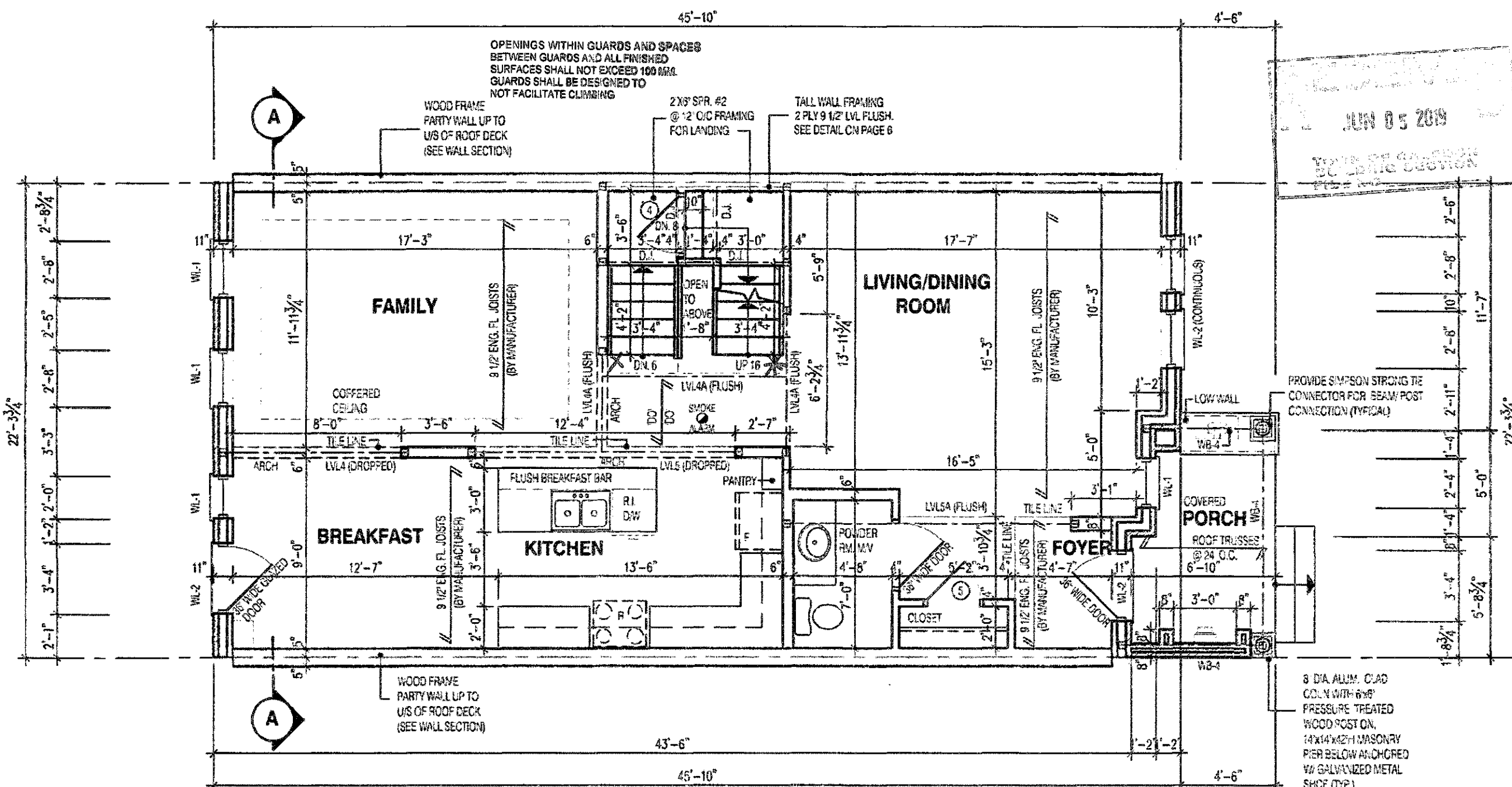
Walter Bollen [Signature] 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 1.2.4 of the Building Code

Jardin design group inc. 27763
FIRM NAME BCIN

BASEMENT PLAN
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL
Scale 3/16" = 1'-0"
SHEET NO. 18-18 PAGE NO. 1



ELEV-1
TH 96-2
TH 96-3

ELEV-2
TH 95-2
TH 95-3

*-3-WAY SWITCH CONTROLLING
LIGHT OVER STAIRS

X-1-WAY SWITCH MINIMUM
CONTROLLING LIGHT OVER
BASEMENT STAIRS

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:
REFER TO SHEET NO. 0-1 FOR UNTEL. BEAMS AND DOOR SIZE

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7" 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:
SUBFLOOR TO BE
5/8" PLYWOOD ON
THIS LEVEL

NOTE:
ALL FLOORS TO BE
NAILED AND GLUED
ON THIS LEVEL

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m)
(45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED
OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

STRUDET INC.



FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The General Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any change can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

FEB 06 2019

2007
TOWNHOUSE
HORIZON 2
ELEVATION 1 & 2
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL VERIFY ALL OVERLAYS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE OBTAINING OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED, DRAWINGS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PRODUCED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

7		
6		
5		
4		
3		
2	DEC. 13, 2018	ISSUED FOR BUILDING PERMIT
1	JULY 24, 2018	CAME FROM SECONDO VALES 17-41
No.	DATE	WORK DESCRIPTION

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter *WBe* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

FIRST FLOOR PLAN EL-1
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD

MODEL
SCALE 3/16" = 1'-0"
PROJ. NO. 18-18
SNG. NO. 2

2007
TOWNHOUSE
HORIZON 2
ELEVATION 1
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL CHECK ALL DIMENSIONS AND CONDITIONS OF THE WORK AND ASSUME RESPONSIBILITY FOR THE ACCURACY OF THE DRAWINGS AND FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS FOR THE FOUNDATION AND ROOFING. AS CONSTRUCTION PROCEEDS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE FOUNDATION AND ROOFING. JARDIN DESIGN GROUP INC. HAS BEEN RETAINED TO PROVIDE GENERAL ADVICE OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO COMPLY WITH THE WORKMANSHIP REQUIREMENTS OF THE BUILDING CODE. THIS DRAWING IS AN INSTRUMENT OF SERVICE PROVIDED BY JARDIN DESIGN GROUP INC. TO THE CLIENT. IT IS THE PROPERTY OF JARDIN DESIGN GROUP INC. AND IS NOT TO BE REPRODUCED OR COPIED WITHOUT THE WRITTEN PERMISSION OF JARDIN DESIGN GROUP INC.

No.	DATE	WORK DESCRIPTION
7		
6		
5		
4		
3	JULY 11, 2018	REVISED PER CITY COMMENTS REBUILT TO CL. 15'
2	DEC. 13, 2018	ISSUED FOR BUILDING PERMIT
1	JULY 24, 2018	CALVE FROM SECOND FLOOR 17-41

Jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

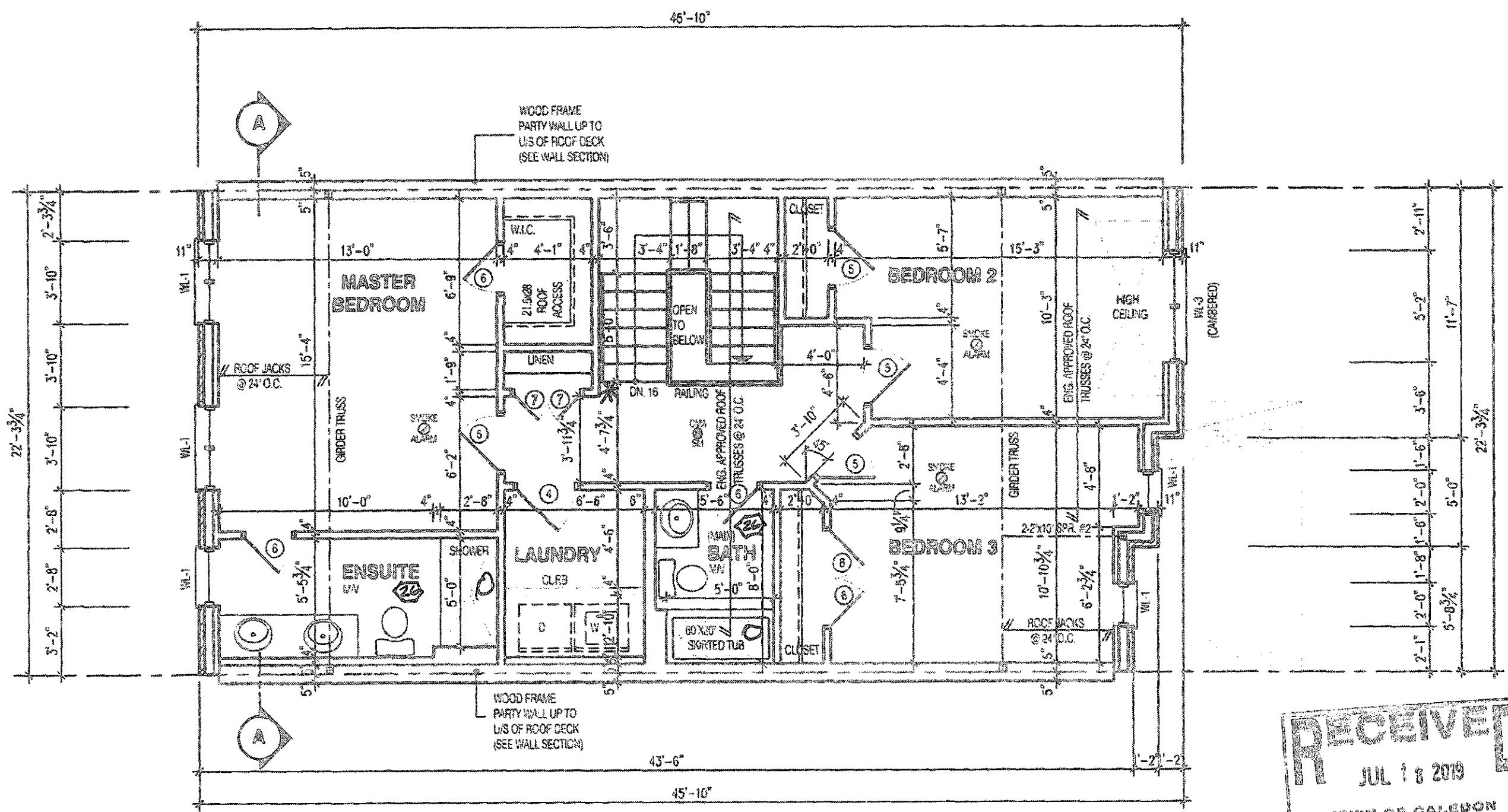
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 2.2.5 of the Building Code.

Water Boiler: 21031
NAME: SIGNATURE: BGM

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 2.2.4 of the Building Code.
jardin design group inc. 27763
FIRM NAME: BGM

SECOND FL. PLAN EL-1
LAMBERTS LANE PHASE 2
TOWN OF CALEDON
BILD
18-18 3



ELEV-1
TH 96-2
TH 96-3
O - WATERPROOF WALL FINISH
AS PER OBC DIV. 8.9.2.2.1.

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

STANDARD INC

B. MARINKOVIC
PROVINCE OF ONTARIO
16/19

For Samuel

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH BLOCK PLAN DRAWINGS.

- LEGEND:**
- BUILDING FACE < THAN 1/2" (1.2m) NO MIN. RPE RATING REQ'D
 - INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
 - STL. PLATE FOR STEEL COLUMN ABOVE LAMINATED VENEER LUMBER
 - UVL
 - S.I. SINGLE JOIST
 - D.I. DOUBLE JOIST
 - TRIPLE JOIST
 - REPEAT NOTE
 - SHOWER DRAIN

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any variations in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving any building plans or making drawings with respect to any design or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: JUL 27, 2018

RECEIVED
JUL 18 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO. 27763
JUL 16 2018

2007
TOWNHOUSE
HORIZON 2
ELEVATION 2
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF CALEDON PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION OR DATA PROVIDED BY ANY OTHER PARTY. THESE DRAWINGS OR ANY CONSTRUCTION SHALL BE TO THE SURVEY OF A SURVEYOR. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO OBTAIN A GENERAL INSPECTION OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUBSIDIARY TO OBTAIN THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE COPIED.

7		
6		
5		
4		
3	JULY 11, 2019	REVISED PER CITY COMMENTS REISSUED TO CLIENT
2	DEC 13, 2018	ISSUED FOR BUILDING PERMIT
1	JULY 24, 2018	CAME FROM SECONDO VALES 17-41

No. DATE WORK DESCRIPTION

Jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

CLAUSE INFORMATION
Required unless design is exempt under Section 6, Subsection 1.2.3 of the Building Code.

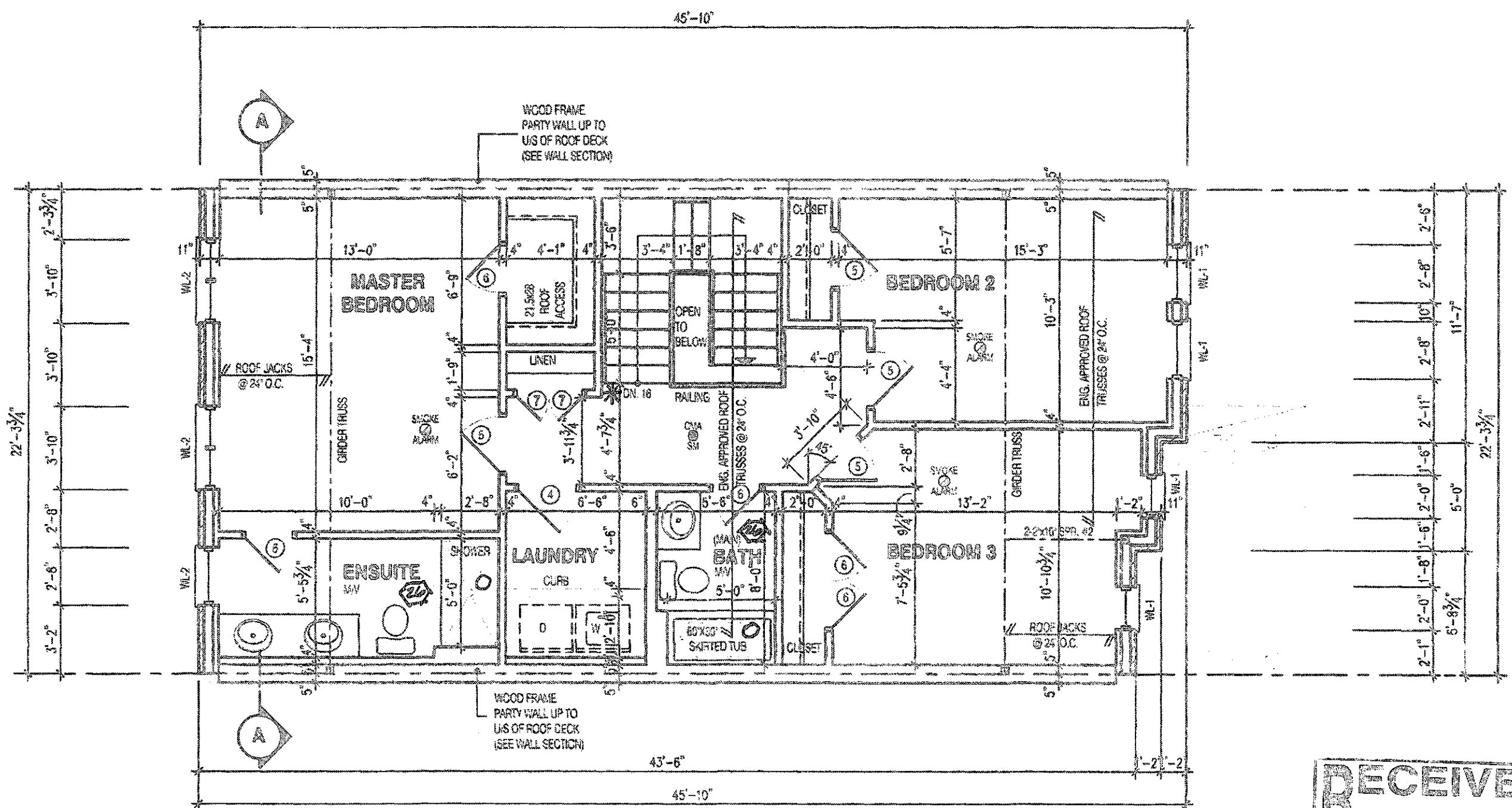
Walter Botten *Walter Botten* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Remains unless design is exempt under Division 6, Subsection 1.2.4 of the Building Code.

Jardin design group inc. 27763
FIRM NAME BCIN

SECOND FL. PLAN EL-2
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODE: ---
SCALE: 3/16" = 1'-0"
FLOOR: 18-18
PAGE NO: 3A

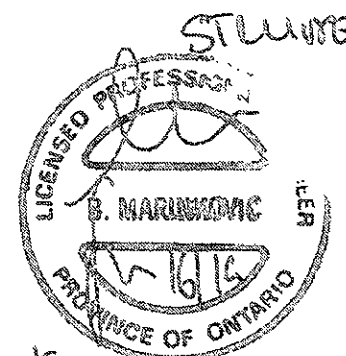


ELEV-2
TH 95-2
TH 95-3

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING.

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE



NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH BLOCK PLAN DRAWINGS.

- LEGEND:**
- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
 - INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
 - STL. PLATE FOR STEEL COLUMN ABOVE LAMINATED WOODEN LUMBER
 - SGL. JOIST
 - DOUBLE JOIST
 - TRIPLE JOIST
 - REPEAT NOTE
 - SHOWER NEEDERS

RECEIVED
JUL 16 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO. ---

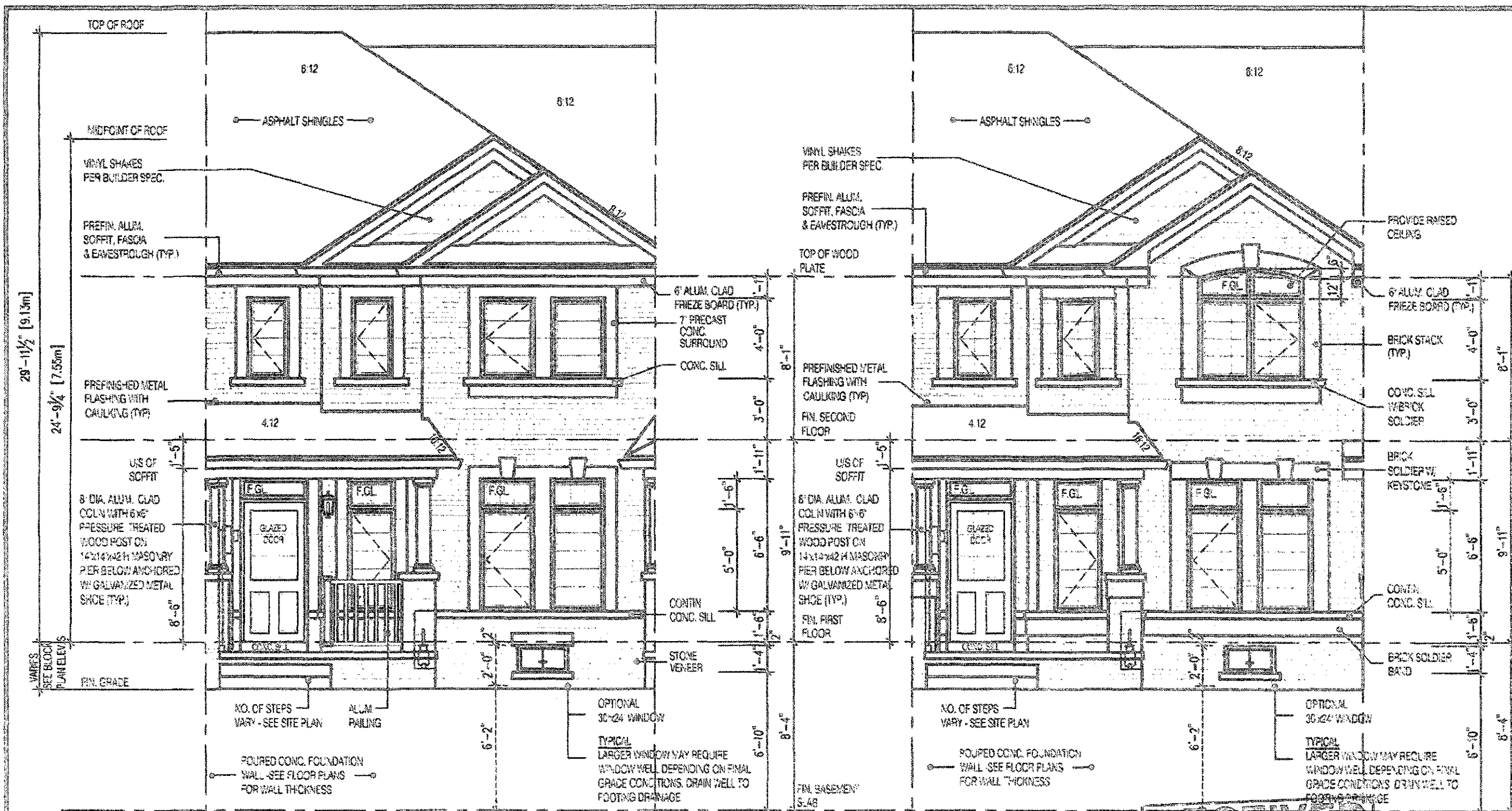
It is the builders complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contract Arch. Ltd. is not responsible in any way for obtaining or approving site (plotting) plans or zoning drawings with respect to any zoning or building code or permit matter or that any model can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL QUALITY REVIEW
AND APPROVAL

APPROVED BY: *[Signature]*
DATE: JUL 17, 2019

The Building Code is a minimum standard and does not constitute a warranty or guarantee of any kind. The Building Code is subject to change without notice.



THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

HORIZON 2
FRONT ELEV-2
TH 95-2
TH 95-3

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

HORIZON 2
FRONT ELEV-1
TH 96-2
TH 96-3

NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

It is the builder's complete responsibility to ensure that all plans submitted for approval comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Arch is not responsible in any way for drawing or preparing a site plan or zoning drawings to be used for any zoning or building code or permit application or for any other use. The builder is responsible for obtaining all necessary permits and approvals.

This is to certify that these plans comply with the applicable Architecture, Design Guidelines approved by the Town of Caledon.

TOWN OF CALEDON ARCHITECT
JUL 16 2019

2007
TOWNHOUSE
HORIZON 2
ELEVATION 1 & 2
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL ENSURE ALL MATERIALS AND CONSTRUCTION ARE IN ACCORD WITH THE TOWN OF CALEDON ARCHITECTURAL GUIDELINES AND ALL APPLICABLE REGULATIONS AND REQUIREMENTS INCLUDING ZONING PROVISIONS AND ANY PROVISIONS IN THE SUBDIVISION AGREEMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCING CONSTRUCTION.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCING CONSTRUCTION.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCING CONSTRUCTION.

No.	DATE	WORK DESCRIPTION
7		
6		
5		
4		
3	JULY 11, 2019	REVISED PER CITY COMMENTS
2	DEC 13, 2018	ISSUED FOR BUILDING PERMIT
1	JULY 24, 2018	CAME FROM SECOND VIEWS 17-41

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has retained and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION VERIFICATION
Required unless design is a minor variation of a previous design.
JUL 16 2019

Walter Boller 21031
NAME SIGNATURE BON

REGISTRATION VERIFICATION
Required unless design is a minor variation of a previous design.
JUL 16 2019

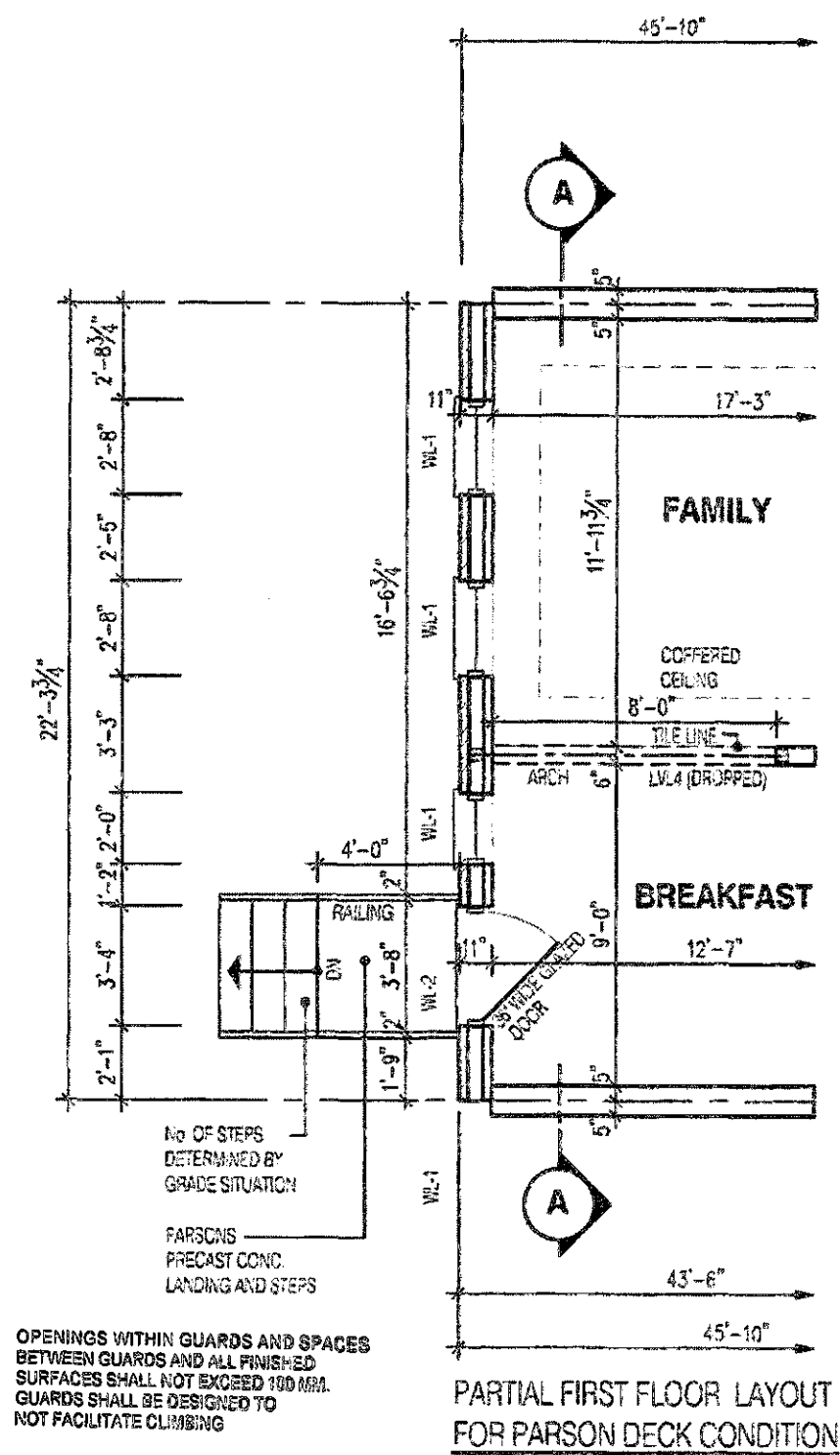
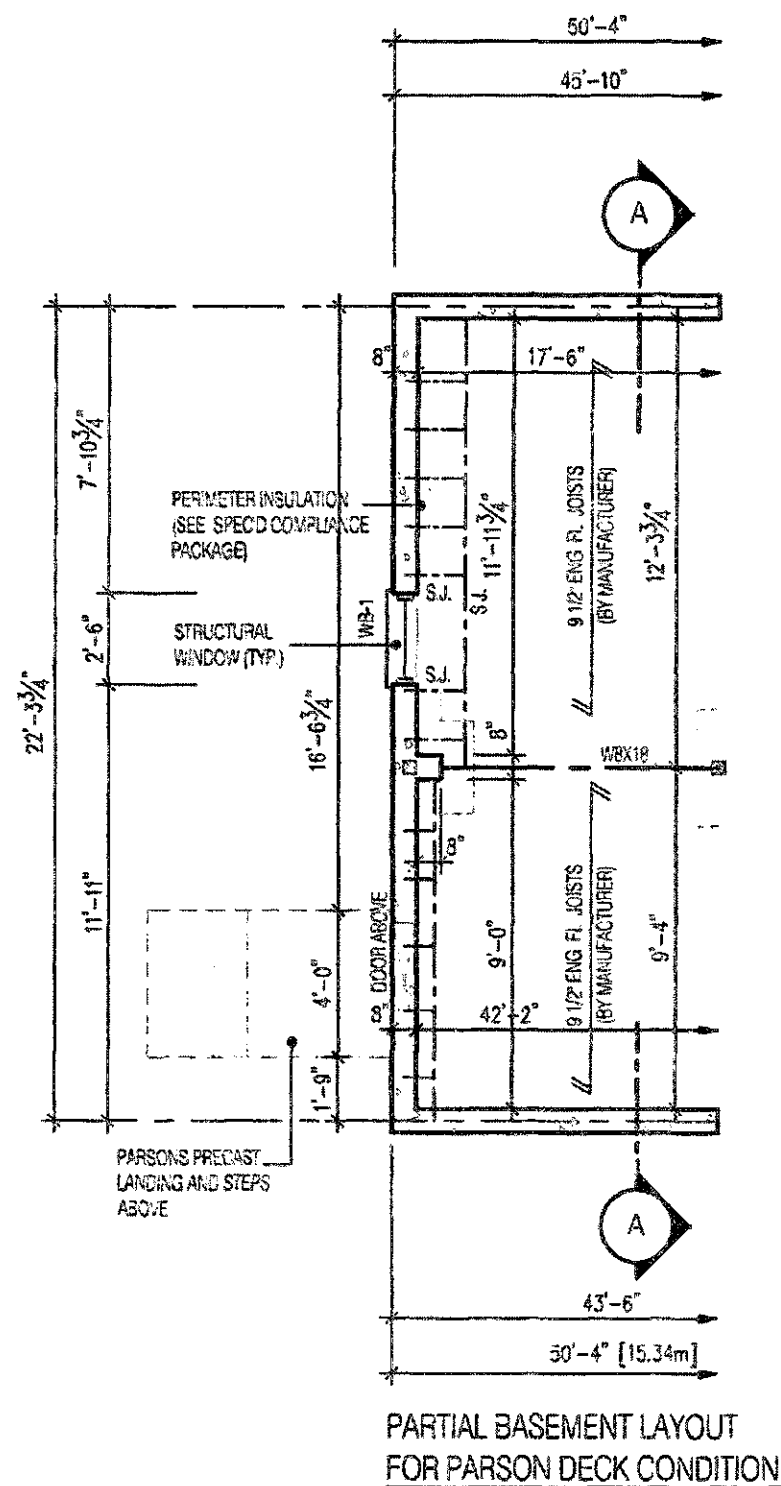
jardin design group inc. 27763
FIRM NAME BON

FRONT ELEVATIONS
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD

18-18 4

NOTE:
SUBFLOOR TO BE 3/4" OSB ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL



NOTE:
SUBFLOOR TO BE 5/8" OSB ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

NOTE: REFER TO SHEET NO. 0-1 FOR LINTEL BEAMS AND DOOR SIZE	NOTE: SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL LEGEND: BUILDING FACE < THAN 4'0" (1.2m) (45 MIN. FIRE RATING REQ'D) INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE STL. PLATE FOR STEEL COLN ABOVE LAMINATED VENEER LUMBER S.J. SINGLE JOIST D.J. DOUBLE JOIST T.J. TRIPLE JOIST REPEAT NOTE SHOWER WEEPERS
NOTE: SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7"; 2 ROWS FOR SPANS GREATER THAN 7'	
NOTE: THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.	



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Caledon.

2007
TOWNHOUSE
HORIZON 2
ELEVATION 1 & 2
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. BEFORE COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED, HEIGHTS MUST BE VERIFIED PRIOR TO RAISING ROOFING.

JARDIN DESIGN GROUP INC. HAS NOT RETAINED TO CARRY OUT GENERAL SURVEY OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE PROVIDED BY JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

No.	DATE	WORK DESCRIPTION
7		
6		
5		
4		
3		
2	DEC 13, 2018	ISSUED FOR BUILDING PERMIT
1	JULY 24, 2018	CAME FROM SECOND DRAWS (17-41)

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Walter Boffert 21031
NAME SIGNATURE BCIN

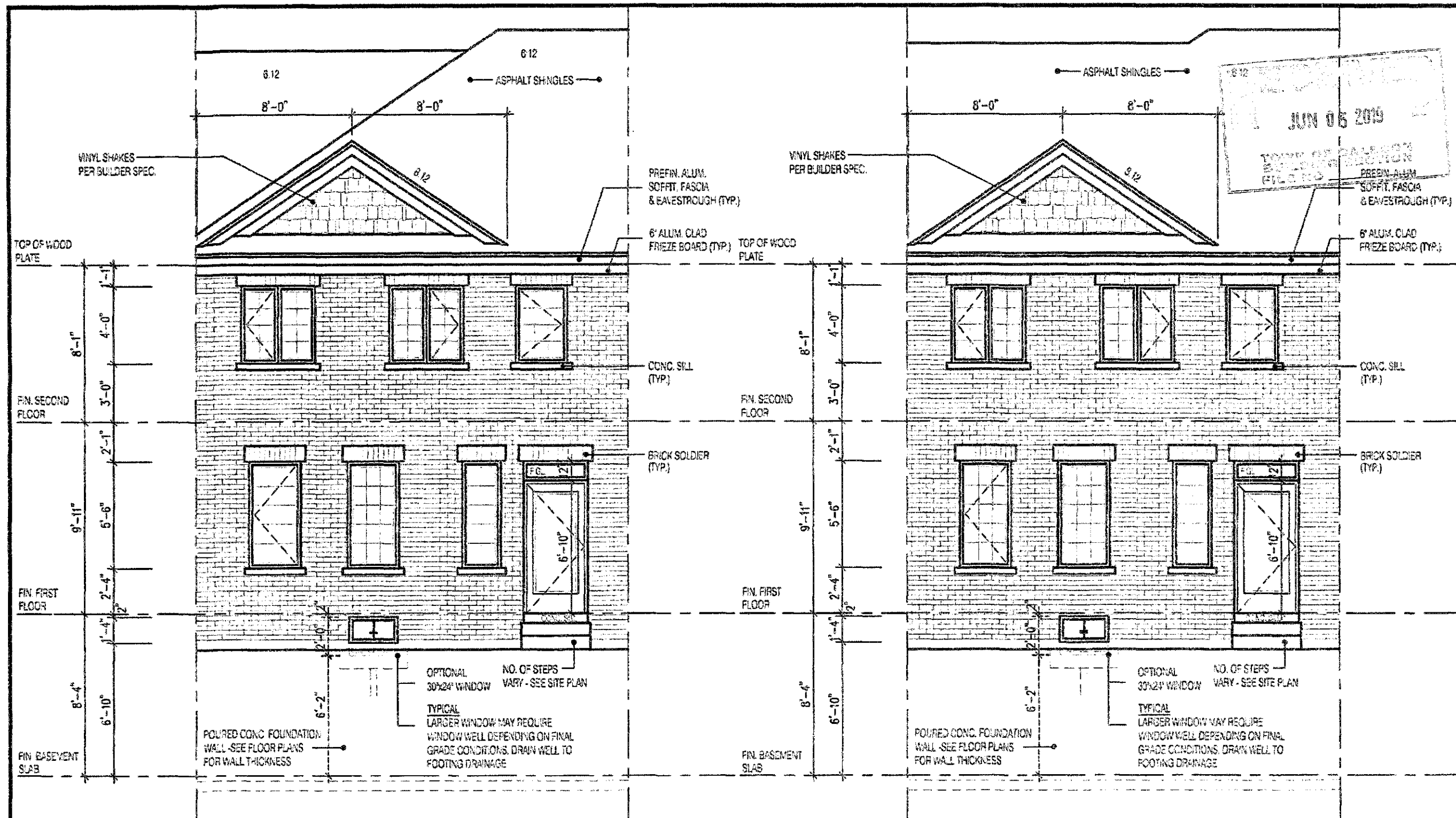
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 1.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

DECK CONDITION
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD
MODEL: ---
SCALE: 3/16 = 1'-0"
PRJ. No. 18-18
SIT. No. 3-1

FEB 06 2019



**HORIZON 2
REAR ELEV-1
TH 96-2**

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

**HORIZON 2
REAR ELEV-1
TH 96-3**

FEB 06 2019

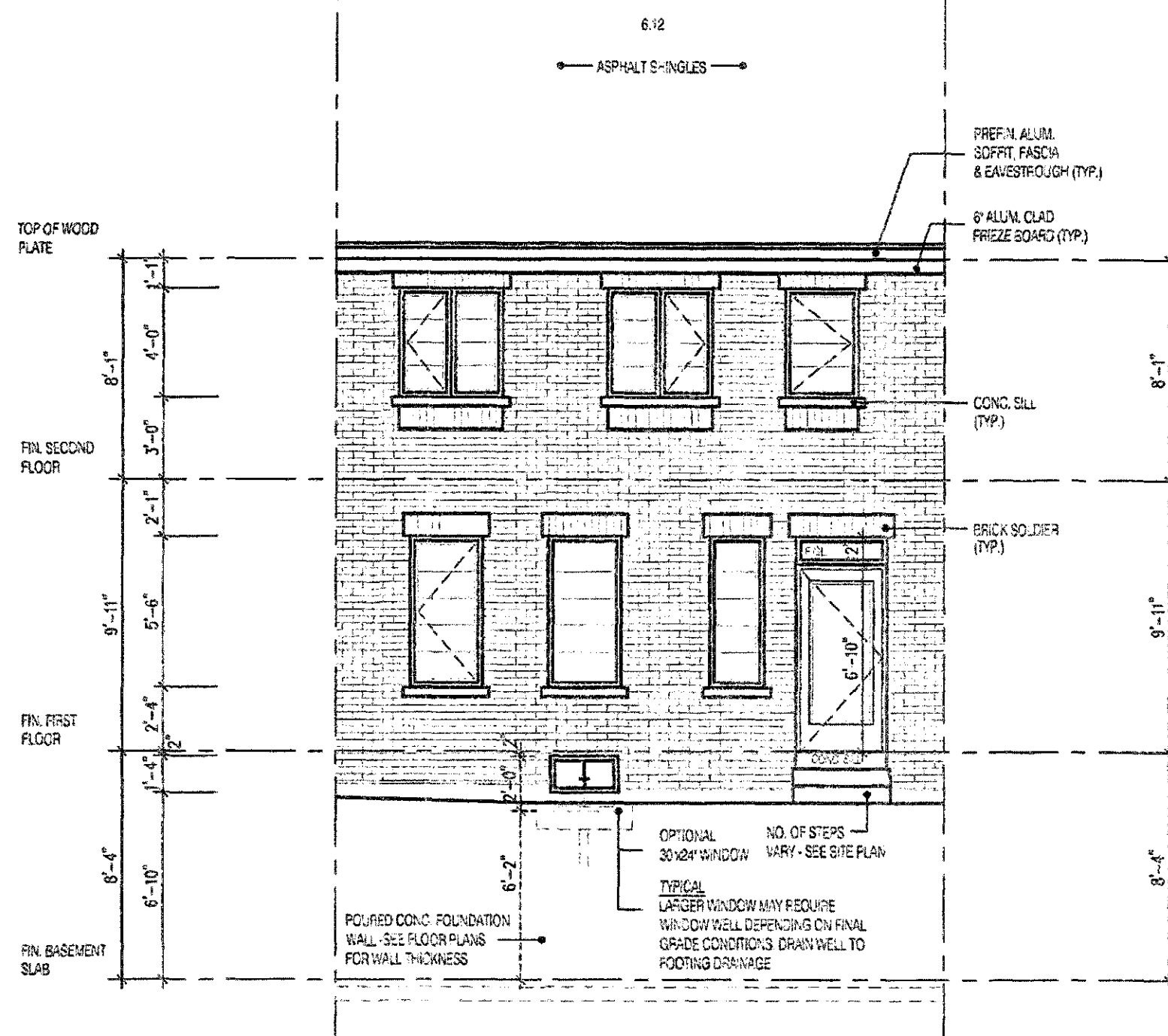
NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Central Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Caledon.

APPROVED BY: [Signature]
DATE: [Blank]
TOWN OF CALEDON
[Stamp]

2007	
TOWNHOUSE	
HORIZON 2	
ELEVATION 1	
ENERGY STAR	
O.REG. 332/12	
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP NO. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION PROVIDED HEREON. THESE SERVICES ARE FOR INFORMATION ONLY AND ARE NOT TO BE USED FOR THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK. AS CONSTRUCTED, INTERIORS MUST BE VERIFIED TO MATCH TO FOUNDATION FOOTINGS. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.	
7	
6	
5	
4	
3	
2	DEC. 13, 2018 ISSUED FOR BUILDING PERMIT
1	JULY 24, 2018 CAME FROM SECONDO VALES 17-41
No.	DATE: WORK DESCRIPTION
jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN, ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.	
NAME	Walter Botter 21031
SIGNATURE	[Signature]
BCIN	
REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.	
NAME	jardin design group inc. 27763
SIGNATURE	[Signature]
BCIN	
REAR ELEVATIONS	
LAMBERTS LANE PHASE 2	
TOWN OF CALEDON	
MODEL	---
SCALE	3/16" = 1'-0"
PROJ. No.	18-18
DWG. No.	5



THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

HORIZON 2
REAR ELEV-2
TH 95-3
TH 95-2

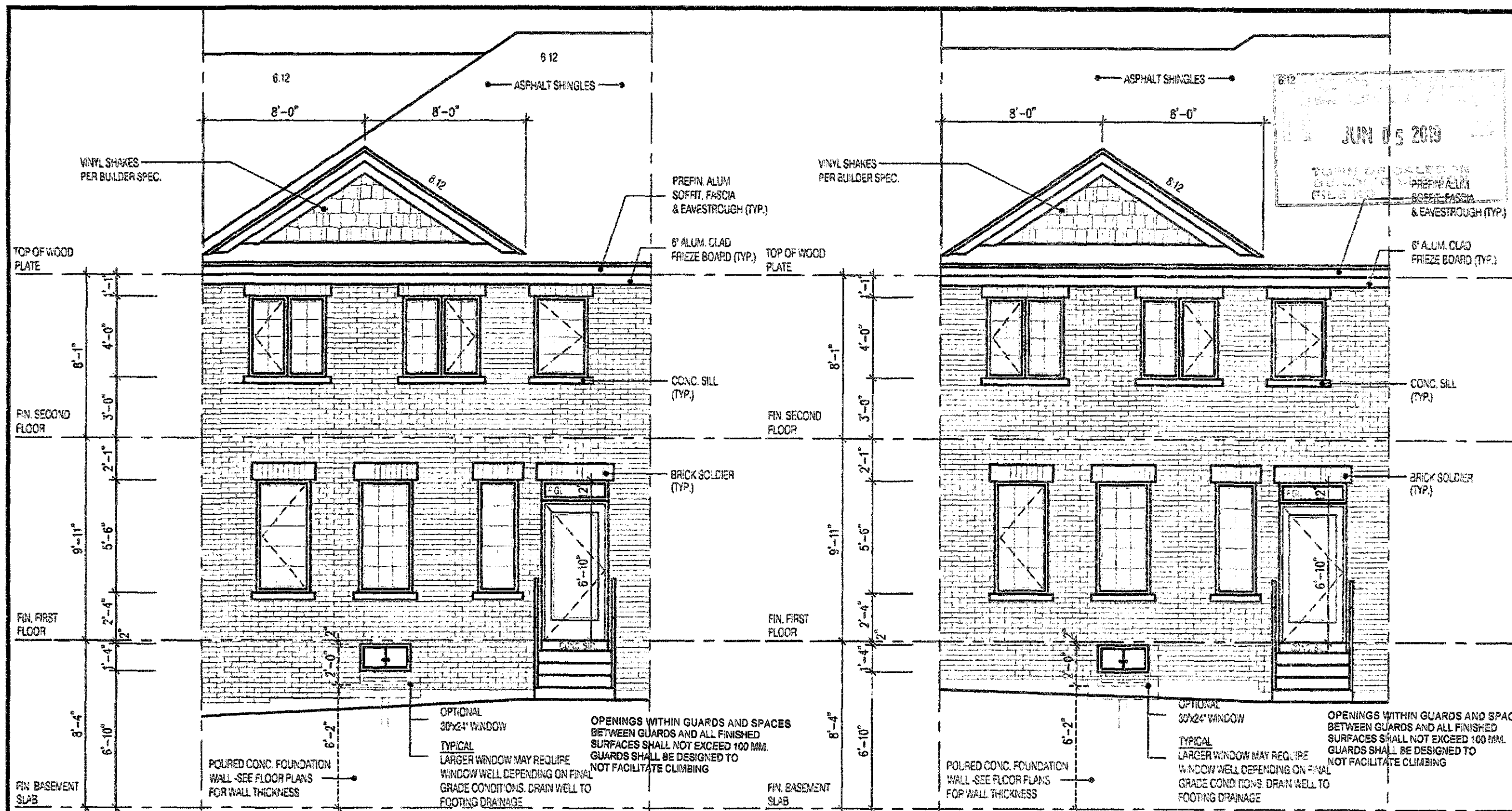
FEB 06 2019

NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

2007	
TOWNHOUSE	
HORIZON 2	
ELEVATION 2	
ENERGY STAR	
O.REG. 332/12	
THE CONTRACTOR SHALL CHECK AND CARRY ALL OVERGROUND AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.	
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.	
AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.	
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.	
THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED TO BE-ONE IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.	
7	
6	
5	
4	
3	
2	DEC 13, 2018 ISSUED FOR BUILDING PERMIT
1	JULY 24, 2018 CAME FROM SECOND DRAWS 17-41
No.	DATE: WORK DESCRIPTION:
jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	
QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code.	
Walter Botter	21031
NAME	SIGNATURE BCIN
REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code.	
jardin design group inc.	27763
FIRM NAME	BCIN
REAR ELEVATIONS	
LAMBERTS LANE PHASE 2	
TOWN OF CALEDON	
MODEL	
SCALE 3/16" = 1'-0"	
PROJ. No.	DWG No.
18-18	5A



2007
TOWNHOUSE
HORIZON 2
ELEVATION 1
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK. AS CONSTRUCTED DETAILS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO COMPLY WITH THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY JDC IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

7		
6		
5		
4		
3		
2	DEC. 13, 2018	ISSUED FOR BUILDING PERMIT
1	JULY 24, 2018	CAME FROM SECONDO VALES 17-41

No. DATE WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botten *WBe* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

DECK CONDITION
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD

MODEL
SCALE 3/16" = 1'-0"
PROJ. NO. 18-18 DWG. NO. 5-1

HORIZON 2
REAR ELEV-1
TH 96-2

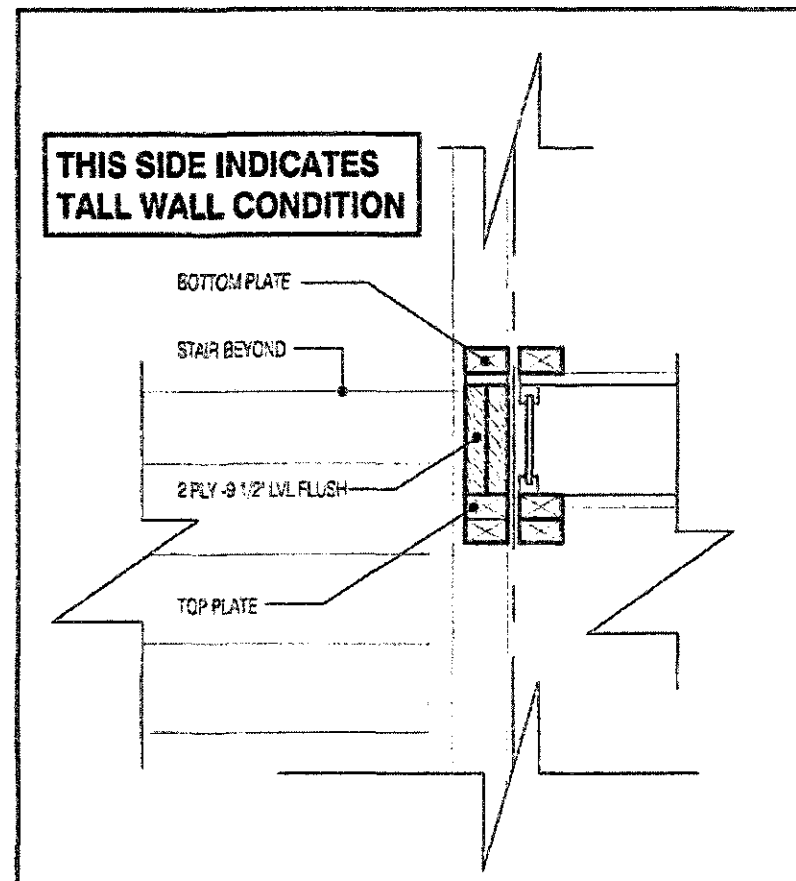
HORIZON 2
REAR ELEV-1
TH 96-3

NOTE:
WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.
(FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)

FEB 06 2019

NOTE:
ELEVATIONS MAY VARY. REFER TO STREETSCAPES AND BLOCK PLANS FOR EXACT UNIT DETAILS AND GRADING.

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE



B TALL WALL FRAMING

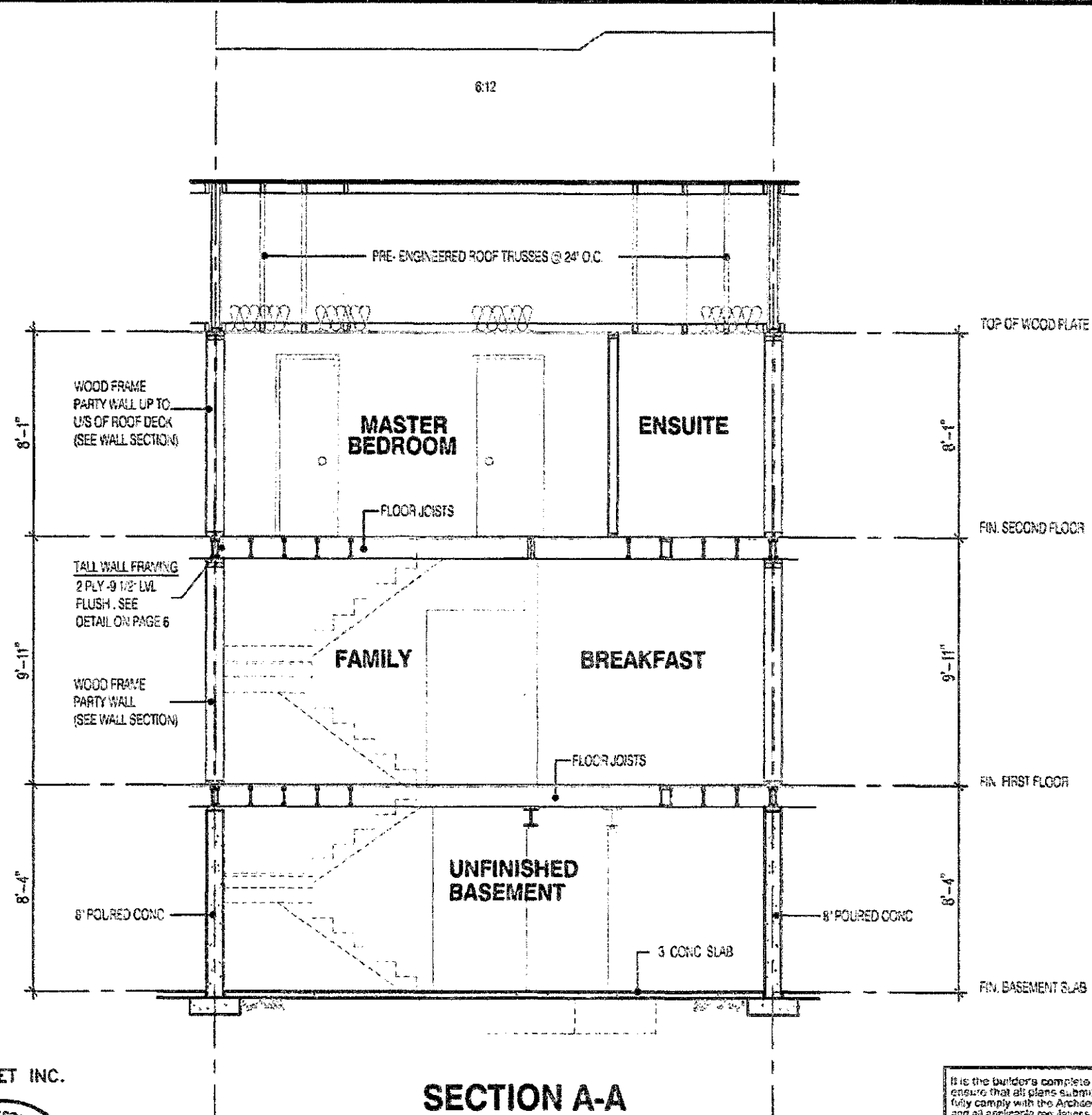
N.T.S.

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

STRUDET INC.



FOR STRUCTURE ONLY



SECTION A-A

MINIMUM CEILING HEIGHT SHALL BE 2100 MM
OVER AT LEAST 70% OF BASEMENT
AREA EXCEPT THAT UNDER BEAMS AND
DUCTS THE CLEARANCE IS PERMITTED TO
BE REDUCED 1950 MM

FEB 06 2019

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The General Architect is not responsible in any way for examining or approving site (plot) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

2007	
TOWNHOUSE	
HORIZON 2	
ELEVATION 1 & 2	
ENERGY STAR	
O.REG. 332/12	
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR FINISHING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK. AS CONSTRUCTED, INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR'S SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.	
7	
6	
5	
4	
3	
2	DEC. 13, 2016 ISSUED FOR BUILDING PERMIT
1	JULY 24, 2018 CAME FROM SECONDO VALES 17-41
No.	DATE WORK DESCRIPTION
jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL. 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.3 of the building code. Walter Botter <i>Walter Botter</i> 21031 NAME SIGNATURE BCIN REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code. Jardin design group inc. 27763 FIRM NAME BCIN	
SECTION	
LAMBERTS LANE PHASE 2	
TOWN OF CALEDON	
MODEL --- SCALE 3/16" = 1'-0" PROJ. NO. 18-18 DWG. NO. 6	

FOR GAS METER BOX INSTALLATION
REFER ALSO TO ENBRIDGE GAS UTILITIES
DRAWINGS & SPECIFICATIONS

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

COLUMN PER BUILDER SPEC.
PRECAST CONCRETE COPING

MASONRY VENEER

5'-0"
3'-4"
T/O GAS METER BOX
FIN. FIRST FLOOR
AS PER GRADING
CONNECTION
T/O FOUNDATION
FIN. GRADE
LINE OF FOUNDATION WALL

CUT 2" PVC CONDUIT FLUSH W/
FOUNDATION WALL
45 DEGREE STANDARD ELBOW
SLEEVE BY OTHERS

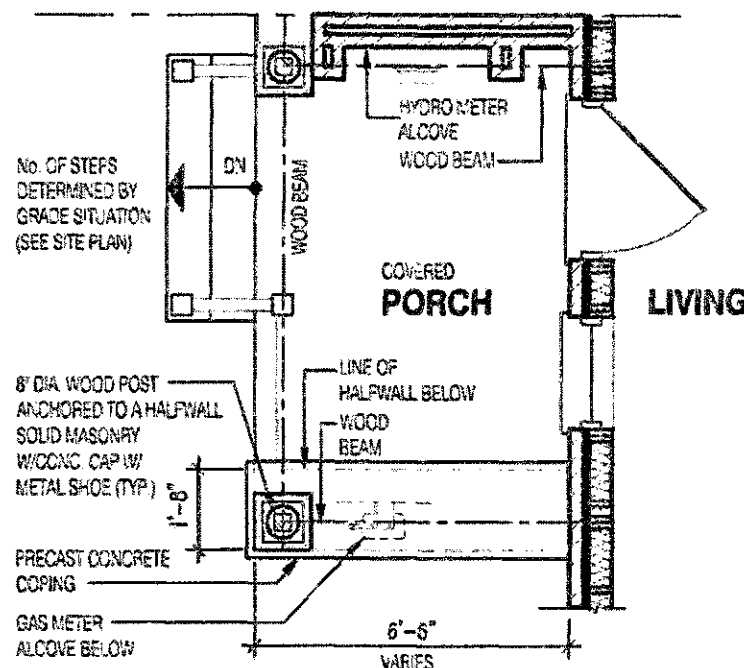
FIN. BASEMENT SLAB

1'-0" MINIMUM HORIZONTAL DIFFERENCE
FROM OTHER SERVICE PIPES

ELEVATION OF RECESSED WALL FOR GAS
METER AT PORCH

Scale: 3/8" = 1'-0"

D-1



PLAN OF RECESSED WALL FOR
GAS METER AT PORCH

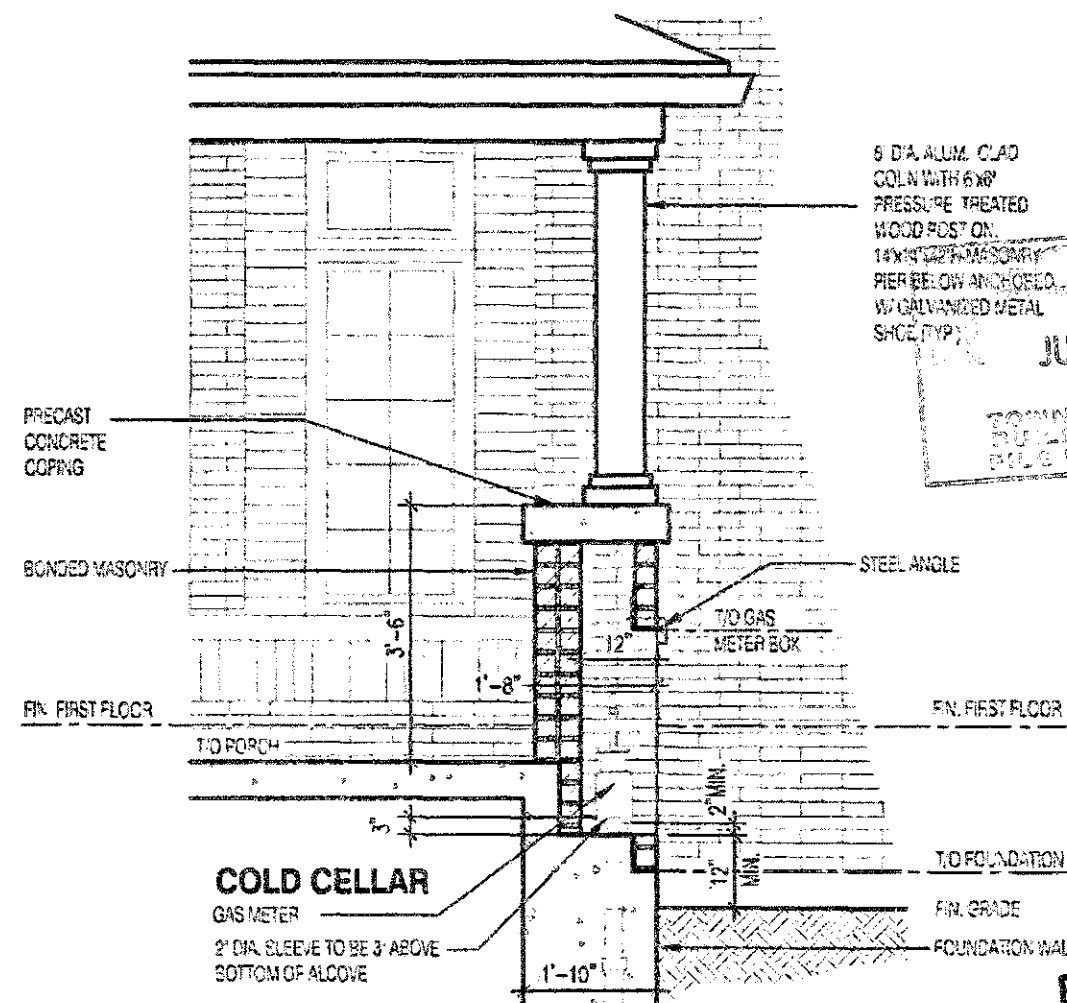
Scale: 1/4" = 1'-0"

D-2

SECTION OF RECESSED WALL FOR
GAS METER BY AT PORCH

Scale: 1/4" = 1'-0"

D-3



SECTION OF RECESSED WALL FOR GAS METER AT PORCH

Scale: 3/8" = 1'-0"

D-4

2007
TOWNHOUSE
HORIZON 2
ELEVATION 1 & 2
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND
CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.
ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP
INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY
OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON
THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE
ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE
ENGINEERING DRAWINGS FOR ALL PROJECTS AND WITH WORK.
ALL CONSTRUCTION IN THIS AREA MUST BE VERIFIED PRIOR TO POURING
FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO OBTAIN A
GENERAL REVIEW OF THE WORK AND AS SUCH, NO RESPONSIBILITY
FOR THE FAILURE OF THE CONSTRUCTION OR SUB CONTRACTOR TO
OBTAIN THE WORK IN ACCORDANCE WITH THE CONTRACT
DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT
TO BE REPRODUCED.

7	
6	
5	
4	
3	
2	
1	DEC 13, 2018 ISSUED FOR BUILDING PERMIT

No. DATE WORK DESCRIPTION

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.5 of the building code.

Waiter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

GAS METER DETAIL
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL
SCALE AS NOTED
PROJ. No. 18-18
DWG. No. 7

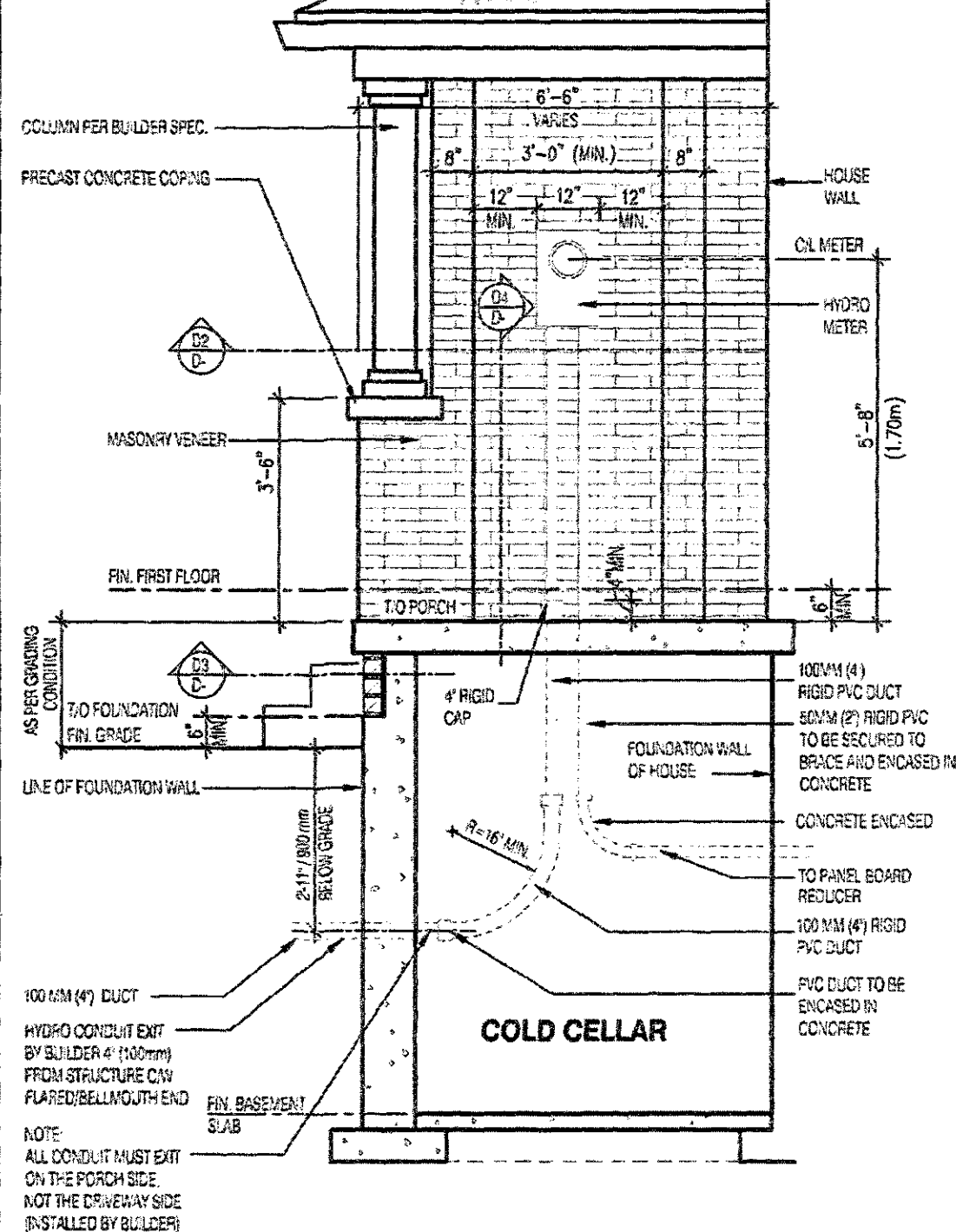
FEB 06 2019

NOTE:

1. METER BASES TO BE SURFACE MOUNTED
2. REFER TO DU-03-209.2 DETAIL 3 FOR CAP DETAIL
3. REFER TO DU-03-209.2 & DU-03-209.0500 FOR ADDITIONAL INSTALLATION OF PVC BEYOND FOUNDATION WALL
4. RIGID PVC TRAVELING THROUGH COLD CELLAR SHOULD BE ENCASED IN CONCRETE.

FOR HYDRO METER BOX INSTALLATION
ALSO REFER TO HYDRO ONE
DU-03-209.2 AND DU-03-209.0500
DRAWINGS & SPECIFICATIONS

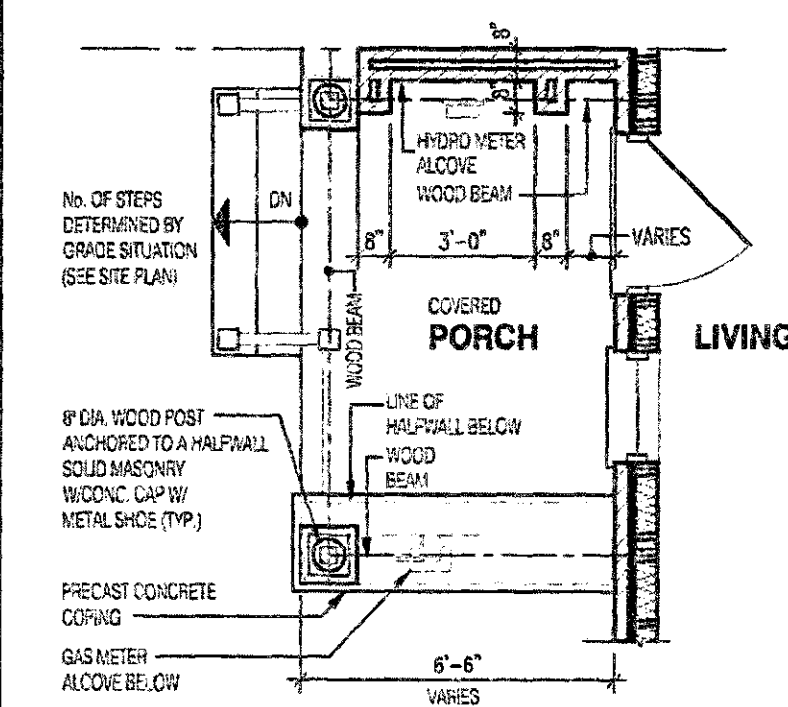
THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE



**ELEVATION OF RECESSED WALL FOR HYDRO
METER AT PORCH**

Scale: 3/8" = 1'-0"

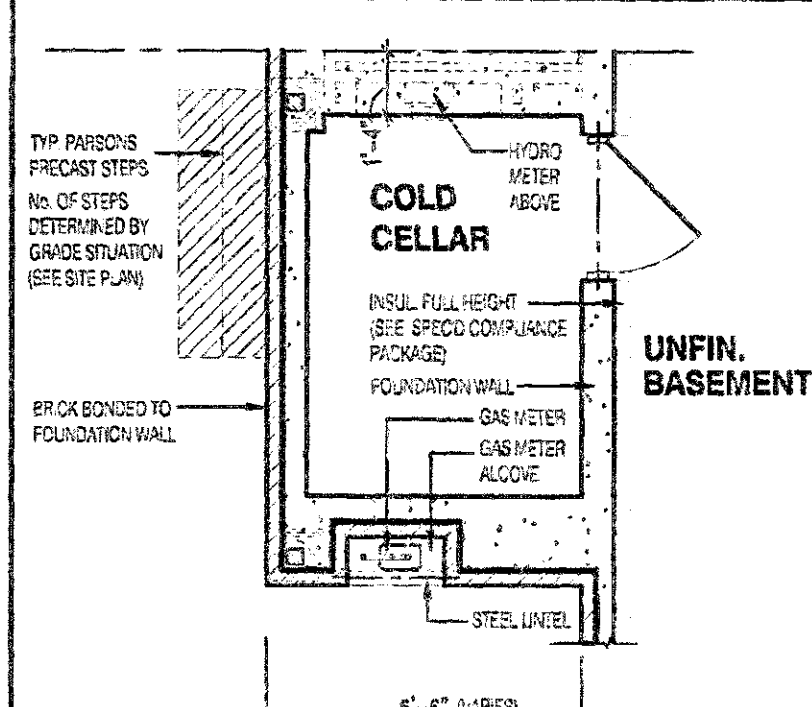
D-1



**PLAN OF RECESSED WALL FOR
HYDRO METER AT PORCH**

Scale: 1/4" = 1'-0"

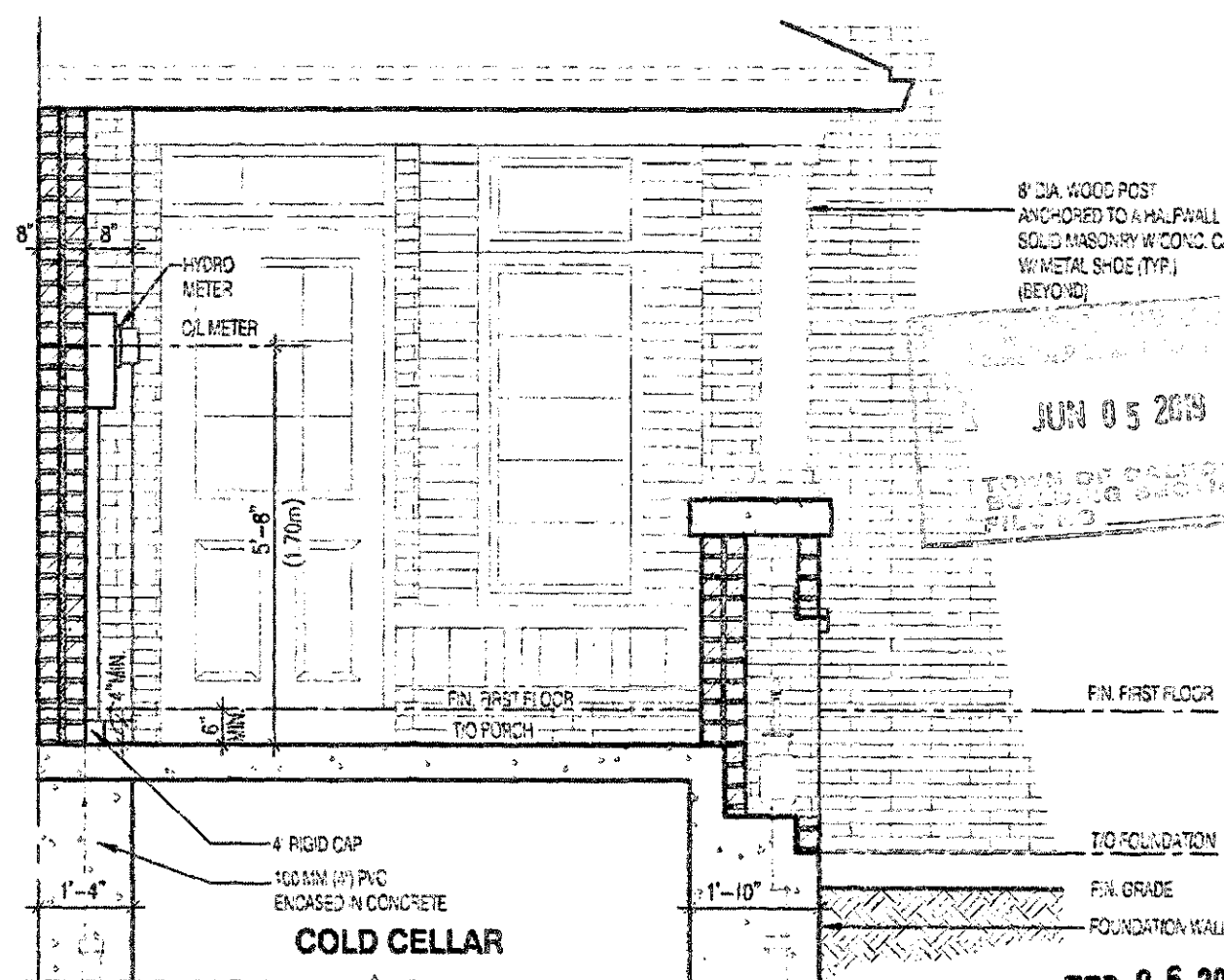
D-2



**SECTION OF RECESSED WALL FOR HYDRO
METER BY AT PORCH**

Scale: 1/4" = 1'-0"

D-3



SECTION OF RECESSED WALL FOR HYDRO METER AT PORCH

Scale: 3/8" = 1'-0"

D-4

**2007
TOWNHOUSE
HORIZON 2
ELEVATION 1 & 2
ENERGY STAR
O.REG. 332/12**

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION OF THE PROJECT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. SEE ALSO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED DIMENSIONS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CONDUCT A GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO COMPLY WITH THE WORKMANSHIP REQUIREMENTS OF THE CONTRACT DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PREPARED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

7
6
5
4
3
2
1 DEC 13, 2018 ISSUED FOR BUILDING PERMIT

No. DATE WORK DESCRIPTION

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code.

Walter Batten *WBe* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the Building Code.

jardin design group inc. 27763
FIRM NAME BCIN

HYDRO METER DETAIL
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD
MODEL
SCALE AS NOTED
PROJ. No. 18-18
DWG. No. 8