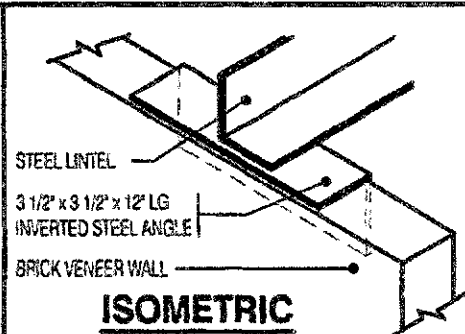


SECTION



ISOMETRIC

INVERTED STEEL ANGLE DETAIL

Scale: 3/4" = 1'-0"

CERTIFIED MODEL
PRE-APPROVED
FOR PERMIT APPLICATION AS PER THE
ONTARIO BUILDING CODE
TOWN OF CALEDON BUILDING DIVISION

REVIEWED BY *J. SNELL*
DATE *JULY 25/19*
FILE # *HORIZON 1 - ELEV 1*

OPT. DECK

NOTE:

WHEN VENEER CUT IS GREATER THAN 26" A 10' POURED CONC. FOUNDATION WALL IS REQUIRED.

NOTE:

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

BRICK VENEER LINTELS:

WL1 = 3'12" x 3'12" x 1'4" (80x90x6) + 2'-2" x 8" SPR.
WL2 = 4' x 3'12" x 5'16" (100x90x6) + 2'-2" x 8" SPR.
WL3 = 5' x 3'12" x 5'16" (125x90x6) + 2'-2" x 10" SPR.
WL4 = 6' x 3'12" x 3'8" (150x90x10) + 2'-2" x 12" SPR.
WL5 = 6' x 4' x 3'8" (130x100x10) + 2'-2" x 12" SPR.
WL6 = 5' x 3'12" x 5'16" (125x90x6) + 2'-2" x 12" SPR.
WL7 = 5' x 3'12" x 5'16" (125x90x6) + 3'-2" x 10" SPR.
WL8 = 5' x 3'12" x 5'16" (125x90x6) + 3'-2" x 12" SPR.
WL9 = 6' x 4' x 3'8" (150x100x10) + 3'-2" x 12" SPR.

WOOD LINTELS:

WB1 = 2'-2" x 8" SPRUCE BEAM
WB2 = 3'-2" x 8" SPRUCE BEAM
WB3 = 2'-2" x 10" SPRUCE BEAM
WB4 = 3'-2" x 10" SPRUCE BEAM
WB5 = 2'-2" x 12" SPRUCE BEAM
WB6 = 3'-2" x 12" SPRUCE BEAM
WB7 = 5'-2" x 12" SPRUCE BEAM
WB10 = 4'-2" x 8" SPRUCE BEAM
WB11 = 4'-2" x 10" SPRUCE BEAM

STEEL LINTELS:

L1 = 3'12" x 3'12" x 1'4" (80 x 90 x 6)
L2 = 4' x 3'12" x 5'16" (100 x 90 x 6)
L3 = 5' x 3'12" x 5'16" (125 x 90 x 6)
L4 = 6' x 3'12" x 3'8" (150 x 90 x 10)
L5 = 6' x 4' x 3'8" (150 x 100 x 10)
L6 = 7' x 4' x 3'8" (160 x 100 x 10)

LAMINATED VENEER LUMBER (LVL BEAMS)

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)



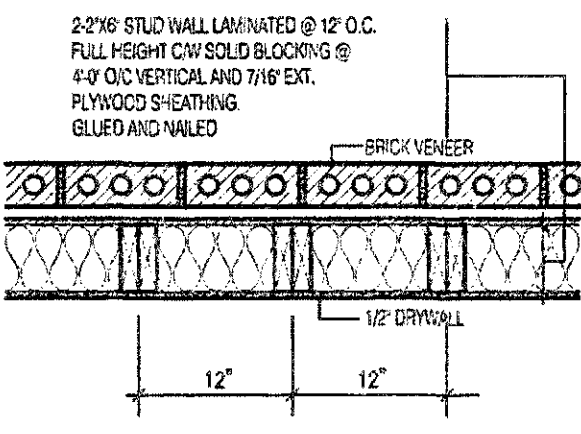
ALL ELECTRICAL INSTALLATIONS
MUST BE INSPECTED BY THE
ELECTRICAL SAFETY AUTHORITY
SEPARATE INSPECTION
APPLICATIONS MUST BE FILED
FOR MORE INFORMATION PLEASE CALL
ELECTRICAL SAFETY AUTHORITY
1-877-ESA-SAFE (373-7233)
PLUG IN SAFELY. HIRE A LICENSED
ELECTRICAL CONTRACTOR
FIND A CONTRACTOR AT
www.plugin safely.ca

DOOR SCHEDULE:

- 1 = 2'-10" x 6'-8" INSULATED ENTRANCE DOOR
- 1A = 2'-8" x 6'-8" INSULATED ENTRANCE DOOR
- 2 = 2'-8" x 6'-8" EXTERIOR GLAZED DOOR
- 3 = 2'-8" x 6'-8" SLAB DOOR (1 3/4" EXTERIOR)
- 4 = 2'-8" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
- 5 = 2'-8" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
- 6 = 2'-2" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
- 7 = 1'-6" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
- 8 = 2'-6" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
- 9 = 3'-0" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
- 10 = 2'-2'-0" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
- 11 = 2'-2'-6" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
- 12 = 2'-6" x 6'-8" FRENCH DOOR (1 3/8" INTERIOR)

A COMPLETE SET OF REVIEWED DRAWINGS &
SPECIFICATIONS MUST BE KEPT ON SITE AT ALL TIME
DURING CONSTRUCTION AS PER O.B.C.

**BUILDING INSPECTOR IS REQUIRED TO BE ON SITE
FOR ALL MANDATORY INSPECTIONS. REFER TO
ATTACHED BUILDING PERMIT FOR DETAILS**



FULL HEIGHT WALL DETAIL 1

WITH BRICK VENEER

N.T.S.

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 8'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

HORIZON 1		ENERGY EFFICIENCY- ENERGY STAR	
ELEVATION	WALL FT ²	OPENING FT ²	PERCENTAGE
FRONT	480.00	90.00	19.57 %
LEFT SIDE	628.00	0.00	0.00 %
RIGHT SIDE	828.00	0.00	0.00 %
REAR	443.00	168.00	24.38 %
TOTAL	2359.00	198.00	7.74 %

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m)
(45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED
OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

FEB 06 2019

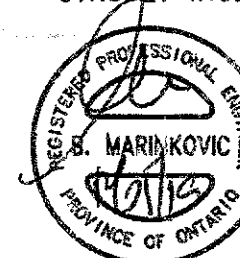
THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND
EQUIPMENT SHALL CONFORM TO THE FOLLOWING

ENERGY STAR V-17

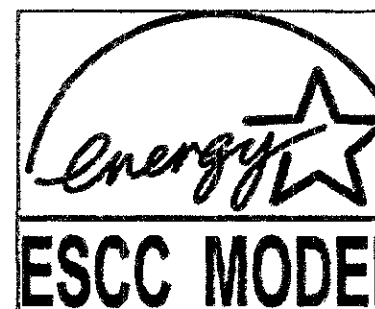
COMPONENT	NOTE
CEILING WITH ATTIC SPACE	10.56
MINIMUM RSI (R) VALUE	(R60)
CEILING WITHOUT ATTIC SPACE	5.46
MINIMUM RSI (R) VALUE	(R31)
EXPOSE FLOOR	5.46
MINIMUM RSI (R) VALUE	(R31)
WALLS ABOVE GRADE	4.75
MINIMUM RSI (R) VALUE	(R22+R5)
BASEMENT WALLS	3.52
MINIMUM RSI (R) VALUE	(R20 BLANKET)
EDGE OF BELOW GRADE SLAB < 600mm BELOW GRADE	1.76
MINIMUM RSI (R) VALUE	(R10)
SLAB < 600mm BELOW GRADE	1.76
MINIMUM RSI (R) VALUE	(R10)
WINDOWS & SLIDING GLASS DOORS	ENERGY STAR ® ZONE 2 (ER 20/LV 1.4)
MAXIMUM U-VALUE	
SPACE HEATING EQUIPMENT	MIN. 96% AFUE
MINIMUM AFUE	
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HRV	TIER 2 75% SRE ENERGY STAR ® HRV TO BE
MINIMUM EFFICIENCY	INTERCONNECTED TO THE FURNACE FAN MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/AIR
HOT WATER TANK	CONDENSING HOT WATER TANK 80% TE ENVIRONMENT
DRAIN WATER HEAT RECOVERY	TWO SHOWERS > 42% STEADY R3-42 OR TD342
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (2.5 ACH/0.18 NLPI) ATTACHED LEVEL 1 (3.0 ACH/0.26 NLPI)
DUCT SEALING	ALL SUPPLY DUCTS AND 1 m OF RETURN DUCTS
LIGHTS	75% CFLs OR LEDs

AREA CALCULATIONS		EL-1
GROUND FLOOR AREA	=	910 Sq. Ft.
SECOND FLOOR AREA	=	917 Sq. Ft.
TOTAL FLOOR AREA	=	1827 Sq. Ft.
ADD OPEN AREAS	=	0 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	1827 Sq. Ft.
GROUND FLOOR COVERAGE	=	910 Sq. Ft.
GARAGE COVERAGE / AREA	=	412 Sq. Ft.
PORCH COVERAGE / AREA	=	87 Sq. Ft.
COVERAGE W/ PORCH	=	1409 Sq. Ft.
COVERAGE W/O PORCH	=	1322 Sq. Ft.
	=	122.8 Sq. m.

STRUDET INC.



FOR STRUCTURE ONLY



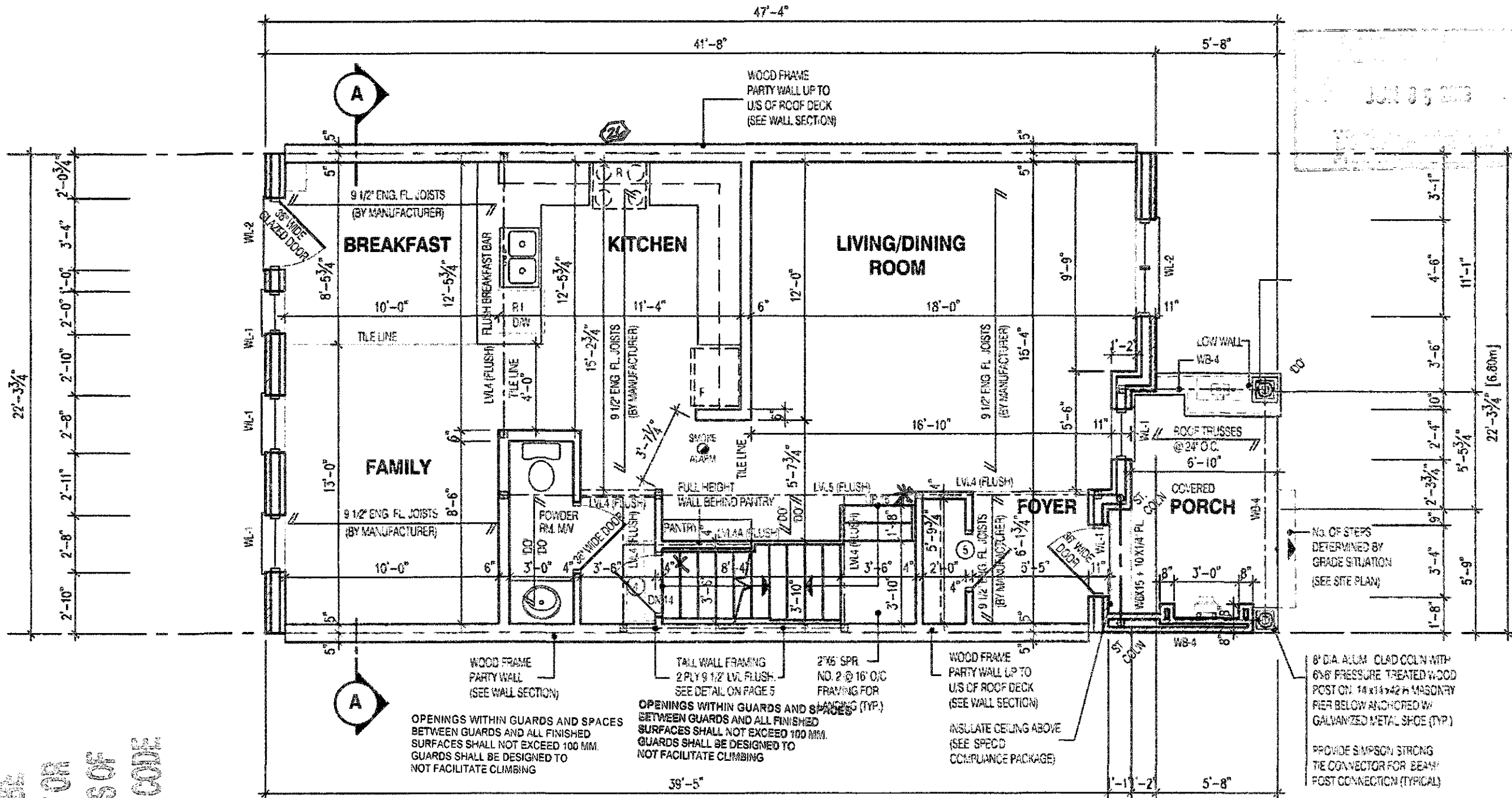
ENERGY STAR - V 17

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving any (existing) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

1827	
TOWNHOUSE	
HORIZON 1	
ELEVATION 1	
ENERGY STAR	
O.REG. 332/12	
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONSTRUCTIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.	
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.	
AS CONSTRUCTED INVENTS MUST BE VERIFIED PRIOR TO FILING PROPOSALS.	
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL SURVEY OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONSTRUCTION OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.	
THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.	
7	
6	
5	
4	
3	
2	DEC.13. 2018 ISSUED FOR BUILDING PERMIT
1	JULY 24, 2018 CAME FROM SECONDO VALES 17-41
No.	DATE WORK DESCRIPTION
jardin	
DESIGN GROUP INC	
64 JARDIN DR. SUITE 3A	
VAUGHAN ONT. L4K 3P3	
TEL: 905 660-3377 FAX: 905 660-3713	
EMAIL: info@jardindesign.ca	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	
QUALIFICATION INFORMATION Regulated unless design is exempt under Division C, Subsection 3.2.5 of the building code.	
Walter Botter	21031
NAME	SIGNATURE BCIN
REGISTRATION INFORMATION Regulated unless design is exempt under Division C, Subsection 3.2.4 of the building code.	
jardin design group inc.	27763
FIRM NAME	BCIN
TITLE SHEET	
LAMBERTS LANE PHASE 2	
TOWN OF CALEDON	
MODEL	
SCALE 3/16" = 1'-0"	
PROJ. No.	DWG. No.
18-18	0

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE



**HORIZON 1
ELEV-1
TH 96-4**

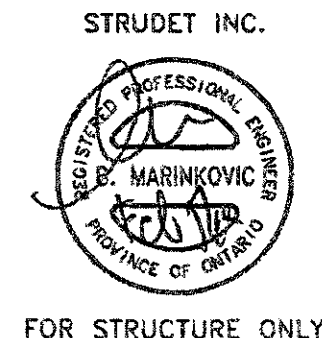
SMOKE ALARMS AND CARBON
MONOXIDE DETECTORS SHALL
CONFORM TO SUBSECTIONS
9.10.19. AND 9.33.4. OF THE
ONTARIO BUILDING CODE

- * 1-WAY SWITCH MINIMUM
CONTROLLING A LIGHT
OVER THE BASEMENT STAIRS
- * 3-WAY SWITCH CONTROLLING
A LIGHT OVER THE STAIRS

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
ROOF TRUSS DRAWINGS BY MANUFACTURER

NOTE: REFER TO SHEET NO. 0-1 FOR UNTEL. BEAMS AND DOOR SIZE	NOTE: SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL
NOTE: SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7". 2 ROWS FOR SPANS GREATER THAN 7'	NOTE: ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL
NOTE: THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.	

NOTE: SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL	LEGEND: ■ BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D) ■ INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE ■ STL. PLATE FOR STEEL COLN ABOVE ■ LAMINATED VENEER LUMBER ■ SINGLE JOIST ■ DOUBLE JOIST ■ TRIPLE JOIST ■ REPEAT NOTE ○ SHOWER WEEPERS
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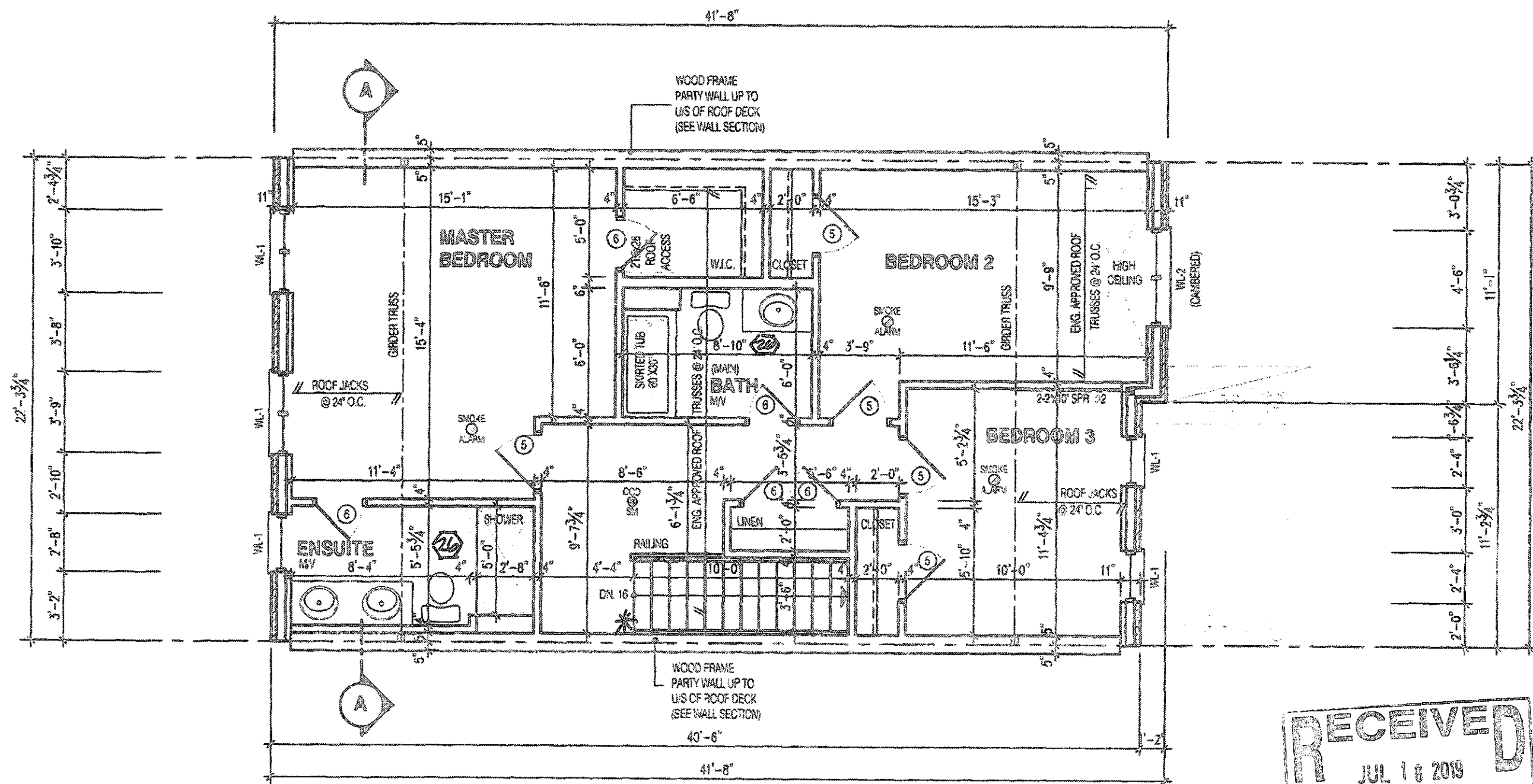


FEB 06 2019

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning bylaws and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on a lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

1827
TOWNHOUSE
HORIZON 1
ELEVATION 1
ENERGY STAR
O.REG. 332/12
THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND CONNECTIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP PAC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK. AS CONSTRUCTED, DRAWINGS MUST BE VERIFIED PRIOR TO POURING FOUNDATIONS. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR ITS SUBS TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT OCCUPANCY. THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED IN ACCORD WITH THE REQUIREMENTS OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.
7
6
5
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3
2 DEC. 13, 2018 ISSUED FOR BUILDING PERMIT
1 JULY 24, 2018 CAME FROM SECONDO VALES 17-41
No. DATE WORK DESCRIPTION:
jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code.
Walter Boffa 21037 NAME SIGNATURE BCIN
Registration Information Required unless design is exempt under Division C, Subsection 3.2.4 of the Building Code.
jardin design group inc. 27763 FIRM NAME BCIN
FIRST FLOOR PLAN LAMBERTS LANE PHASE 2 TOWN OF CALEDON
BILD
MODEL SCALE 3/16" = 1'-0" PRG. No 18-18 DWG. No 2



HORIZON 1
ELEV-1
TH 96-4

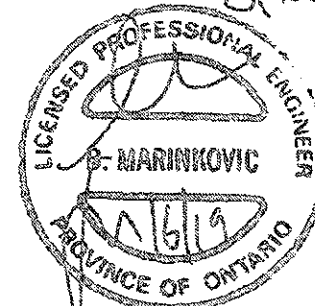
OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

SMOKE ALARMS AND CARBON
MONOXIDE DETECTORS SHALL
CONFORM TO SUBSECTIONS
9.10.19. AND 9.33.4. OF THE
ONTARIO BUILDING CODE

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH - ENGINEER APPROVED
ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH - BLOCK PLAN DRAWINGS



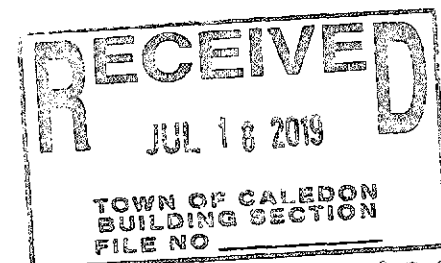
For Given by

LEGEND:

- BUILDING FACE < THAN 4" (125mm) (AS MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLUMN ABOVE
- LVL LAMINATED VENEER LUMBER
- S/J SINGLE JOIST
- D/J DOUBLE JOIST
- T/F LOST
- REPEAT NOTE
- SHOWER KEEPER

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning regulations and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for assuming or carrying out any design plans or working drawings not subject to any zoning or building code or permit restrictions that any police can so properly built or located on the lot.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
DATE: JUL 12 2019
This stamp is valid only when used in conjunction with the applicable Architectural Design Guidelines approved by the Town of Caledon.



1827
TOWNHOUSE
HORIZON 1
ELEVATION 1
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRENGTH OF EXISTING STRUCTURE, EXISTING UTILITIES OR THESE DRAWINGS FOR CONSTRUCTION. THESE DRAWINGS ARE FOR THE USE OF THE CONTRACTOR AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE PROTECTION OF EXISTING UTILITIES AND STRUCTURES. AS CONSTRUCTION PROGRESSES, THE CONTRACTOR MUST BE AWARE OF ANY CHANGES TO THE ORIGINAL DRAWINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO SUPERVISE OR CONTROL THE WORK OR TO ASSUME ANY RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO COMPLY WITH THE ABOVE CONDITIONS OR WITH THE CONTRACT DOCUMENTS.
THIS DRAWING IS THE PROPERTY OF JARDIN DESIGN GROUP INC. AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF JARDIN DESIGN GROUP INC.

No.	DATE	WORK DESCRIPTION
7		
6		
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4		
3	JULY 11, 2019	ADDED ROOF STRUCTURE PER CITY COMMENTS
2	DEC. 13, 2018	ISSUED FOR BUILDING PERMIT
1	JULY 24, 2018	CAME FROM SECOND FLOOR 17-1

Jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 1.2.3 of the Building Code.

Walter Boller 21031
NAME SIGNATURE BCN
jardin design group inc. 27763
FIRM NAME BCN

SECOND FLOOR PLAN
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD
18-18 3

**2007
TOWNHOUSE
HORIZON 1
ELEVATION 1
ENERGY STAR
O.REG. 332/12**

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT OR ENGINEER PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, GEOTECHNICAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AND TO VERIFY THE ACCURACY OF ALL INFORMATION PRIOR TO CONSTRUCTION.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR HIS CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN ORIGINAL OF THE ORIGINAL DRAWING. IT IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED OR COPIED.

7	
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3	JUNE 20, 2019 ADDED SHEET TO SET ISSUED FOR BUILDING PERMIT
2	DEC. 13, 2018 ISSUED FOR BUILDING PERMIT
1	JULY 24, 2018 CAME FROM SECONDORY VALES 17-41

No. DATE WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 1.2.5 of the building code.

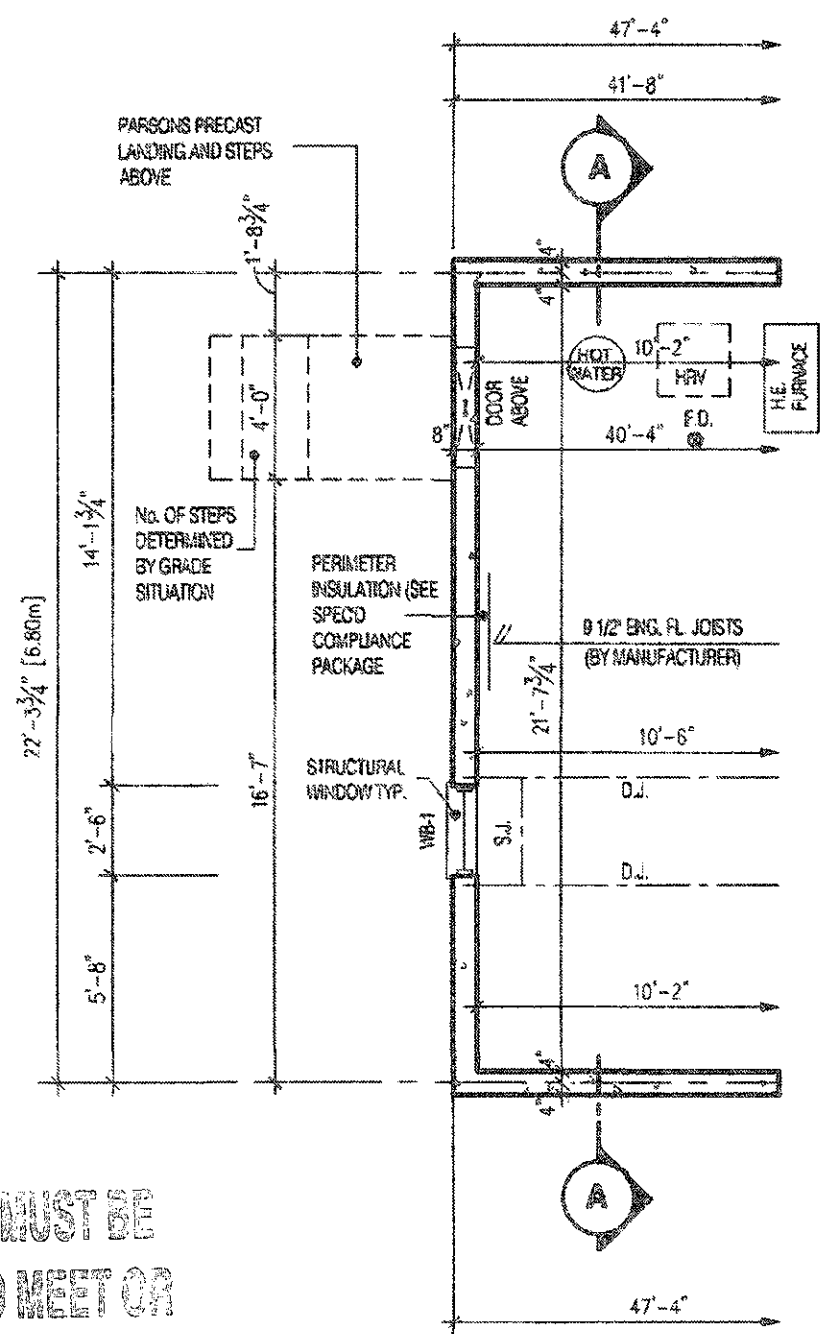
Walter Boffa 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

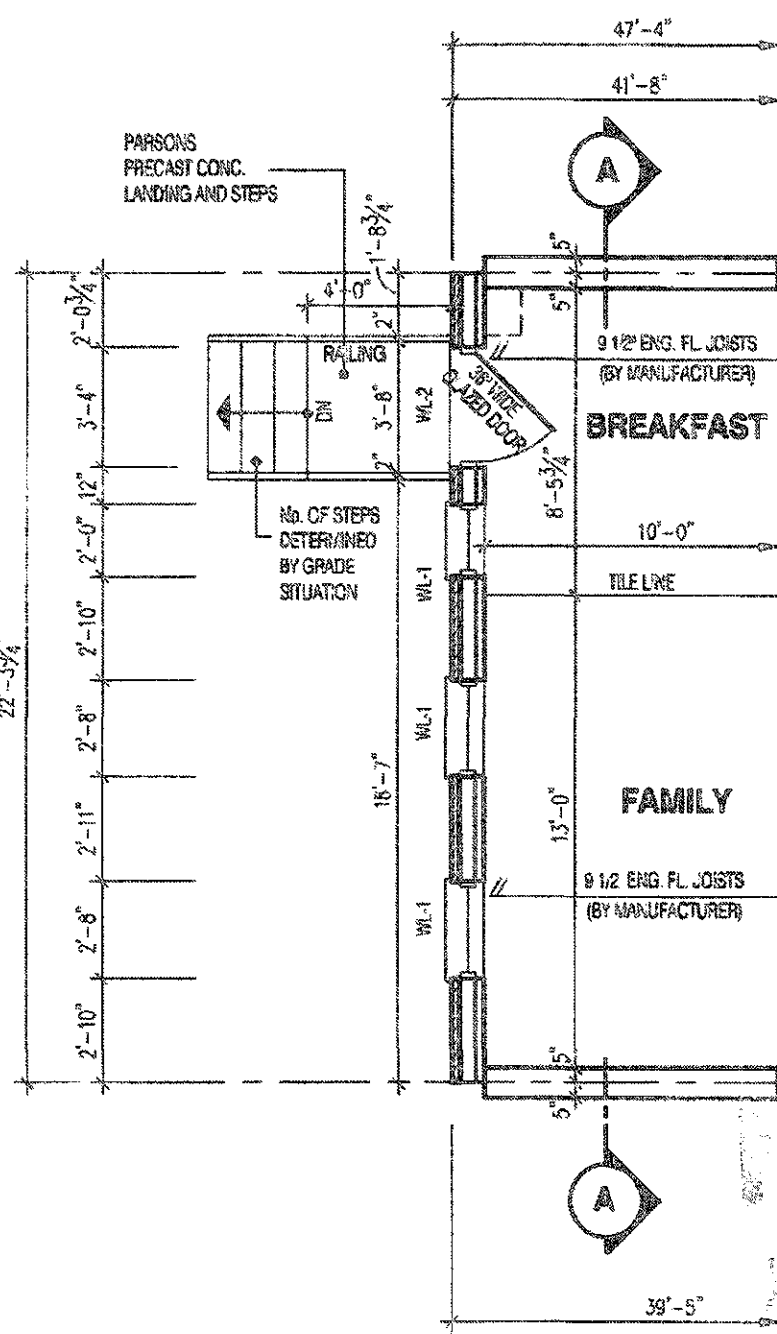
jardin design group inc. 27763
FIRM NAME BCIN

DECK CONDITION
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL: ---
SCALE: 3/16" = 1'-0"
PROJ. NO. 18-18
DWG. NO. 3-1



PARTIAL BASEMENT LAYOUT
FOR PARSON DECK CONDITION



PARTIAL FIRST FLOOR LAYOUT
FOR PARSON DECK CONDITION

NOTE:
SUBFLOOR TO BE
3/4" OSB ON
THIS LEVEL
ALL FLOORS TO BE
NAILED AND GLUED
ON THIS LEVEL

NOTE:
SUBFLOOR TO BE
5/8" OSB ON
THIS LEVEL
ALL FLOORS TO BE
NAILED AND GLUED
ON THIS LEVEL

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

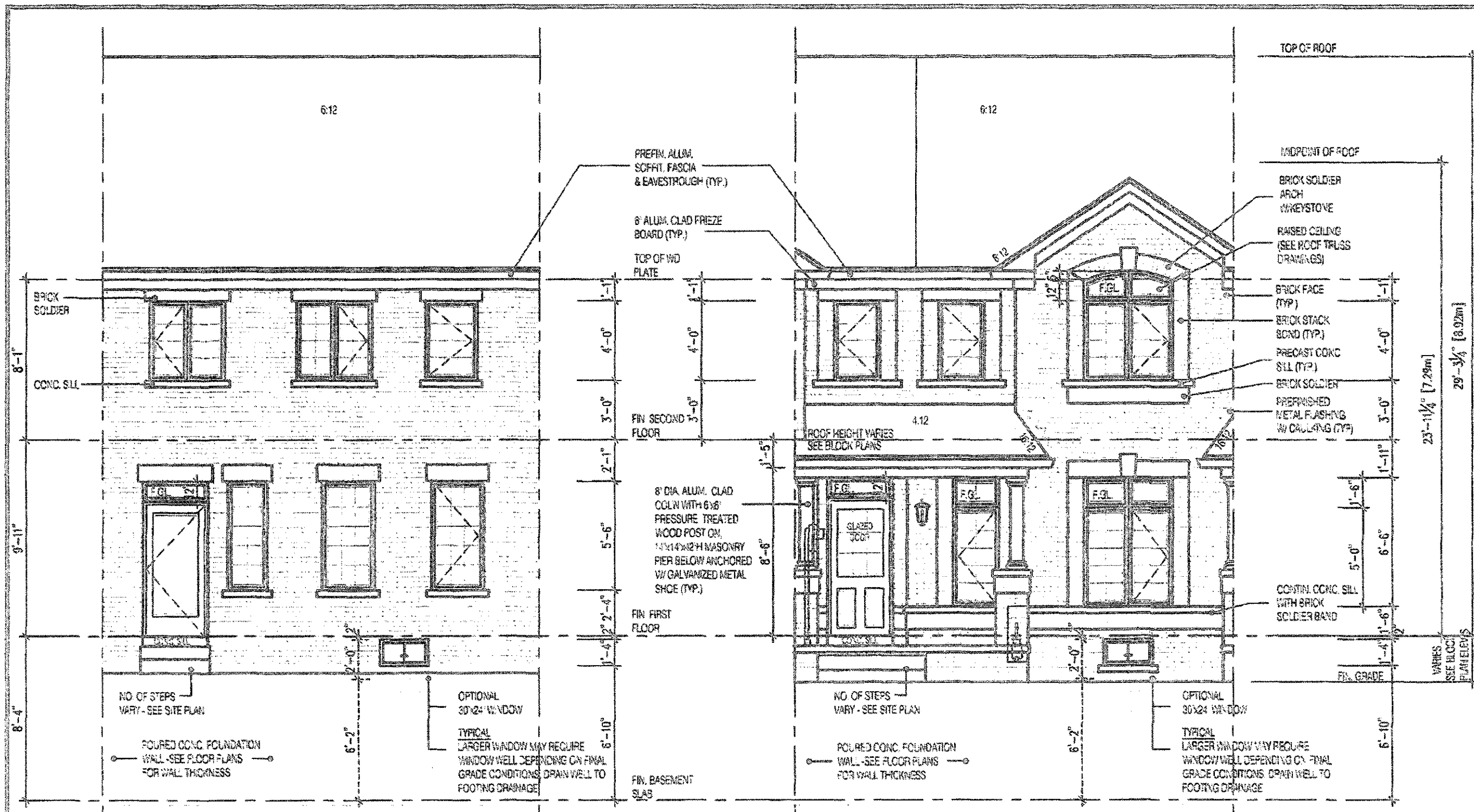
NOTE: REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE	NOTE: SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL	LEGEND: BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D) INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE STL. PLATE FOR STEEL COLN ABOVE LAMINATED VENEER LUMBER S.J. SINGLE JOIST D.J. DOUBLE JOIST T.J. TRIPLE JOIST REPEAT NOTE SHOWER WEEPERS
NOTE: SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 3'-7". 2 ROWS FOR SPANS GREATER THAN 7'		
NOTE: THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.		



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor shall be responsible in any way for examining or approving (or not) plans or working details with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD. ARCHITECTURAL CONSULTING AND APPRAISAL
APPROVED BY: [Signature]
DATE: JULY 24, 2018
The plans include some elements that are not shown on these drawings and may require engineering approval.



HORIZON 1
REAR ELEV-1
TH 96-4

HORIZON 1
FRONT ELEV-1
TH 96-4

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

RECEIVED
JUL 18 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO. _____

NOTE
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architect's design and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving a building or for enforcing drawings or in respect to any zoning or building code or permit application or that any review can be properly done or located on the site.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Caledon.

JOHN C. WILLIAMS LTD. ARCHITECT
REGISTERED ARCHITECT
1000 SHEPPARD AVE. E. SUITE 100
SCARBOROUGH, ONT. M1B 4Y1
TEL: (416) 291-1111
FAX: (416) 291-1112
WWW.JCWILLIAMS.COM

1827
TOWNHOUSE
HORIZON 1
ELEVATION 1
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT AND FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT AND FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT.

JARDIN DESIGN GROUP INC. HAS NOT BEEN REFERRED TO BY ANY CITY, TOWN, OR VILLAGE FOR THE PURPOSE OF THE DESIGN REVIEW PROCESS. THE ARCHITECT'S DESIGN REVIEW IS NOT A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT AND FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT.

THIS DRAWING IS A PRELIMINARY DESIGN. IT IS NOT TO BE USED FOR CONSTRUCTION. THE ARCHITECT'S DESIGN REVIEW IS NOT A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT AND FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT.

No.	DATE	WORK DESCRIPTION
7		
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3	JULY 11, 2019	REVISED PER CITY COMMENTS
2	DEC. 13, 2018	ISSUED FOR BUILDING PERMIT
1	JULY 24, 2018	CAME FROM SECONDO VALES

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required: design is signed under Division C, Subsection 1.2.3 of the Building Code.

Walter Botter 21031
NAME SIGNATURE BCN

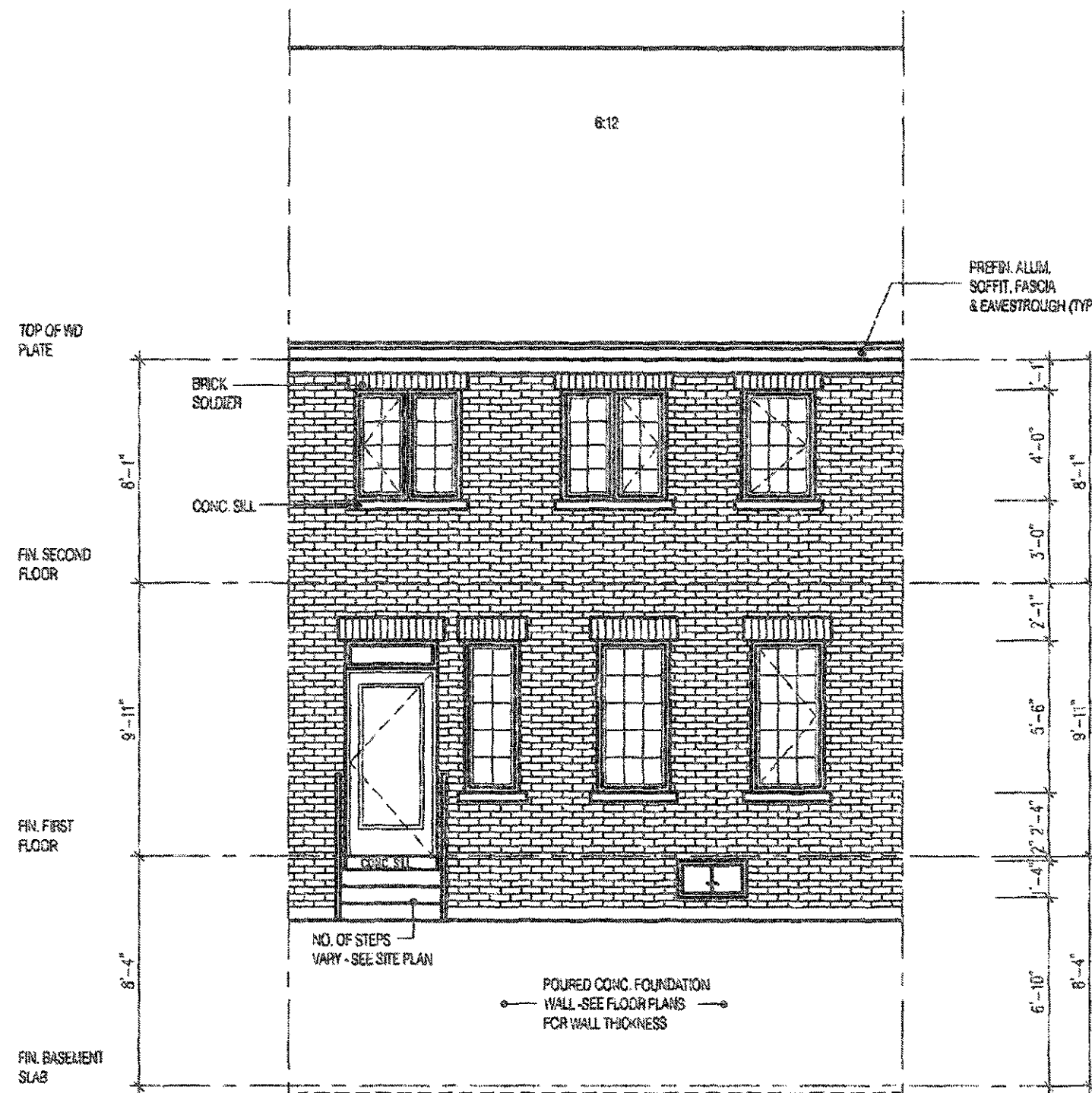
REGISTRATION INFORMATION
Required: unless design is signed under Division C, Subsection 1.2.3 of the Building Code.

jardin design group inc. 27763
FIRM NAME BCN

FRONT & REAR ELEV.
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

18-18

4



HORIZON 1 REAR ELEV-1 TH 96-4

NOTE:
WHEN VENEER CUT IS GREATER THAN
26" A 10' POURED CONC. FOUNDATION
WALL IS REQUIRED.
(FOUNDATION PLAN TO BE REVIEWED
IN CONJUNCTION WITH SITE PLAN)

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

JUL 11 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.
JUN 23 2019

NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any conditions
in the subdivision agreement. The Council
Architect is not responsible in any way for
examining or approving the (building) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or is based on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONSULTANTS
AND PLANNERS
APPROVED BY: [Signature]
DATE: JUN 23 2019
The undersigned hereby certifies that the above
plans, specifications, and details comply with the
Ontario Building Code, 1997.

2007 TOWNHOUSE HORIZON 1 ELEVATION 1 ENERGY STAR O.REG. 332/12

THE CONTRACTOR SHALL OBTAIN ALL NECESSARY
PERMITS AND APPROVALS PRIOR TO COMMENCING
ANY WORK. THE CONTRACTOR SHALL BE RESPONSIBLE
FOR OBTAINING ALL NECESSARY PERMITS AND
APPROVALS PRIOR TO COMMENCING ANY WORK.
THE CONTRACTOR SHALL BE RESPONSIBLE FOR
OBTAINING ALL NECESSARY PERMITS AND
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APPROVALS PRIOR TO COMMENCING ANY WORK.
THE CONTRACTOR SHALL BE RESPONSIBLE FOR
OBTAINING ALL NECESSARY PERMITS AND
APPROVALS PRIOR TO COMMENCING ANY WORK.

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3	JUNE 20, 2019 ADDED SHEET TO SET ISSUED FOR BUILDING PERMIT
2	DEC 13, 2018 ISSUED FOR BUILDING PERMIT
1	JULY 24, 2018 CAME FROM SECOND VALS 17-41

No. DATE WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.3 of the building code.

Walter Botten [Signature] 21031
NAME SIGNATURE BCN

Registration Information
Required unless design is exempt under Division C, Subsection
3.2.4 of the building code.

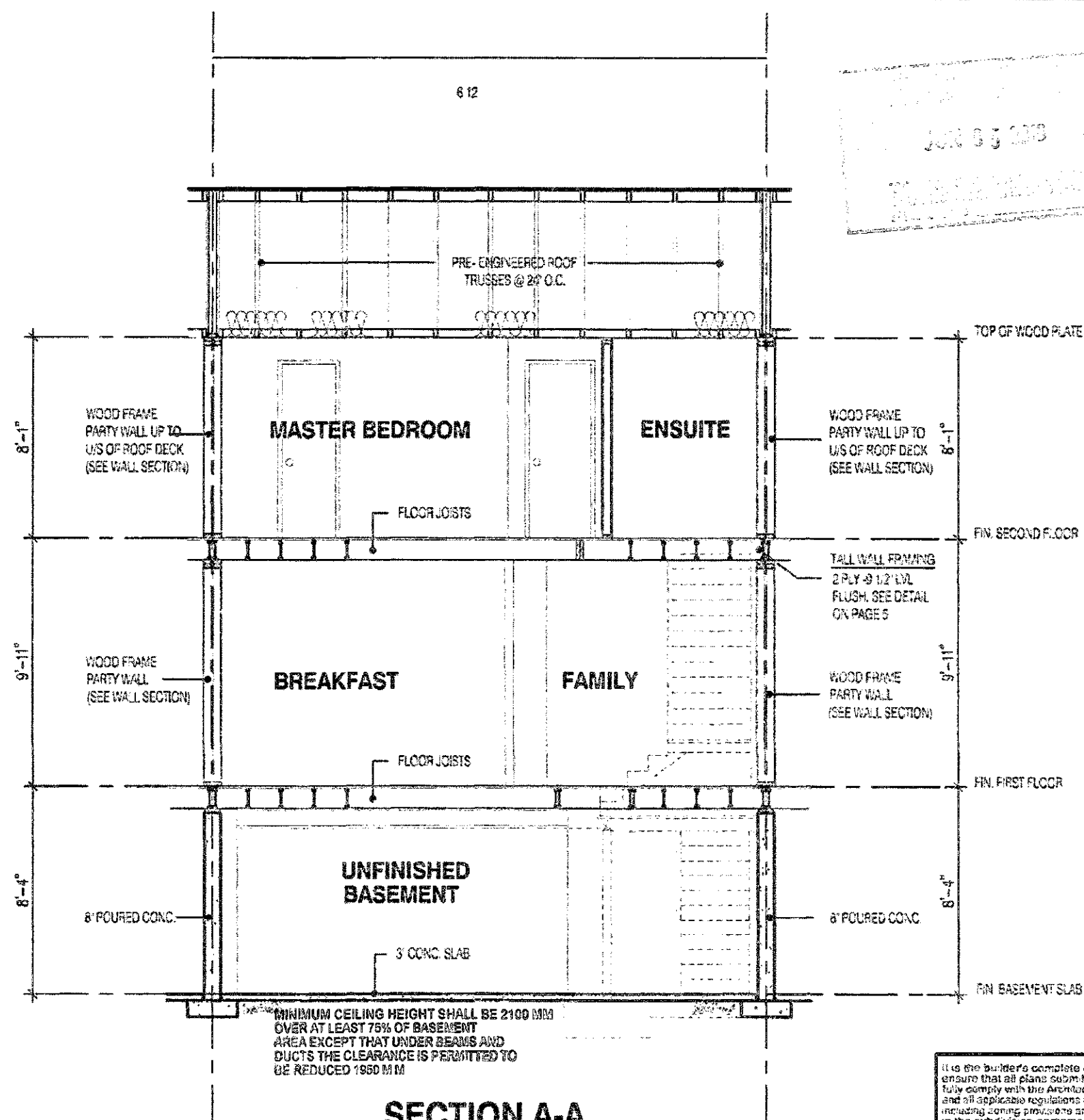
jardin design group inc. 27763
FIRM NAME BCN

DECK CONDITION
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL: —
SCALE 3/16" = 1'-0"
PROJ. NO. 18-18 DWG. NO. 4-1



THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE



FEB 06 2019

NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

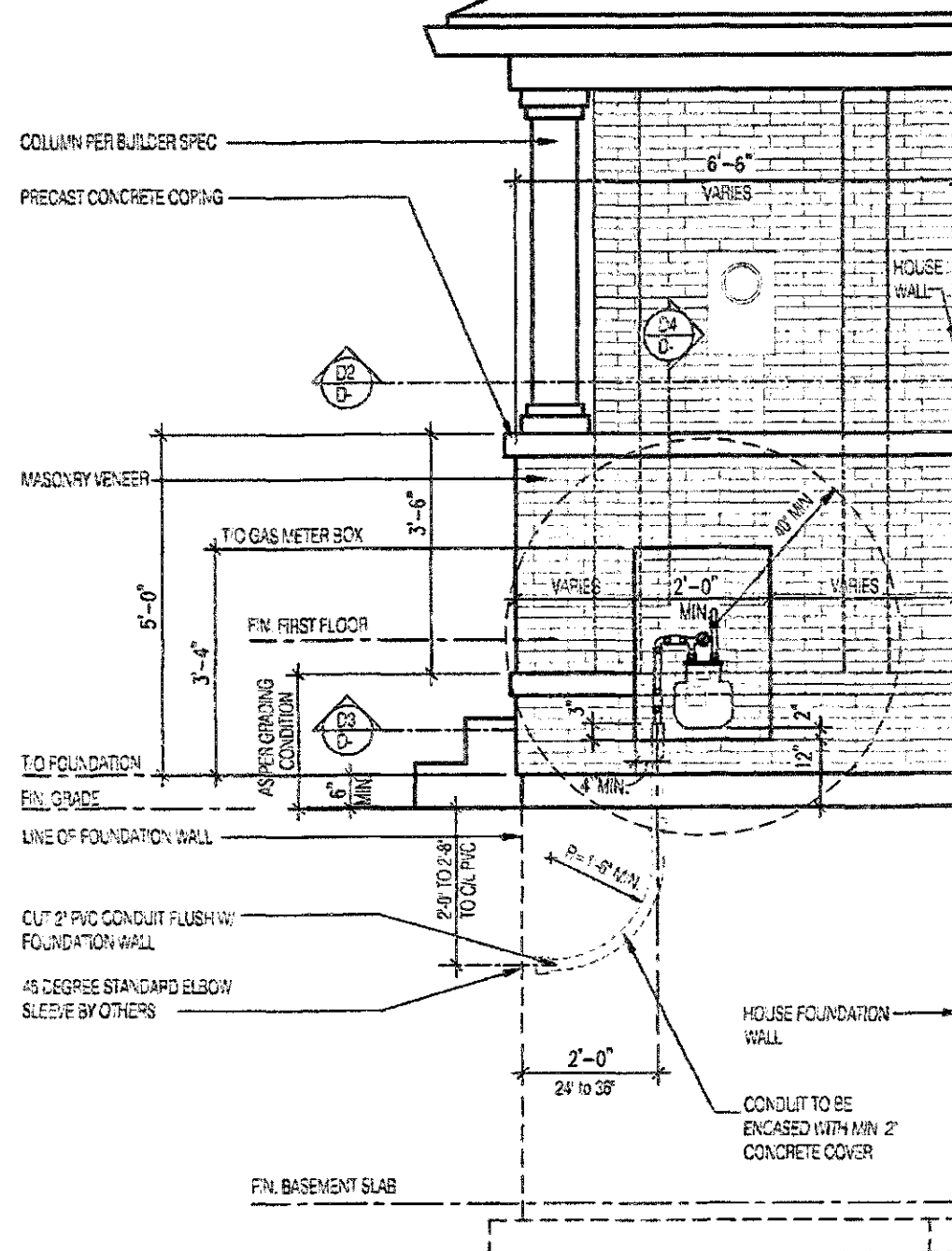
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site building plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

1827 TOWNHOUSE HORIZON 1 ELEVATION 1 ENERGY STAR O.REG. 332/12	
THE CONTRACTOR SHALL CHECK AND VERIFY ALL THE FINISHES AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY INFORMATION OR OTHER INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. PRIOR TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK. AS CONTRACTED, THE FINISHES MUST BE VERIFIED PRIOR TO POURING FOOTINGS. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT AN INSPECTION OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORKING ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.	
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2	DEC 13, 2018 ISSUED FOR BUILDING PERMIT
1	JULY 24, 2018 CAME FROM SECONDO VALES 17-41
No:	DATE WORK DESCRIPTION
JARDIN DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the Building Code Walter Botten NAME SIGNATURE 21031 BCIN REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the Building Code jardin design group inc. FIRM NAME 27763 BCIN	
SECTION LAMBERTS LANE PHASE 2 TOWN OF CALEDON	
MODEL ---- SCALE 3/16" = 1'-0" PROJ. No. DWG No. 18-18 5	

FOR GAS METER BOX INSTALLATION
REFER ALSO TO ENBRIDGE GAS UTILITIES
DRAWINGS & SPECIFICATIONS

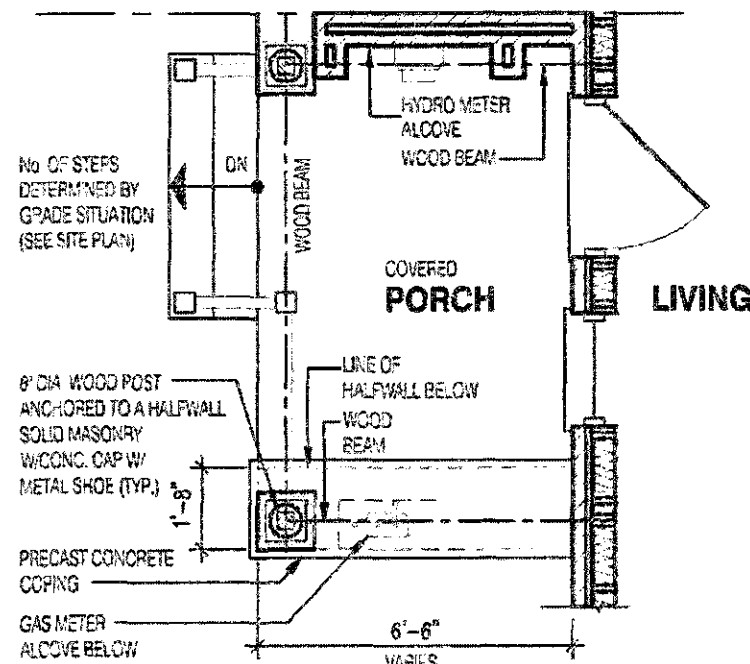
THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE



**ELEVATION OF RECESSED WALL FOR GAS
METER AT PORCH**

Scale: 3/8" = 1'-0"

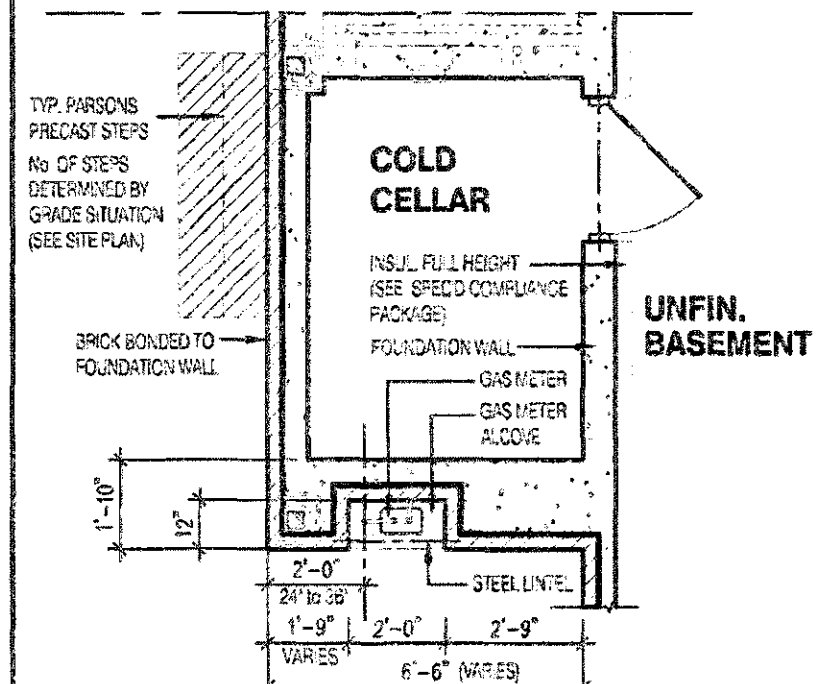
D-1



**PLAN OF RECESSED WALL FOR
GAS METER AT PORCH**

Scale: 1/4" = 1'-0"

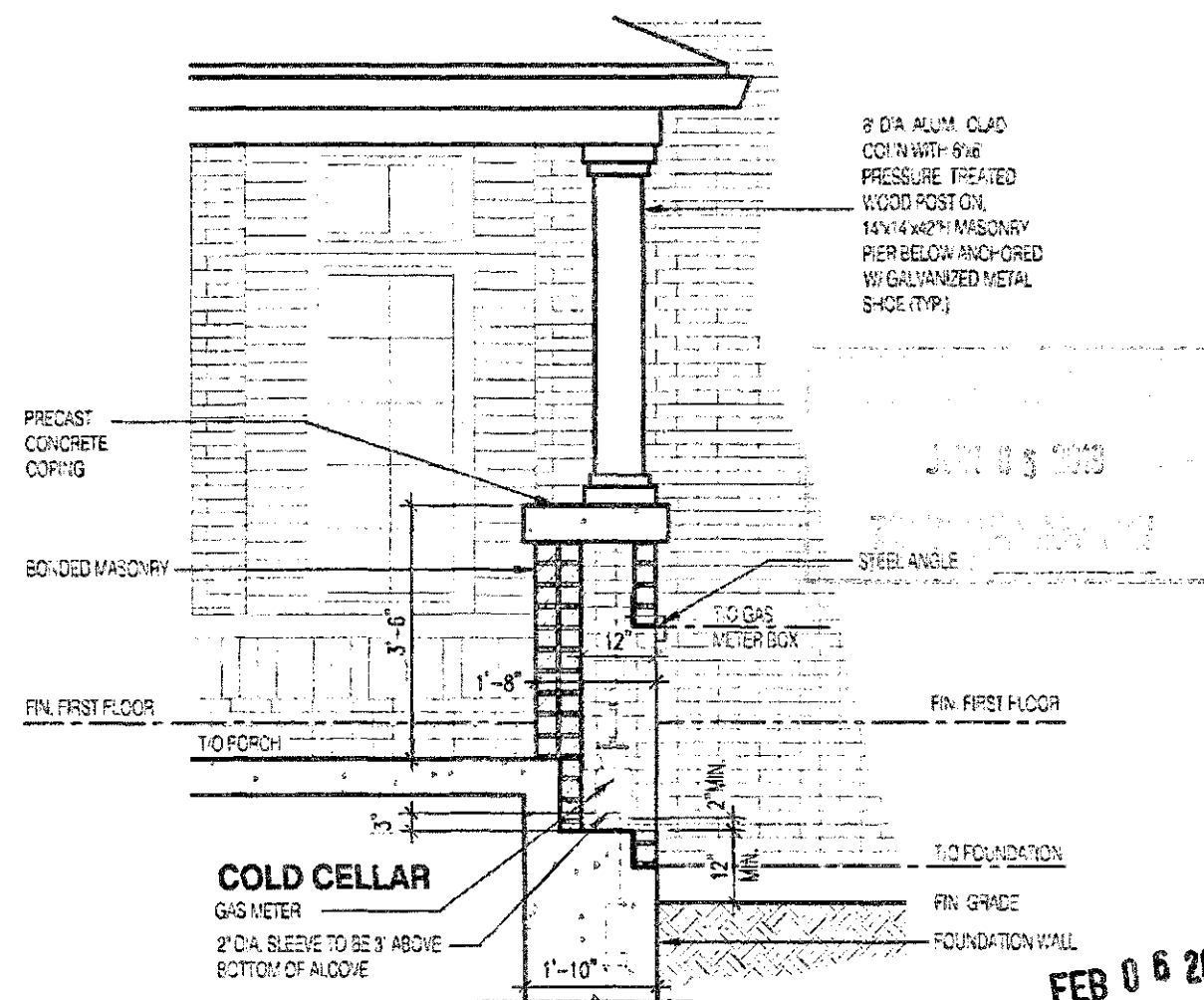
D-2



**SECTION OF RECESSED WALL FOR
GAS METER BY AT PORCH**

Scale: 1/4" = 1'-0"

D-3



SECTION OF RECESSED WALL FOR GAS METER AT PORCH

Scale: 3/8" = 1'-0"

D-4

1827

TOWNHOUSE

HORIZON 1

ELEVATION 1

ENERGY STAR

O.REG. 332/12

THE CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTS PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFERENCE TO THE APPROPRIATE ENGINEERING OR ARCHITECTURAL REPORTS SHALL BE MADE.
AS CONSTRUCTED, DIMENSIONS MUST BE VERIFIED PRIOR TO FINISH FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO LIABILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
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1	DEC. 13, 2018 ISSUED FOR BUILDING PERMIT

No. DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION:
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION:
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

GAS METER DETAIL

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL	
SCALE	AS NOTED
PROJ. NO.	18-18
DWG. NO.	6



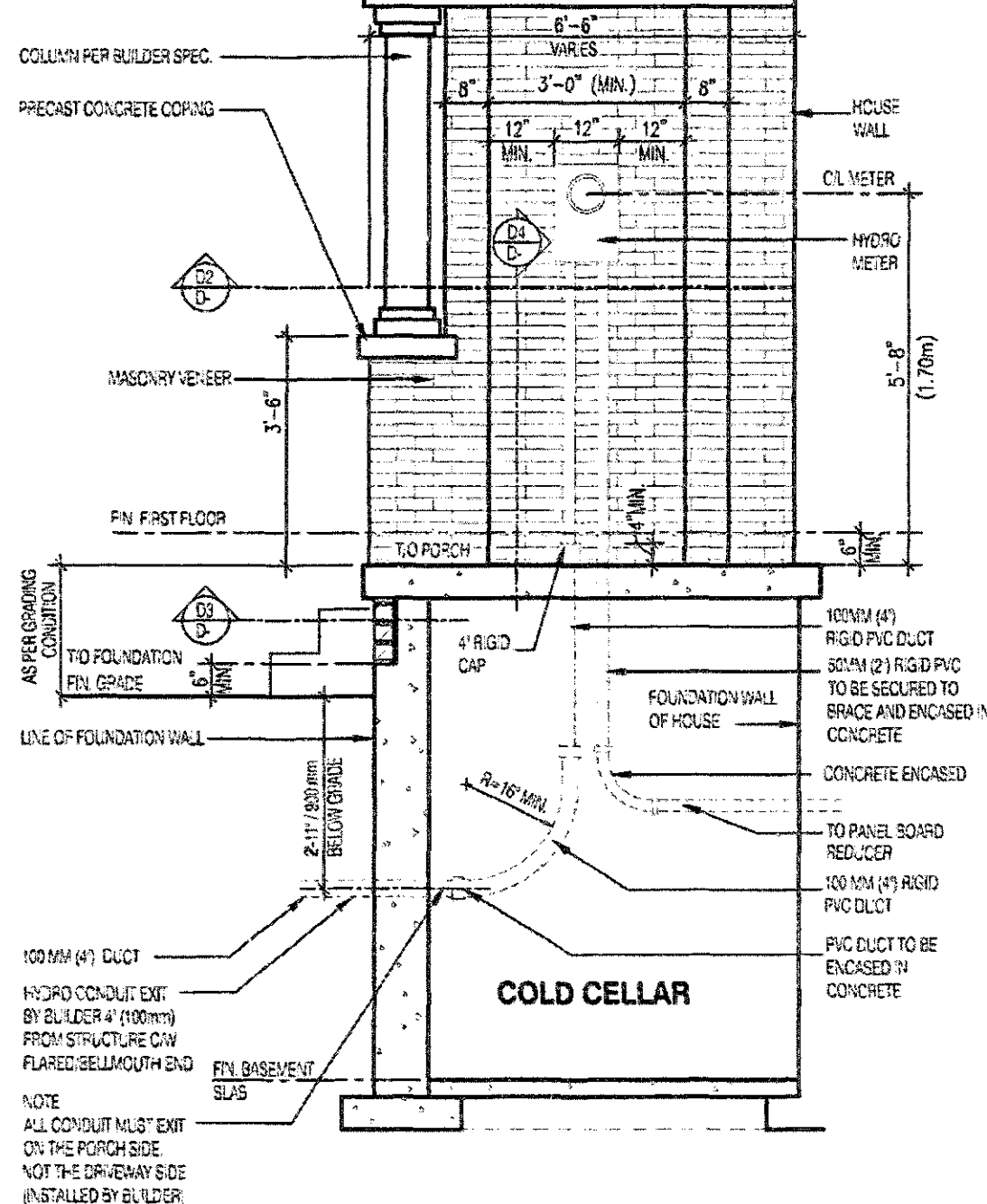
FEB 06 2019

NOTE:

1. METER BASES TO BE SURFACE MOUNTED
2. REFER TO DU-03-209.2 DETAIL 3 FOR CAP DETAIL
3. REFER TO DU-03-209.2 & DU-03-209-0500 FOR ADDITIONAL INSTALLATION OF PVC BEYOND FOUNDATION WALL
4. RIGID PVC TRAVELING THROUGH COLD CELLAR SHOULD BE ENCASED IN CONCRETE.

FOR HYDRO METER BOX INSTALLATION
ALSO REFER TO HYDRO ONE
DU-03-209.2 AND DU-03-209-0500
DRAWINGS & SPECIFICATIONS

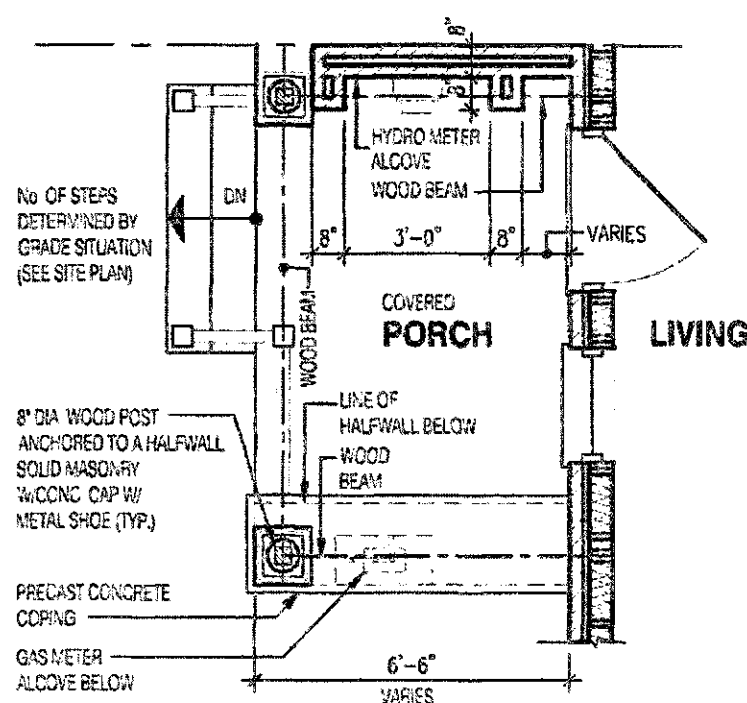
OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING



**ELEVATION OF RECESSED WALL FOR HYDRO
METER AT PORCH**

Scale: 3/8" = 1'-0"

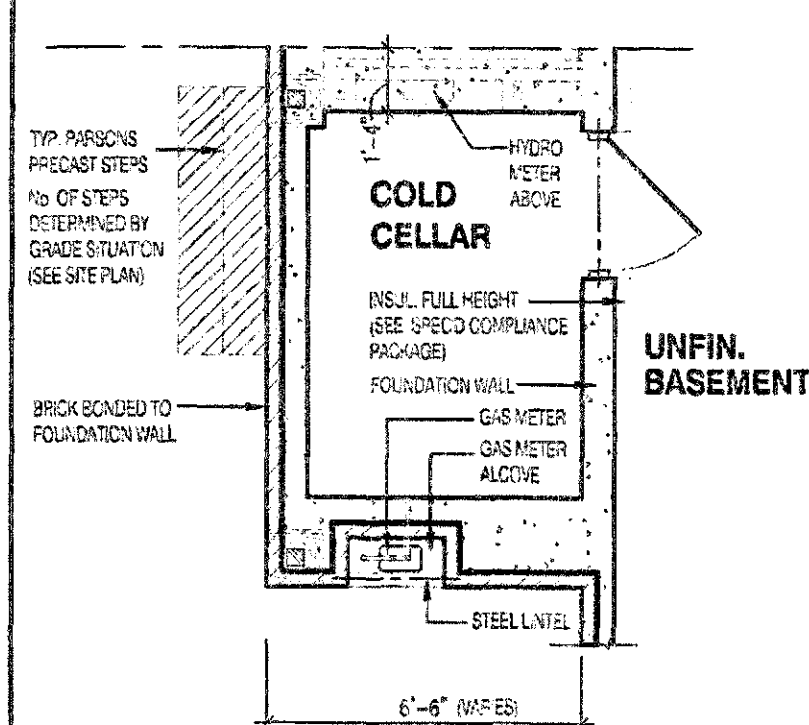
D-1



**PLAN OF RECESSED WALL FOR
HYDRO METER AT PORCH**

Scale: 1/4" = 1'-0"

D-2

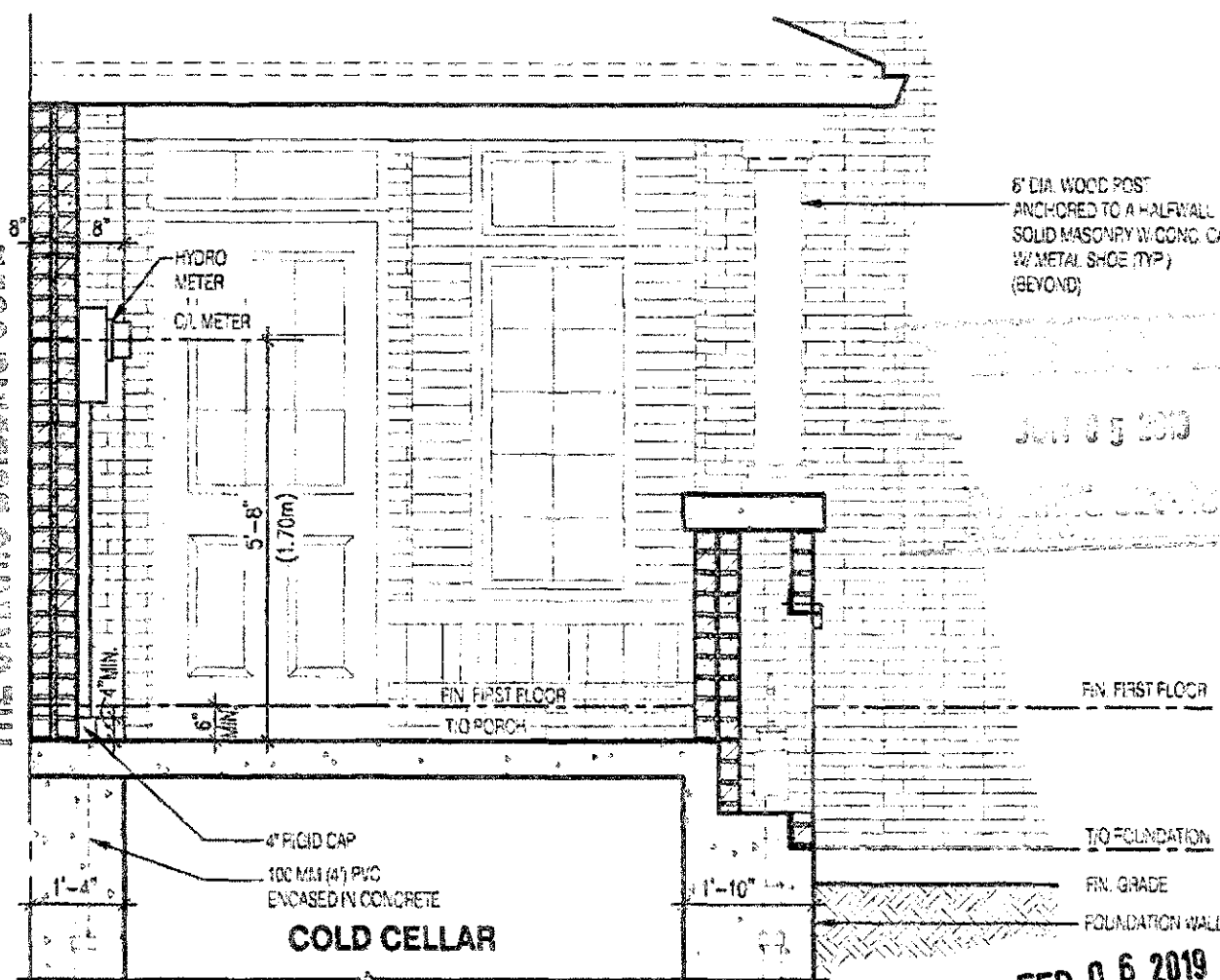


**SECTION OF RECESSED WALL FOR HYDRO
METER BY AT PORCH**

Scale: 1/4" = 1'-0"

D-3

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE



SECTION OF RECESSED WALL FOR HYDRO METER AT PORCH

Scale: 3/8" = 1'-0"

D-4

1827
TOWNHOUSE
HORIZON 1
ELEVATION 1
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND
CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.
ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP
INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY
OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION ON
THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE
ISSUANCE OF A BUILDING PERMIT. REFERENCE TO THE APPROPRIATE
ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED DIMENSIONS MUST BE VERIFIED PRIOR TO FLOORING
FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO VERIFY OR
GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY
FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO
CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT
DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY JARDIN
DESIGN GROUP INC. TO THE CLIENT FOR THE PROJECT. IT IS NOT TO BE
REPRODUCED.

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1	DEC. 13, 2018	ISSUED FOR BUILDING PERMIT
No.	DATE	WORK DESCRIPTION

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.3 of the Code.

Walter Boller 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.4 of the Building Code.

Jardin design group inc. 27763
FIRM NAME BCIN

HYDRO METER DETAIL
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD
MODEL
SCALE AS NOTED
PROJ. No. 18-18
DWG. No. 7

FEB 06 2019