

STRIP FOOTINGS FOR SINGLES AND SEMIS UP TO 2 STOREY

120 KPa NATIVE SOIL
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

90 KPa ENGINEERED FILL SOIL
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW FOUNDATION WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.

100 KPa NATIVE SOIL
22"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
28"x10" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS
OR
28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS

GENERAL NOTE:
ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa
FOR ENGINEERED FILL, TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL
FOOTING DETAIL FOR REINFORCEMENT

(REFER TO ENG. FILL FOOTING DETAIL)

PAD FOOTING

120 KPa NATIVE SOIL
F1 = 42"x42"x18" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD

90 KPa ENGINEERED FILL SOIL
F1 = 48"x48"x20" CONCRETE PAD
F2 = 40"x40"x16" CONCRETE PAD
F3 = 34"x34"x14" CONCRETE PAD
F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD

100 KPa NATIVE SOIL
F1 = 48"x48"x20" CONCRETE PAD
F2 = 38"x38"x16" CONCRETE PAD
F3 = 32"x32"x14" CONCRETE PAD
F4 = 26"x26"x12" CONCRETE PAD
F5 = 17"x17"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

NOTE:

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.

NOTE:

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa
WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS:

WL1 = 3'12" x 3'12" x 14" (100x90x8) + 2-2" x 6" SPR.
WL2 = 4' x 3'12" x 5'16" (100x90x8) + 2-2" x 6" SPR.
WL3 = 5' x 3'12" x 5'16" (125x90x8) + 2-2" x 10" SPR.
WL4 = 5' x 3'12" x 3'8" (150x90x10) + 2-2" x 12" SPR.
WL5 = 6' x 4' x 3'8" (150x100x10) + 2-2" x 12" SPR.

WL6 = 5' x 3'12" x 5'16" (125x90x8) + 2-2" x 12" SPR.
WL7 = 5' x 3'12" x 5'16" (125x90x8) + 3-2" x 10" SPR.
WL8 = 5' x 3'12" x 5'16" (125x90x8) + 3-2" x 12" SPR.
WL9 = 6' x 4' x 3'8" (150x100x10) + 3-2" x 12" SPR.

WOOD LINTELS:

WB1 = 2-2" x 6" SPRUCE BEAM
WB2 = 3-2" x 6" SPRUCE BEAM
WB3 = 2-2" x 10" SPRUCE BEAM
WB4 = 3-2" x 10" SPRUCE BEAM
WB5 = 2-2" x 12" SPRUCE BEAM

WB6 = 3-2" x 12" SPRUCE BEAM
WB7 = 5-2" x 12" SPRUCE BEAM
WB10 = 4-2" x 6" SPRUCE BEAM
WB11 = 4-2" x 10" SPRUCE BEAM

STEEL LINTELS:

L1 = 3'12" x 3'12" x 14" (80 x 90 x 8)
L2 = 4' x 3'12" x 5'16" (100 x 90 x 8)
L3 = 5' x 3'12" x 5'16" (125 x 90 x 8)

L4 = 6' x 3'12" x 3'8" (150 x 90 x 10)
L5 = 6' x 4' x 3'8" (150 x 100 x 10)
L6 = 7' x 4' x 3'8" (180 x 100 x 10)

LAMINATED VENEER LUMBER (LVL BEAMS)

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)



ALL ELECTRICAL INSTALLATIONS
MUST BE INSPECTED BY THE
ELECTRICAL SAFETY AUTHORITY
SEPARATE INSPECTION
APPLICATIONS MUST BE FILED.
FOR MORE INFORMATION PLEASE CALL
ELECTRICAL SAFETY AUTHORITY
1-877-ESA-SAFE (372-7233)
PLUG-IN SAFELY. HIRE A LICENSED
ELECTRICAL CONTRACTOR
FIND A CONTRACTOR AT
www.plugsafely.ca

DOOR SCHEDULE:

1 = 2'-10" x 6'-8" INSULATED ENTRANCE DOOR
1A = 2'-8" x 6'-8" INSULATED ENTRANCE DOOR
2 = 2'-8" x 6'-8" EXTERIOR GLAZED DOOR
3 = 2'-8" x 6'-8" SLAB DOOR (1 3/8" EXTERIOR)
4 = 2'-8" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
5 = 2'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
6 = 2'-2" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
7 = 1'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
8 = 2'-6" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
9 = 3'-0" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
10 = 2'-2" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
11 = 2'-2" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
12 = 2'-8" x 6'-8" FRENCH DOOR (1 3/8" INTERIOR)

**BUILDING INSPECTOR IS REQUIRED TO BE ON SITE
FOR ALL MANDATORY INSPECTIONS. REFER TO
ATTACHED BUILDING PERMIT FOR DETAILS**

LEGEND:

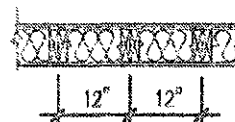
- ☒ BUILDING FACE < THAN 4'-0" (1.2m)
(45 MIN. FIRE RATING REQ.)
- ☒ INDICATES SOLID BEARING REQUIRED
OR POINT LOAD FROM ABOVE
- ☒ STL. PLATE FOR STEEL COLN ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

**CERTIFIED MODEL
PRE-APPROVED**
FOR PERMIT APPLICATION AS PER THE
ONTARIO BUILDING CODE
TOWN OF CALEDON BUILDING DIVISION

REVIEWED BY **J. SNELL**
DATE **JULY 23/19**
FILE # **BARTON 3 - ELEV 1, 2**

A COMPLETE SET OF REVIEWED DRAWINGS &
SPECIFICATIONS MUST BE KEPT ON SITE AT ALL TIME
DURING CONSTRUCTION AS PER O.B.C.

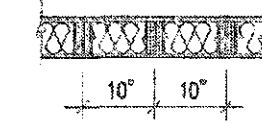
2-2"x6" STUD WALL, NAILED TOGETHER AND SPACED @ 12" O.C.
FULL HT. ON SOLID BLOCKING 4'-0" O.C. VERTICAL AND 7/16"
EXT. PLYWOOD SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 16'-0" AND
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

TWO STOREY HEIGHT WALL DETAIL

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED
AND NAILED TOGETHER AND SPACED MAX. @ 10" O.C. FULL HT.
C/W SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL AND 7/16" EXT.
OSB SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 49'-0"

TWO STOREY HEIGHT WALL DETAIL

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
ROOF TRUSS DRAWINGS BY MANUFACTURER

NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7". 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
FLOOR TRUSS LAYOUT BY MANUFACTURER

NOTE:

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

AREA CALCULATIONS EL-1

FIRST FLOOR AREA	=	1166 Sq. Ft.
SECOND FLOOR AREA	=	1469 Sq. Ft.
TOTAL FLOOR AREA	=	2635 Sq. Ft.
ADD OPEN AREAS	=	3 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2638 Sq. Ft.
GROUND FLOOR COVERAGE	=	1166 Sq. Ft.
GARAGE COVERAGE / AREA	=	377 Sq. Ft.
PORCH COVERAGE / AREA	=	60 Sq. Ft.
COVERAGE W/ PORCH	=	1603 Sq. Ft.
COVERAGE W/O PORCH	=	1469 Sq. Ft.
COVERAGE W/C PORCH	=	1543 Sq. Ft.
	=	143.3 Sq. m.

AREA CALCULATIONS EL-2

FIRST FLOOR AREA	=	1166 Sq. Ft.
SECOND FLOOR AREA	=	1469 Sq. Ft.
TOTAL FLOOR AREA	=	2635 Sq. Ft.
ADD OPEN AREAS	=	3 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2638 Sq. Ft.
GROUND FLOOR COVERAGE	=	1166 Sq. Ft.
GARAGE COVERAGE / AREA	=	377 Sq. Ft.
PORCH COVERAGE / AREA	=	60 Sq. Ft.
COVERAGE W/ PORCH	=	1603 Sq. Ft.
COVERAGE W/O PORCH	=	1469 Sq. Ft.
COVERAGE W/C PORCH	=	1543 Sq. Ft.
	=	143.3 Sq. m.

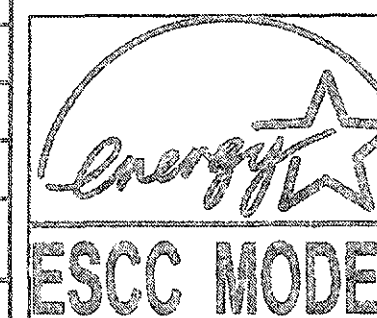
BARTON 3 ELEV-1		ENERGY EFFICIENCY- ENERGY STAR	
ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	579.00	91.00	15.72 %
LEFT SIDE	1168.00	54.00	4.67 %
RIGHT SIDE	1117.00	55.00	4.92 %
REAR	557.00	106.00	19.03 %
TOTAL	3261.00	306.00	9.40 %

BARTON 3 ELEV-2		ENERGY EFFICIENCY- ENERGY STAR	
ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	583.00	69.00	11.83 %
LEFT SIDE	1168.00	54.00	4.67 %
RIGHT SIDE	1117.00	55.00	4.92 %
REAR	557.00	106.00	19.03 %
TOTAL	3345.00	284.00	8.49 %

APPLICANT COPY

RECEIVED
JUN 10 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING	
ENERGY STAR V-17	
COMPONENT	NOTE
CEILING WITH ATTIC SPACE	10.56 (R60)
MINIMUM PSI (R) VALUE	
CEILING WITHOUT ATTIC SPACE	5.46 (R31)
MINIMUM PSI (R) VALUE	
EXPOSE FLOOR	5.46 (R31)
MINIMUM PSI (R) VALUE	
WALLS ABOVE GRADE	4.75 (R22+PS)
MINIMUM PSI (R) VALUE	
BASEMENT WALLS	3.52 (R20 BLANKET)
MINIMUM PSI (R) VALUE	
EDGE OF BELOW GRADE SLAB	1.76 (R10)
< 600mm BELOW GRADE	
MINIMUM PSI (R) VALUE	
SLAB < 600mm BELOW GRADE	1.76 (R10)
MINIMUM PSI (R) VALUE	
WINDOWS & SLIDING GLASS DOORS	ENERGY STAR @ ZONE 2 (ER 20/1V 1.4)
MAXIMUM U-VALUE	
SPACE HEATING EQUIPMENT	MIN 96% AFUE
MINIMUM AFUE	
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HPV	TIER 2 75% SRE ENERGY STAR @ HRV TO BE
MINIMUM EFFICIENCY	INTERCONNECTED TO THE FURNACE FAN MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/AIR
HOT WATER TANK	CONDENSING HOT WATER TANK 60% TE ENVIROSENSE
DRAIN WATER HEAT RECOVERY	TWO SHOWERS > 42% STEADY R3-42 OR T3342
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (2.5 ACH50 NLR) ATTACHED LEVEL 1 (3.0 ACH50 NLR)
DUCT SEALING	ALL SUPPLY DUCTS AND 1 m OF RETURN DUCTS
LIGHTS	75% CFLs OR LEDs



ENERGY STAR - V 17

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
various drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on the lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON

2638
11.0m LOTS
BARTON 3
ELEVATION 1 & 2
ENERGY STAR
O.REG. 332/12

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
MARINKOVIC
PROVINCE OF ONTARIO

FOR STRUCTURAL ONLY
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND
CONSTRUCT ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.
ANY DISCREPANCIES SHALL BE REPORTED TO STRUDET INC. GROUP
AND PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY
OF SURVEY, STRUCTURAL OR CIVIL ENGINEERING INFORMATION SHOWN ON
THESE PLANS. ANY DISCREPANCIES SHALL BE REPORTED TO THE
PROFESSIONAL ENGINEER OR ARCHITECT. REFER TO THE APPROPRIATE
PROFESSIONAL DRAWINGS FOR PRODUCTION WITH THE CONTRACT.
AS DISCREPANCIES MUST BE VERIFIED PRIOR TO POURING
FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT
CENTRAL REVIEW OF THE DESIGN AND ASSESSMENT RESPONSES. SUFFY
FOR THE VALUES OF THE CONSTRUCTION OF SUBMITTALS TO
CARRY OUT THE WORK. A DISCREPANCY WITH THE CONTRACT
DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS
THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT
TO BE REPRODUCED.

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2	JAN 17, 2019 ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018 COMPLETED TO PRECONSTRUCTION STAGE. ISSUED TO CLIENT

No: DATE: WORK DESCRIPTION:

Jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.co

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer
QUALIFICATION (REGISTRATION)
Registered unless design is signed by a Designer C. Subsection
32.5 of the Building Code

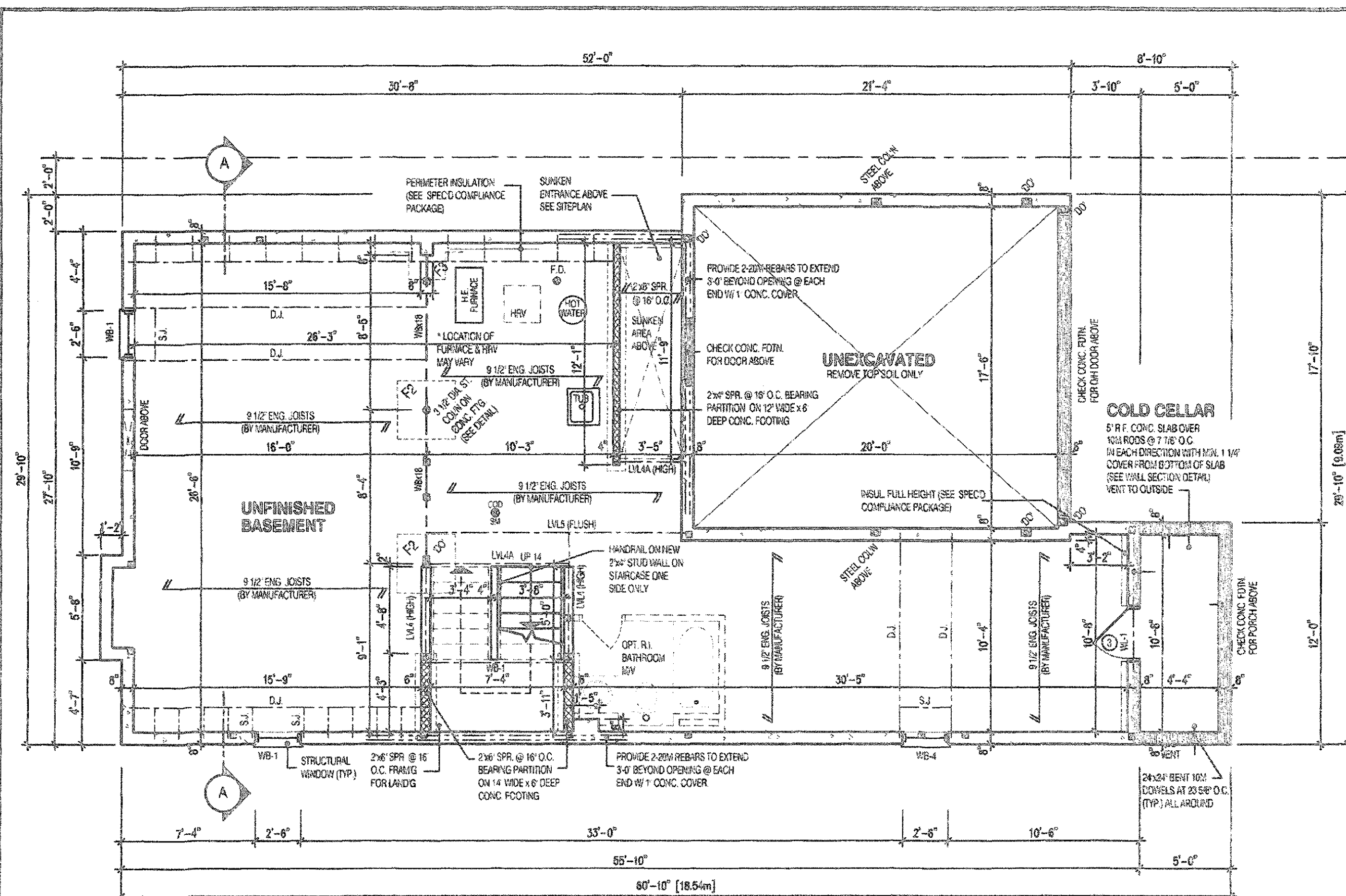
Water Emitter 21031
NAME SIGNATURE BORN

REGISTRATION (ARCHITECTURE)
Required unless design is signed by a Designer C. Subsection
32.5 of the Building Code

Jardin design group inc. 27763
FROM NAME BORN

TITLE SHEET
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

TYPE	AREA
T	
SCALE	3/16"=1'-0"
PROJ. No.	DWG No.
18-18	0



SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

MINIMUM CEILING HEIGHT SHALL BE 2100 MM OVER AT LEAST 75% OF BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED 1800 MM

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

NOTE:
REFER TO SHEET NO. G-1 FOR Lintel, BEAMS AND DOOR SIZE

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7". 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:
SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL

NOTE:
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m) (MIN. FIRE RATING REQ.)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and of applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving the (design) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD. ARCHITECTS
APPROVED FOR: [Signature]
DATE: MAY 21 2019

2638
11.0m LOTS
BARTON 3 (GR)
ELEVATION 1
ENERGY STAR
O.REG. 332/12

STRUDET INC.

FOR STRUCTURAL ONLY

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

JARDIN DESIGN GROUP INC. HAS NOT BEEN REQUIRED TO OBTAIN OUT OF PROVINCE REVIEW OF THE DRAWINGS AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR TO OBTAIN CONSTRUCTION CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE AS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

7		
6		
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2	JUN 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018	COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT

NO. DATE: WORK DESCRIPTION:

Jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, subsection 1.2.5 of the building code.

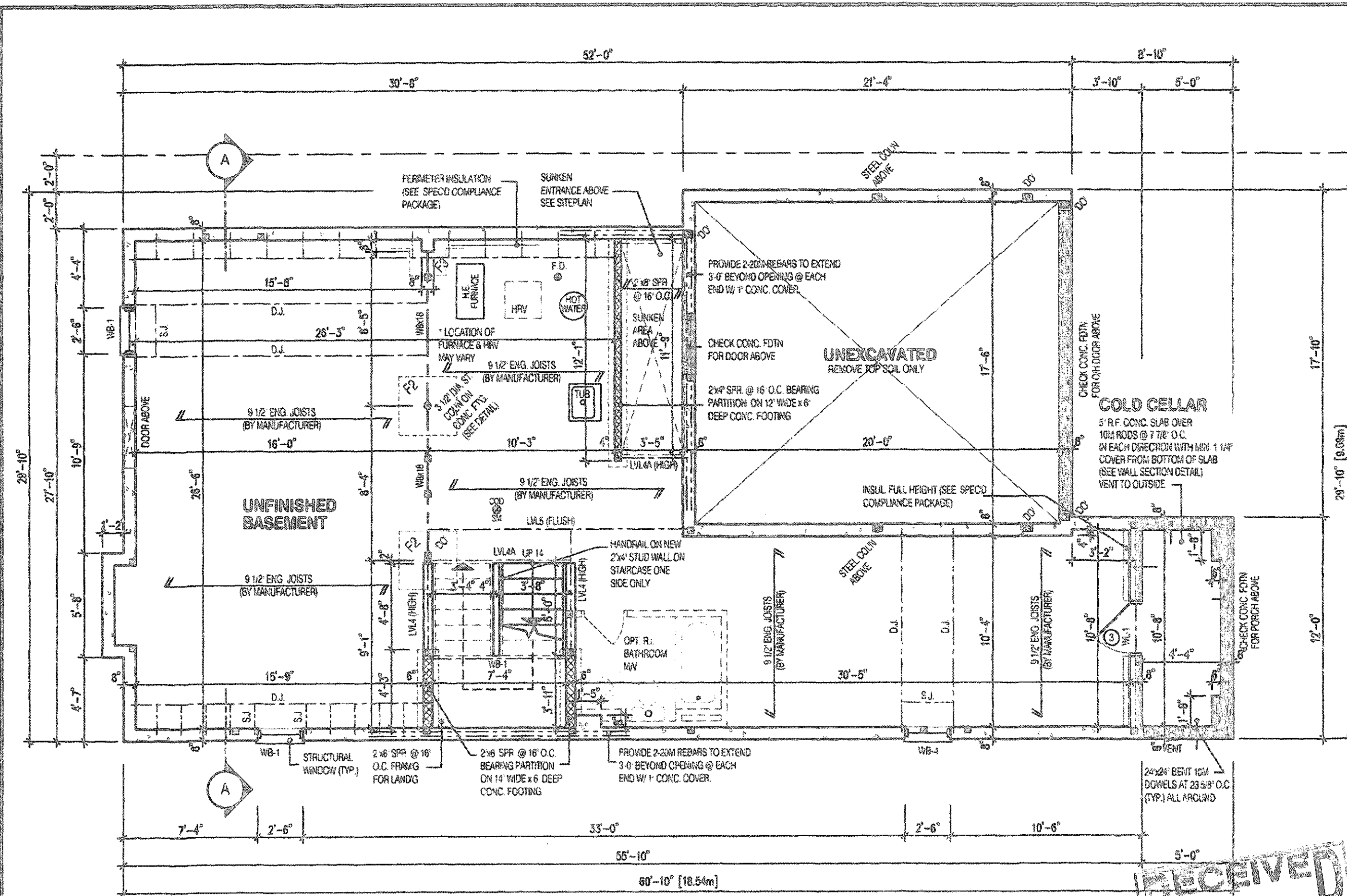
Walter Botter **21031**
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, subsection 1.2.4 of the building code.

Jardin design group inc. **27763**
FIRM NAME BCIN

BASEMENT PLAN
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

	TYPE	T	AREA	
	SCALE	3/16"=1'-0"		
	PROJ. NO.	08-18	DWG No.	1



2638

11.0m LOTS

BARTON 3 (GR)

ELEVATION 2

ENERGY STAR

O.REG. 332/12

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER

B. MARINKOVIC

PROVINCE OF ONTARIO

FOR STRUCTURAL ONLY

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCY SHALL BE REPORTED TO CLIENT IMMEDIATELY AND PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTING PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE REGULATORY AGENCIES BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED PERMITS MUST BE OBTAINED FROM ALL LOCAL AUTHORITIES.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO OBTAIN OR GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO OBTAIN THE NECESSARY APPROVALS WITH THE CONTRACT DOCUMENTS.

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1	OCT. 15, 2018	COMPLETED TO PRELIMINARY STAGE. ISSUED TO CLIENT

No. DATE: WORK DESCRIPTION:

Jardin

DESIGN GROUP INC

64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3

TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 1.2.5 of the building code.

Walter Botter *[Signature]* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 1.2.4 of the building code.

Jardin design group inc. 27763
FIRM NAME BCIN

BASEMENT PLAN EL-2

LAMBERTS LANE PHASE 2

TOWN OF CALEDON

TYPE	T	AREA	
SCALE	3/16" = 1'-0"		
PROJ. No.	08-18	DWG. No.	1A

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

MINIMUM CEILING HEIGHT SHALL BE 2100 MM OVER AT LEAST 75% OF BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED 1950 MM

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

NOTE:
REFER TO SHEET NO. 0-1 FOR LINTEL BEAMS AND DOOR SIZE

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER

NOTE:
SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL

NOTE:
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLUMN ABOVE
- LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

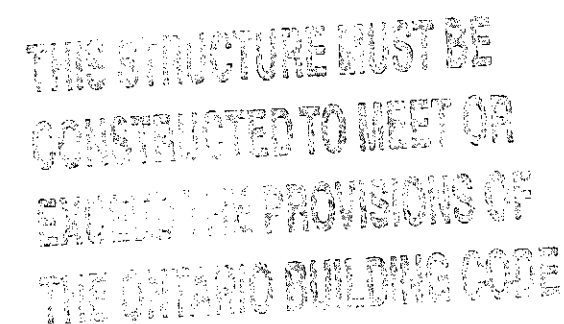
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contract Architect is not responsible in any way for examining or approving any (existing) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL REVIEW
AND APPROVAL

APPROVED BY: *[Signature]*
DATE: JAN 21, 2019

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.



OPENINGS WITHIN GUARDS AND SPACE BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING.

NOTE:
THESE DRAWINGS ARE TO BE READ IN
CONJUNCTION WITH ENGINEER APPROVED
FLOOR TRUSS LAYOUT BY MANUFACTURER

LEGEND:

	BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
	INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
	STL. PLATE FOR STEEL COLUMN ABOVE
LVL	LAMINATED VENEER LUMBER
S.J.	SINGLE JOIST
D.J.	DOUBLE JOIST
T.J.	TRIPLE JOIST
	REPEAT NOTE
	SHOWER WEEPERS

It is the builder's complete responsibility to ensure that all plans submitted for approval comply with the Architectural Guidelines and all applicable regulations and requirements, including zoning provisions and any provisions in the subdivision agreement. The Contractor is not responsible in any way concerning or approving the existing planning drawings with respect to any zoning, building code or permit matter or that a house can be properly built or located on the lot.

This is to certify that these plans conform with the applicable Architectural Design Guidelines approved by the Town COUNCIL.

ROBIN C. WILLIAMS LTD., ARCHITECTS
ARCHITECTURAL CONSULTING REVIEW
AND OPINION

APPROVED BY _____
DATE MAY 21 1988

THIS REVIEW, OPINION OR CONSULTING REVIEW IS FOR THE USE OF THE CLIENT AND IS NOT TO BE USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

12.4 of the building code

Jardin design group inc. 27763

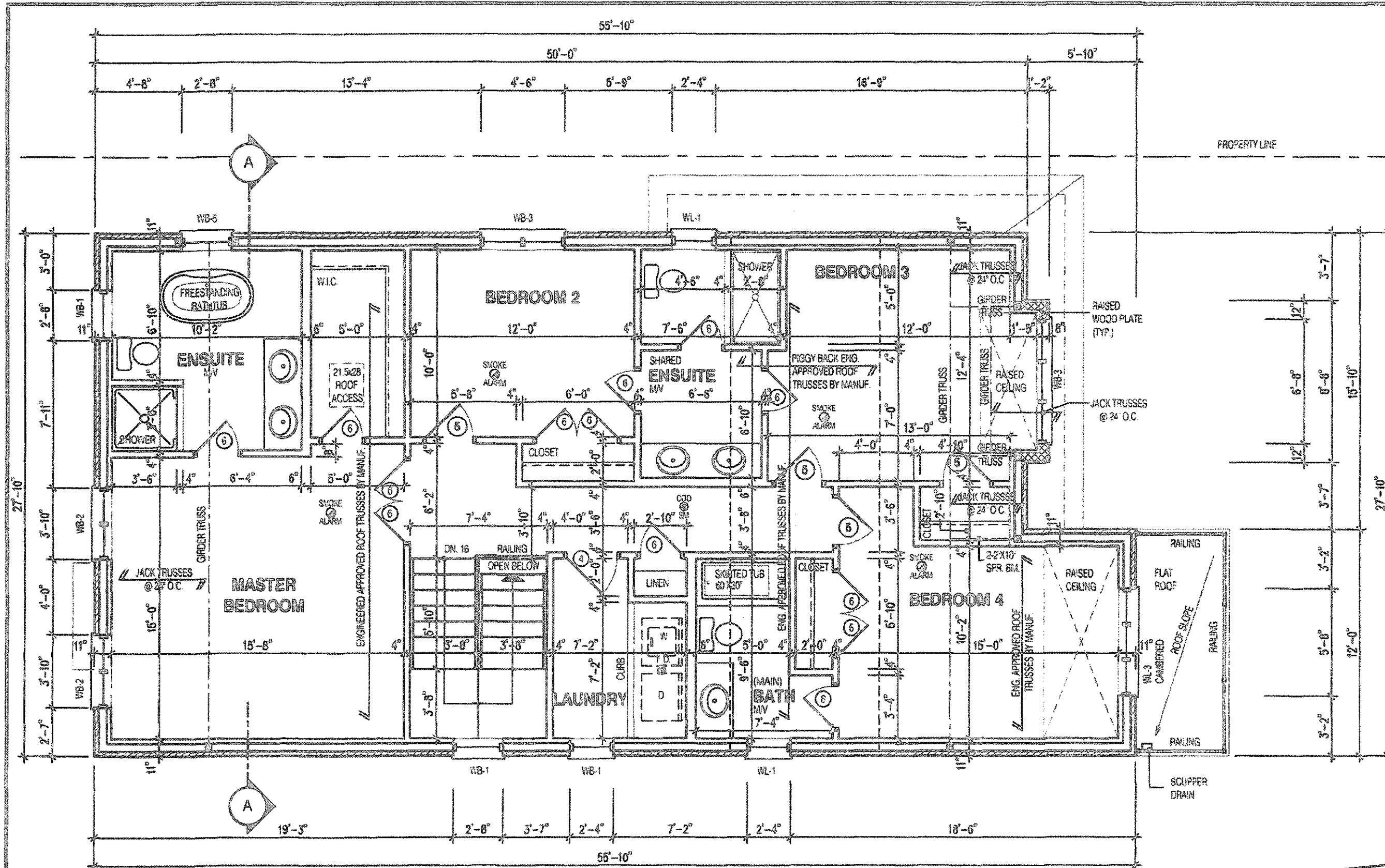
FIRST NAME _____

FIRST FLOOR PLAN EL-2

LAMBERTS LANE PHASE 2

TOWN OF CALEDON

	TYPE	AREA
	T	----
	SCALE	3/16" = 1'-0"
	PROJ. NO.	DWG. NO.
	08-18	2A



THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

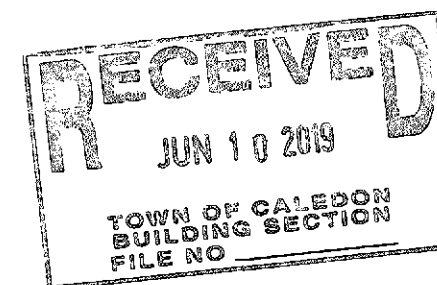
SMOKE ALARMS AND CARBON
MONOXIDE DETECTORS SHALL
CONFORM TO SUBSECTIONS
9.10.19. AND 9.33.4. OF THE
ONTARIO BUILDING CODE

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
ROOF TRUSS DRAWINGS BY MANUFACTURER

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m)
(45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED
OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS



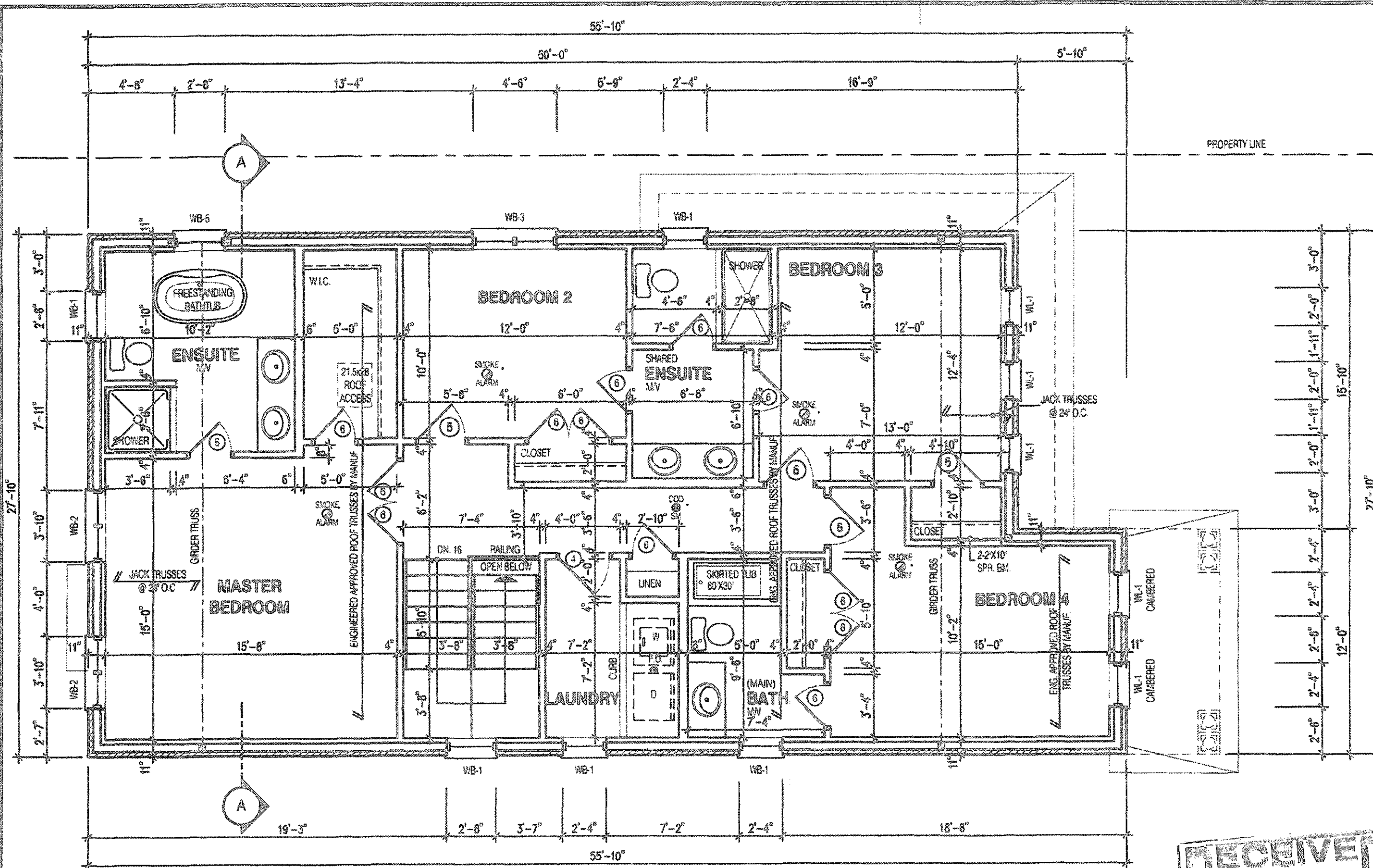
MAR 21 2019

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor/Architect is not responsible in any way for examining or approving etc. (letting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS ETO, ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
DATE: 04/27/2019
The stamp on the plan is valid provided the
design complies with the applicable
regulations.

2638	
11.0m LOTS	
BARTON 3 (GR)	
ELEVATION 1	
ENERGY STAR	
O.REG. 332/12	
STRUDET INC.	
FOR STRUCTURAL ONLY	
THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXISTING AND EXISTING OR SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO ARCHITECT OR GROUP INC. PRIOR TO COMMENCEMENT OF WORK. ARCHITECT DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION BASED ON THESE DRAWINGS OR FOR CONSTRUCTION STAYED PRIOR TO THE SIGNATURE OF A PROFESSIONAL ENGINEER. THE ARCHITECT'S ENGINEERING SERVICES BEFORE PROCEEDING WITH CONSTRUCTION. AS DOCUMENTED IN THIS MUST BE VERIFIED FOR 60 DAYS FOLLOWING FOOTINGS. ARCHITECT DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION OR FOR CONSTRUCTION TO COMPLY WITH THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF ARCHITECT DESIGN GROUP INC. THIS DRAWING IS NOT TO BE COPIED.	
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2	JAN 17 2019 ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018 COMPLETED TO PRECONSTRUCTION STAGE. ISSUED TO CLIENT
No.	DATE: WORK DESCRIPTION:
DESIGN GROUP INC	
64 JARDIN DR. SUITE 3A	
VAUGHAN ONT. L4K 3P3	
TEL: 905 660-3377 FAX: 905 660-3713	
EMAIL: info@jardindesign.ca	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 12.3 of the building code. Walter Boller 21031 NAME SIGNATURE BCIN REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 12.4 of the building code. Jardin design group inc. 27763 FIRM NAME BCIN	
SECOND FL. PLAN EL-1	
LAMBERTS LANE PHASE 2	
TOWN OF CALEDON	
TYPE	AREA
T	
SCALE:	3/16" = 1'-0"
PROJ. NO.	DWG. NO.
08-18	3



2638
11.0m LOTS
BARTON 3 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURAL ONLY

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, SITE DATA OR ENGINEERING INFORMATION PROVIDED BY OTHERS. THESE SERVICES OR FOR CONSULTATION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REGARDING THE APPROPRIATE ENGINEERING STANDARDS, ENGINEERS SHOULD CONSULT WITH THE LOCAL AUTHORITY.
AS CONSTRUCTION PROCEEDS, MUST BE VERIFIED PRIOR TO FOUNDATION FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE REVIEW OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE OF JARDIN DESIGN GROUP INC. AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

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2	JAN. 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018	COMPLETED TO PRECONSTRUCTION STAGE. ISSUED TO CLIENT

No. DATE: WORK DESCRIPTION:
jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code.

Walter Kotler 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the Building Code.

jardin design group inc. 27763
FIRM NAME BCIN

SECOND FL. PLAN EL-2
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

TYPE T AREA
SCALE 3/16" = 1'-0"
PROJ. NO. 08-18 DWG. NO. 3A

RECEIVED
JUN 10 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

MAR 21 2019

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

SMOKE ALARMS AND CARBON
MONOXIDE DETECTORS SHALL
CONFORM TO SUBSECTIONS
9.10.19. AND 9.33.4. OF THE
ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

- LEGEND:**
- BUILDING FACE < THAN 4'-0" (1.2m)
(45 MIN. FIRE RATING REQ'D)
 - INDICATES SOLID BEARING REQUIRED
OR POINT LOAD FROM ABOVE
 - ▨ STL. PLATE FOR STEEL COLN ABOVE
LAMINATED VENEER LUMBER
 - LVL
 - S.J. SINGLE JOIST
 - D.J. DOUBLE JOIST
 - T.J. TRIPLE JOIST
 - REPEAT NOTE
 - SHOWER VEEPEERS

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
ROOF TRUSS DRAWINGS BY MANUFACTURER.

It is the designer's complete responsibility to ensure that all plans comply with the applicable Building Code and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Designer/Architect is not responsible in any way for examining or approving any (existing) plans or working drawings with respect to city zoning or building code or permit matter or that any house can be properly built or located on a lot.
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.
JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: MAY 21, 2019
The Engineer/Architect/Designer/Manufacturer shall be responsible for ensuring that the plans comply with the applicable Building Code and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement.

2638

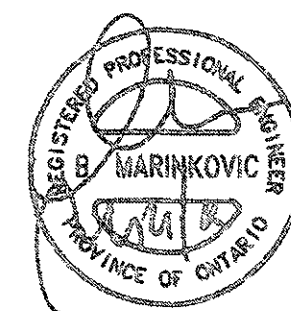
11.0m LOTS

BARTON 3 (GR)
ELEVATION 1

ENERGY STAR

O.REG. 332/12

STRUDET INC.



FOR STRUCTURAL ONLY

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ASSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE FIRST-ORDERING DRAWINGS BEFORE PROCEEDING WITH WORK.

ANY CONSTRUCTION EVENTS MUST BE VIEWED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS AND SHALL BE RETAINED TO OBTAIN A GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. IT IS DRAFTED TO BE USED FOR THE PROJECT ONLY.

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2 JAN. 17, 2018 ISSUED FOR BUILDING PERMIT

1 OCT. 15, 2018 COMPLETED PRE-CONSTRUCTION STAGE, ISSUED TO CLIENT

No. DATE WORK DESCRIPTION:

Jardin

DESIGN GROUP INC

64 JARDIN DR. SUITE 3A

VAUGHAN ONT. L4K 3P3

TEL: 905 660-3377 FAX: 905 660-3713

EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botka *Walter Botka* 21031

NAME SIGNATURE

REGISTRATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763

DATE NAME

DECK CONDITION EL-1

LAMBERTS LANE PHASE 2

TOWN OF CALEDON

TYPE AREA

SCALE 3/16" = 1'-0"

PROJ. No. 08-18

DWG. No. 3-1

BILD

THIS IS TO CERTIFY THAT THESE PLANS COMPLY WITH THE APPLICABLE ARCHITECTURAL DESIGN GUIDELINES APPROVED BY THE TOWN OF CALEDON.

ROBIN C. WILLIAMS, ETU., ARCHITECT

ARCHITECTURAL DESIGN, REVIEW AND APPROVAL

DATE: 08/01/2018

THESE PLANS ARE TO BE USED IN CONJUNCTION WITH THE TOWN OF CALEDON BUILDING CODE.

FOR ADDITIONAL DECK STRUCTURE REFER TO PAGE 7 OF THE DETAIL PACKAGE

52'-0"

39'-6"

20'-0"

2'-0"

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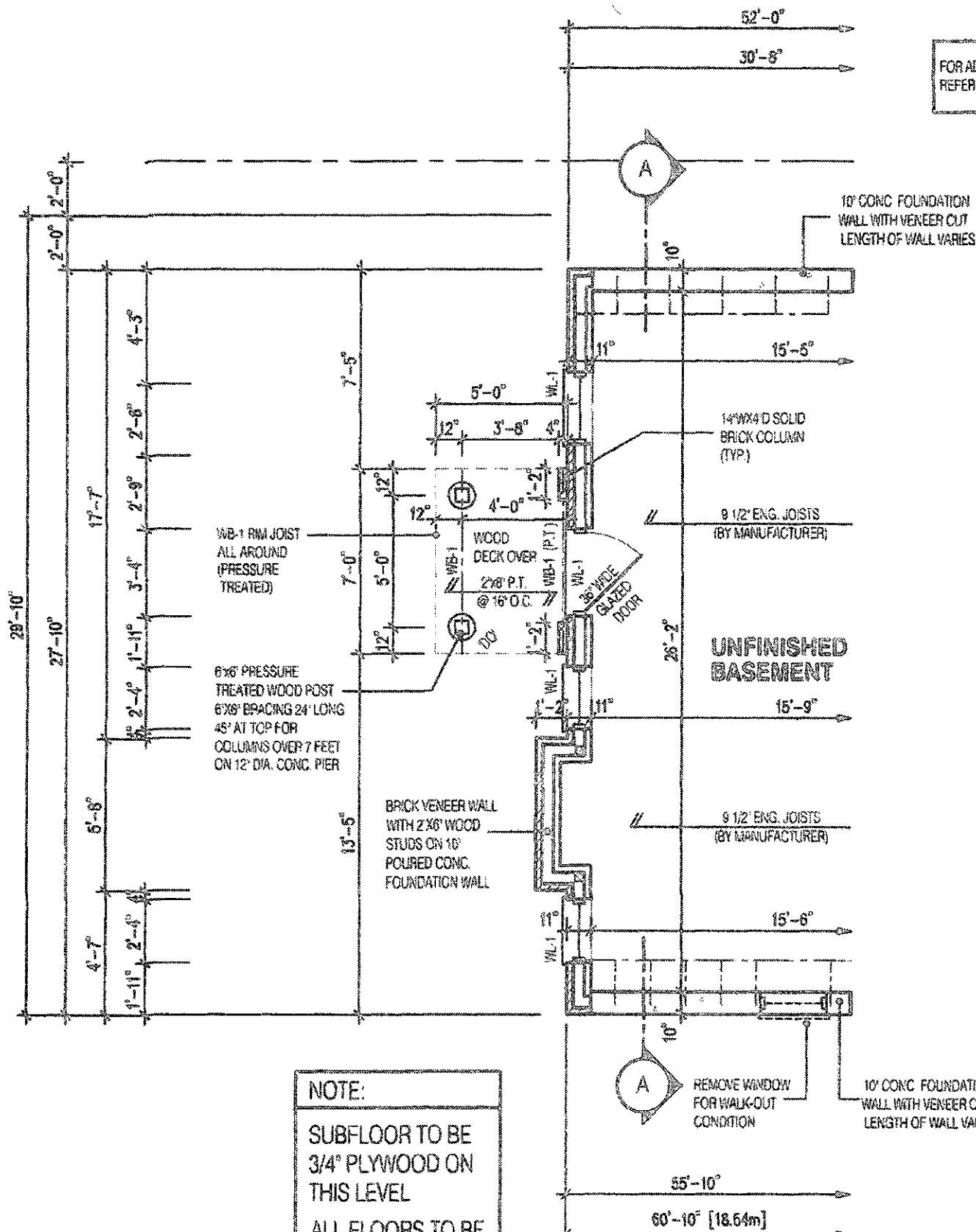
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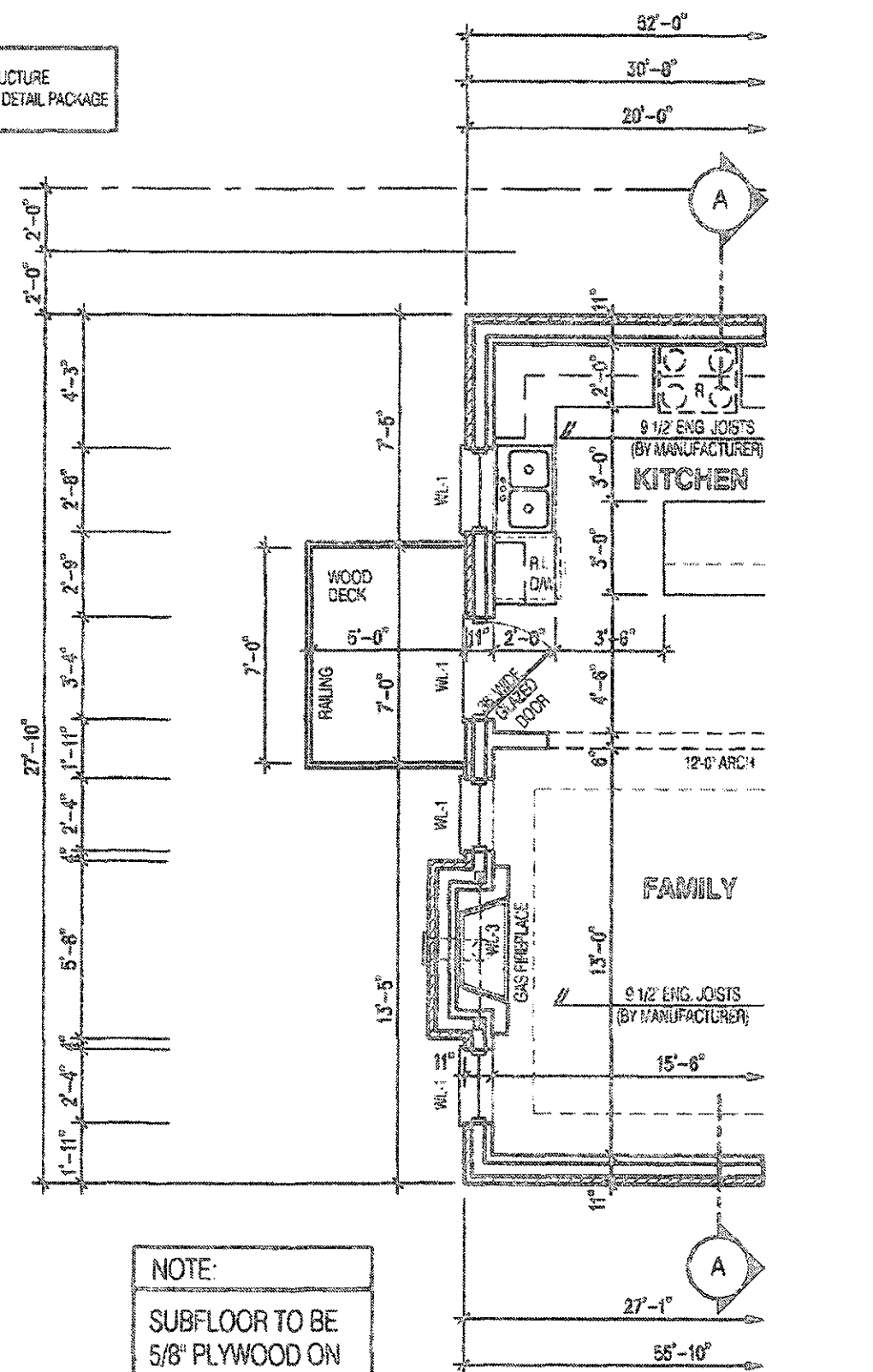
2'-0"

2'-0"



NOTE:
SUBFLOOR TO BE 3/4\"/>

PARTIAL BASEMENT LAYOUT
FOR WALK-OUT / DECK CONDITION EL-1



NOTE:
SUBFLOOR TO BE 5/8\"/>

PARTIAL FIRST FLOOR LAYOUT
FOR WALK-OUT / DECK CONDITION EL-1

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

*FOUNDATION WALL
4-7' MAX. FROM GRADE TO SLAB FOR 10' UNSUPPORTED SOLID CONC. WALL
3-11' MAX. FROM GRADE TO SLAB FOR 8' UNSUPPORTED SOLID CONC. WALL
2-7' MAX. FROM GRADE TO SLAB FOR 6' UNSUPPORTED SOLID CONC. WALL
(AS PER O.B.C. 9.15.4.2)

NOTE:
WHEN VENEER CUT IS GREATER THAN
26\"/>

NOTE:
REFER TO SHEET NO. 0 - FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12\"/>

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
FLOOR TRUSS LAYOUT BY MANUFACTURER

LEGEND:
[Symbol] BUILDING FACE < THAN 4'-0\"/>

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Council
Architect is not responsible in any way for
examining or approving site (lotting) plans or
existing drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL DESIGN REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: MAR 21 2019
TOWN OF CALEDON

2638
11.0m LOTS
BARTON 3 (GR)
ELEVATION 1
ENERGY STAR
O.REG. 332/12

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROFESSIONAL ENGINEER
PROVINCE OF ONTARIO

FOR STRUCTURAL ONLY

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO ARCHITECTURAL DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

ARCHITECTURAL DESIGN GROUP INC. SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS ON SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS ON SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS ON SITE.

THESE DRAWINGS ARE NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN PERMISSION OF ARCHITECTURAL DESIGN GROUP INC.

THIS DRAWING IS AN INSTRUMENT OF SERVICE PROVIDED BY AND IS THE PROPERTY OF ARCHITECTURAL DESIGN GROUP INC. IT IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF ARCHITECTURAL DESIGN GROUP INC.

NO.	DATE	WORK DESCRIPTION
2	JAN 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018	COMPLETED TO PRE-CONSTRUCTION STAGE. ISSUED TO CLIENT

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 12.3 of the Building Code.

Walter Rottler [Signature] 21031
NAME SIGNATURE BCN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 12.3 of the Building Code.

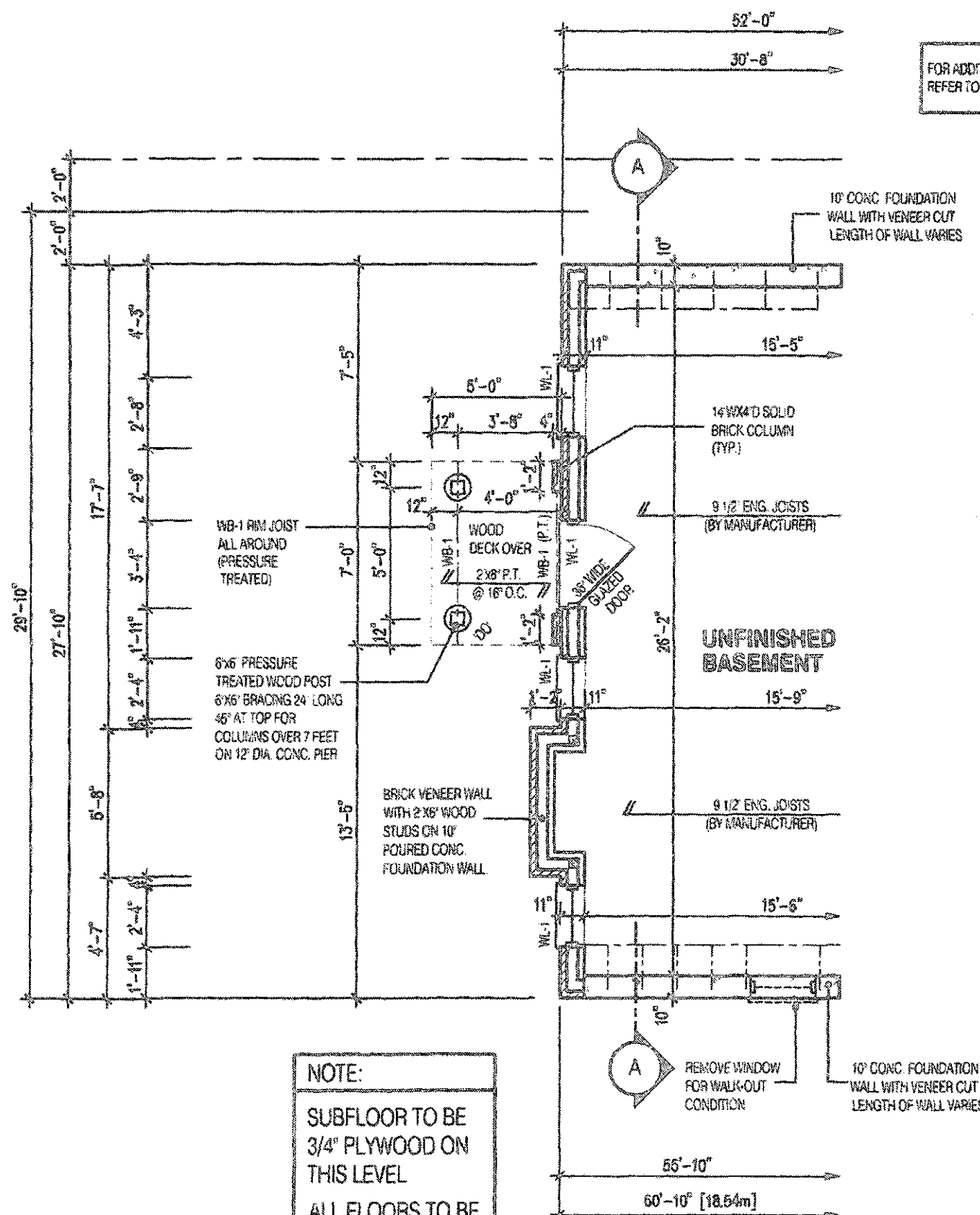
jardin design group inc. 27765
FIRM NAME BCN

WALK-OUT / DECK CONDITION EL-1
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

TYPE	AREA
T	---

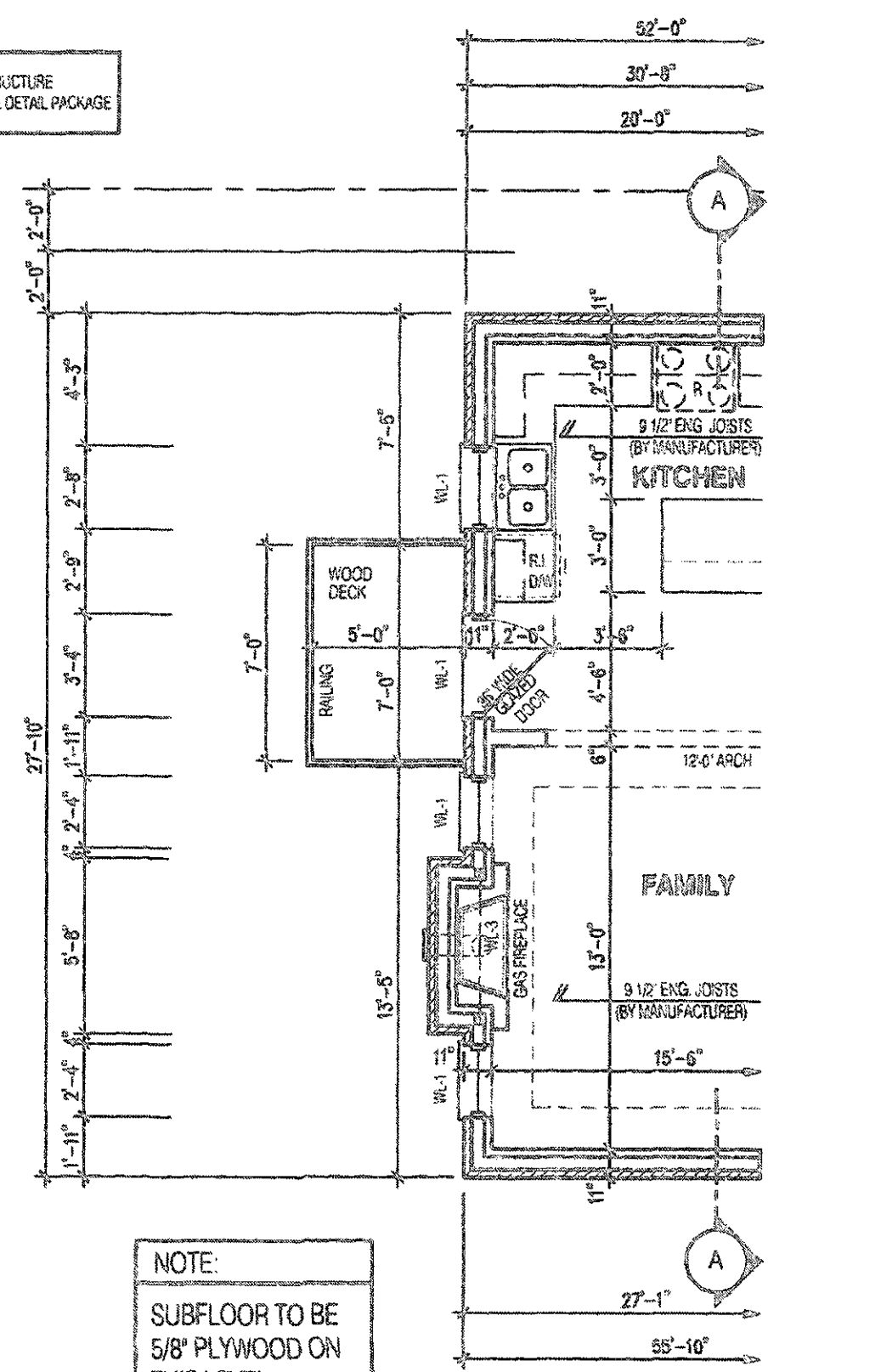
SCALE 3/16" = 1'-0"

PROJ. NO.	DWG. NO.
08-18	3-2



NOTE:
SUBFLOOR TO BE 3/4\"/>

PARTIAL BASEMENT LAYOUT FOR WALK-OUT / DECK CONDITION EL-2



NOTE:
SUBFLOOR TO BE 5/8\"/>

PARTIAL FIRST FLOOR LAYOUT FOR WALK-OUT / DECK CONDITION EL-2

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

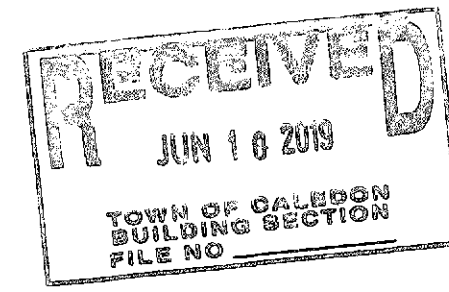
*FOUNDATION WALL
4'-7" MAX. FROM GRADE TO SLAB FOR 10' UNSUPPORTED SOLID CONC. WALL
3'-11" MAX. FROM GRADE TO SLAB FOR 8' UNSUPPORTED SOLID CONC. WALL
2'-7" MAX. FROM GRADE TO SLAB FOR 6' UNSUPPORTED SOLID CONC. WALL
(AS PER O.B.C. 9.15.4.2)

NOTE:
REFER TO SHEET NO. 0 - FOR UNTEL, BEAMS AND DOOR SIZE

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 6'-7"; 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.



- LEGEND:**
- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
 - INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
 - STL. PLATE FOR STEEL COLN ABOVE
 - LVL LAMINATED VENEER LUMBER
 - S.J. SINGLE JOIST
 - D.J. DOUBLE JOIST
 - T.J. TRIPLE JOIST
 - REPEAT NOTE
 - SHOWER WEEPERS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any drawings in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or partial violation or that any house can be properly built or located on its lot.

JOHN G. WILKINS LTD., ARCHITECT
ARCHITECTURAL DESIGN, INC.
AND ASSOCIATES

DESIGNED BY: [Signature]
DATE: MAY 21, 2019

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

2638

11.0m LOTS

BARTON 3 (GR)

ELEVATION 2

ENERGY STAR

O.REG. 332/12

STRUDET INC.

FOR STRUCTURAL ONLY

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2	JUN 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018	COMPLETED TO PRECOORDINATION STAGE, ISSUED TO CLIENT

NO. DATE: WORK DESCRIPTION:

jardin

DESIGN GROUP INC

64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUANTIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Boffe 11031
NAME SIGNATURE BCN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

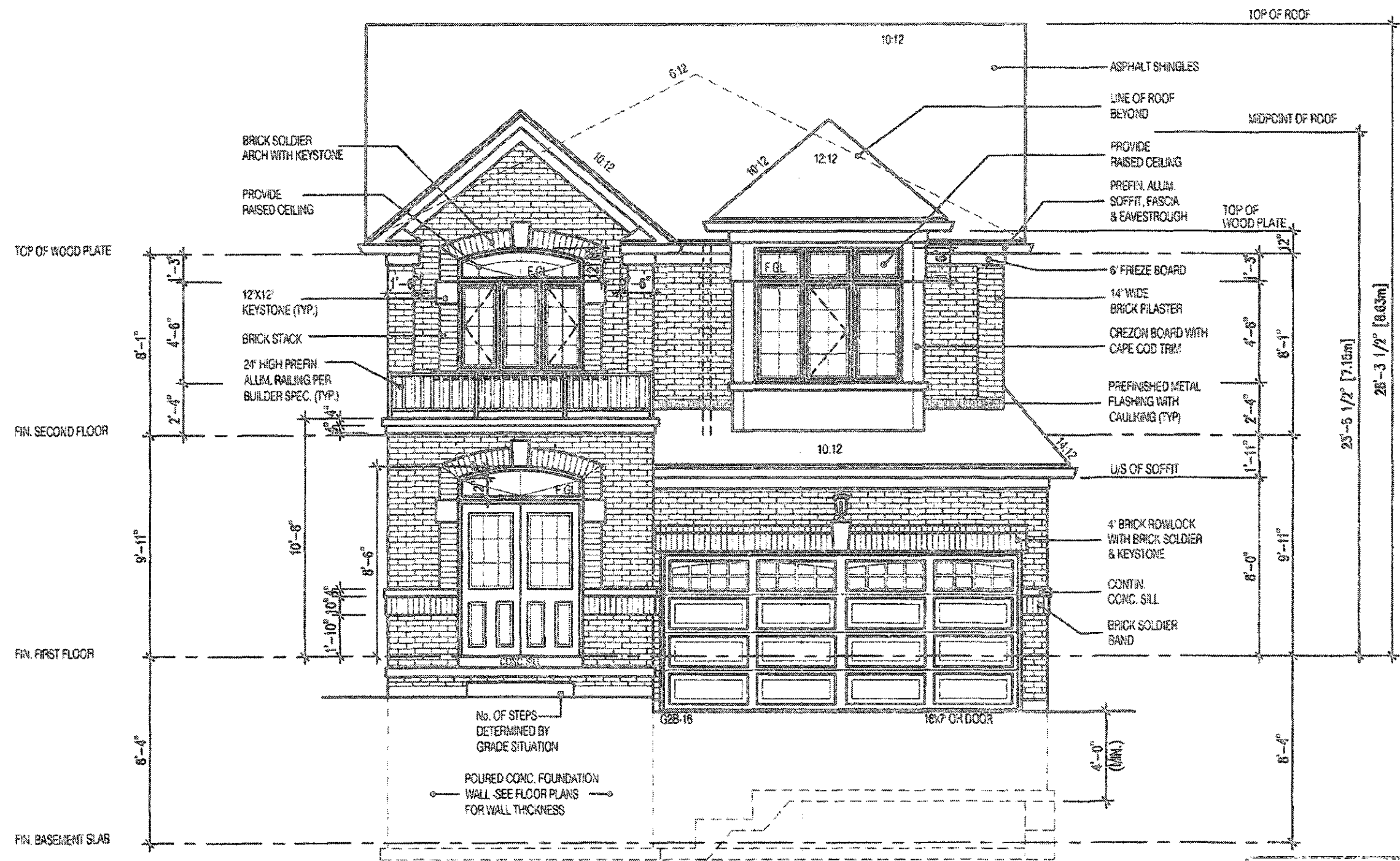
jardin design group inc. 27763
FIRM NAME BCN

WALK-OUT / DECK CONDITION EL-2

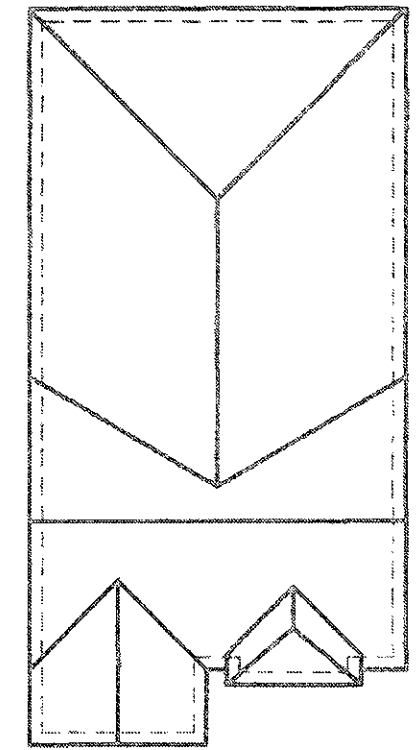
LAMBERTS LANE PHASE 2

TOWN OF CALEDON

TYPE	AREA
T	---
SCALE:	3/16" = 1'-0"
PROJ. NO.	DWG. NO.
08-18	3A-2

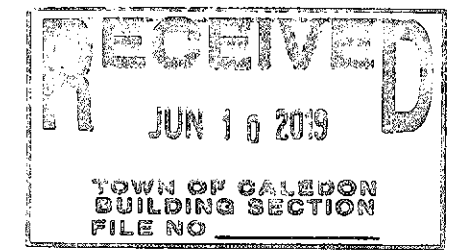


**BARTON 3
ELEV-1**



ROOF PLAN
N.T.S.

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE



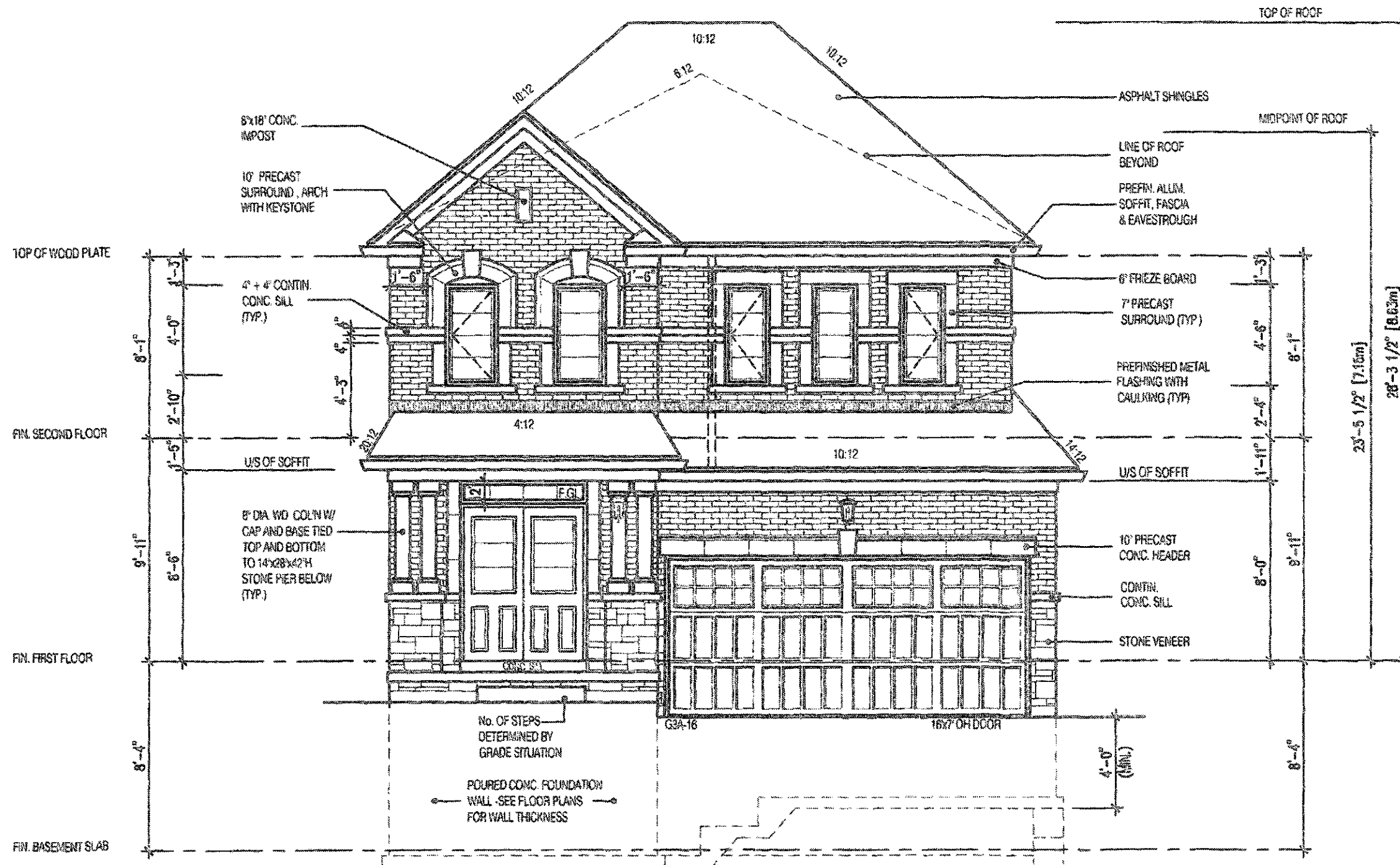
MAR 21 2019

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on the lot.

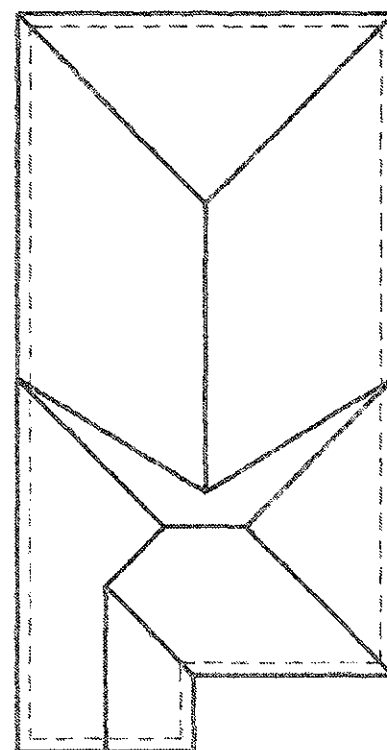
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Caledon.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONSULTING REVIEW AND APPROVAL
APPROVED BY: [Signature]
DATE: MAY 31, 2019
This stamp is not valid unless it is accompanied by the original plans and specifications.

2638	
11.0m LOTS	
BARTON 3 (GR)	
ELEVATION 1	
ENERGY STAR	
O.REG. 332/12	
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION OF THE PROJECT OR THE ISSUANCE OF A BUILDING PERMIT. REFERENCE TO THE APPROPRIATE BUILDING DEPARTMENT DRAWINGS BE FORWARDED TO THE TOWN OF CALEDON. AS CONSTRUCTED INVERTS MUST BE VERIFIED ON OR TO POLY NO. FOOTINGS. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONSTRUCTION OR THE CONTRACTOR TO CARRY OUT THE WORK ACCORDING TO THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE COPIED.	
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2	JAN 17, 2019 ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018 COMPLETED TO PRECOORDINATION STAGE, ISSUED TO CLIENT
No.	DATE: WORK DESCRIPTION:
jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.9 of the building code. Walter Boller 21037 NAME SIGNATURE BCN REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.9 of the building code. jardin design group inc. 27763 FIRM NAME BCN	
FRONT ELEVATION 1	
LAMBERTS LANE PHASE 2	
TOWN OF CALEDON	
TYPE	AREA
T	---
SCALE	3/16" = 1'-0"
PROJ. NO	DWG. No.
08-18	4

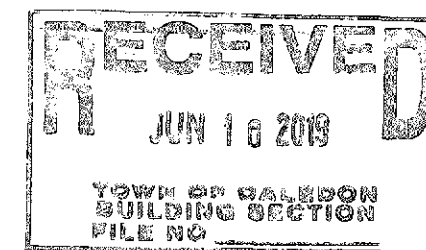


**BARTON 3
ELEV-2**



ROOF PLAN
N.T.S.

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

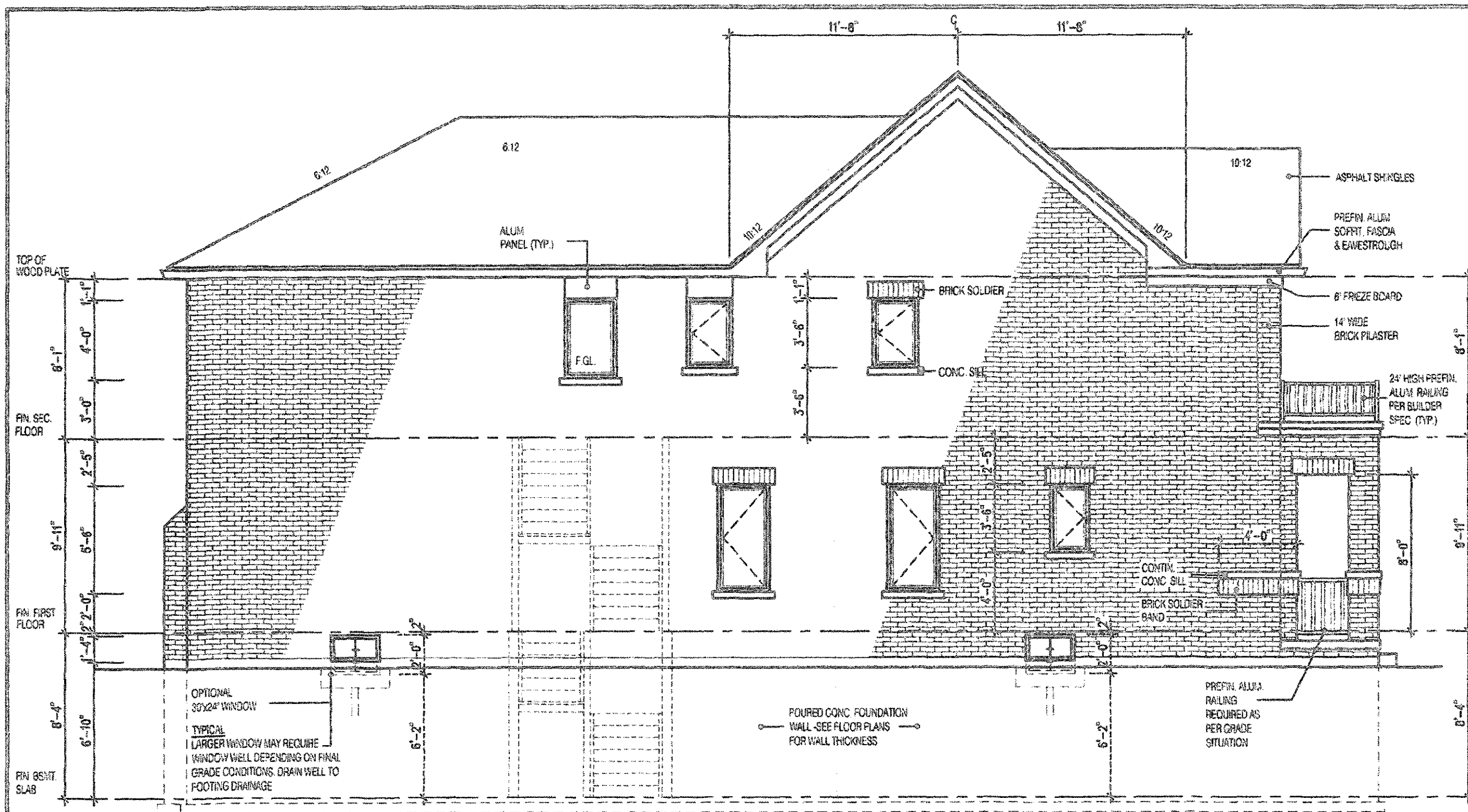


It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL DESIGN
AND APPROVAL
DATE: MAY 21, 2018
THIS DOCUMENT IS THE PROPERTY OF JOHN C. WILLIAMS LTD. IT IS TO BE KEPT IN THE OFFICE OF THE ARCHITECT AND NOT TO BE LOANED, REPRODUCED, COPIED, OR IN ANY MANNER USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF JOHN C. WILLIAMS LTD.

2638	
11.0m LOTS	
BARTON 3 (GR) ELEVATION 2	
ENERGY STAR	
O.REG. 332/12	
THE CONTRACTOR SHALL CHECK AND VERIFY ALL CONDITIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ANY OTHER INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION BASED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE CONSULTING ENGINEER'S PROCEEDINGS FOR MORE INFORMATION. AS CONSTRUCTED, MEMBERS MUST BE VERIFIED PRIOR TO POURING FOOTINGS. JARDIN DESIGN GROUP INC. HAS BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.	
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2	JAN. 17, 2018 ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018 COMPLETED TO PRECOORDINATION STAGE ISSUED TO CLIENT
No.	DATE: WORK DESCRIPTION:
jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code. Walter Butler <i>WBe</i> 21031 NAME SIGNATURE BCIN REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.6 of the building code. jardin design group inc. 27763 FIRM NAME BCIN FRONT ELEVATION 2 LAMBERTS LANE PHASE 2 TOWN OF CALEDON TYPE T AREA --- SCALE: 3/16" = 1'-0" PROJ. No. 08-18 DWG. No. 4A	



SIDE ELEVATION-1

UNPROTECTED OPENINGS

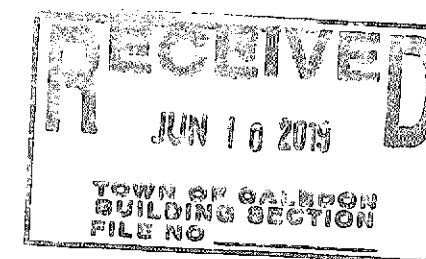
WALL AREA	1108
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDEYARD)	77.6
ACTUAL GLASS AREA	54.9

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

UNPROTECTED OPENINGS WITH OPTIONAL 32"X24" WINDOWS

WALL AREA	1108
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDEYARD)	77.6
ACTUAL GLASS AREA	57.8

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE CANADIAN BUILDING CODE



MAN 2 1 2019

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Central Architect is not responsible in any way for examining or approving any (existing) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
UNOFFICIAL
APPROVED BY
DATE: JUN 27 2019
The Town of Caledon is not responsible for the accuracy of the information provided on this plan.

2638
11.0m LOTS
BARTON 3 (GR)
ELEVATION 1
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHOULD BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL ENGINEERING, OR ANY OTHER INFORMATION PROVIDED BY OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT A GENERAL REVIEW OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF WORK.
THIS DRAWING IS AN INSTRUMENT OF SERVICE PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF JARDIN DESIGN GROUP INC.

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jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

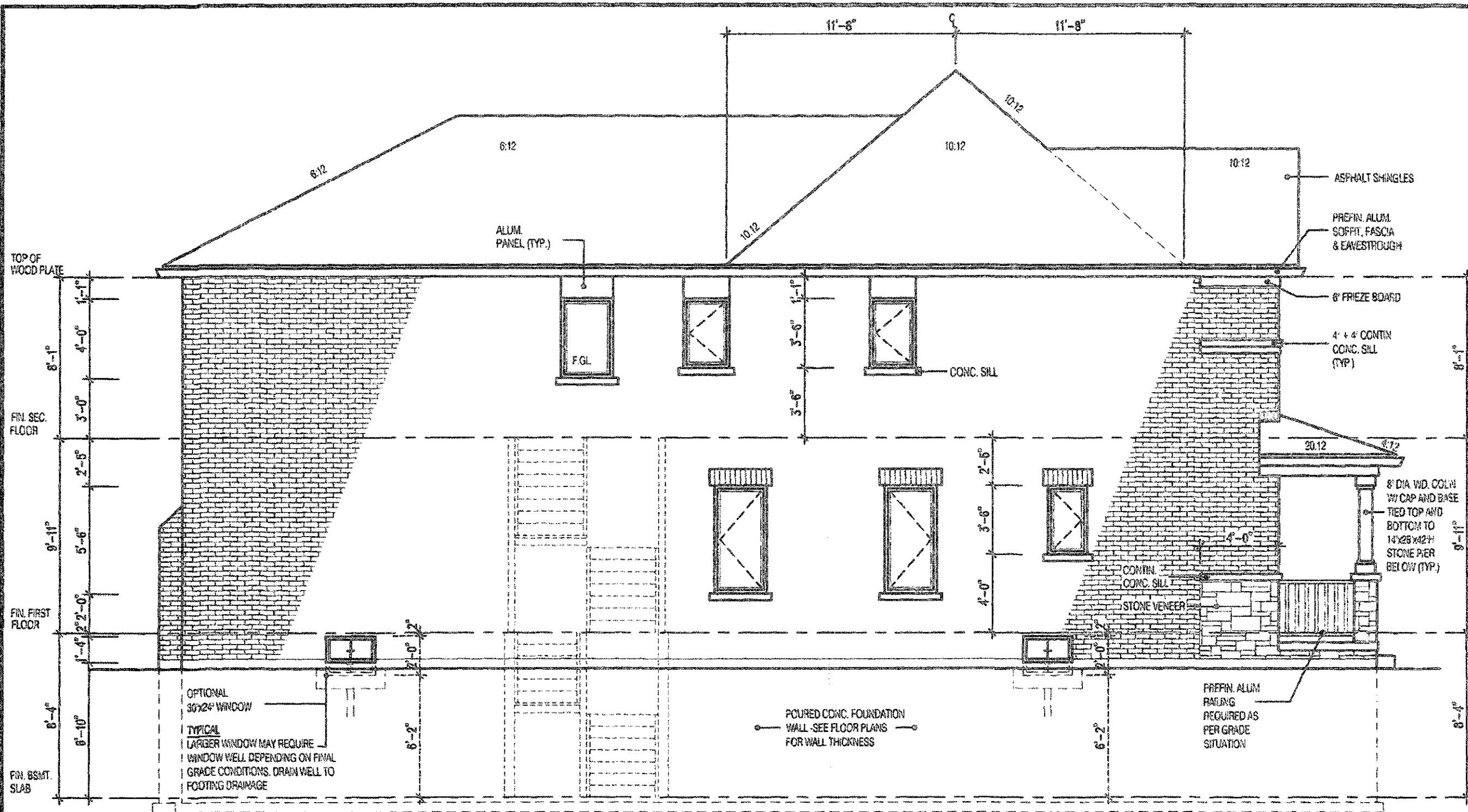
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.
Walter Butler 21031
NAME SIGNATURE
Jardin design group inc. 27763
FIRM NAME BON

SIDE ELEVATION 1
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

TYPE	T	AREA	---
SCALE	3/16" = 1'-0"		
PROJ. No	08-18	DWG. No	5





SIDE ELEVATION-2

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE CANADIAN BUILDING CODE

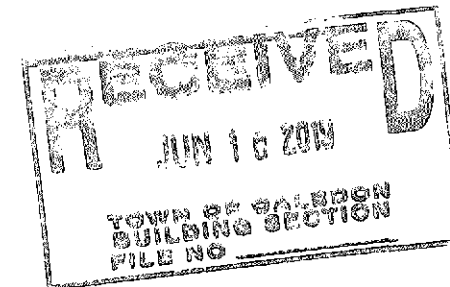
UNPROTECTED OPENINGS

WALL AREA	1108	⊕
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDEYARD)	77.6	⊕
ACTUAL GLASS AREA	54.9	⊕

**UNPROTECTED OPENINGS
WITH OPTIONAL 32"X24" WINDOWS**

WALL AREA	1108	⊕
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDEYARD)	77.6	⊕
ACTUAL GLASS AREA	57.8	⊕

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING



2638	
11.0m LOTS	
BARTON 3 (GR)	
ELEVATION 2	
ENERGY STAR	
O.REG. 332/12	
THIS CONTRACTOR SHALL CHECK FOR ALL EXISTING AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OR COMPLETION OF THIS DRAWING. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR THE ACCURACY AND COMPLETION OF THESE DRAWINGS. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR THE FAILURE OF THE CONSTRUCTION OR CONSTRUCTION TO CARRY OUT THE WORK AS SHOWN ON THIS DRAWING. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR THE FAILURE OF THE CONSTRUCTION TO CARRY OUT THE WORK AS SHOWN ON THIS DRAWING. THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.	
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2	JAN. 17, 2019 ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018 COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT
No.	DATE: WORK DESCRIPTION:
jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 12.5 of the building code. Walter Botter <i>Walter Botter</i> 21031 NAME SIGNATURE BCIN REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 12.4 of the building code. Jardin design group inc. 27763 FIRM NAME BCIN	
SIDE ELEVATION 2	
LAMBERTS LANE PHASE 2	
TOWN OF CALEDON	
TYPE T	AREA
SCALE: 3/16" = 1'-0"	
PROJ. NO. 08-18	DWG. NO. 5A

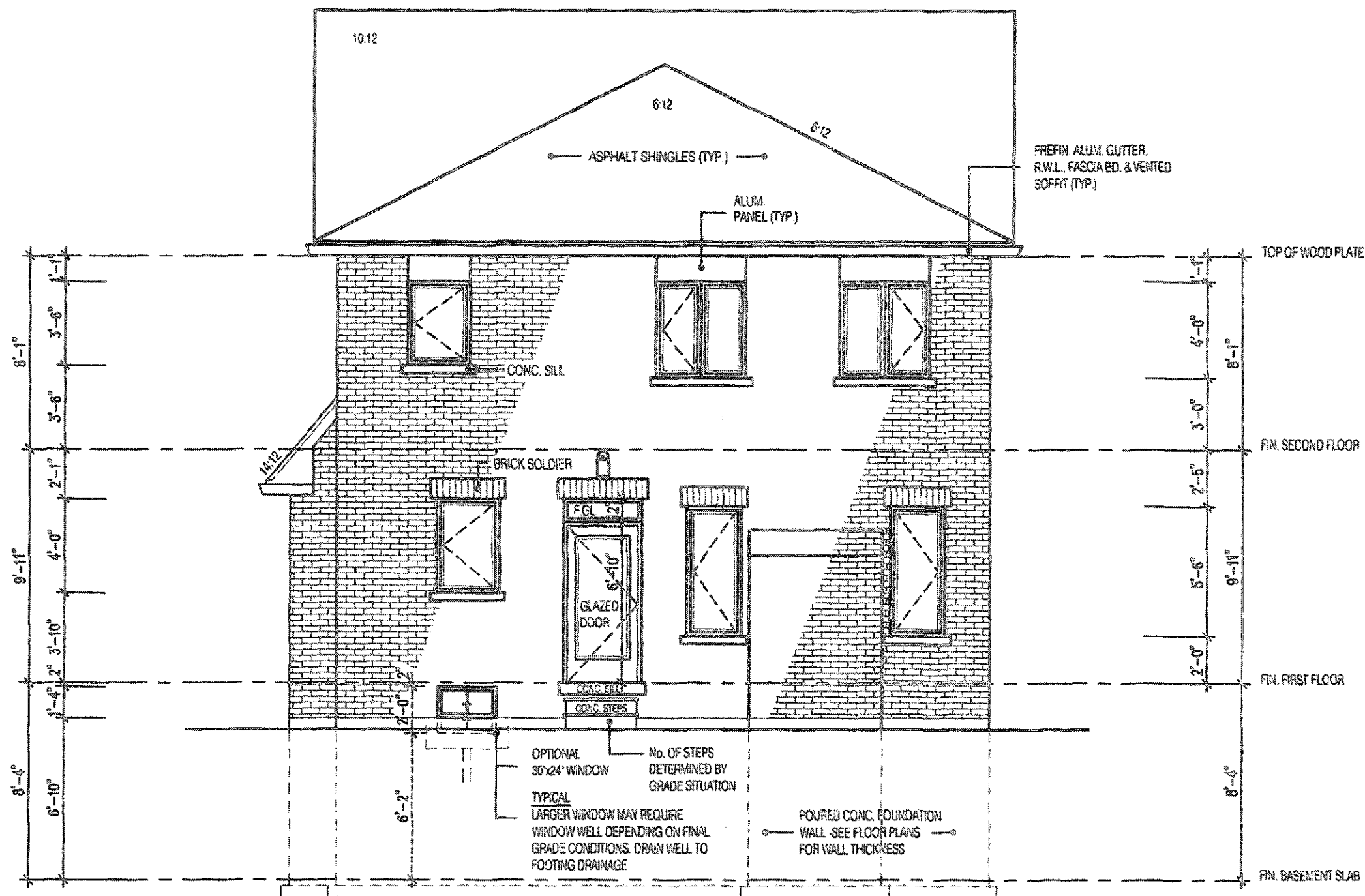
It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Council
Architect is not responsible in any way for
examining or approving site (lotting) plans or
existing drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on the lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

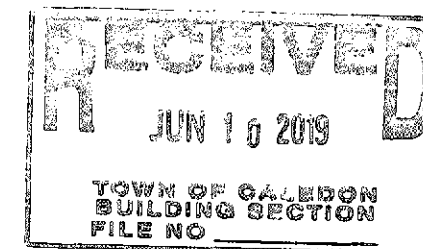
JOHN C. WILLIAMS LTD. ARCHITECT
PROFESSIONAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: *[Signature]*
DATE: MAY 21, 2019

The user of this drawing shall be responsible for
the failure of the construction to carry out the
work as shown on this drawing.



REAR ELEVATION-1



THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

2638

11.0m LOTS

BARTON 3 (GR)
ELEVATION 1

ENERGY STAR

O.REG. 332/12

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JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REPORT TO THE APPROPRIATE ENGINEER AND DRAFTER BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED, INVENTS MUST BE VERIFIED PRIOR TO POURING FOOTING.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS A REPRESENTATION OF SERVICE IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

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2	JAN. 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018	COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT

No. DATE WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 2.2.5 of the building code.

Walter Boffer *Walter Boffer* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 2.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

REAR ELEVATION 1

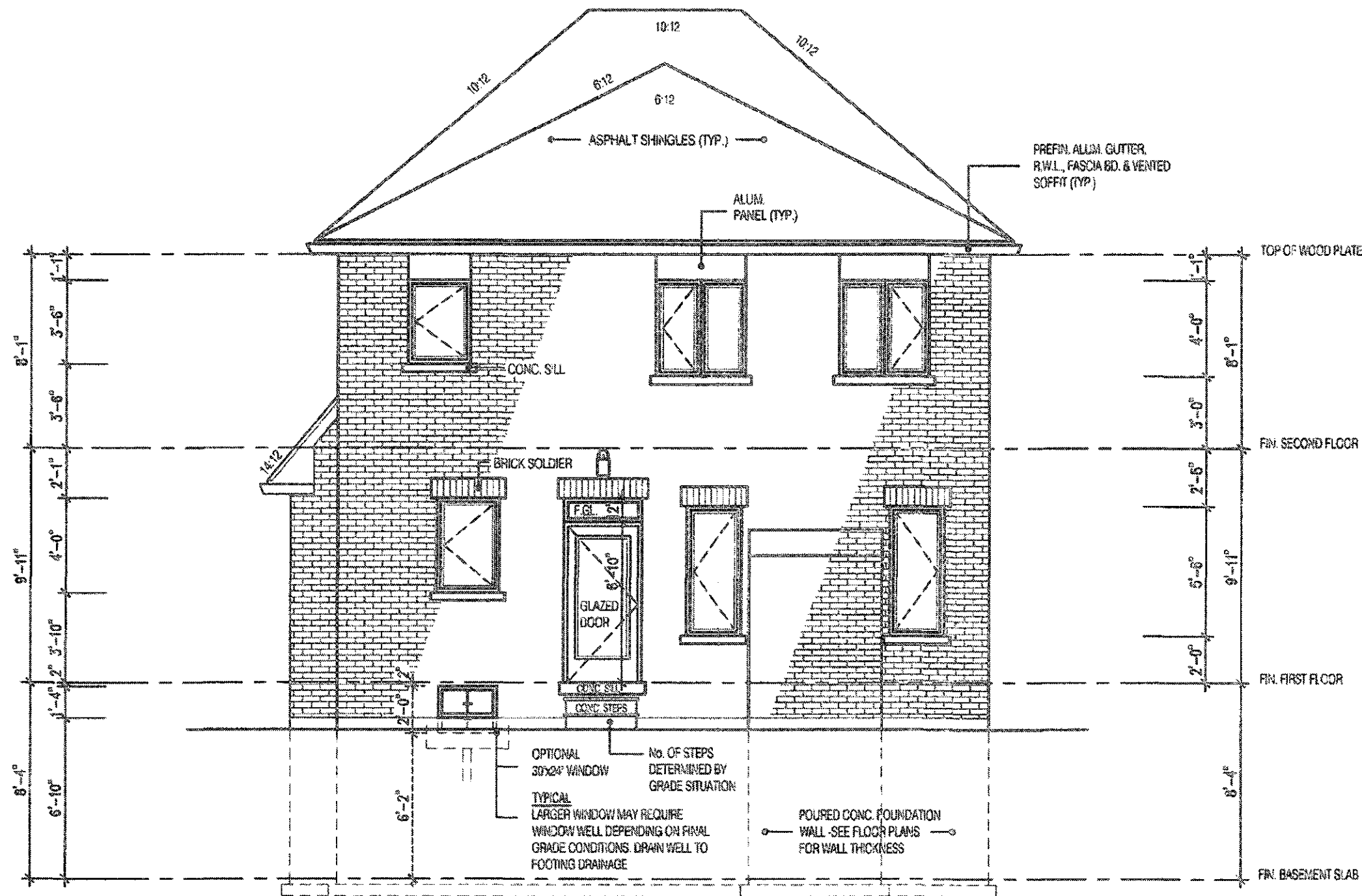
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD	TYPE	T	AREA	
	SCALE	3/16"=1'-0"		
	PROJ. No.	08-18	DWG. No.	6

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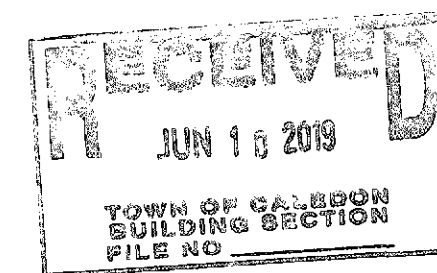
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN C. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: *John C. Williams*
DATE: MAY 24, 2019
Building Code Officer, Town of Caledon
1000 SHEPPARD AVENUE EAST, SUITE 100
SCARBOROUGH, ONTARIO M1S 1B7



REAR ELEVATION-2

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

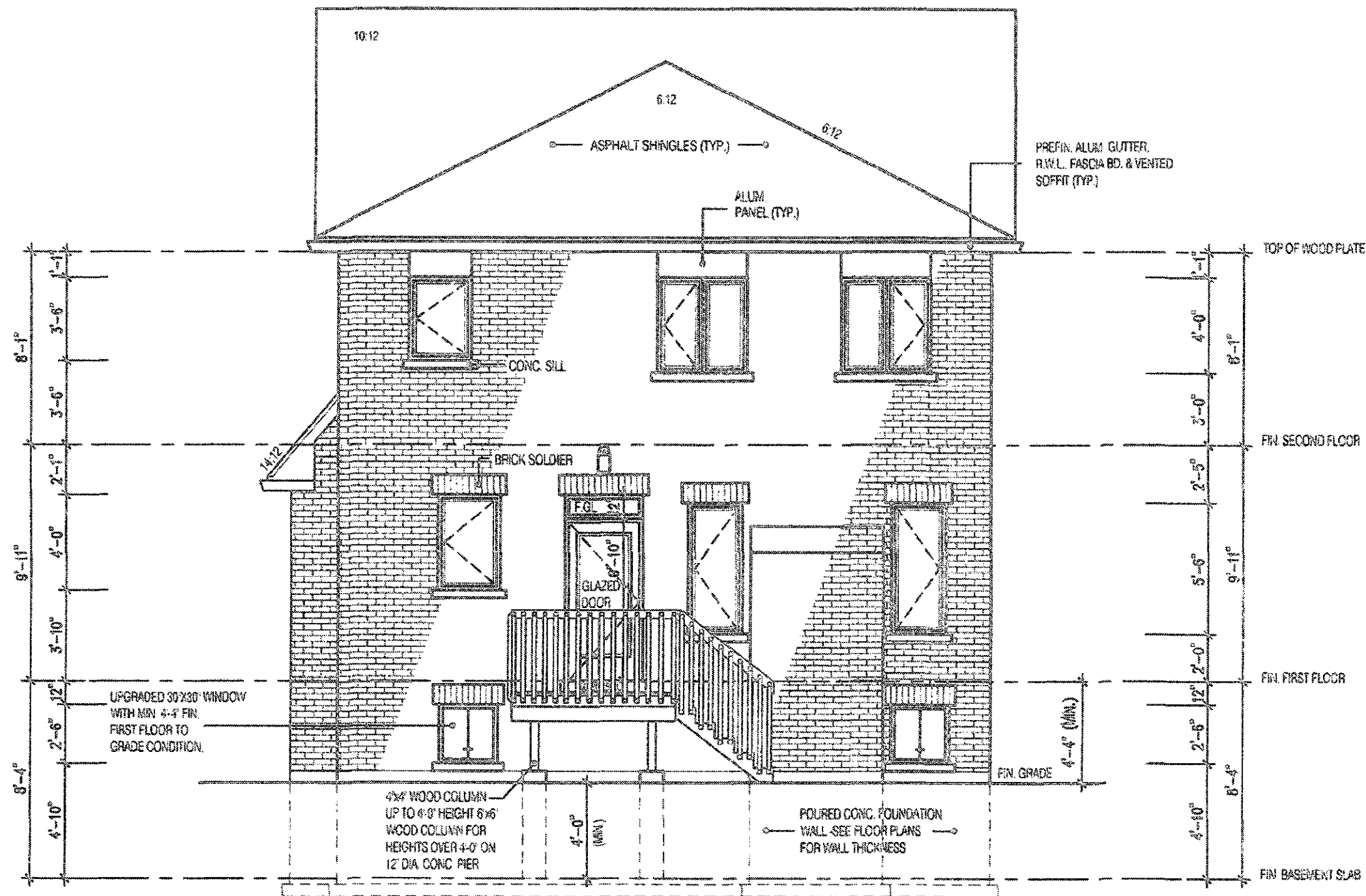


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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN C. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: MAY 24, 2019
THIS PLAN, SPECIFICATIONS, NOTES AND ANY ATTACHED DRAWINGS ARE TO BE USED FOR THE PROJECT IDENTIFIED ON THE TITLE BLOCK ONLY.

2638	
11.0m LOTS	
BARTON 3 (GR) ELEVATION 2	
ENERGY STAR	
O.REG. 332/12	
THE CONTRACTOR SHALL O-COM AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF CLIMATE, STRUCTURAL OR ELECTRICAL INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION VARIATIONS FROM THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE GUIDELINES AND DRAWINGS BEFORE PROCEEDING WITH WORK. AS CONSTRUCTED, PERMITS MUST BE VERIFIED PRIOR TO POURING FOOTINGS. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONSTRUCTION OR OLD CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CURRENT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SOLED.	
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2	JAN. 17, 2019 ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018 COMPLETED TO PREOCCUPATION STAGE. ISSUED TO CLIENT
No:	DATE: WORK DESCRIPTION:
jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.co The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, subsection 12.5 of the building code. Walter Boffe [Signature] 21031 NAME SIGNATURE BCIN REGISTRATION INFORMATION Required unless design is exempt under Division C, subsection 12.5 of the building code. jardin design group inc. 27763 FIRM NAME BCIN	
REAR ELEVATION 2	
LAMBERTS LANE PHASE 2	
TOWN OF CALEDON	
TYPE AREA T SCALE: 3/16" = 1'-0" PROJ. No. 08-18 DWG. No. 6A	



REAR ELEVATION 1 DECK CONDITION

FOR ADDITIONAL DECK STRUCTURE
REFER TO PAGE 7 OF THE DETAIL PACKAGE

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

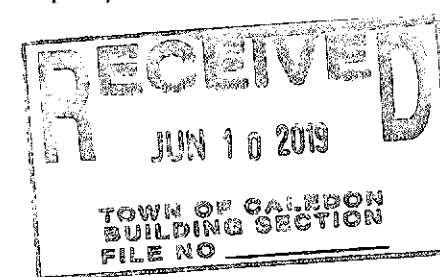
THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED ALL PROVISIONS OF
THE (ONTARIO) BUILDING CODE

NOTE:
WHEN VENEER CUT IS GREATER THAN
26" A 10" POURED CONC. FOUNDATION
WALL IS REQUIRED.
(FOUNDATION PLAN TO BE REVIEWED
IN CONJUNCTION WITH SITE PLAN)

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. This Control
Agent is not responsible in any way for
examining or approving any (filing) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONSULTING
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: 12/21/2017
The seal of the Architect is a condition of the building
code and is required for all building plans.



MAR 21 2016

2638

11.0m LOTS

BARTON 3 (GR)
ELEVATION 1

ENERGY STAR

O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND
CONSTRUCTIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.
ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC.
PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY
OF SURVEY, STRUCTURAL, ELECTRICAL AND INFORMATION ENGINEERING
OR THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE
ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE
ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTION EXPERTS MUST BE AWARE OF ANY TO POLYMER
FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CONDUCT
GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY
FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO
CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT
DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE ISSUED BY JARDIN DESIGN GROUP INC. AND IS
THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT
TO BE REPRODUCED.

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2	JUN 17, 2019 ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018 COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT

No. DATE: WORK DESCRIPTION:

Jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer.

QUALIFICATIONS INFORMATION
Required unless design is exempt under Division C, Subsection
12.5 of the building code.

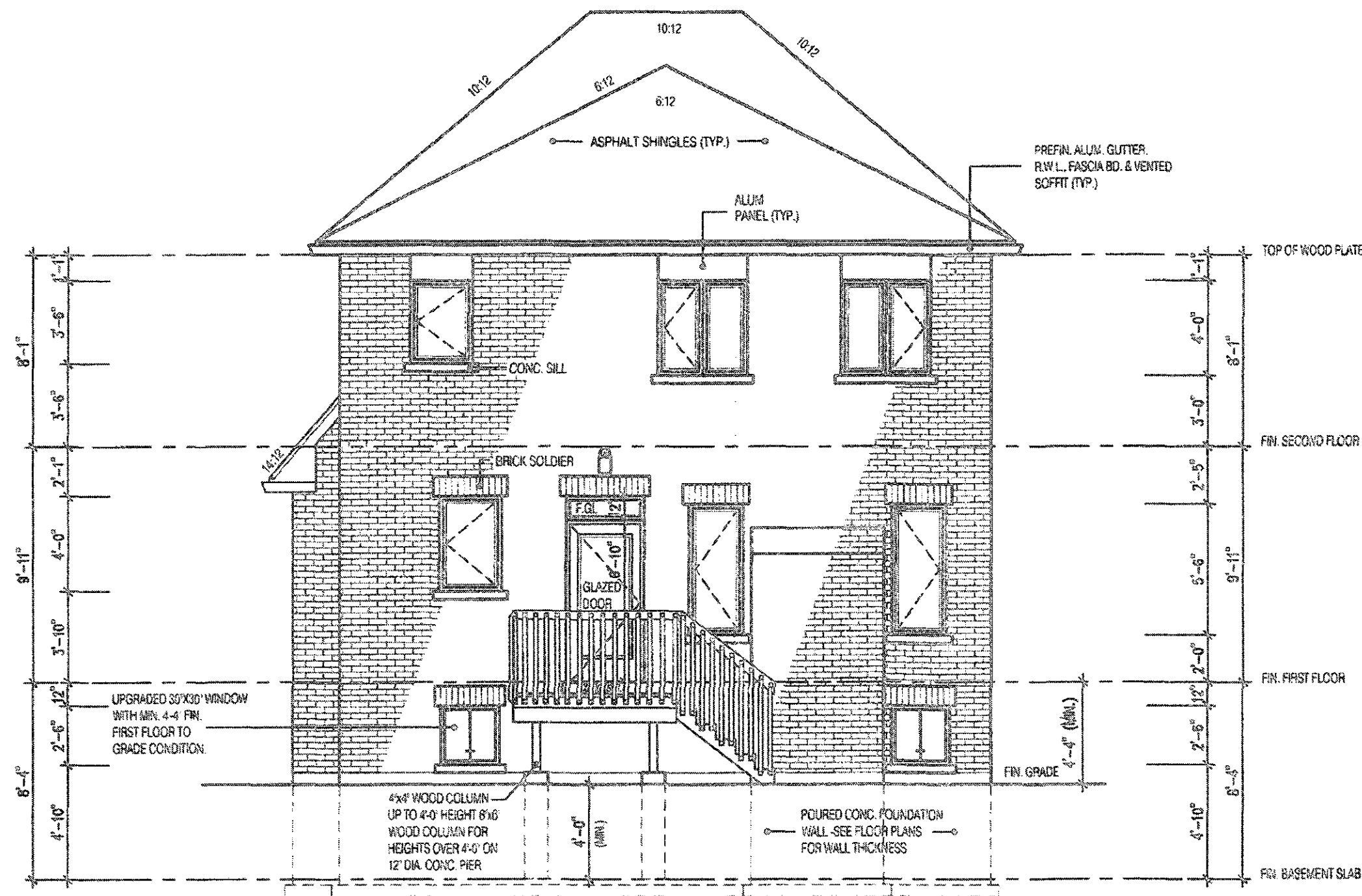
Walter Boller 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
12.4 of the building code.

Jardin design group inc. 27743
FIRM NAME BCIN

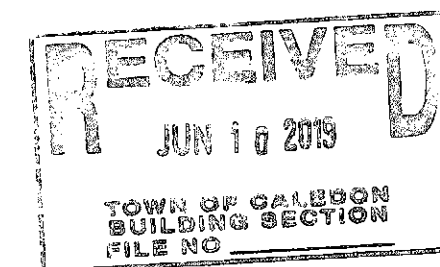
DECK CONDITION EL-1
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

 BILD®	TYPE	AREA
	T	—
	SCALE	$3/16" = 1'-0"$
	PROJ. No.	DWG. No.
	08-18	6-1



REAR ELEVATION 2 DECK CONDITION

FOR ADDITIONAL DECK STRUCTURE
REFER TO PAGE 7 OF THE DETAIL PACKAGE



THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE 2018 BUILDING CODE

NOTE:
WHEN VENEER CUT IS GREATER THAN
26" A 10" POURED CONC. FOUNDATION
WALL IS REQUIRED.
(FOUNDATION PLAN TO BE REVIEWED
IN CONJUNCTION WITH SITE PLAN)

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving any (future) plans or
working drawings with respect to any zoning or
building code or permit number or that any
house can be properly built or located on the lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

JOHN G. WILKINS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: MAY 21, 2019
TOWN OF CALEDON, 1000 SHEPPARD AVE. E. UNIT 101
SCARBOROUGH, ONTARIO M1S 1T6

2638
11.0m LOTS
BARTON 3 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND
CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.
ANY DISCREPANCY SHALL BE REPORTED TO JARDIN DESIGN GROUP
AND FOR OR TO DISCONTINUATION OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY
OF SURVEY, SANITARY, OR ELECTRICAL INFORMATION SHOWN ON
THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE
ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE
ENGINEERING CONSULTING BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED, INVENTS MUST BE VERIFIED PRIOR TO POURING
FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT
GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY
FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO
CONFORM WITH THE WORK IN ACCORDANCE WITH THE COUNCIL
ORDINANCES.
THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND
THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT
TO BE SCALED.

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2	JUN 17, 2019 ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018 COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT

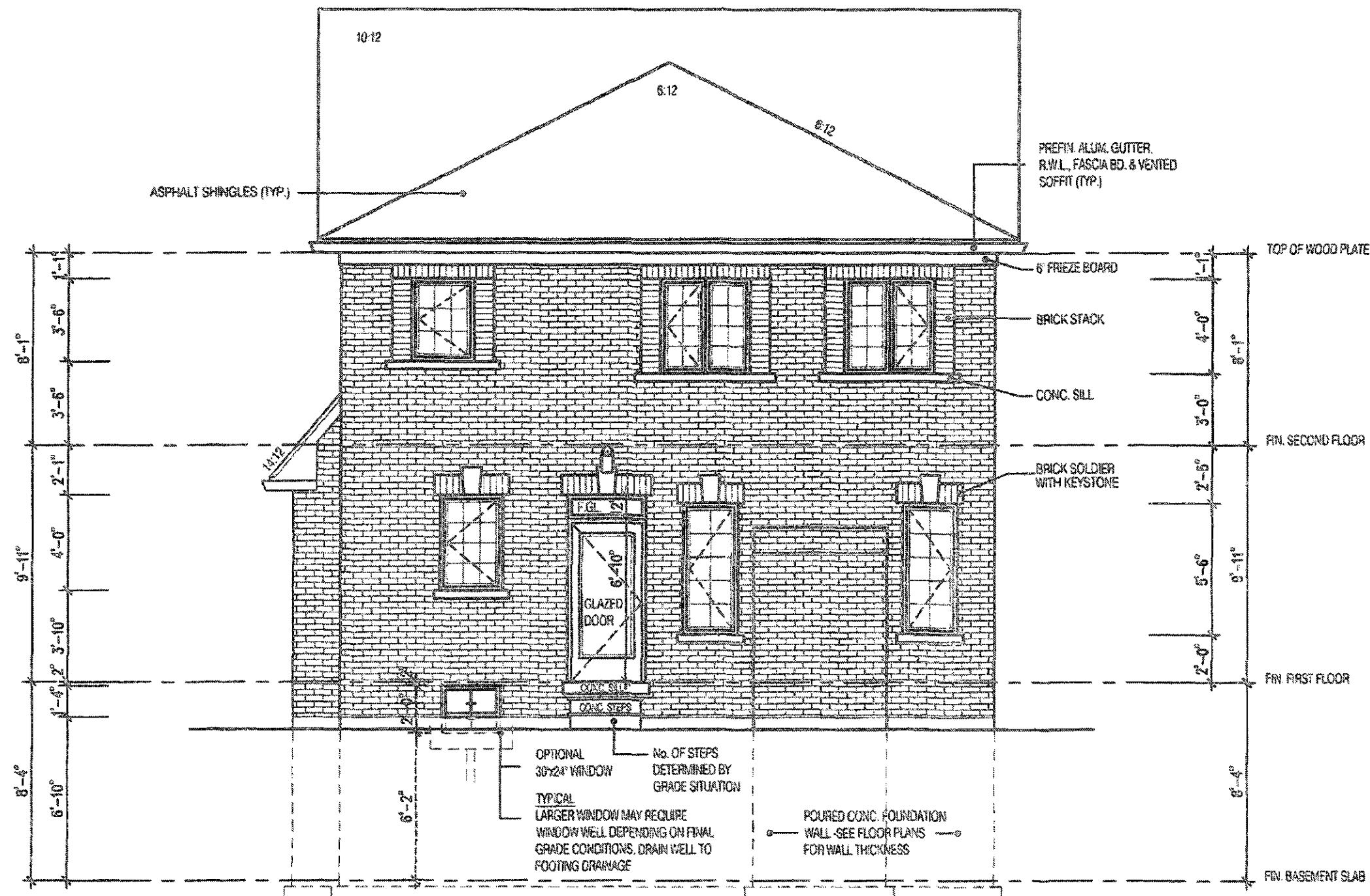
No. DATE: WORK DESCRIPTION:
Jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.5 of the Building Code.

Walter Boller [Signature] 21031
NAME SIGNATURE BCN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.4 of the Building Code.
Jardin design group inc. 27763
FIRM NAME BCN

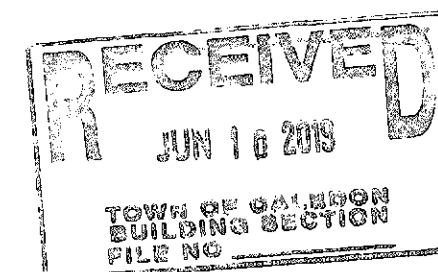
DECK CONDITION EL-2
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

TYPE T AREA ---
SCALE 3/16" = 1'-0"
PROJ. No 08-18 Dwg. No 6A-1



**REAR ELEVATION-1
UPGRADE**

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE 2015 BUILDING CODE



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Central Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: MAY 11, 2018
FOR REVIEW OF THE TOWN OF CALEDON
BUILDING SECTION

2638
11.0m LOTS
BARTON 3 (GR)
ELEVATION 1
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AGAINST ALL ORDINANCES AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY SURFACES SHALL BE REPORTED TO JARDIN DESIGN GROUP AND PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, SITE, OR OTHER INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEER'S DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED, VARIANTS MUST BE VERIFIED PRIOR TO POLYLOG FLOORING.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CONDUCT A GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

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2	JUN 17, 2018	ISSUED FOR BUILDING PERMIT
1	OCT 15, 2018	COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT

No. DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.3 of the building code.

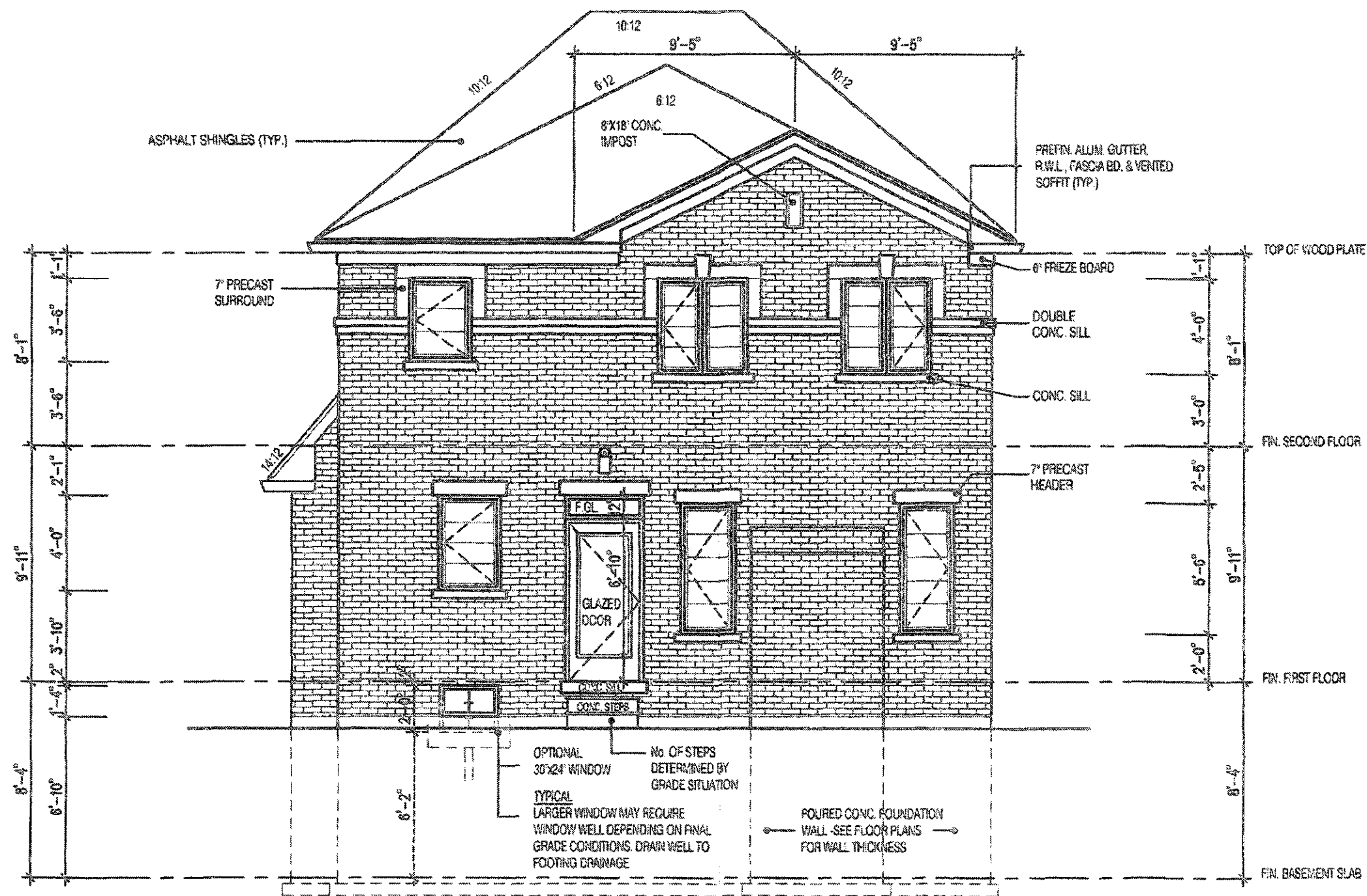
Walter Boller [Signature] 21031
NAME SIGNATURE BCIN

DECLARATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.3 of the building code.

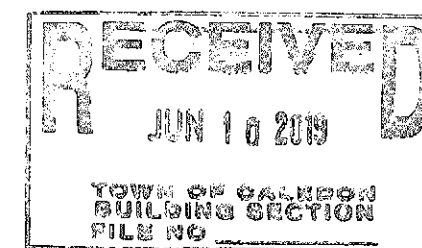
jardin design group inc. 27763
FIRM NAME BCIN

REAR ELEVATION 1
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD
TYPE T AREA
SCALE: 3/16" = 1'-0"
PROJ. No. 08-18 DATE No. 6-2



REAR ELEVATION-2
UPGRADE



THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE REQUIREMENTS OF
THE ONTARIO BUILDING CODE

2638

11.0m LOTS

BARTON 3 (GR)
ELEVATION 2

ENERGY STAR

O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION OR DATA ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING OR SURVEYING SERVICES PROVIDERS WITH WORK AS CONSTRUCTED. DIMENSIONS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONSTRUCTION OR FOR CONSTRUCTION TO COMPLY WITH THE TOWN OF CALEDON BUILDING CODE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING SHALL NOT BE REPRODUCED.

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2	JAN 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018	COMPLETED PRECOORDINATION STAGE, ISSUED TO CLIENT
No.	DATE	WORK DESCRIPTION

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Butler 21031
NAME SIGNATURE ECN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME ECN

REAR ELEVATION 2
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD	TYPE	AREA
	T	---
	SCALE	3/16" = 1'-0"
	PROJ. No	08-18
	DWG. No.	6A-2

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: [Signature]
DATE: MAY 21, 2019
This drawing is the property of JOHN G. WILLIAMS LTD. and shall not be reproduced without the written consent of the Architect.

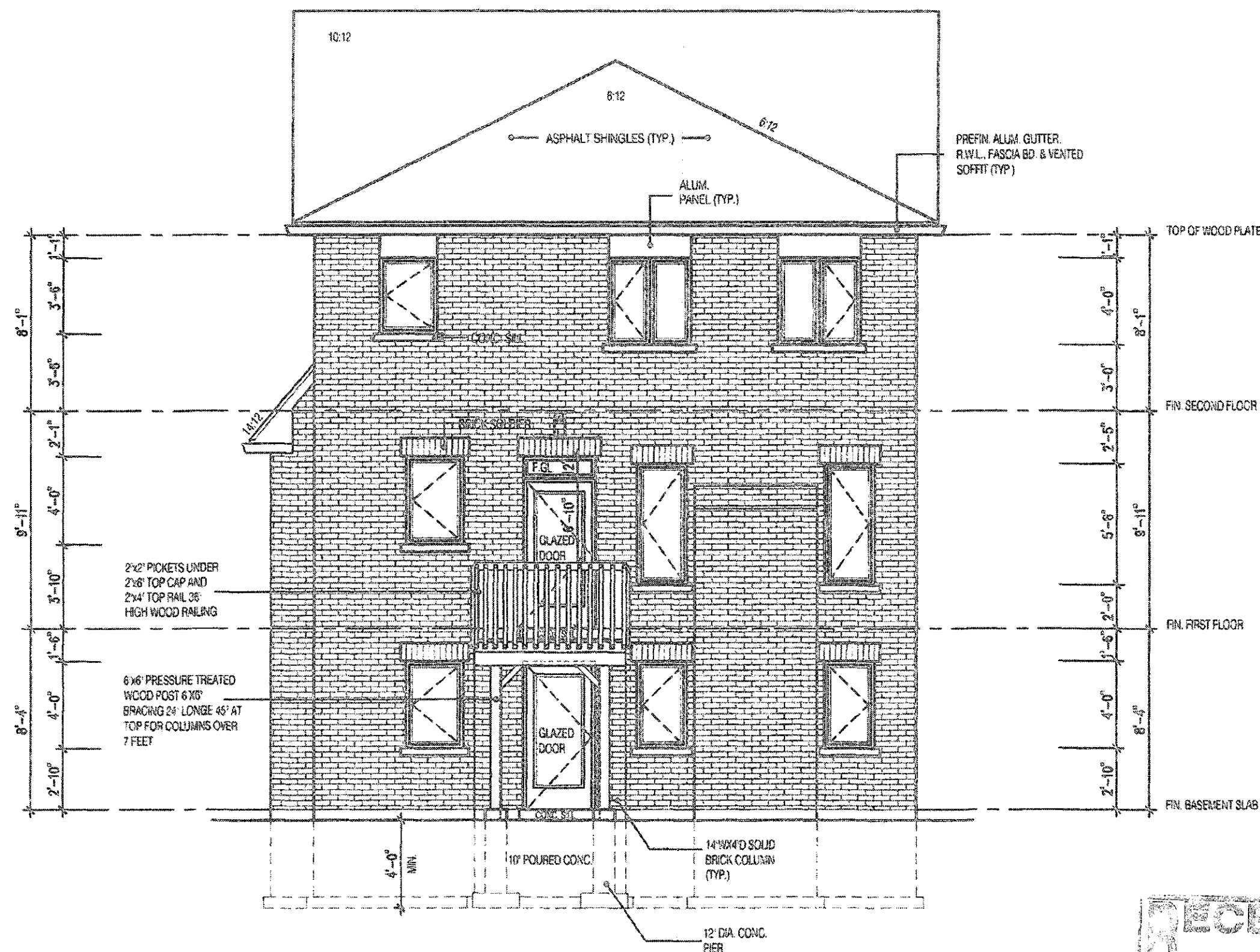
2638

11.0m LOTS

BARTON 3 (GR)
ELEVATION 1

ENERGY STAR

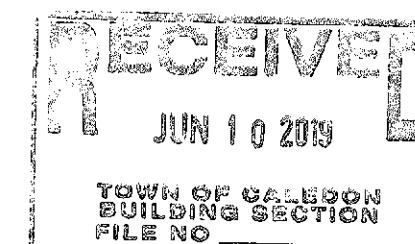
O.REG. 332/12



OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

REAR ELEVATION 1 FOR WALK-OUT / DECK CONDITON

FOR ADDITIONAL DECK STRUCTURE
REFER TO PAGE 7-1 OF THE DETAIL PACKAGE



MAR 21 2019

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ASSURANCE OF A BUILDING PERMIT. ASSET TO THE CONTRACTOR'S OBLIGATION AND RESPONSIBILITY BEFORE PROCEEDING WITH CONSTRUCTION.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NO BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE DRAWINGS AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE TO BE PROVIDED BY AND TO THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE COPIED.

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2	JAN 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018	COMPLETED TO PRECOORDINATION STAGE, ISSUED TO CLIENT
No.	DATE:	WORK DESCRIPTION:

Jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 1.2.5 of the Building Code.

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 1.2.4 of the Building Code.

Jardin design group inc. 27763
FIRM NAME BCN

WALK-OUT / DECK CONDITION EL-1

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD	TYPE	T	AREA	---
	SCALE:	3/16"=1'-0"		
	PROJ. No	08-18	DWG. No	6-3

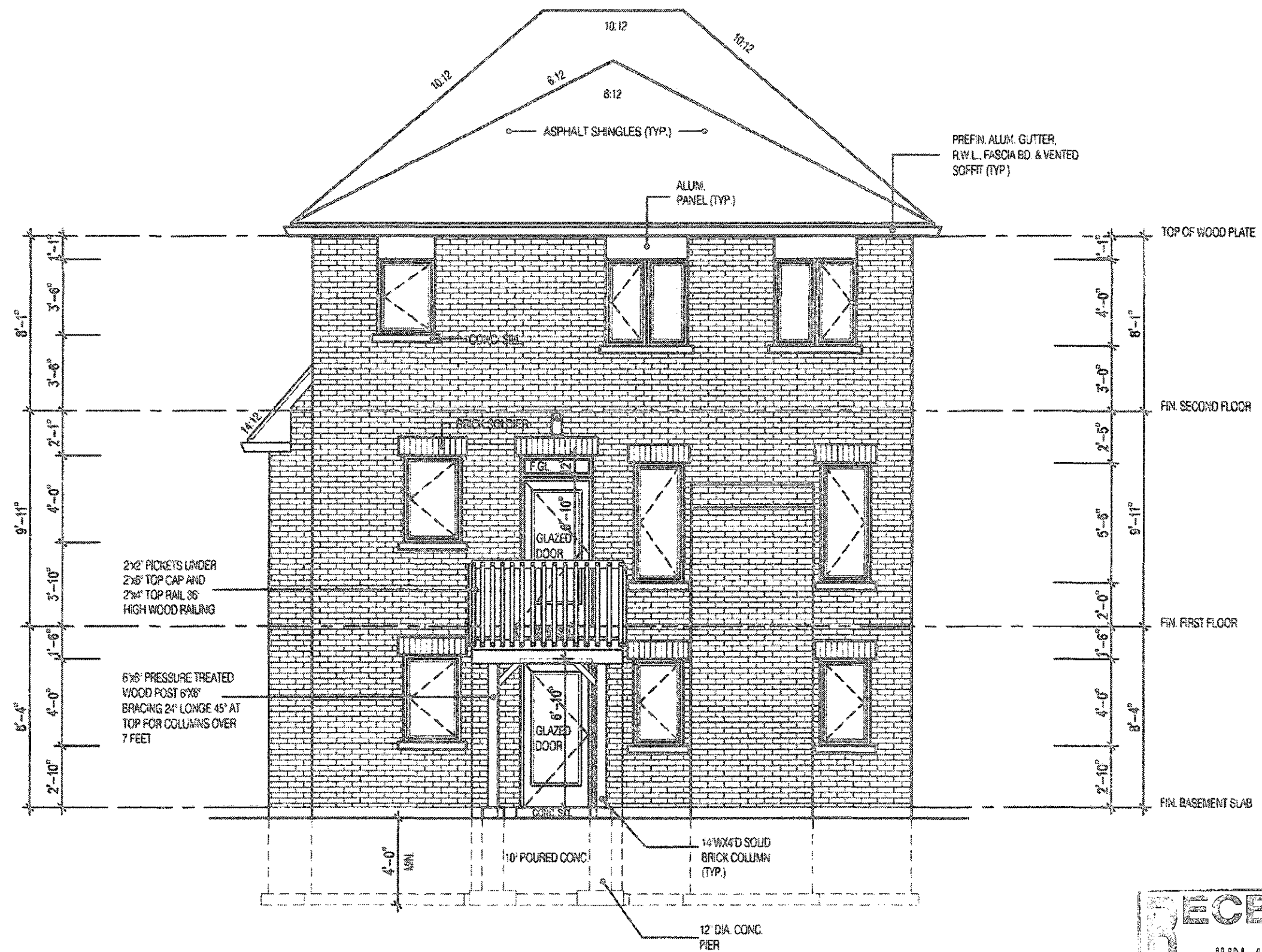
NOTE:
WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.
(FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contract Architect is not responsible in any way for examining or approving site (existing) plans or existing drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN C. WILLIAMS LTD., ARCHITECTS
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: *[Signature]*
DATE: MAR 21, 2019
This stamp shall be stamped on all the approved design documents and shall not be used for any other purpose.

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE



**REAR ELEVATION 2
FOR WALK-OUT /
DECK CONDITON**

FOR ADDITIONAL DECK STRUCTURE
REFER TO PAGE 7-1 OF THE DETAIL PACKAGE

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED ALL PROVISIONS OF
THE ONTARIO BUILDING CODE

NOTE:
WHEN VENEER CUT IS GREATER THAN
28" A 10" POURED CONC. FOUNDATION
WALL IS REQUIRED.
(FOUNDATION PLAN TO BE REVIEWED
IN CONJUNCTION WITH SITE PLAN)

RECEIVED
JUN 10 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

MAR 21 2019

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreements. The Contractor/Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit maker or that any house can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Caledon.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
DATE: 08-18-2019
The undersigned hereby certifies that the above plans comply with the applicable Architectural Design Guidelines approved by the Town of Caledon.

2638

11.0m LOTS

BARTON 3 (GR)

ELEVATION 2

ENERGY STAR

O.REG. 332/12

THE CONTRACTOR SHALL OBTAIN AND USE ALL DIMENSIONS AND CONDITIONS OF SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR MECHANICAL INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION OF THE SAME PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING PROFESSIONS REPORTS FOR THE WORK.

NO CONSTRUCTION PERMITS MUST BE OBTAINED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE RESULTS OF THE CONSTRUCTION OR FOR CONSTRUCTION TO COMPLY WITH THE WORK IN ACCORDANCE WITH THE COMPANY DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE COPIED.

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2	JAN 17, 2019 ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018 COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT

No: DATE: WORK DESCRIPTION:

jardin

DESIGN GROUP INC

64 JARDIN DR. SUITE 3A

VAUGHAN ONT. L4K 3P3

TEL: 905 660-3377 FAX: 905 660-3713

EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 2.2.5 of the building code.

Walter Boller 21031
NAME SIGNATURE BCN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 2.2.4 of the building code.

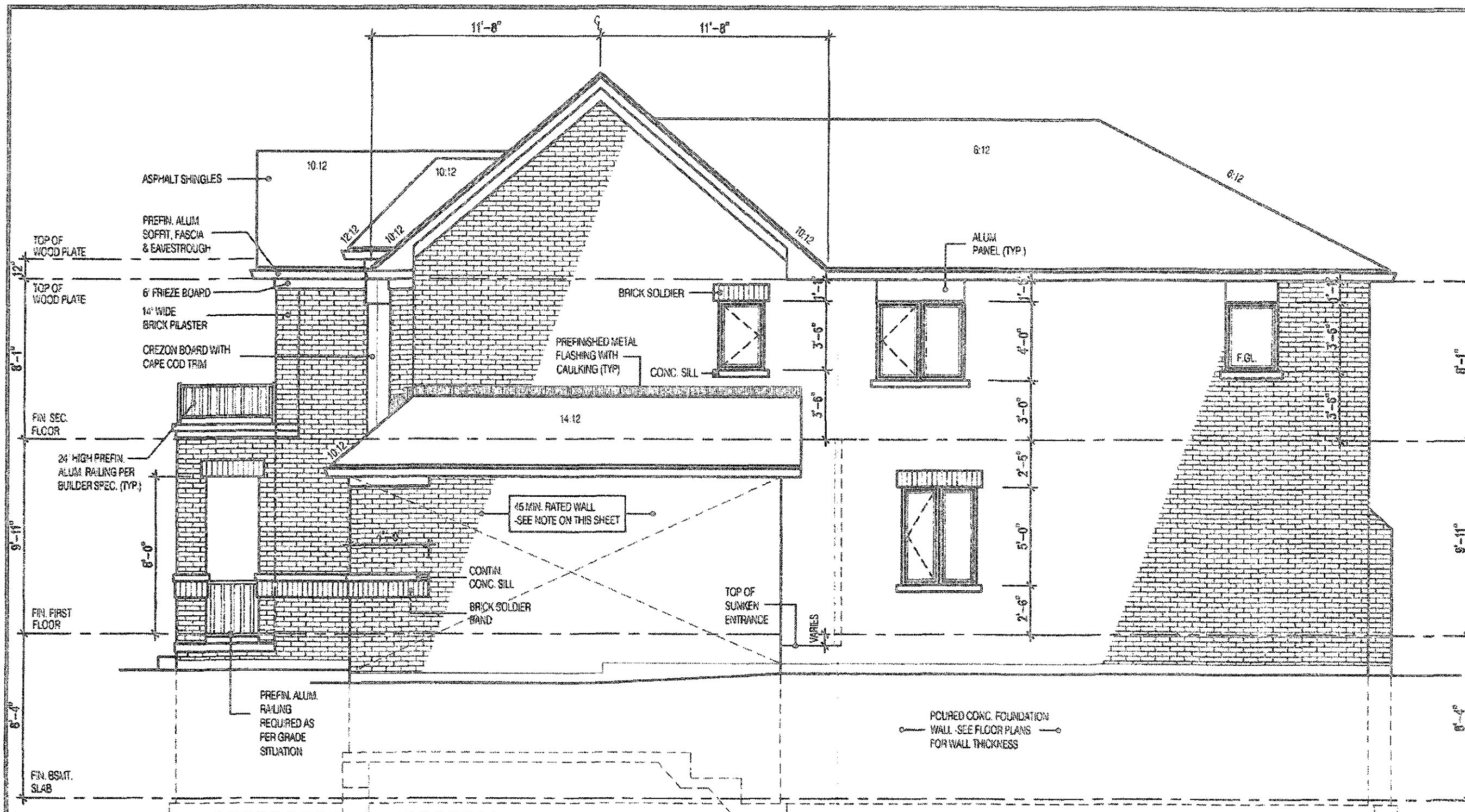
jardin design group inc. 27763
FIRM NAME BCN

WALK-OUT / DECK CONDITION EL-2

LAMBERTS LANE PHASE 2

TOWN OF CALEDON

TYPE	AREA
T	---
SCALE	3/16" = 1'-0"
PROJ. No.	DWG No.
08-18	6A-3



SIDE ELEVATION-1

UNPROTECTED OPENINGS

WALL AREA	1108
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDEYARD)	77.6
ACTUAL GLASS AREA	42.5

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/SCM AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATH-TUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS

(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)

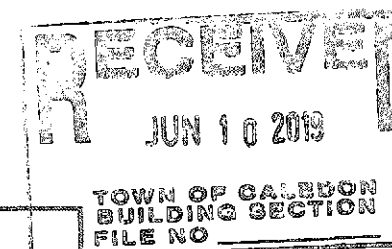
HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED AT HEADER

PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)



MAR 21 2019

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN C. ANDREWS LTD. ARCHITECTS
ARCHITECTURAL CONSULTANTS
AND APPROVAL
APPROVED BY
DATE MAY 21, 2019
This stamp is to be kept on file with the Building Department and not removed from the plans.

2638
11.0m LOTS
BARTON 3 (GR)
ELEVATION 1
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION ORIGINALLY THEREON OR FOR ANY CONSTRUCTION OF THE SAME OR TO THE SURVEY OF A FIELD AS PERMITTED. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED DIMENSIONS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONSTRUCTION OR FOR CONSTRUCTION TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

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2	JUN 17, 2019 ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018 COMPLETED TO PRECONSTRUCTION STAGE. ISSUED TO CLIENT
DATE:	WORK DESCRIPTION:

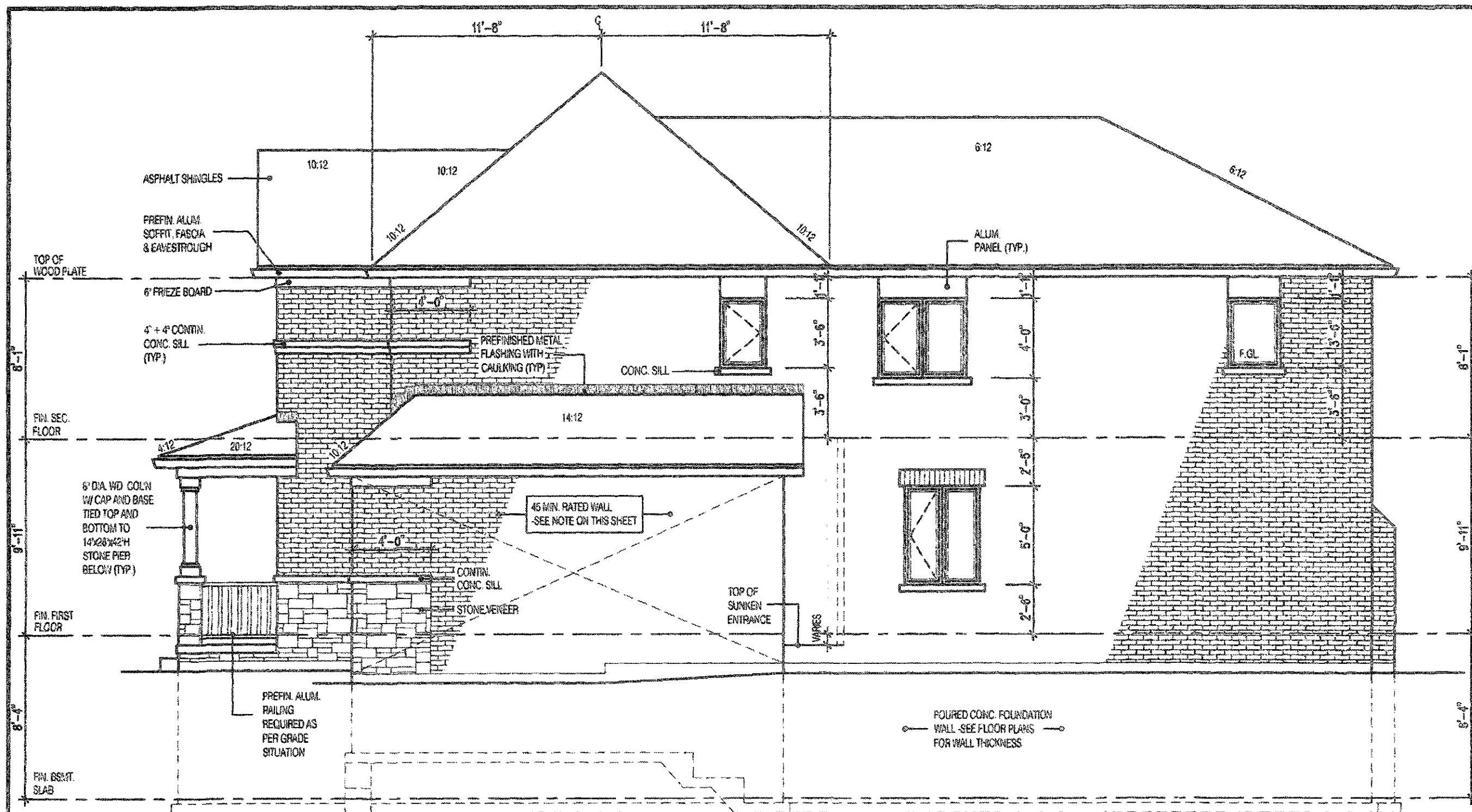
Jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code.

Walter Boller *WLB* 21031
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code.
Jardin design group inc. 27763
FIRM NAME BCIN

SIDE ELEVATION 1
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD
TYPE T AREA ---
SCALE 3/16" = 1'-0"
PROJ. NO. 08-18 DWG. NO. 7



SIDE ELEVATION-2

UNPROTECTED OPENINGS

WALL AREA	1108
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDNEYARD)	77.6
ACTUAL GLASS AREA	42.5

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

THIS STRUCTURE MUST BE
CONSTRAINED TO MEET OR
EXCEED THE PROVISIONS OF
THE CANADIAN BUILDING CODE

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/SD.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.

(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)

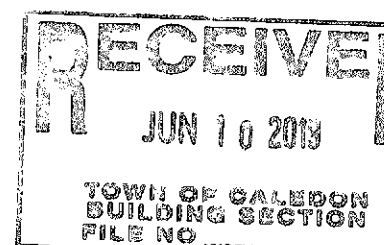
HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED AT HEADER

PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING

(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)



2638
11.0m LOTS
BARTON 3 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION PROVIDED BY THESE OR ANY OTHER PARTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL INFORMATION PROVIDED TO THE CONTRACTOR. AS CONSTRUCTED, THE WORKMANSHIP MUST BE VERIFIED PRIOR TO PAYING FOOTINGS.
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2	JAN. 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018	COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT
NO.	DATE:	WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code.

Walker Batten **UBC** 21031
NAME SIGNATURE BCN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the Building Code.
jardin design group inc. 27763
FIRM NAME BCN

SIDE ELEVATION 2
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

TYPE	AREA
SCALE:	3/16" = 1'-0"
PROJ. No.	08-18
DWG. No.	7A



2638

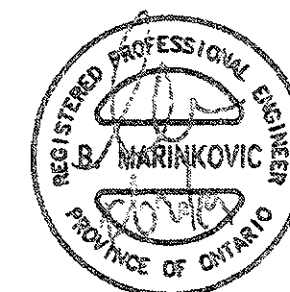
11.0m LOTS

BARTON 3 (GR)
ELEVATION 1

ENERGY STAR

O.REG. 332/12

STRUDET INC.



FOR STRUCTURAL ONLY

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JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR OTHER INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION ERRORS REFERRED TO THE SEPARATE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INVENTS MUST BE REPORTED TO FOURING POSTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND DESIGN HAS BEEN SUBMITTED FOR THE REVIEW OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

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2 JAN. 17, 2019 ISSUED FOR BUILDING PERMIT

1 OCT. 15, 2018 COMPLETED TO PRECONSTRUCTION STAGE ISSUED TO CLIENT

No. DATE WORK DESCRIPTION:

1

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jardin
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QUALIFICATION INFORMATION
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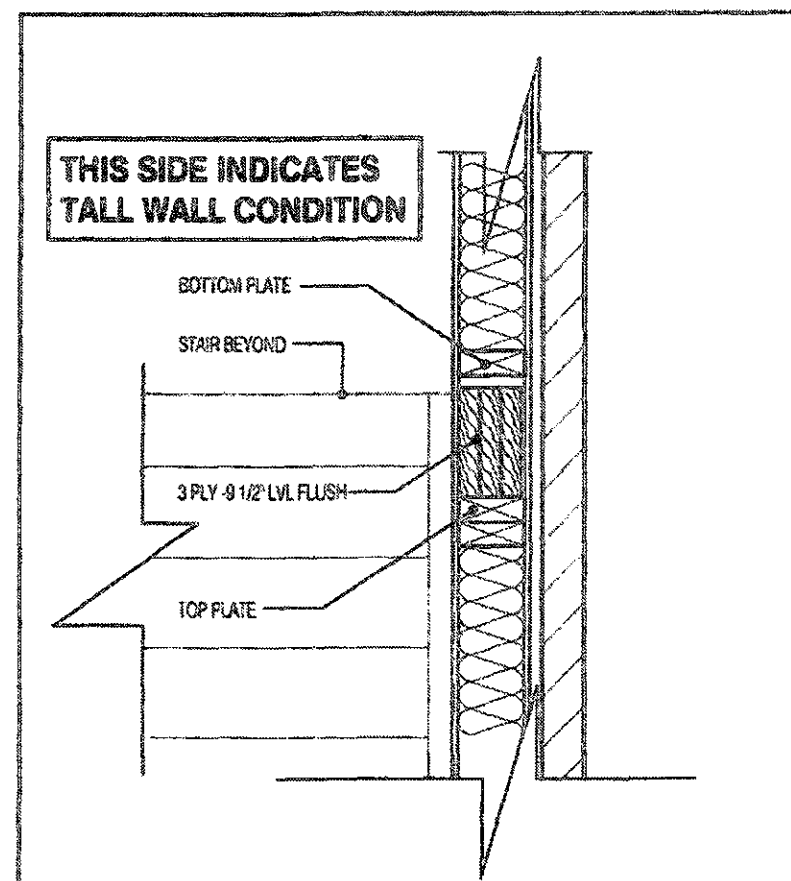
Walter Botter *WBE* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.6 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

SECTION ELEVATION 1
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

TYPE T AREA ---
SCALE 3/16" = 1'-0"
PROJ. No. 08-18 DWG. No. 8



B TALL WALL FRAMING

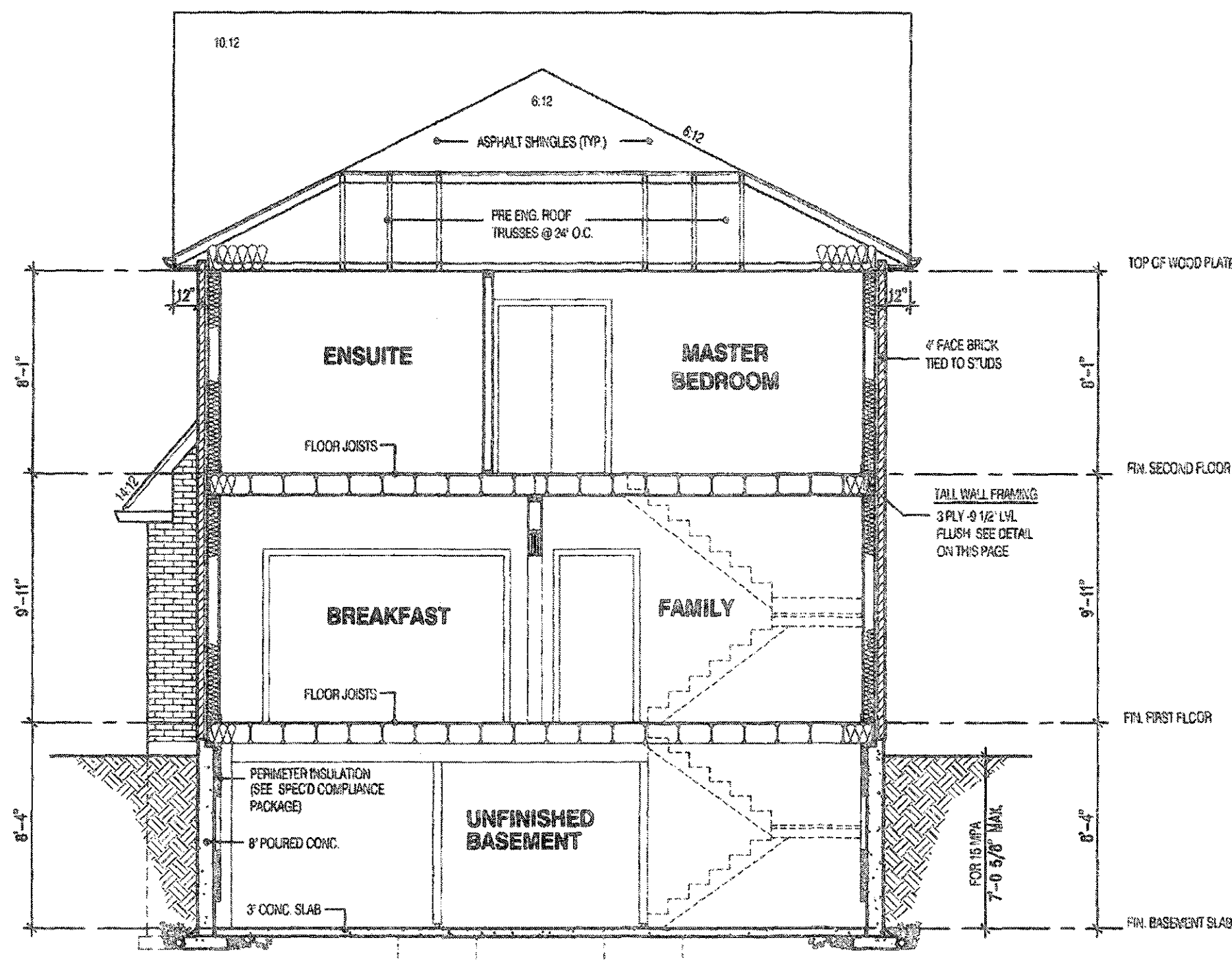
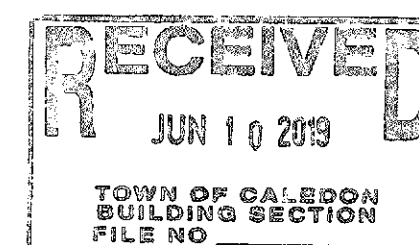
N.T.S.

STRUDET INC.



FOR STRUCTURE ONLY

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

SECTION A-A
ELEVATION 1

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any covenants in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving site building plans or working drawings with regard to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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2638

11.0m LOTS

BARTON 3 (GR)
ELEVATION 2

ENERGY STAR

O.REG. 332/12

STRUDET INC.



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ALL DIMENSIONS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

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1	OCT 16, 2018 COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT
No:	DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
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Walter Boller *WBe* 21031
NAME SIGNATURE BCIN

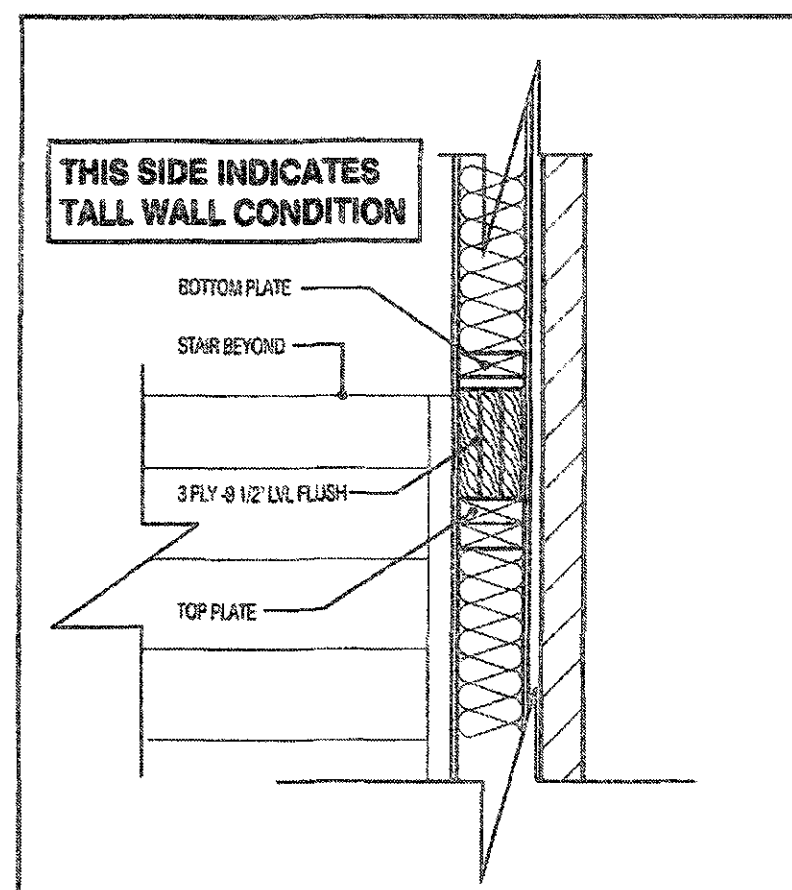
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the Building Code.

jardin design group inc. 27763
FIRM NAME BCIN

SECTION ELEVATION 2

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

	TYPE	AREA
	T	—
	SCALE:	3/16" = 1'-0"
	PROJ. No.	DATE No.
	08-18	8A

THIS SIDE INDICATES
TALL WALL CONDITION

BOTTOM PLATE

STAIR BEYOND

3 PLY 9 1/2 LVL FLUSH

TOP PLATE

B TALL WALL FRAMING

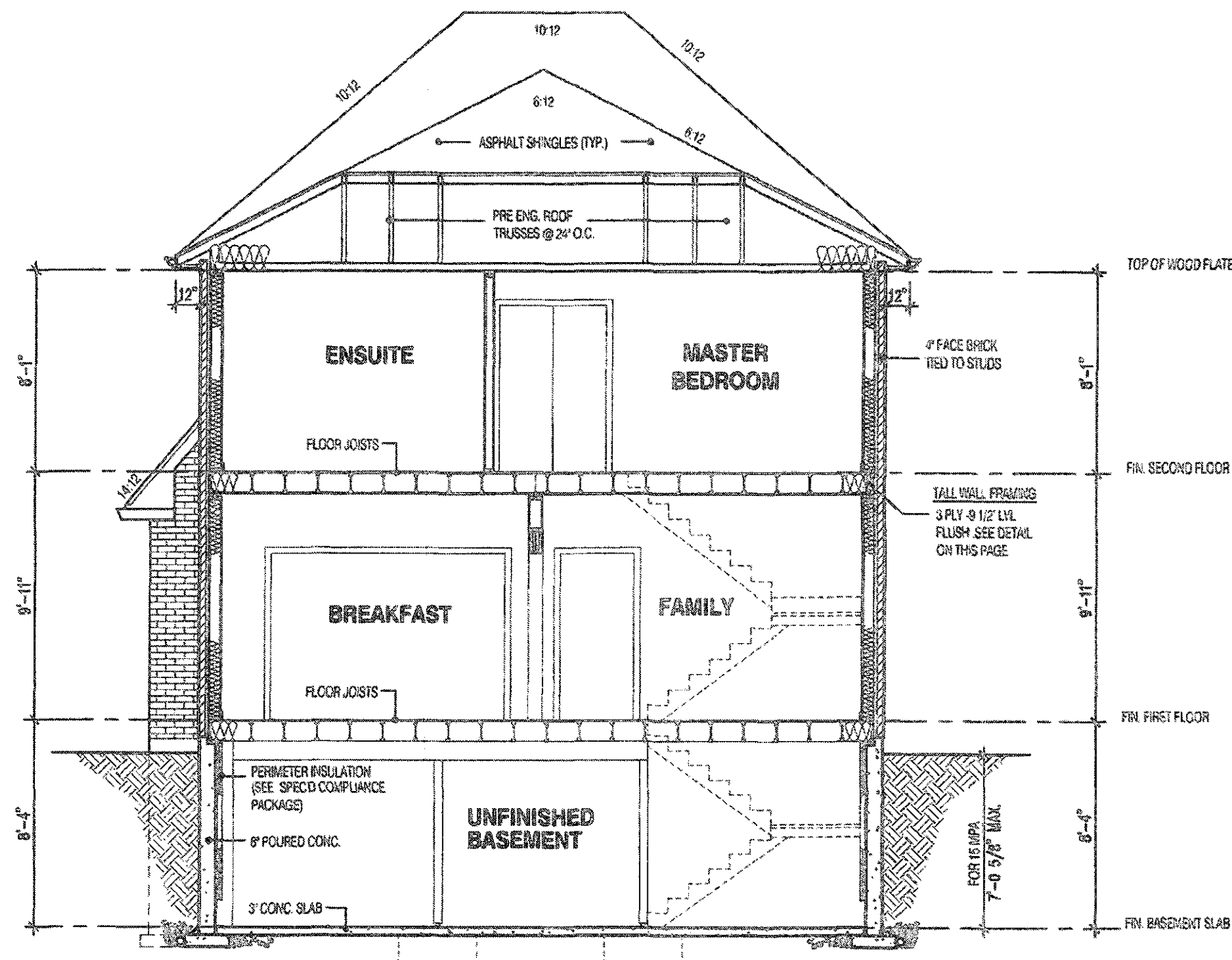
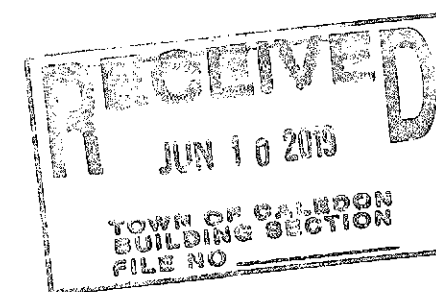
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SECTION A-A
ELEVATION 2

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