STRIP FOOTINGS FOR SINGLES AND SEMIS UP TO 2 STOREY

120 KPa NATIVE SOIL

20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

90 KPa ENGINEERED FILL SOIL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW FOUNDATION WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.

100 KPa NATIVE SOIL

22"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
28"x10" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS
OR
28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS

GENERAL NOTE :

ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL FOOTING DETAIL FOR REINFORCEMENT

(REFER TO ENG. FILL FOOTING DETAIL)

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

PAD FOOTING

120 KPa NATIVE SOIL	90 KPa ENGINEERED FILL SOIL	100 KPa NATIVE SOIL
F1 = 42"x42"x18" CONCRETE PAD	F1 = 48"x48"x20" CONCRETE PAD	F1 = 46"x46"x20" CONCRETE PAD
F2 = 38"x36"x16" CONCRETE PAD	F2 = 40"x40"x16" CONCRETE PAD	F2 = 38"x38"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD	F3 = 34"x34"x14" CONCRETE PAD	F3 = 32"x32"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD	F4 = 28"x28"x12" CONCRETE PAD	F4 = 26"x26"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD	F5 = 18"x18"x8" CONCRETE PAD	F5 = 17"x17"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

BUILDING INSPECTOR IS REQUIRED TO BE ON SITE FOR ALL MANDATORY INSPECTIONS. REFER TO ATTACHED BUILDING PERMIT FOR DETAILS

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL PLATE FOR STEEL COL'N ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

CERTIFIED MODEL
PRE-APPROVED
FOR PERMIT APPLICATION AS PER THE ONTARIO BUILDING CODE
TOWN OF CALEDON BUILDING DIVISION
REVIEWED BY J. SNELL
DATE May 29/19
FILE # BARTON 3 - ELEV 1, 2

NOTE:

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.

NOTE:

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT.

A COMPLETE SET OF REVIEWED DRAWINGS & SPECIFICATIONS MUST BE KEPT ON SITE AT ALL TIME DURING CONSTRUCTION AS PER O.B.C.

BRICK VENEER LINTELS:

WL1 = 3 1/2" x 3 1/2" x 1/4" (90x90x6) + 2- 2' x 8' SPR.
WL2 = 4" x 3 1/2" x 5/16" (100x90x8) + 2- 2' x 8' SPR.
WL3 = 6" x 3 1/2" x 5/16" (125x90x8) + 2- 2' x 10' SPR
WL4 = 6" x 3 1/2" x 3/8" (150x90x10) + 2- 2' x 12' SPR
WL5 = 6" x 4" x 3/8" (150x100x10) + 2- 2' x 12' SPR.
WL6 = 6" x 3 1/2" x 5/16" (125x90x8) + 2- 2' x 12' SPR.
WL7 = 6" x 3 1/2" x 5/16" (125x90x8) + 3- 2' x 10' SPR.
WL8 = 6" x 3 1/2" x 5/16" (125x90x8) + 3- 2' x 12' SPR.
WL9 = 6" x 4" x 3/8" (150x100x10) + 3- 2' x 12' SPR.

WOOD LINTELS:

WB1 = 2- 2' x 8" SPRUCE BEAM
WB2 = 3- 2' x 8' SPRUCE BEAM
WB3 = 2- 2' x 10' SPRUCE BEAM
WB4 = 3- 2' x 10' SPRUCE BEAM
WB5 = 2- 2' x 12' SPRUCE BEAM
WB6 = 3- 2 x 12' SPRUCE BEAM
WB7 = 5- 2' x 12' SPRUCE BEAM
WB10 = 4- 2' x 8" SPRUCE BEAM
WB11 = 4- 2' x 10' SPRUCE BEAM

STEEL LINTELS:

L1 = 3 1/2 x 3 1/2 x 1/4" (90 x 90 x 6)
L2 = 4" x 3 1/2" x 5/16" (100 x 90 x 8)
L3 = 5" x 3 1/2" x 5/16" (125 x 90 x 8)
L4 = 6" x 3 1/2" x 3/8" (150 x 90 x 10)
L5 = 6" x 4" x 3/8" (150 x 100 x 10)
L6 = 7" x 4 x 3/8" (180 x 100 x 10)

LAMINATED VENEER LUMBER (LVL BEAMS)

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A= 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A= 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)

Electrical Contractor Registration Agency of the Electrical Safety Authority

ALL ELECTRICAL INSTALLATIONS MUST BE INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY SEPARATE INSPECTION APPLICATIONS MUST BE FILED.

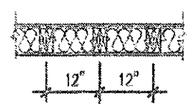
FOR MORE INFORMATION PLEASE CALL: ELECTRICAL SAFETY AUTHORITY 1-877-ESA-SAFE (372-7233)

PLUG IN SAFELY. HIRE A LICENSED ELECTRICAL CONTRACTOR FIND A CONTRACTOR AT www.pluginsafely.ca

DOOR SHEDULE:

1 = 2'-10" x 6'-8" INSULATED ENTRANCE DOOR
1A = 2'-8" x 6'-8" INSULATED ENTRANCE DOOR
2 = 2'-8" x 6'-8" EXTERIOR GLAZED DOOR
3 = 2'-8" x 6'-8" SLAB DOOR (1 3/4" EXTERIOR)
4 = 2'-8" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
5 = 2'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
6 = 2'-2" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
7 = 1'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
8 = 2'-6" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
9 = 3'-0" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
10= 2- 2'-0" x 6'-0" BI-FOLD (1 3/8" INTERIOR)
11 = 2- 2'-6" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
12 = 2'-6" x 6'-8" FRENCH DOOR (1 3/8" INTERIOR)

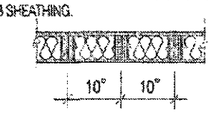
2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @12" O.C. FULL HT C/W SOLID BLOCKING 4'-0" O.C. VERTICAL AND 7/16 EXT. PLYWOOD SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

TWO STOREY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED AND NAILED TOGETHER AND SPACED MAX. @10 O.C. FULL HT C/W SOLID BLOCKING MAX. 8-0 O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20-2" AND MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

TWO STOREY HEIGHT WALL DETAIL

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER

NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7, 2 ROWS FOR SPANS GREATER THAN 7

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

AREA CALCULATIONS EL-1

FIRST FLOOR AREA	=	1166 Sq. Ft.
SECOND FLOOR AREA	=	1469 Sq. Ft.
TOTAL FLOOR AREA	=	2635 Sq. Ft.
ADD OPEN AREAS	=	3 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2638 Sq. Ft.
GROUND FLOOR COVERAGE	=	1166 Sq. Ft.
GARAGE COVERAGE / AREA	=	377 Sq. Ft.
PORCH COVERAGE / AREA	=	60 Sq. Ft.
COVERAGE W/ PORCH	=	1603 Sq. Ft.
	=	148.9 Sq. m.
COVERAGE W/O PORCH	=	1543 Sq. Ft.
	=	143.3 Sq. m.

AREA CALCULATIONS EL-2

FIRST FLOOR AREA	=	1166 Sq. Ft.
SECOND FLOOR AREA	=	1458 Sq. Ft.
TOTAL FLOOR AREA	=	2624 Sq. Ft.
ADD OPEN AREAS	=	3 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2627 Sq. Ft.
GROUND FLOOR COVERAGE	=	1166 Sq. Ft.
GARAGE COVERAGE / AREA	=	377 Sq. Ft.
PORCH COVERAGE / AREA	=	60 Sq. Ft.
COVERAGE W/ PORCH	=	1603 Sq. Ft.
	=	148.9 Sq. m.
COVERAGE W/O PORCH	=	1543 Sq. Ft.
	=	143.3 Sq. m.

BARTON 3 ELEV.-1 — ENERGY EFFICIENCY- ENERGY STAR

ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	579.00	91.00	15.72 %
LEFT SIDE	1168.00	54.00	4.87 %
RIGHT SIDE	1117.00	55.00	4.92 %
REAR	557.00	106.00	19.03 %
TOTAL	3361.00	306.00	9.10 %

BARTON 3 ELEV.-2 — ENERGY EFFICIENCY- ENERGY STAR

ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	563.00	69.00	12.26 %
LEFT SIDE	1108.00	54.00	4.87 %
RIGHT SIDE	1117.00	55.00	4.92 %
REAR	557.00	106.00	19.03 %
TOTAL	3345.00	284.00	8.49 %

APPLICANT COPY

RECEIVED
JUN 10 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING

ENERGY STAR V-17

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.56 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSE FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	4.75 (R22+ RS)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY STAR ® ZONE 2 (ER 29/UV 1.4)
SPACE HEATING EQUIPMENT MINIMUM AFUE	MIN. 96% AFUE
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HRV MINIMUM EFFICIENCY	TIER 2 75% SRE ENERGY STAR ® HRV TO BE INTERCONNECTED TO THE FURNACE FAN MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/STALE
HOT WATER TANK	CONDENSING HOT WATER TANK 90% TE ENVIROSENCE
DRAIN WATER HEAT RECOVERY	TWO SHOWERS > 42% STEADY (93-42 OR TD342
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (2.5 ACH/0.18 NLR) ATTACHED LEVEL 1 (3.0 ACH/0.28 NLR)
DUCT SEALING	ALL SUPPLY DUCTS AND 1 m OF RETURN DUCTS
LIGHTS	75% CFLs OR LEDs

MAR 2 1 2019

ESCC MODEL
ENERGY STAR - V 17

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

2638
11.0m LOTS
BARTON 3
ELEVATION 1 & 2
ENERGY STAR
O.REG. 332/12

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER
R. MARINKOVIC
PROVINCE OF ONTARIO

FOR STRUCTURAL ONLY

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT CENTRAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

No.	DATE:	WORK DESCRIPTION:
7		
6		
5		
4		
3		
2	JAN 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018	COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT

jardin DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

NAME	SIGNATURE	BCIN
Walter Botter		21031

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

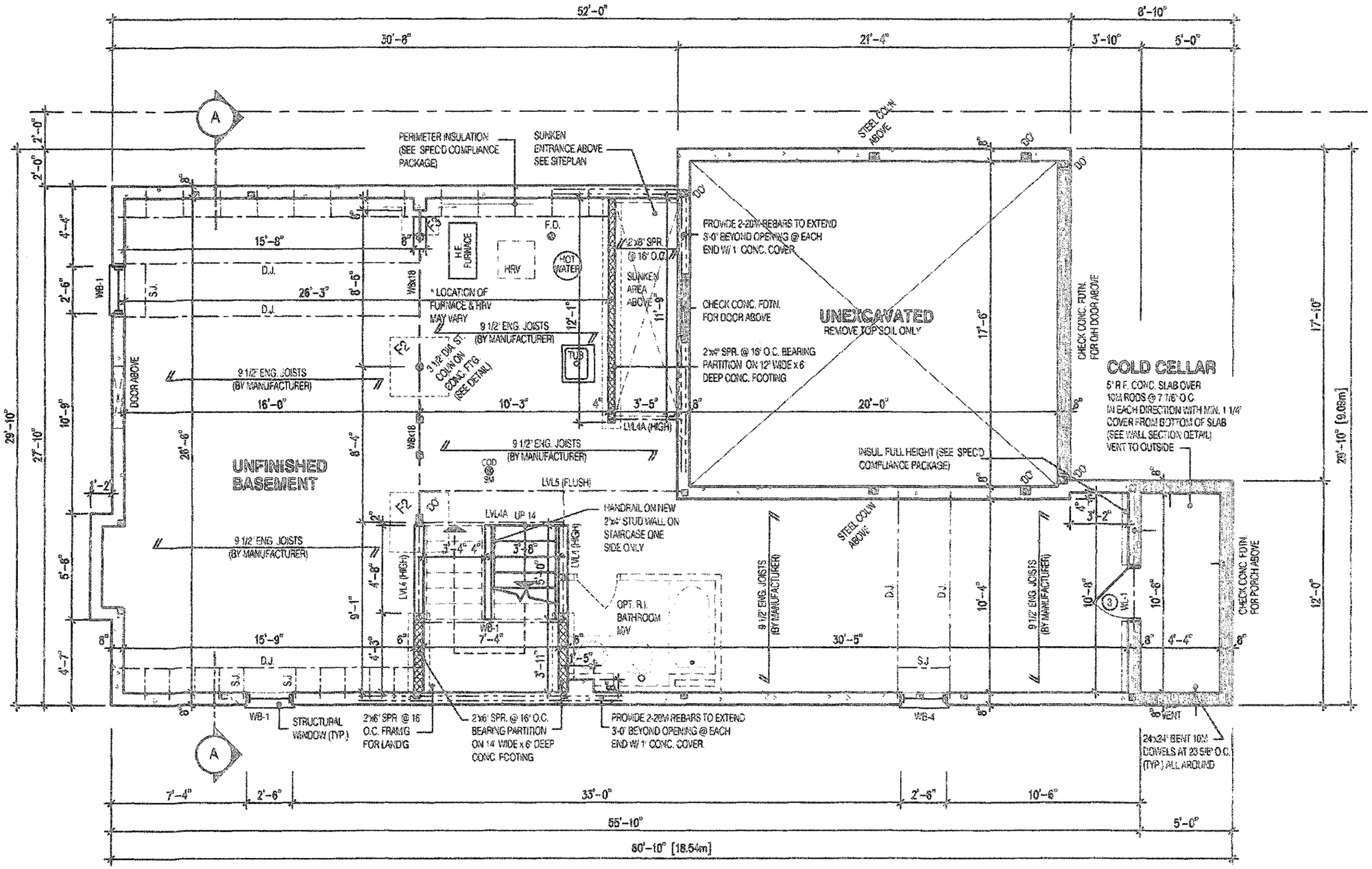
FIRM NAME	BCIN
jardin design group inc.	27763

TITLE SHEET
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD

TYPE: T
AREA:
SCALE: 3/16"=1'-0"
PROJ. No.: 18-18
DWG No.: 0

DRAWN BY:
DRAWING NAME: DER-M 7A



SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

MINIMUM CEILING HEIGHT SHALL BE 2100 MM OVER AT LEAST 75% OF BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED 1950 MM

RECEIVED
JUN 10 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO
JUN 21 2019

NOTE:
REFER TO SHEET NO. G-1 FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7', 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:
SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

LEGEND:
- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLUM ABOVE
- LVL — LAMINATED VENEER LUMBER
- S.J. — SINGLE JOIST
- D.J. — DOUBLE JOIST
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- REPEAT NOTE
- SHOWER WEEPERS

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JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE MAR 21 2019

2638
11.0m LOTS
BARTON 3 (GR)
ELEVATION 1
ENERGY STAR
O.REG. 332/12

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

FOR STRUCTURAL ONLY

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jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
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Required unless design is exempt under Division C, subsection 3.2.5 of the building code

NAME	SIGNATURE	BCIN
Walter Batter		21031

REGISTRATION INFORMATION
Required unless design is exempt under Division C, subsection 3.2.4 of the building code

FIRM NAME	BCIN
jardin design group inc.	27763

BASEMENT PLAN

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

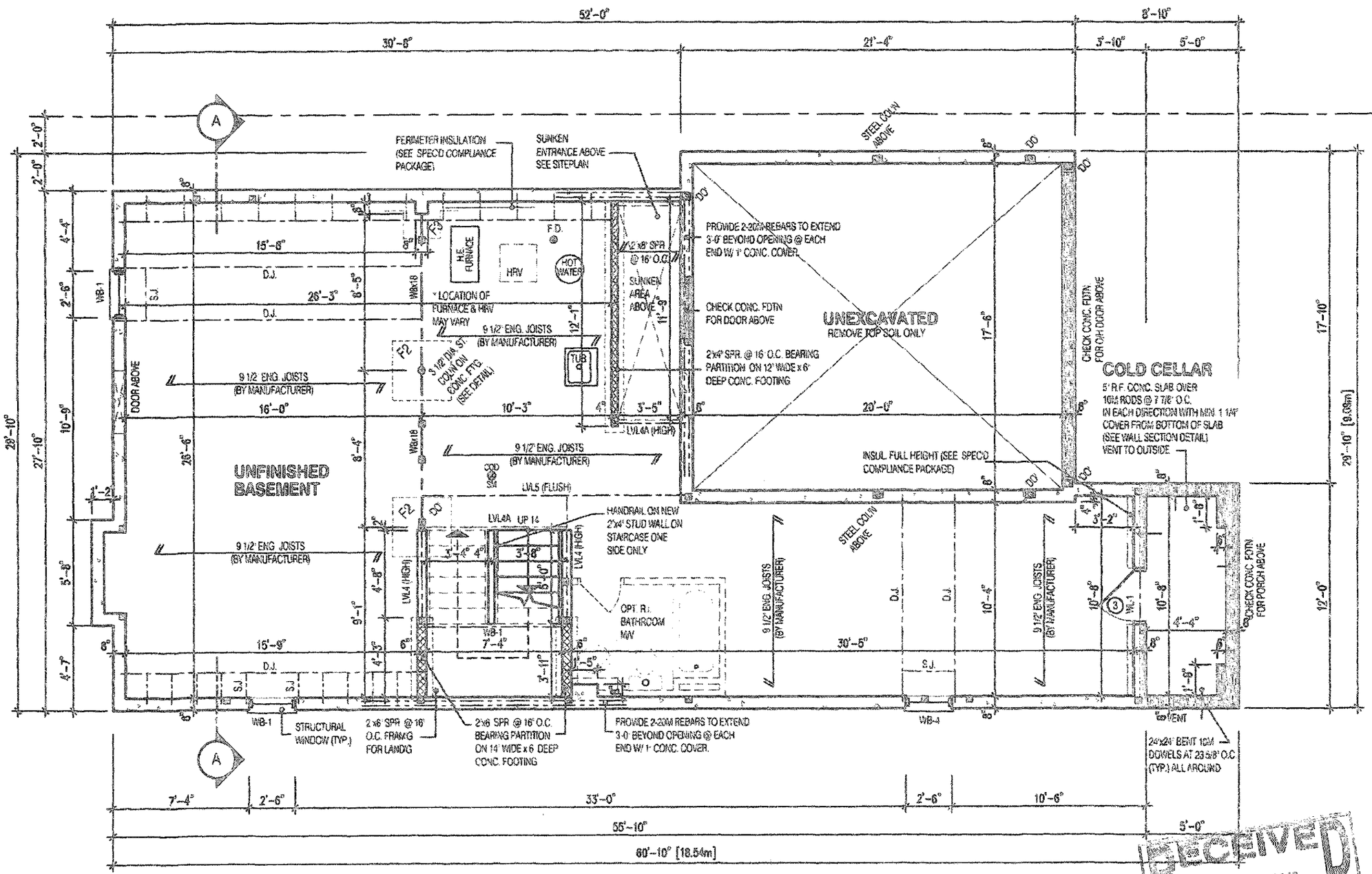
BILD

TYPE	AREA
T	----

SCALE: 3/16"=1'-0"

PROJ. No.	DWG. No
08-18	1

DRAWN BY:
DRAWING NAME:



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RECEIVED
JUN 10 2019
TOWN OF CALEDON BUILDING SECTION FILE NO

MAR 2 1 2019

NOTE:
REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5-7; 2 ROWS FOR SPANS GREATER THAN 7

NOTE:
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NOTE:
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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE MAY 21, 2019

2638
11.0m LOTS
BARTON 3 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

FOR STRUCTURAL ONLY

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AS CONSTRUCTED INVERTS MUST BE VERIFIED FROM TOP OF FOUNDATIONS

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUBCONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS

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No.	DATE:	WORK DESCRIPTION:
7		
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3		
2	JAN. 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018	COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT

jardin DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

NAME	SIGNATURE	BCIN
Walter Botter		21031

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

FIRM NAME	BCIN
jardin design group inc.	27763

BASEMENT PLAN EL-2

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

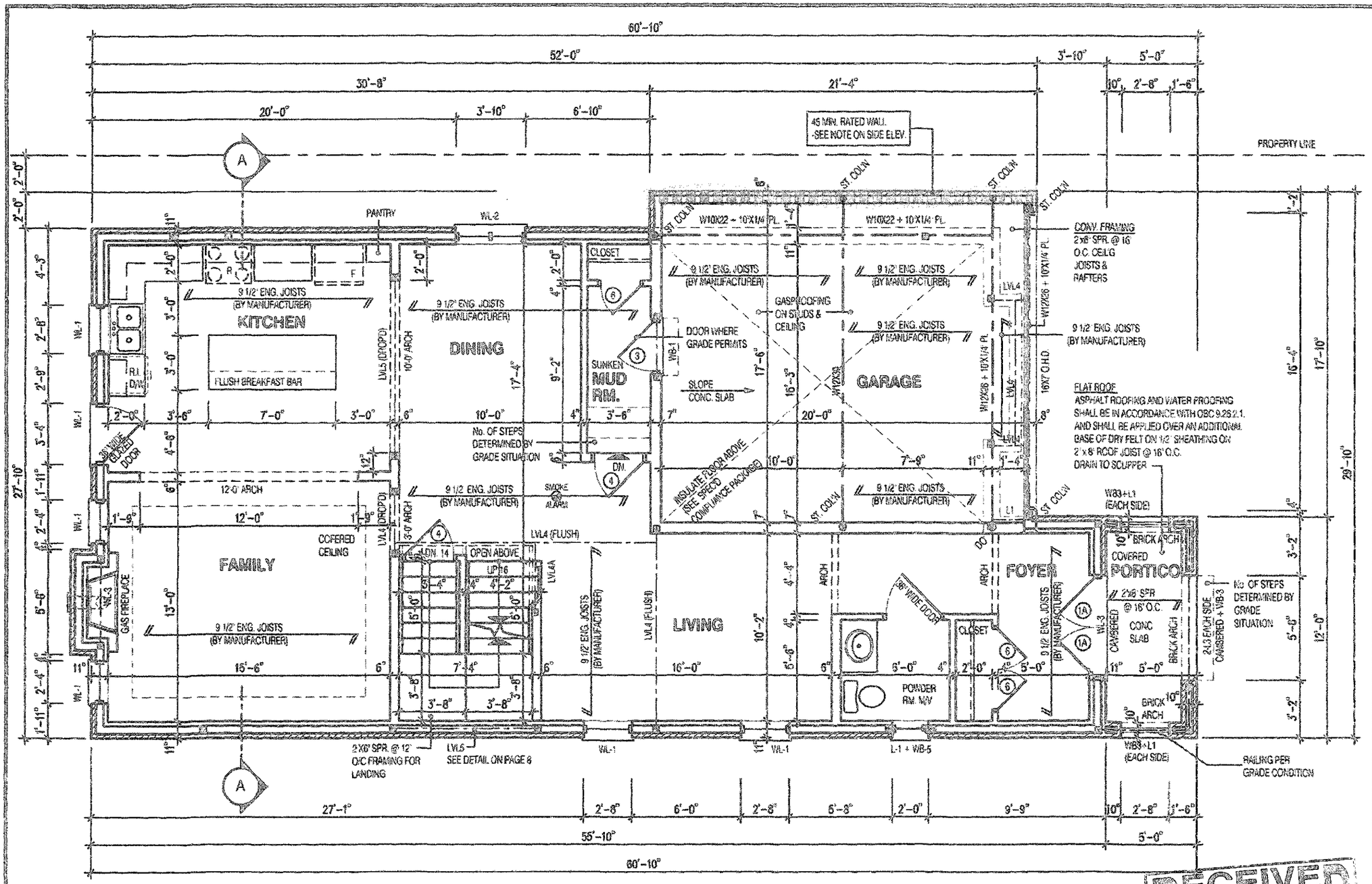
BILD

TYPE	AREA
T	----

SCALE 3/16" = 1'-0"

PROJ. No.	DWG. No.
08-18	1A

DRAWN BY
PROJECT NUMBER



THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

RECEIVED
JUN 18 2019
TOWN OF CALEDON BUILDING SECTION FILE NO

MAR 21 2019

NOTE:
REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5-7, 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:
SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

LEGEND:
- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN C. WILLIAMS AND ASSOC. ARCHITECT
ARCHITECT CONTROL OFFICE
NO APPROVAL

APPROVED BY _____
DATE _____ MONTH DAY YEAR

2638
11.0m LOTS
BARTON 3 (GR)
ELEVATION 1
ENERGY STAR
O.REG. 332/12

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

FOR STRUCTURAL ONLY

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

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No	DATE:	WORK DESCRIPTION.
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2	JAN. 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018	COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT

jardin DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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NAME	SIGNATURE	BCIN
Walter Bottier		21031

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

FIRM NAME	BCIN
jardin design group inc.	27763

FIRST FLOOR PLAN

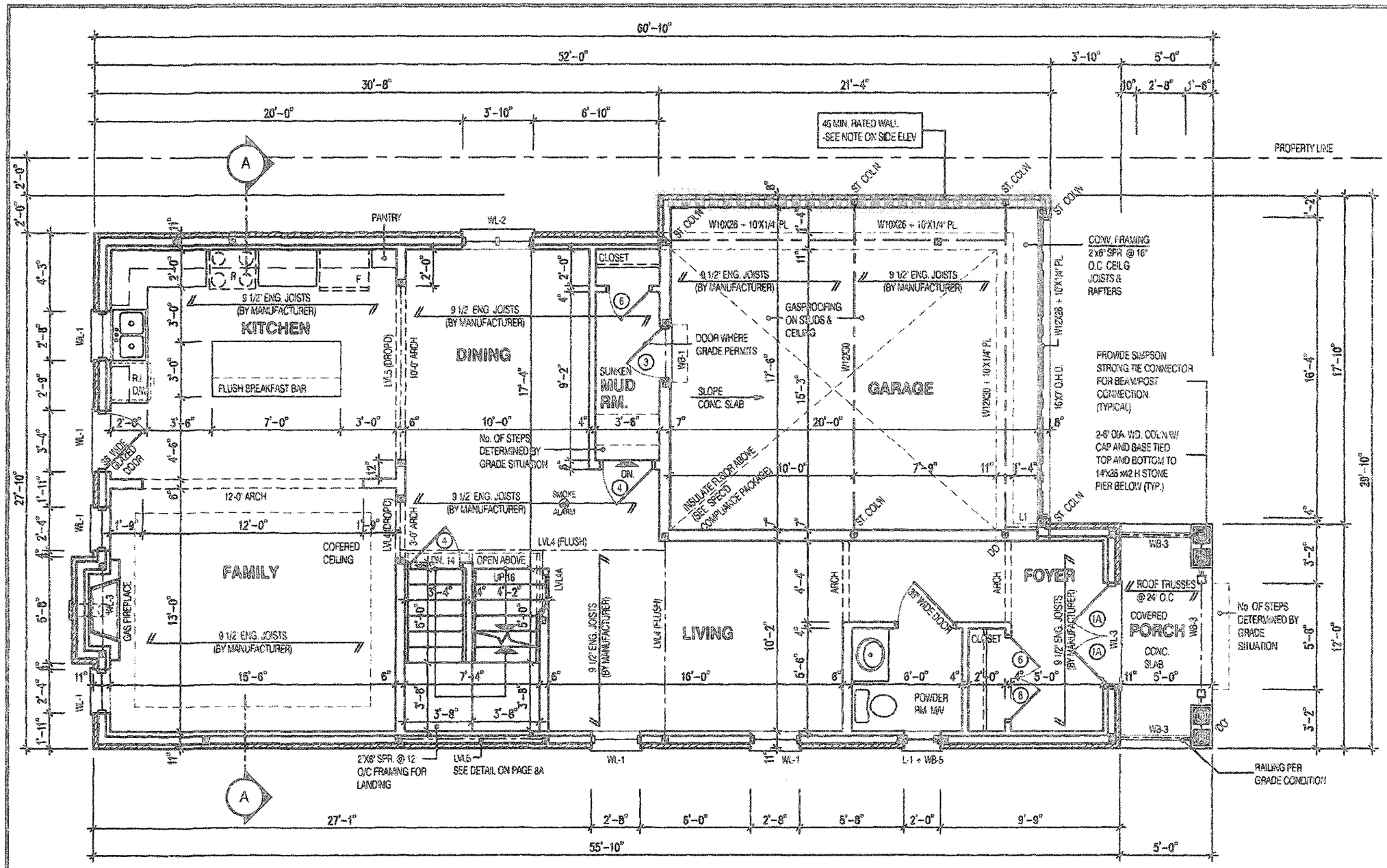
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD

TYPE	AREA
T	----

SCALE: 3/16" = 1'-0"

PROJ. No.	DWG. No.
08-18	2



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RECEIVED
JUN 10 2019
TOWN OF CALEDON BUILDING SECTION FILE NO

MAR 21 2019

NOTE:
REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:
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NOTE:
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NOTE:
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LEGEND:

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	INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
	STL. PLATE FOR STEEL COLN ABOVE
LVL	LAMINATED VENEER LUMBER
S.J.	SINGLE JOIST
D.J.	DOUBLE JOIST
T.J	TRIPLE JOIST
	REPEAT NOTE
	SHOWER WEEPERS

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE MAY 22, 2019

2638
11.0m LOTS
BARTON 3 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

FOR STRUCTURAL ONLY

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1	OCT. 15, 2018	COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT

jardin DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

NAME	SIGNATURE	BCIN
Walter Botter		21037

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

FIRM NAME	BCIN
jardin design group inc.	27763

FIRST FLOOR PLAN EL-2

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

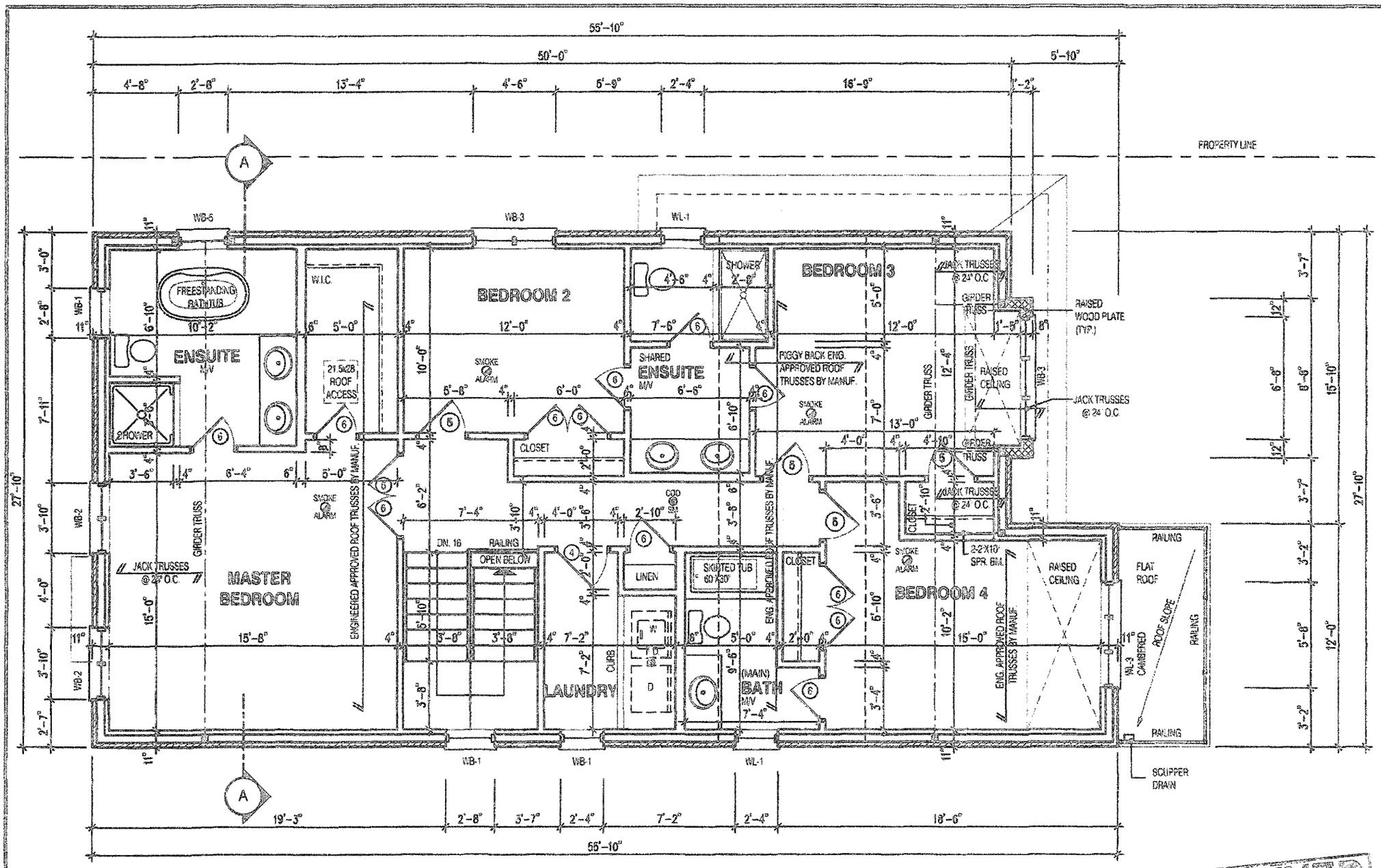
BILD

TYPE	AREA
T	----

SCALE: 3/16"=1'-0"

PROJ. No.	DWG No.
08-18	2A

DRAWN BY
DRAWING NAME: ---



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OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

RECEIVED
JUN 10 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO

MAR 21 2019

NOTE:
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LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQD)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED
DATE MAR 21, 2019

2638
11.0m LOTS
BARTON 3 (GR)
ELEVATION 1
ENERGY STAR
O.REG. 332/12

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER
S. MARINKOVIC
PROVINCE OF ONTARIO

FOR STRUCTURAL ONLY

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2	JAN. 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018	COMPLETED TO PRECONSTRUCTION STAGE. ISSUED TO CLIENT

jardin DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

NAME	SIGNATURE	BCIN
Walter Botter		21031

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

FIRM NAME	BCIN
jardin design group inc.	27763

SECOND FL. PLAN EL-1

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

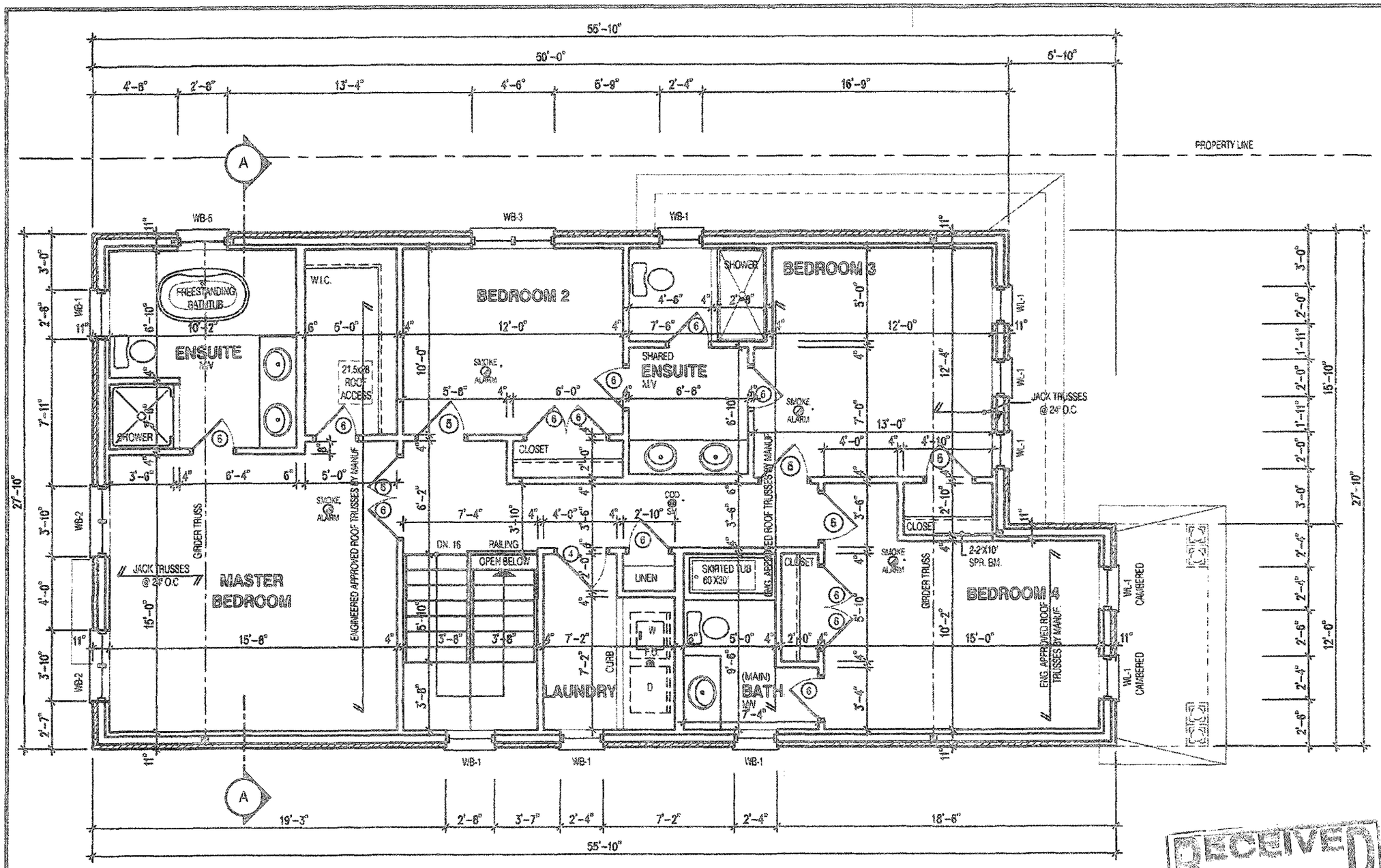
BILD

TYPE	AREA
T	----

SCALE: 3/16" = 1'-0"

PROJ. No.	DWG. No
08-18	3

DRAWN BY: DRAWING NAME: --



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RECEIVED
JUN 10 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO

MAR 21 2019

NOTE:
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LEGEND:
- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL PLATE FOR STEEL COLN ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J SINGLE JOIST
- D.J DOUBLE JOIST
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- REPEAT NOTE
- SHOWER WEEPERS

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE

2638
11.0m LOTS
BARTON 3 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

FOR STRUCTURAL ONLY

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jardin
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64 JARDIN DR. SUITE 3A
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NAME	SIGNATURE	BCIN
Walter Boller		21031

REGISTRATION INFORMATION
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FIRM NAME	BCIN
jardin design group inc.	27763

SECOND FL. PLAN EL-2

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

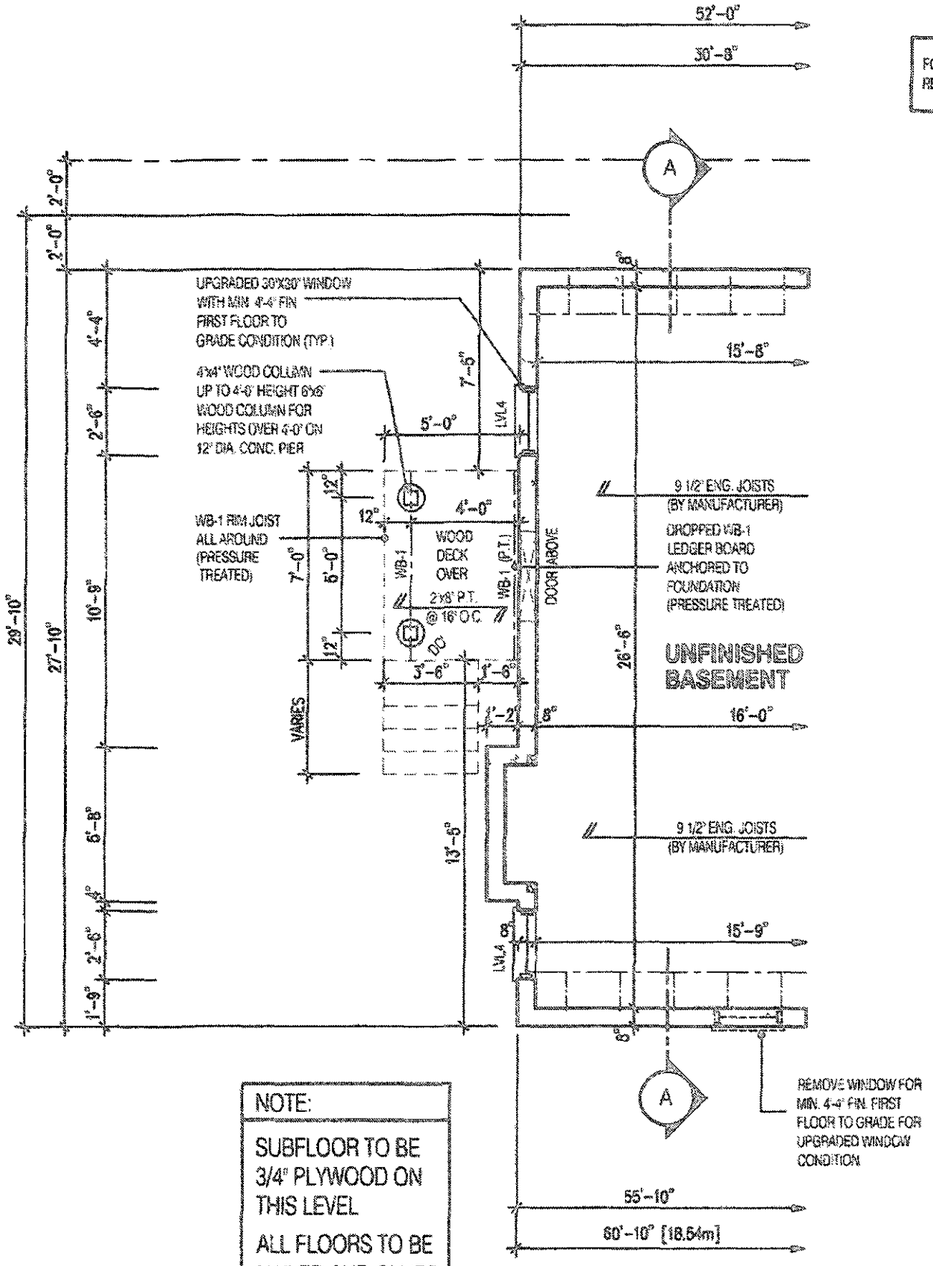
BILD

TYPE	AREA
T	----

SCALE: 3/16"=1'-0"

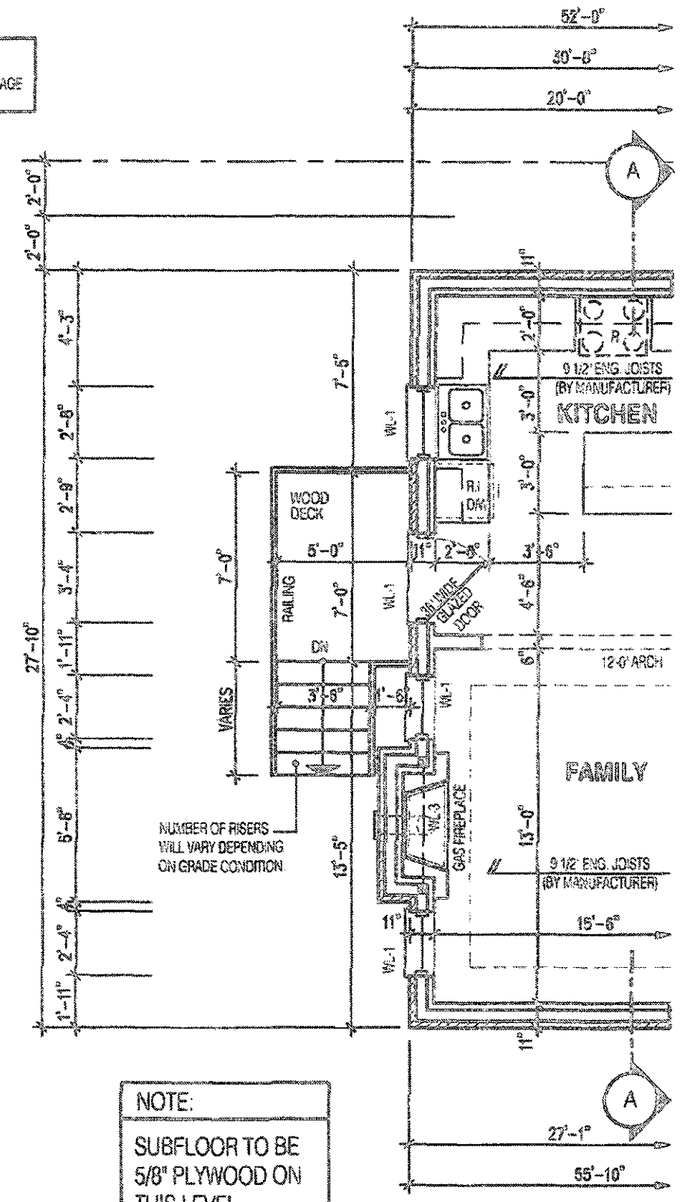
PROJ. No.	DWG. No.
08-18	3A

DRAWN BY: DRAWING NAME: --



PARTIAL BASEMENT LAYOUT
FOR DECK CONDITION EL-1

FOR ADDITIONAL DECK STRUCTURE REFER TO PAGE 7 OF THE DETAIL PACKAGE



PARTIAL FIRST FLOOR LAYOUT
FOR DECK CONDITION EL-1

NOTE:
SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

NOTE:
SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

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RECEIVED
JUN 10 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO

MAR 21 2019

NOTE:
WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED. (FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)

NOTE:
REFER TO SHEET NO. 0 - FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:
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NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7', 2 ROWS FOR SPANS GREATER THAN 7

NOTE:
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LEGEND:

	BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
	INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
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LVL	LAMINATED VENEER LUMBER
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ROLF C. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL ARCHITECT
AND APPROVAL
ARCHITECT
DATE

2638
11.0m LOTS
BARTON 3 (GR)
ELEVATION 1
ENERGY STAR
O.REG. 332/12

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

FOR STRUCTURAL ONLY

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jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

NAME	SIGNATURE	BCIN
Walter Bolter		21037

REGISTRATION INFORMATION
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FIRM NAME	BCIN
jardin design group inc.	27763

DECK CONDITION EL-1
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

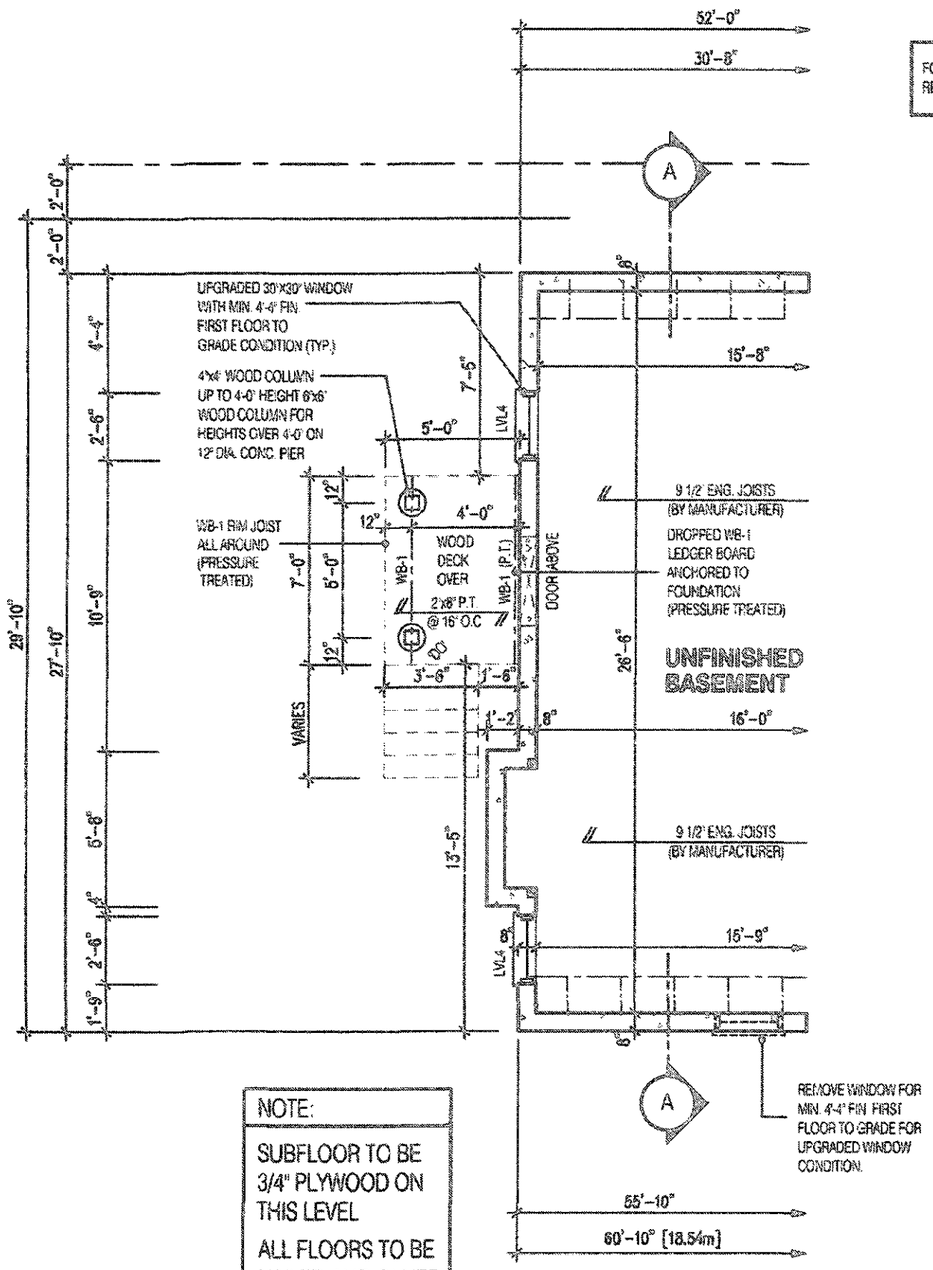
BILD

TYPE	AREA
T	----

SCALE: 3/16" = 1'-0"
PROJ. No. 08-18
DWG. No 3-1

DRAWN BY
DRAWING NAME

FOR ADDITIONAL DECK STRUCTURE REFER TO PAGE 7 OF THE DETAIL PACKAGE

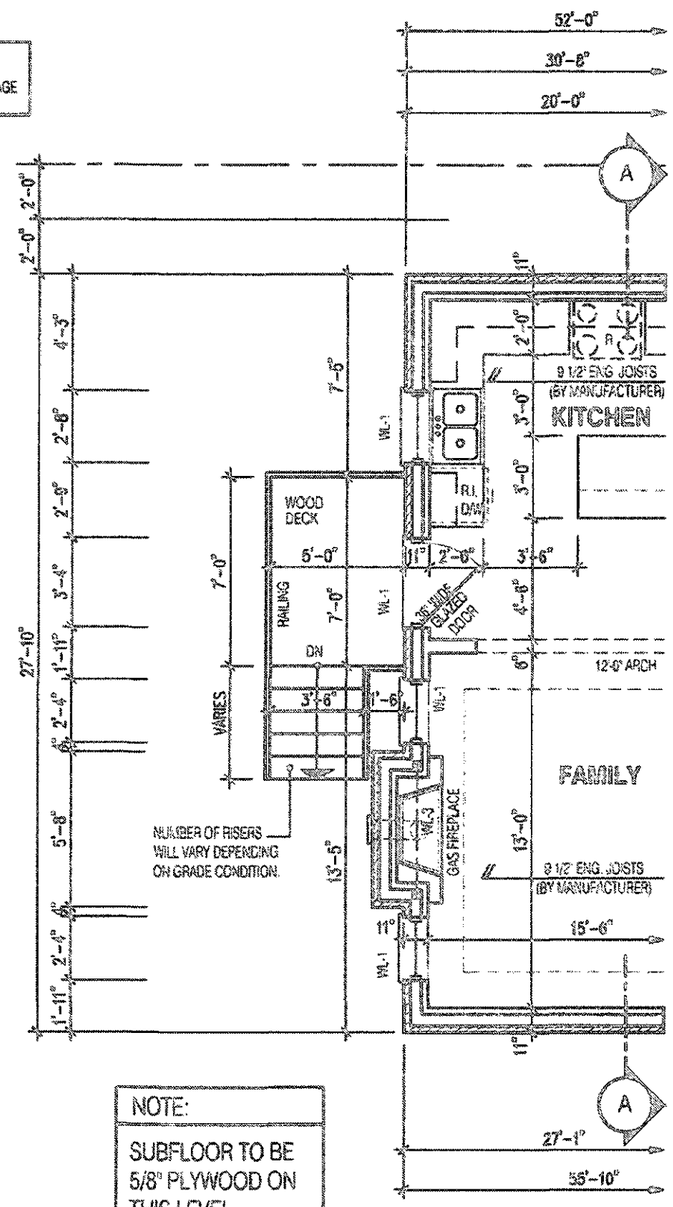


NOTE:

SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL

ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

PARTIAL BASEMENT LAYOUT FOR DECK CONDITION EL-2



NOTE:

SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL

ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

PARTIAL FIRST FLOOR LAYOUT FOR DECK CONDITION EL-2

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

RECEIVED
JUN 10 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO

MAR 2 1 2019

NOTE:
WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED. (FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)

NOTE:
REFER TO SHEET NO. 0 - FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5-7', 2 ROWS FOR SPANS GREATER THAN 7

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLM ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

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JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL DESIGN AND APPROVAL
APPROVED BY
DATE MAY 1, 2019

2638

11.0m LOTS

BARTON 3 (GR) ELEVATION 2

ENERGY STAR

O.REG. 332/12

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER B. MARINKOVIC PROVINCE OF ONTARIO

FOR STRUCTURAL ONLY

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION AND DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

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AS CONSTRUCTED GRADES MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

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No.	DATE:	WORK DESCRIPTION:
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6		
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4		
3		
2	JAN. 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018	COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT

jardin DESIGN GROUP INC
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Walter Botter		21031

REGISTRATION INFORMATION
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FIRM NAME	BCIN
jardin design group inc.	27763

DECK CONDITION EL-2

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD

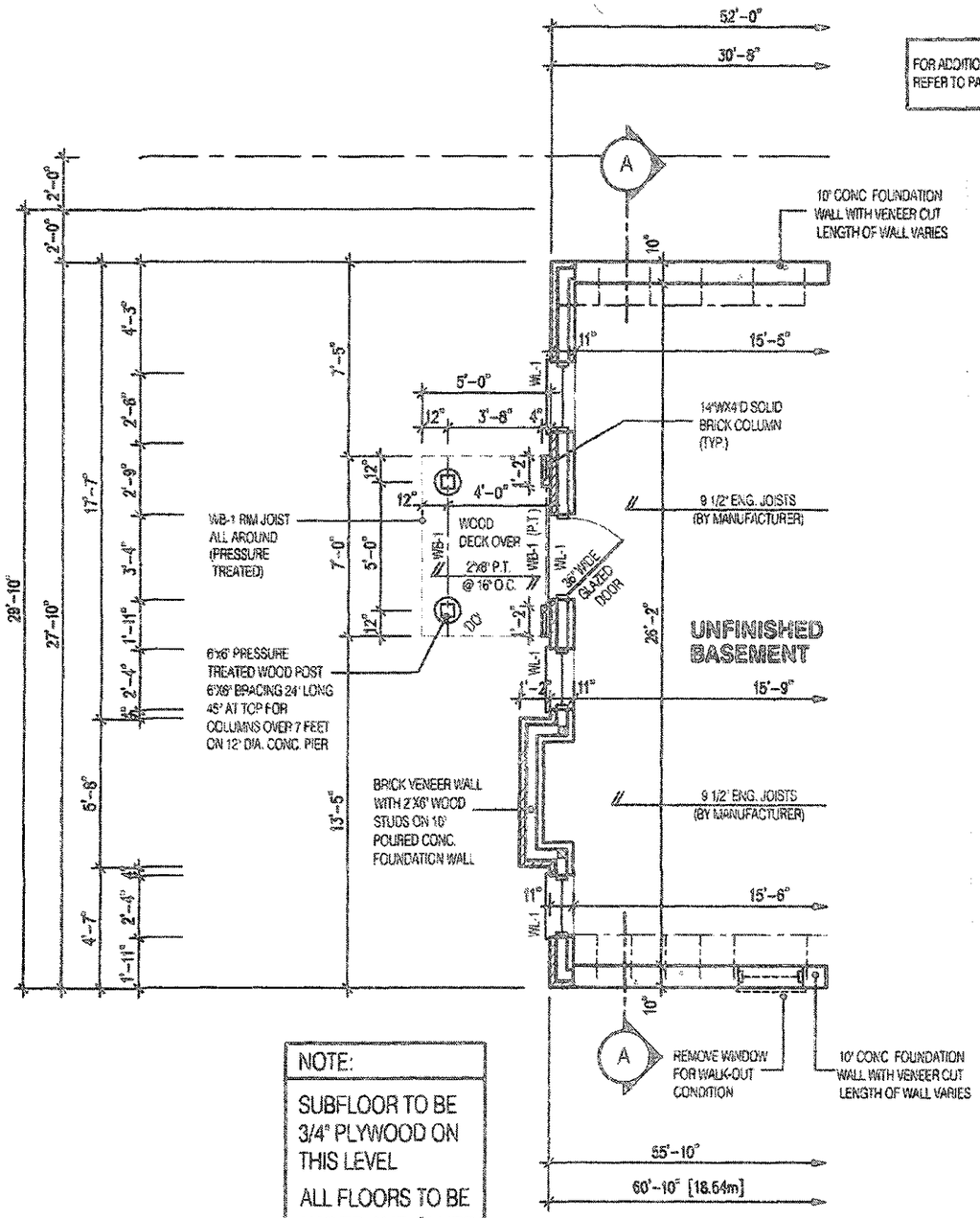
TYPE	AREA
T	---

SCALE: 3/16"=1'-0"

PROJ. No. 08-18 | DWG. No. 3A-1

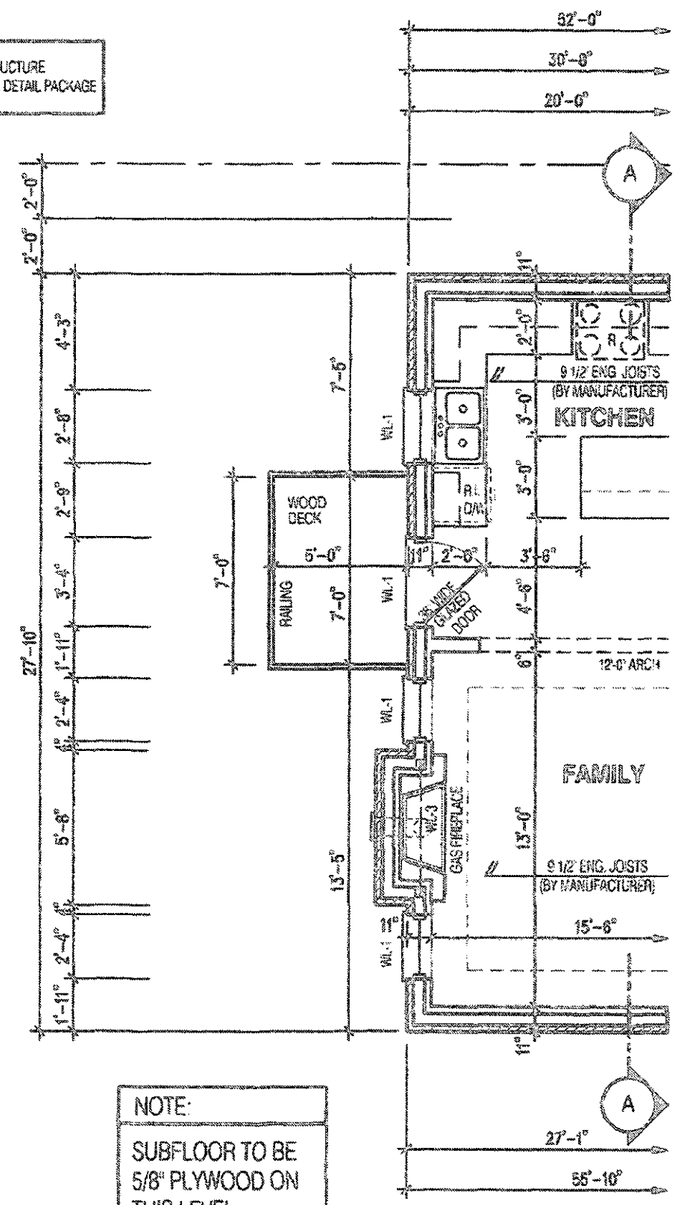
DRAWN BY | DRAWING NAME

FOR ADDITIONAL DECK STRUCTURE REFER TO PAGE 7-1 OF THE DETAIL PACKAGE



PARTIAL BASEMENT LAYOUT
FOR WALK-OUT / DECK CONDITION EL-1

NOTE:
SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL



PARTIAL FIRST FLOOR LAYOUT
FOR WALK-OUT / DECK CONDITION EL-1

NOTE:
SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

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THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

*FOUNDATION WALL
4'-7" MAX. FROM GRADE TO SLAB FOR 10" UNSUPPORTED SOLID CONC. WALL
3'-11" MAX. FROM GRADE TO SLAB FOR 8" UNSUPPORTED SOLID CONC. WALL
2'-7" MAX. FROM GRADE TO SLAB FOR 6" UNSUPPORTED SOLID CONC. WALL
(AS PER O.B.C. 9.15.4.2)

NOTE:
WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED. (FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)

NOTE:
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NOTE:
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NOTE:
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NOTE:
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RECEIVED
JUN 10 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO

MAR 21 2019

LEGEND:
- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQD)
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JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE MAR 21 2019

2638
11.0m LOTS
BARTON 3 (GR)
ELEVATION 1
ENERGY STAR
O.REG. 332/12

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

FOR STRUCTURAL ONLY

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jardin DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
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Walter Botter		21031

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FIRM NAME	BCIN
jardin design group inc.	27763

WALK-OUT / DECK CONDITION EL-1

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD

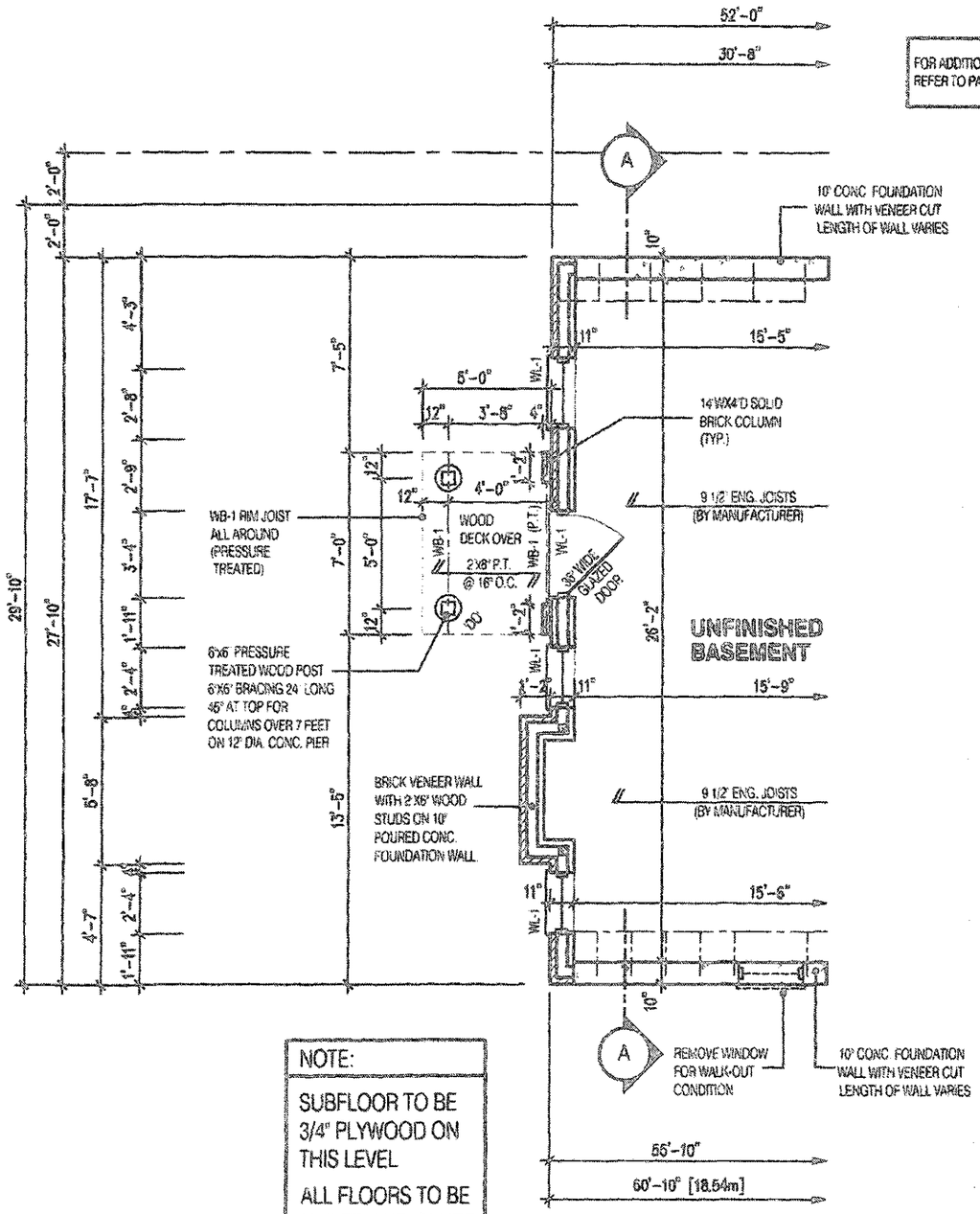
TYPE	AREA
T	----

SCALE: 3/16" = 1'-0"

PROJ. No.	DWG. No.
08-18	3-2

DRAWN BY | DRAWING NAME:

FOR ADDITIONAL DECK STRUCTURE REFER TO PAGE 7-1 OF THE DETAIL PACKAGE



NOTE:

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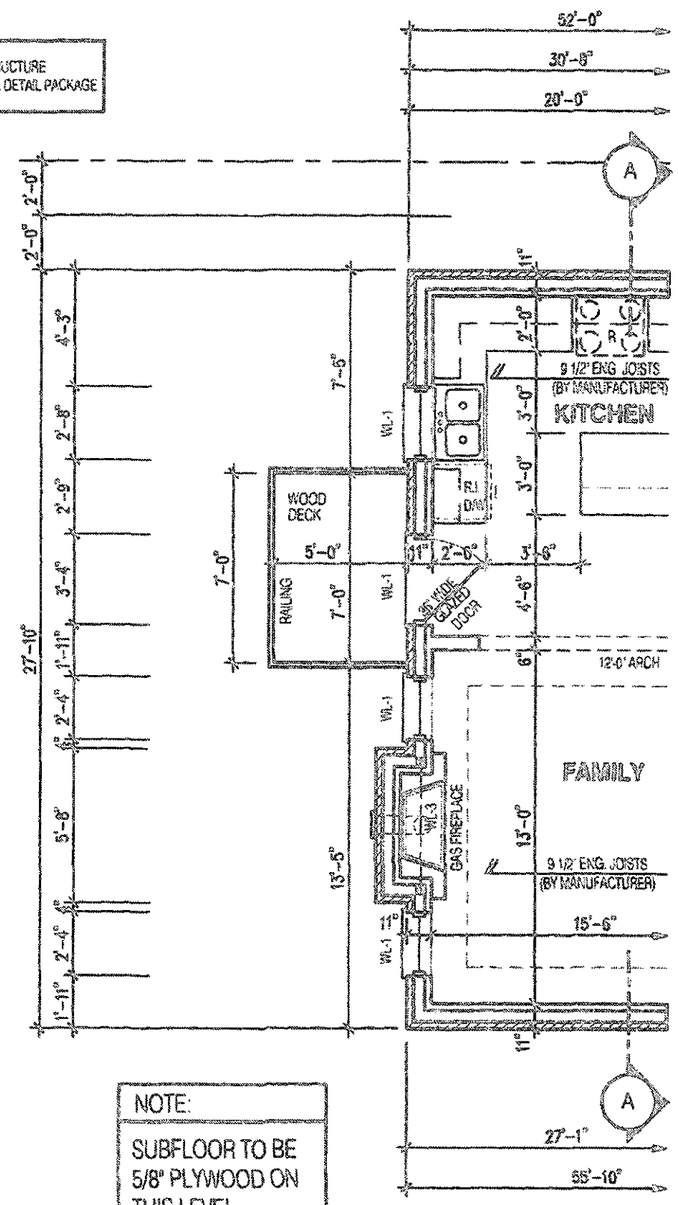
PARTIAL BASEMENT LAYOUT
FOR WALK-OUT / DECK CONDITION EL-2



NOTE:

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PARTIAL FIRST FLOOR LAYOUT
FOR WALK-OUT / DECK CONDITION EL-2

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RECEIVED
JUN 10 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO

MAR 2 1 2019

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE MAY 21, 2019

2638
11.0m LOTS
BARTON 3 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURAL ONLY

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Walter Botter		21031

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

FIRM NAME	BCIN
jardin design group inc.	27763

WALK-OUT / DECK CONDITION EL-2

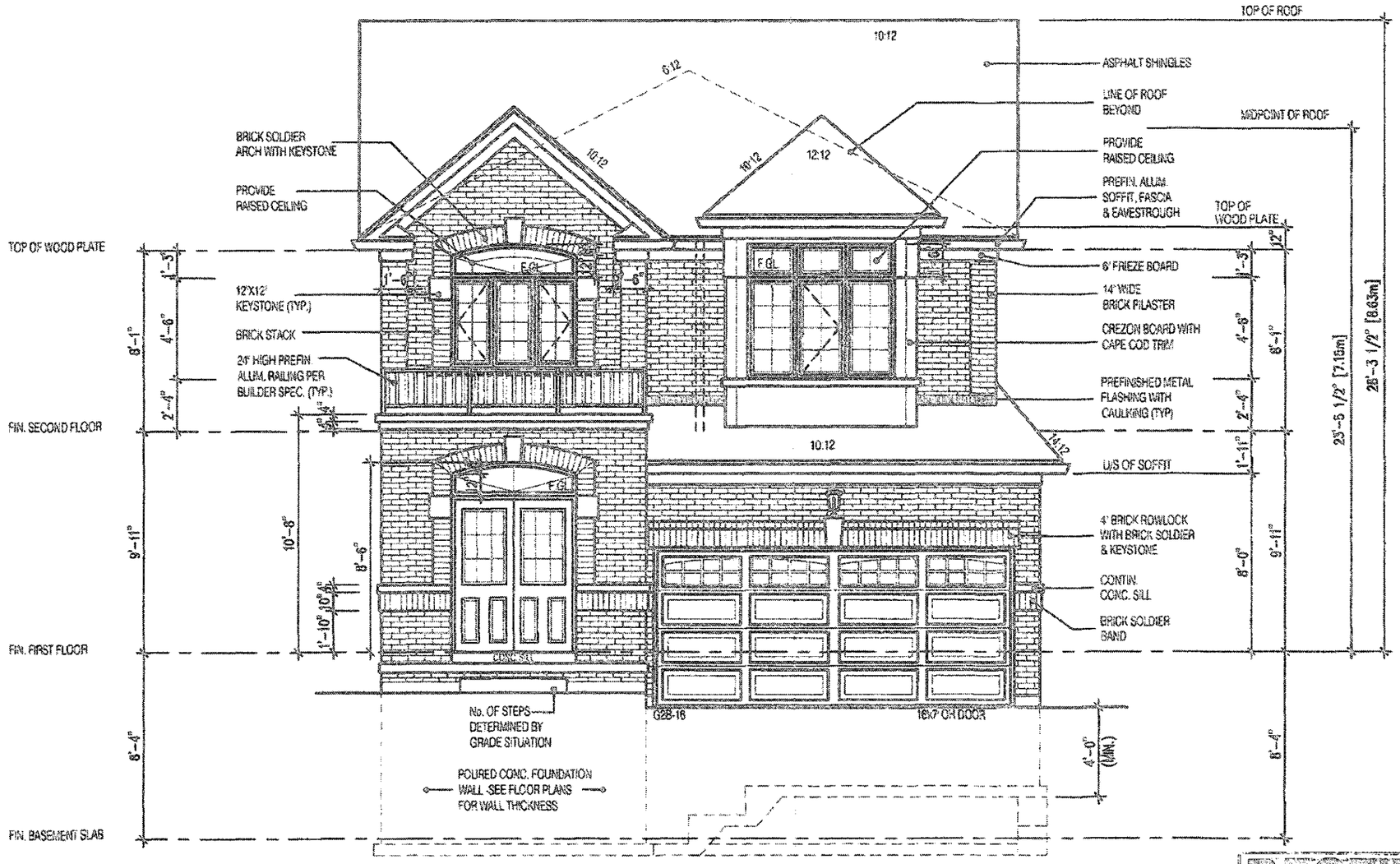
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD

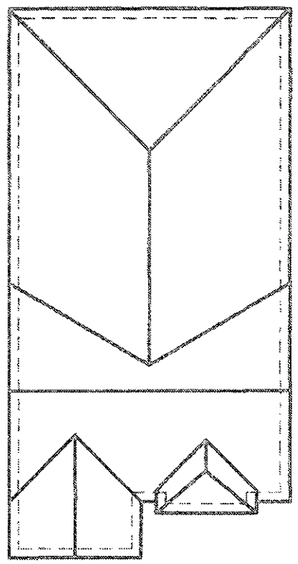
TYPE	AREA
T	---

SCALE: 3/16"=1'-0"

PROJ. No	DWG. No
08-18	3A-2



BARTON 3
ELEV-1



ROOF PLAN
N.T.S.

RECEIVED
JUN 1 0 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO

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MAR 2 1 2019

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ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE MAY 31, 2019

2638
11.0m LOTS
BARTON 3 (GR)
ELEVATION 1
ENERGY STAR
O.REG. 332/12

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Walter Sotter		21031

REGISTRATION INFORMATION
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FIRM NAME	BCIN
jardin design group inc.	27763

FRONT ELEVATION 1

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

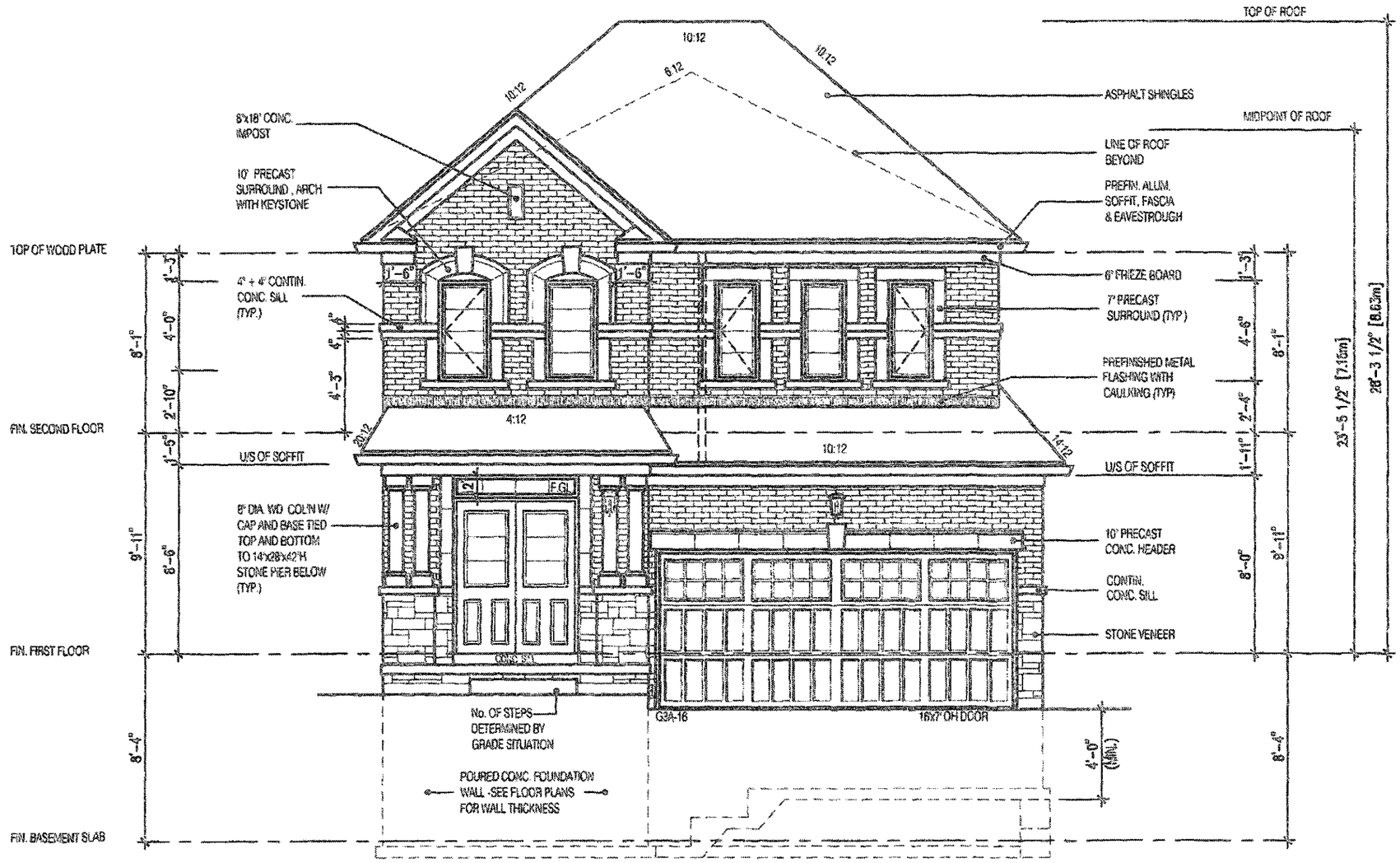
BILD

TYPE	AREA
T	----

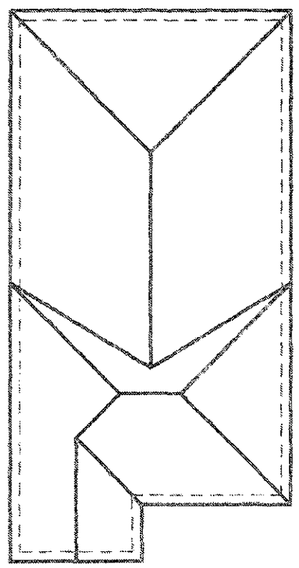
SCALE 3/16"=1'-0"

PROJ. NO.	DWG. No.
08-18	4

DRAWN BY: DRAWING NAME: --



BARTON 3
ELEV-2



ROOF PLAN

N.T.S.

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RECEIVED
JUN 18 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL DESIGN AND APPROVAL
APPROVED BY
DATE MAY 14, 2019

2638

11.0m LOTS

BARTON 3 (GR)
ELEVATION 2

ENERGY STAR

O.REG. 332/12

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2	JAN. 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018	COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

NAME	SIGNATURE	BCIN
Walter Botter		21031

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

FIRM NAME	BCIN
jardin design group inc.	27763

FRONT ELEVATION 2

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

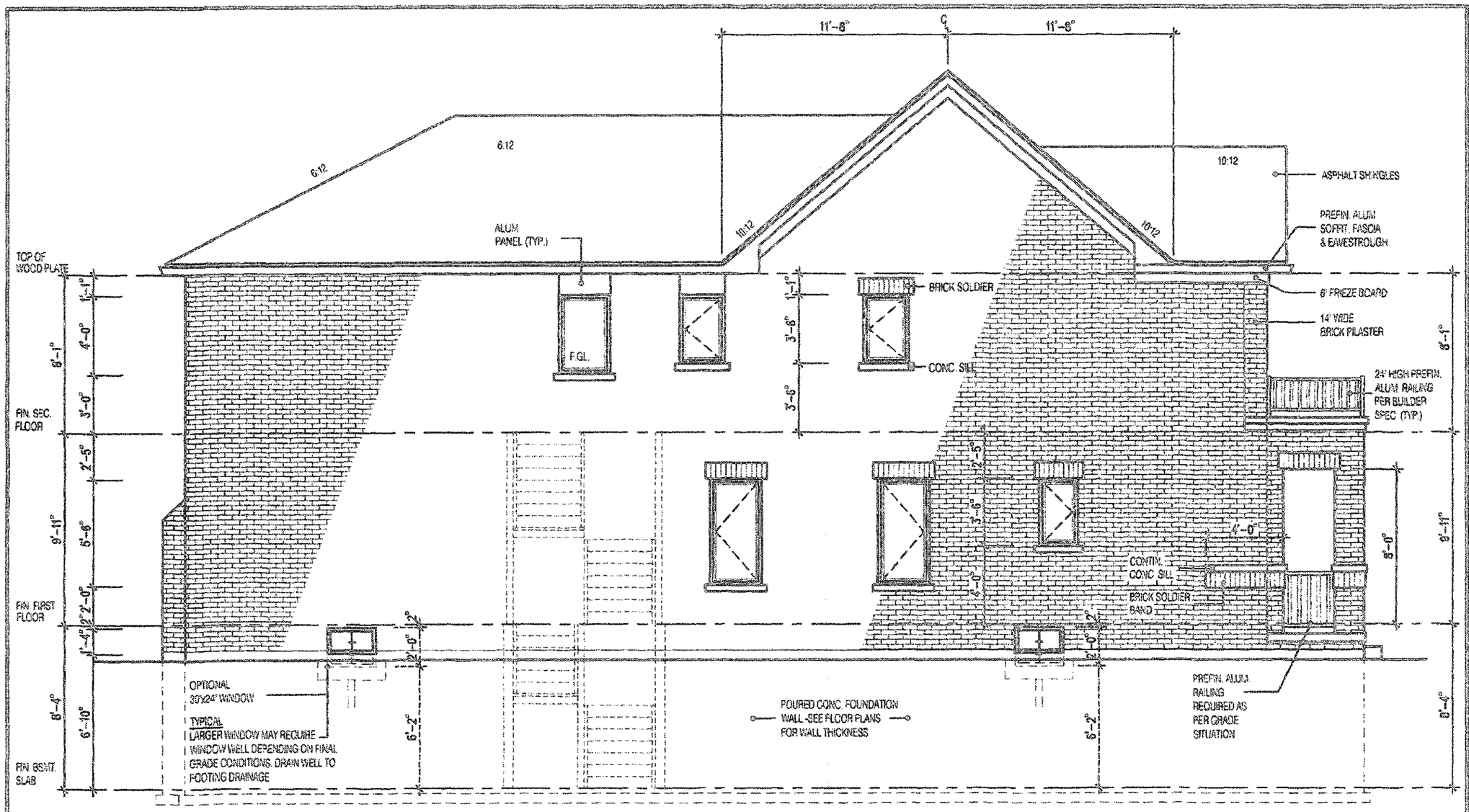
BILD

TYPE	AREA
T	----

SCALE: 3/16"=1'-0"

PROJ. No.	DWG. No.
08-18	4A

DRAWN BY | DRAWING NAME



SIDE ELEVATION-1

UNPROTECTED OPENINGS

WALL AREA	1108 ☐
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDEYARD)	77.6 ☐
ACTUAL GLASS AREA	54.9 ☐

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

UNPROTECTED OPENINGS WITH OPTIONAL 32"X24" WINDOWS

WALL AREA	1108 ☐
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDEYARD)	77.6 ☐
ACTUAL GLASS AREA	57.8 ☐

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

RECEIVED
JUN 10 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO

MAR 21 2019

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE

DRAWN BY: DRAWING NAME:

2638
11.0m LOTS
BARTON 3 (GR)
ELEVATION 1
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION AND DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

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FIRM NAME	BCIN
jardin design group inc.	27763

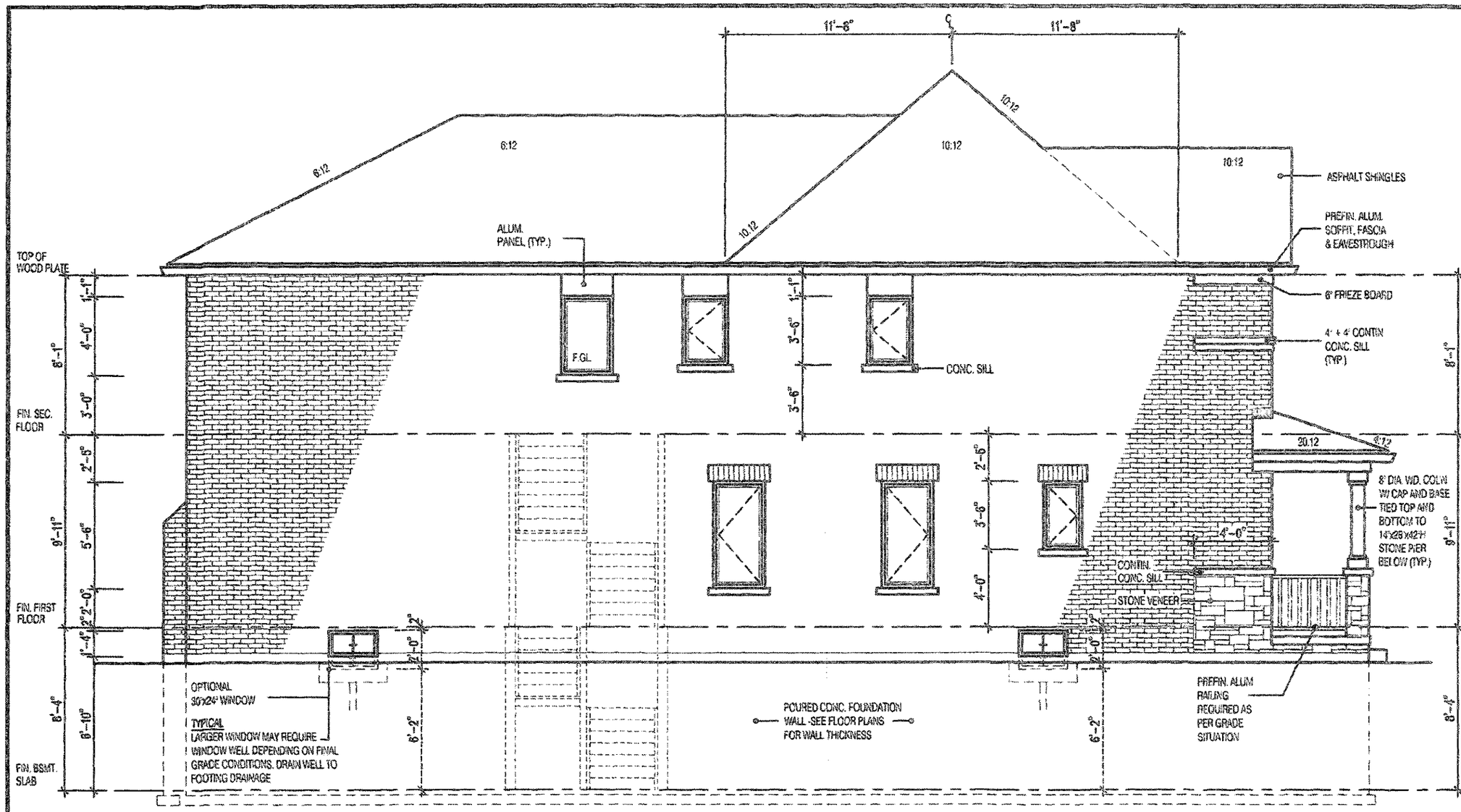
SIDE ELEVATION 1
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD

TYPE	AREA
T	----

SCALE 3/16" = 1'-0"

PROJ. No	DWG. No.
08-18	5



SIDE ELEVATION-2

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

UNPROTECTED OPENINGS

WALL AREA	1108 ϕ
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDEYARD)	77.6 ϕ
ACTUAL GLASS AREA	54.9 ϕ

RECEIVED
JUN 16 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO

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UNPROTECTED OPENINGS WITH OPTIONAL 32"X24" WINDOWS

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JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL REVIEW
APPROVED
APPROVED BY
DATE MAY 6, 2019

2638

11.0m LOTS

BARTON 3 (GR)
ELEVATION 2

ENERGY STAR

O.REG. 332/12

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Walter Botter		21031

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FIRM NAME	BCIN
jardin design group inc.	27763

SIDE ELEVATION 2

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD

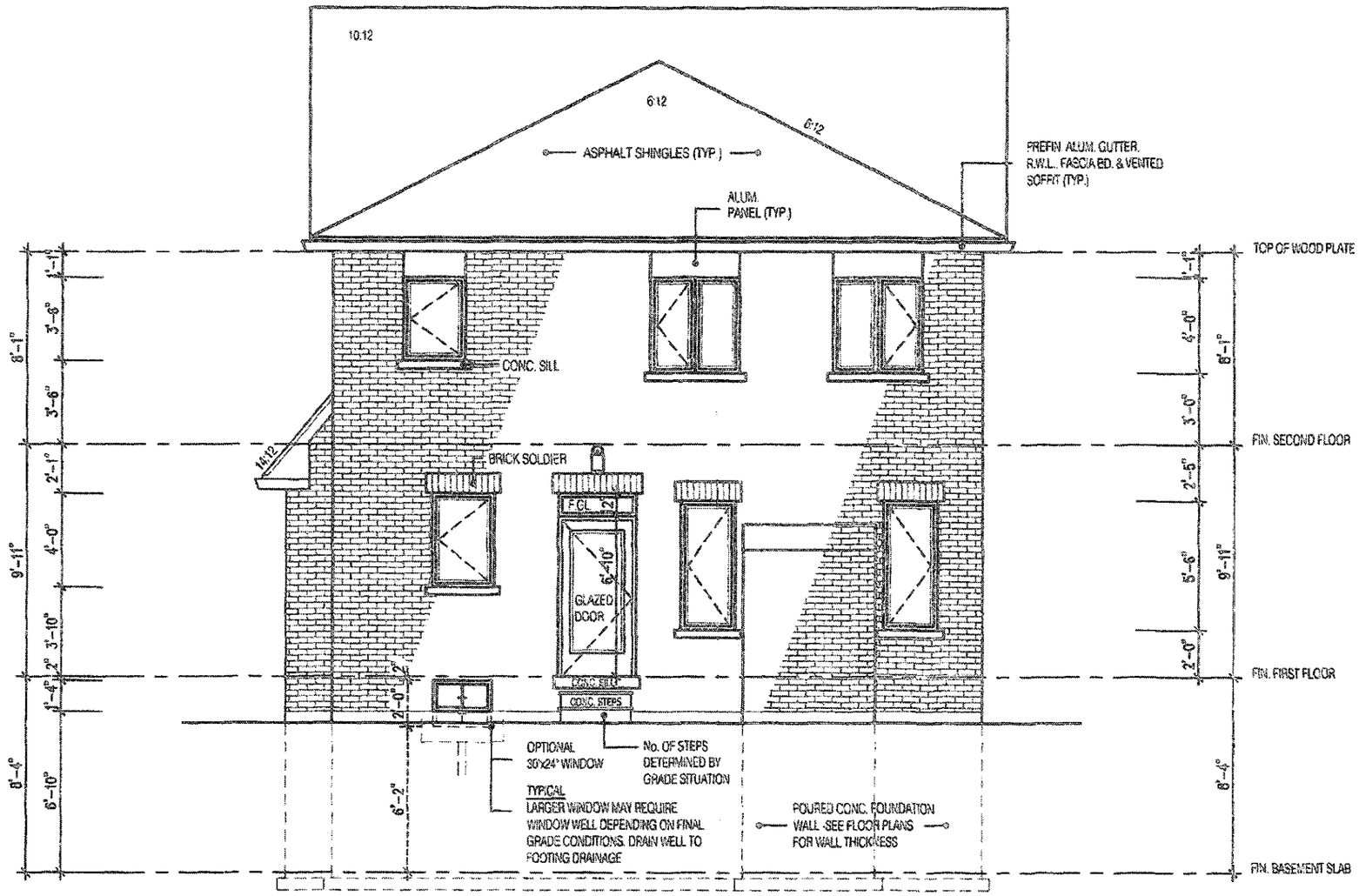
TYPE	AREA
T	----

SCALE: 3/16" = 1'-0"

PROJ. No.	DWG. No.
08-18	5A

DRAWN BY

DRAWING NAME: —



REAR ELEVATION-1

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

RECEIVED
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TOWN OF CALEDON
BUILDING SECTION
FILE NO

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL ARCHITECT
APPROVED

DATE: MAY 1, 2018

2638

11.0m LOTS

BARTON 3 (GR)
ELEVATION 1

ENERGY STAR

O.REG. 332/12

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Walter Bolter		21031

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FIRM NAME	BCIN
jardin design group inc.	27763

REAR ELEVATION 1

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

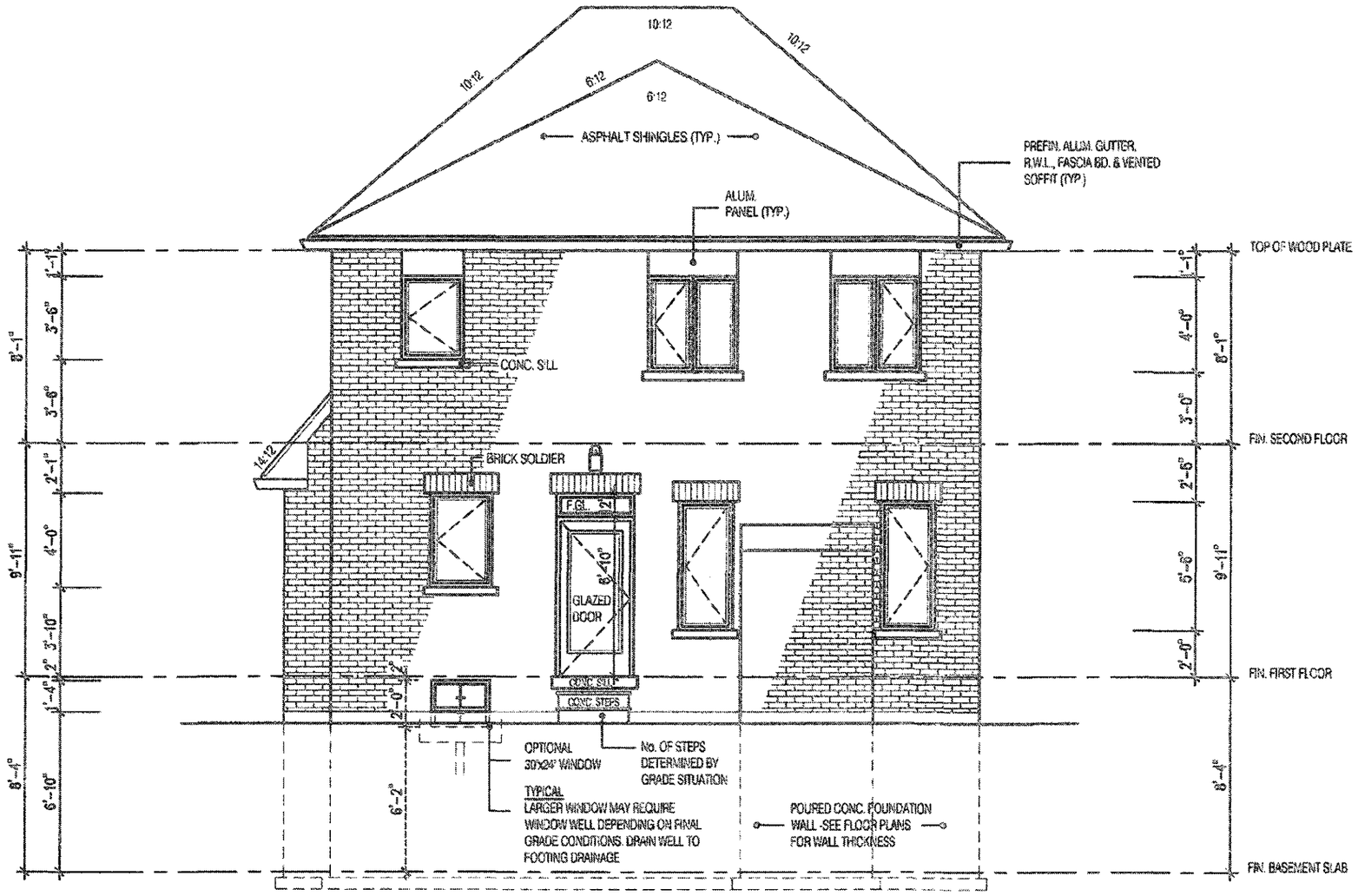
BILD

TYPE	AREA
T	—

SCALE: 3/16"=1'-0"

PROJ. No.	DWG. No.
08-18	6

DRAWN BY | DRAWING NAME —



REAR ELEVATION-2

RECEIVED
JUN 1 6 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO

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JOHN C. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE May 16, 2019

2638

11.0m LOTS

BARTON 3 (GR) ELEVATION 2

ENERGY STAR

O.REG. 332/12

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DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
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NAME	SIGNATURE	BCIN
Walter Botter		21031

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

FIRM NAME	BCIN
jardin design group inc.	27763

REAR ELEVATION 2

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD

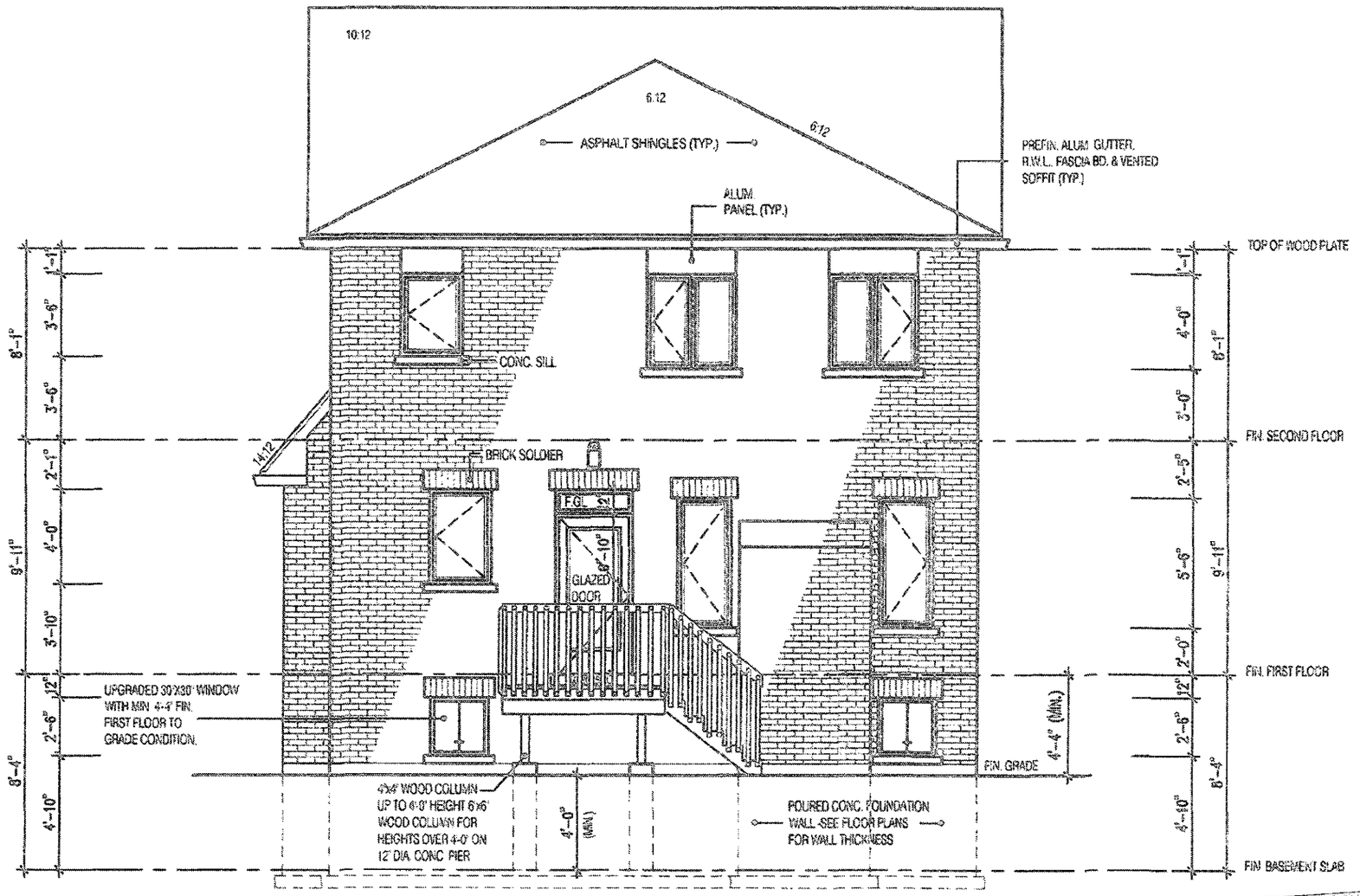
TYPE	AREA
T	----

SCALE: 3/16" = 1'-0"

PROJ. No.	DWG. No.
08-18	6A

DRAWN BY

DRAWING NAME: –



REAR ELEVATION 1
DECK CONDITION

FOR ADDITIONAL DECK STRUCTURE REFER TO PAGE 7 OF THE DETAIL PACKAGE

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

RECEIVED
JUN 10 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO. _____

MAR 21 2019

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

NOTE:

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.
(FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)

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JOHN G. WILLIAMS LIMITED, ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: _____
DATE: _____

2638
11.0m LOTS
BARTON 3 (GR)
ELEVATION 1
ENERGY STAR
O.REG. 332/12

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FIRM NAME	BCIN
jardin design group inc.	27763

DECK CONDITION EL-1

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD

TYPE	AREA
T	—

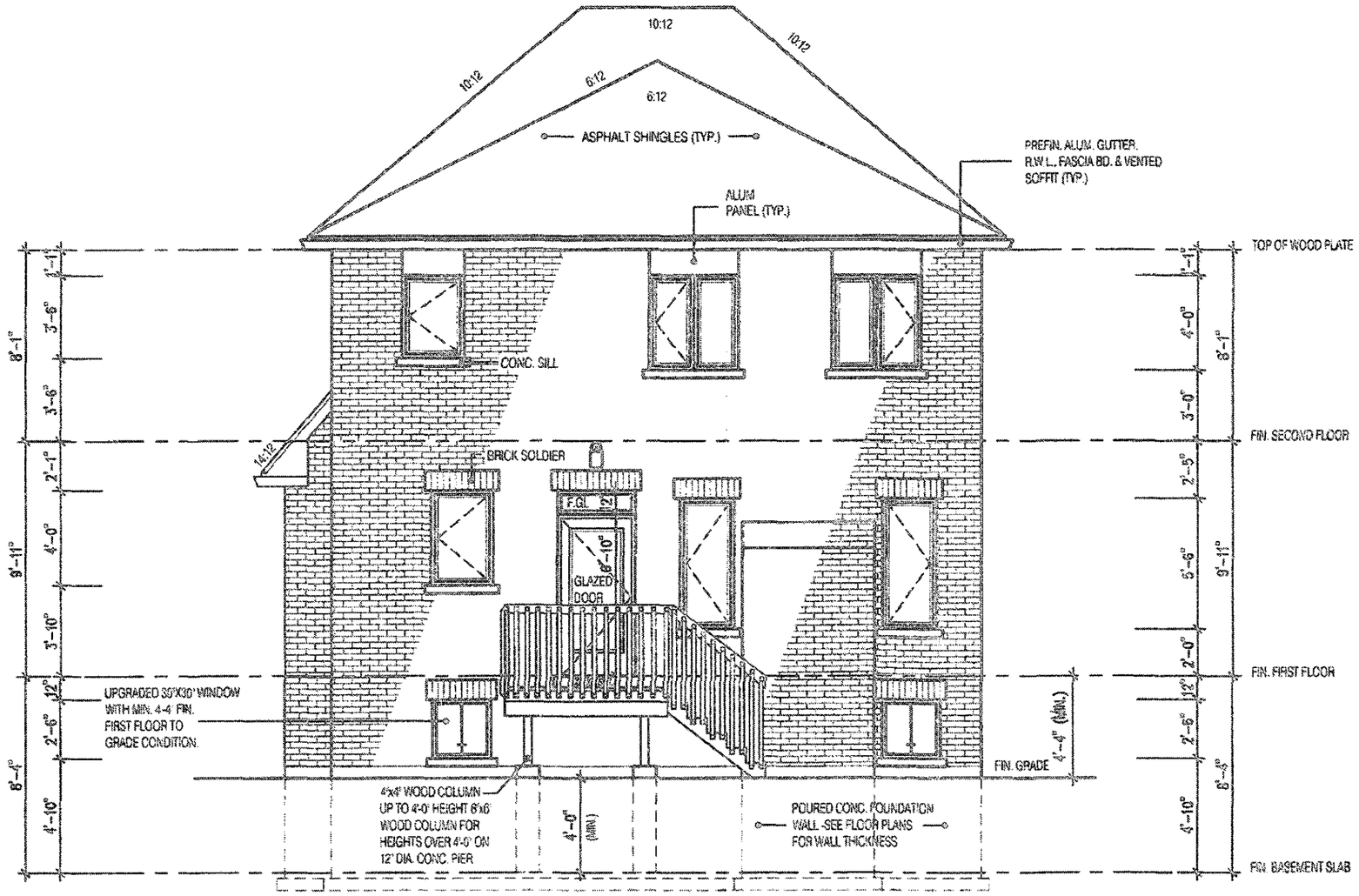
SCALE: 3/16" = 1'-0"

PROJ. No: 08-18

DWG. No: 6-1

DRAWN BY:

DRAWING NAME: --



REAR ELEVATION 2
DECK CONDITION

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ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY:
DATE: MAR 21, 2019

2638
11.0m LOTS
BARTON 3 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12

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Walter Botter		21031

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FIRM NAME	BCIN
jardin design group inc.	27763

DECK CONDITION EL-2

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

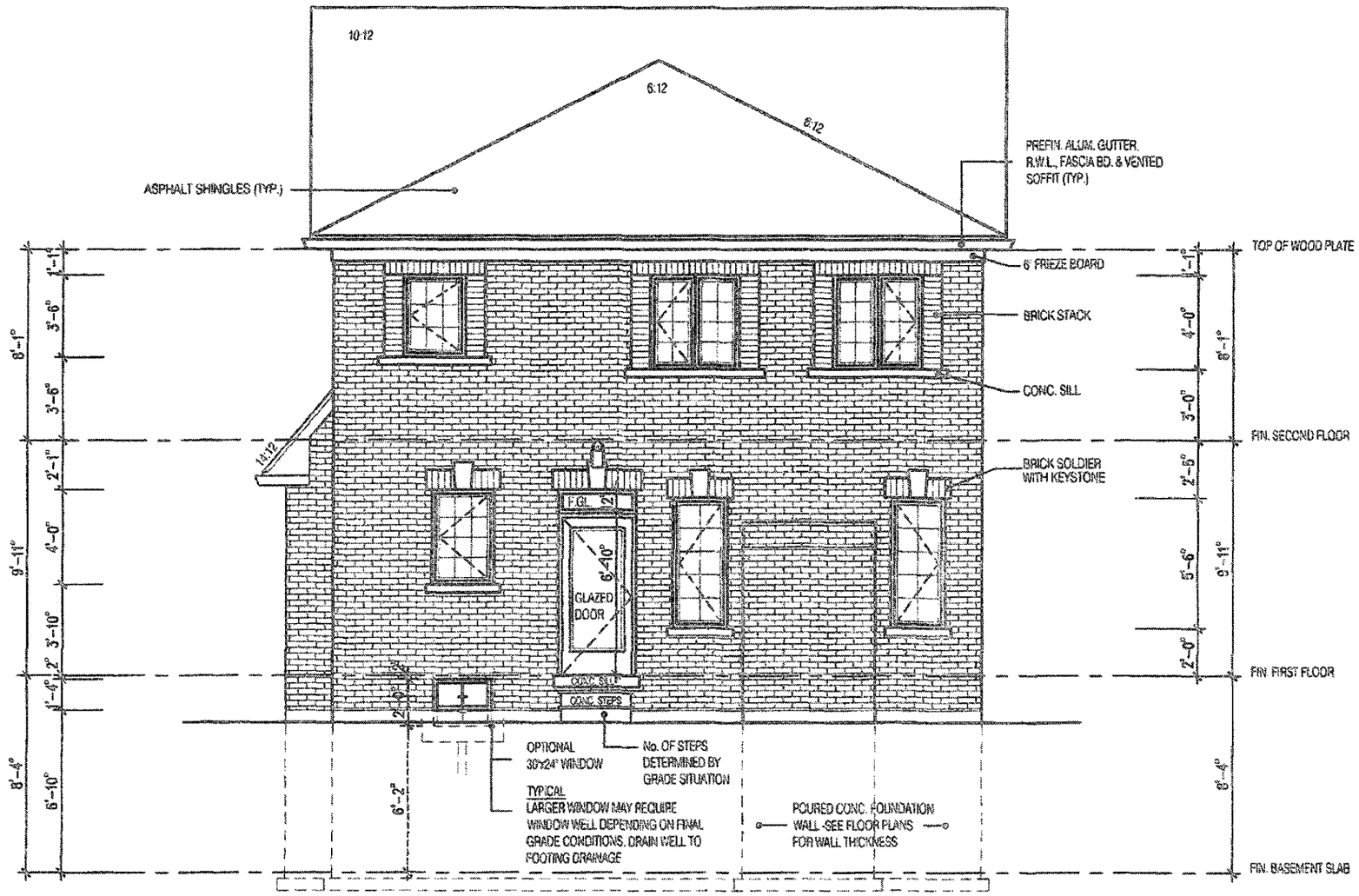
BILD

TYPE	AREA
T	----

SCALE: 3/16" = 1'-0"

PROJ. No	DWG. No.
08-18	6A-1

DRAWN BY:
DRAWING RATIO: --



REAR ELEVATION-1
UPGRADE

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RECEIVED
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TOWN OF CALEDON
BUILDING SECTION
FILE NO

2638

11.0m LOTS

BARTON 3 (GR)
ELEVATION 1

ENERGY STAR

O.REG. 332/12

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DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter		21031
NAME	SIGNATURE	BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc.	27763
FIRM NAME	BCIN

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This is to certify that these plans comply with the applicable Architectural Design *Guidelines approved by the Town of* CALEDON.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE MAY 13, 2019

REAR ELEVATION 1

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD

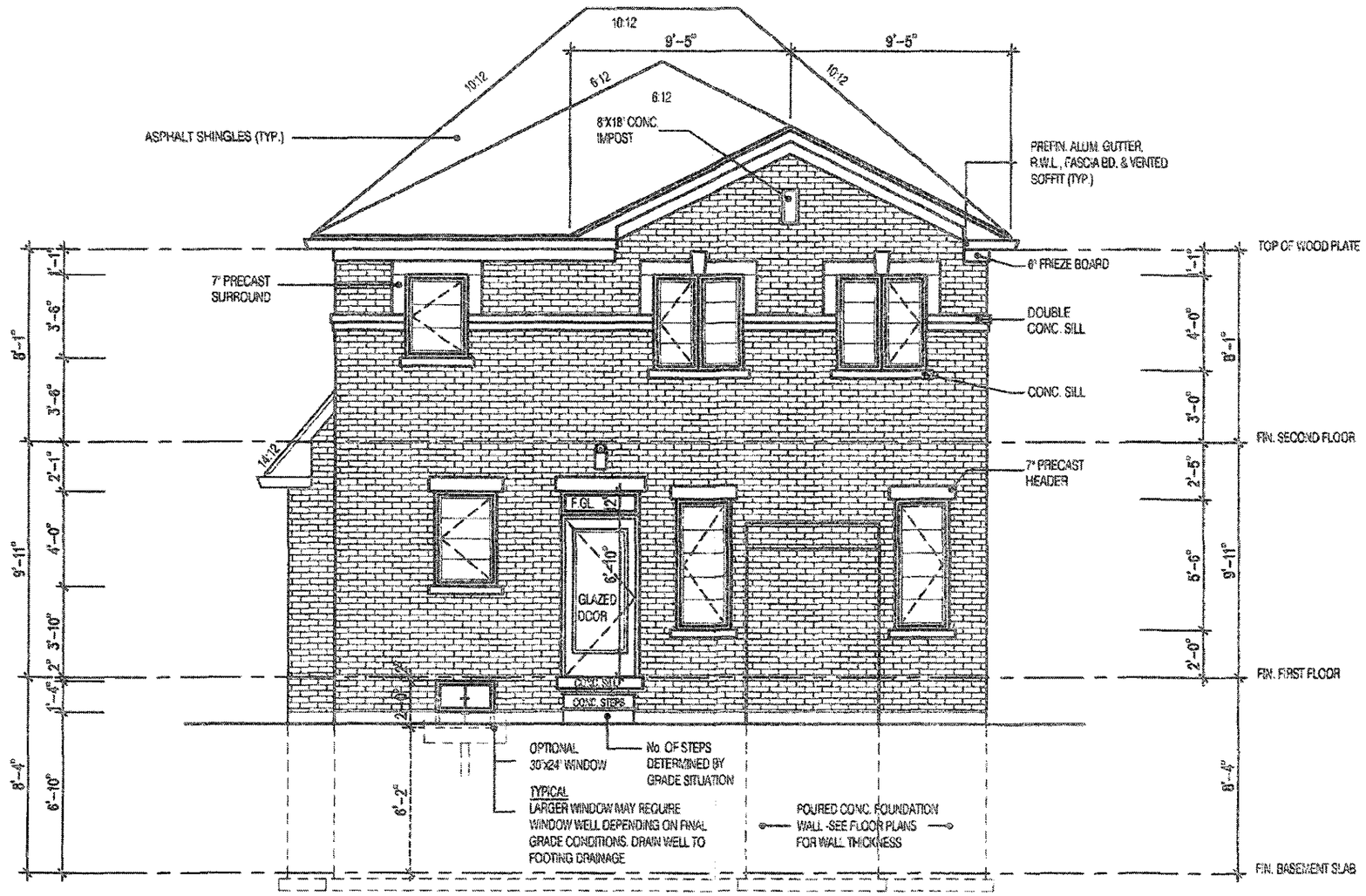
TYPE	AREA
T	—

SCALE: 3/16"=1'-0"

PROJ. No.	DWG. No
08-18	6-2

DRAWN BY

DRAWING NAME



REAR ELEVATION-2
UPGRADE

RECEIVED
JUN 10 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

THIS STRUCTURE MUST BE FLOOR-PROOFED TO MEET OR EXCEED THE REQUIREMENTS OF THE ONTARIO BUILDING CODE

2638

11.0m LOTS

BARTON 3 (GR)
ELEVATION 2

ENERGY STAR

O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED GRADES MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

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No:	DATE:	WORK DESCRIPTION:
7		
6		
5		
4		
3		
2	JAN. 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018	COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
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NAME	SIGNATURE	BCIN
Walter Botter		21031

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

FIRM NAME	BCIN
jardin design group inc.	27763

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE MAY 24, 2019

REAR ELEVATION 2

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

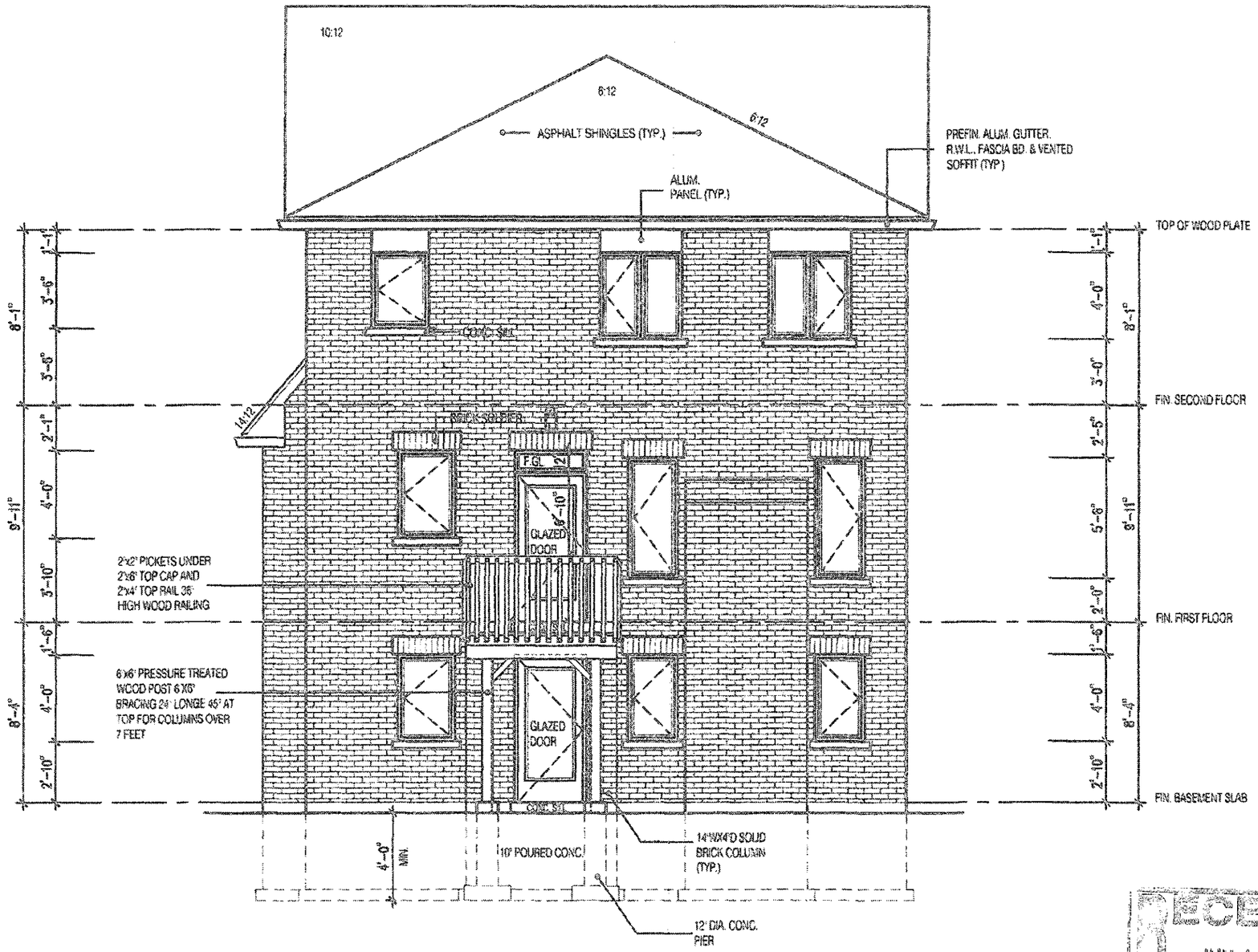
BILD

TYPE	AREA
T	---

SCALE: 3/16"=1'-0"

PROJ. No.	DWG. No.
08-18	6A-2

DRAWN BY | DRAWING NAME: --



OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

REAR ELEVATION 1 FOR WALK-OUT / DECK CONDITON

FOR ADDITIONAL DECK STRUCTURE REFER TO PAGE 7-1 OF THE DETAIL PACKAGE

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

RECEIVED
JUN 10 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO

MAR 21 2019

NOTE:

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.
(FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL STAGE
AND APPROVAL
APPROVED BY
DATE MAR 21, 2019

2638
11.0m LOTS
BARTON 3 (GR)
ELEVATION 1
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

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1	OCT. 15, 2018	COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT

jardin
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NAME	SIGNATURE	BCIN
Walter Botter		21031

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

FIRM NAME	BCIN
jardin design group inc.	27763

WALK-OUT / DECK CONDITION EL-1

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD

TYPE	AREA
T	----

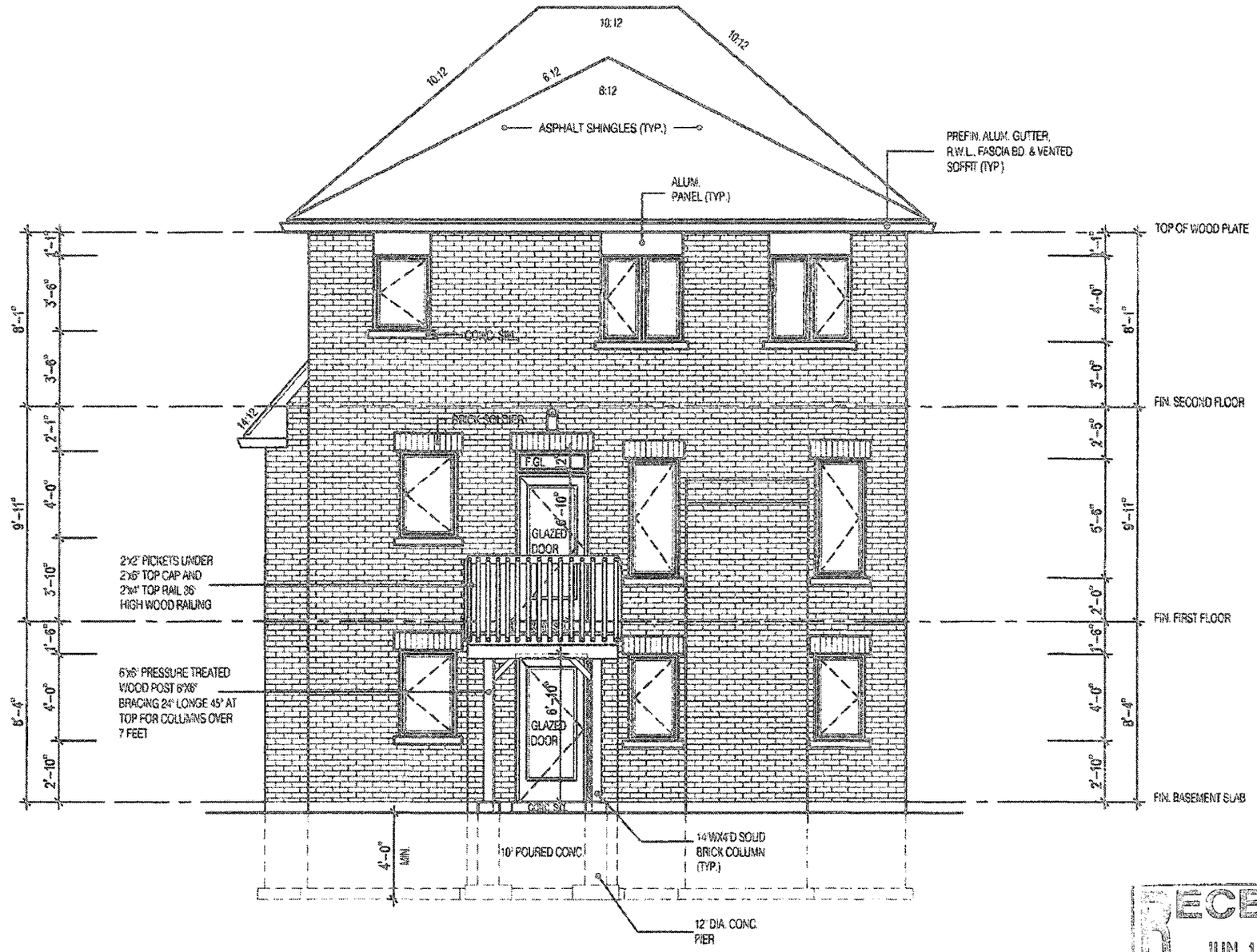
SCALE: 3/16"=1'-0"

PROJ. No. 08-18

DWG. No. 6-3

DRAWN BY:

DRAWING NAME: –



REAR ELEVATION 2 FOR WALK-OUT / DECK CONDITON

FOR ADDITIONAL DECK STRUCTURE REFER TO PAGE 7-1 OF THE DETAIL PACKAGE

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

NOTE:

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED. (FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)

RECEIVED
JUN 10 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO _____

MAR 21 2019

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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED
DATE MAR 21 2019
THE APPROVAL OF THESE PLANS IS SUBJECT TO THE TERMS AND CONDITIONS SET OUT IN THE ARCHITECTURAL CONTROL GUIDELINES

2638

11.0m LOTS

BARTON 3 (GR) ELEVATION 2

ENERGY STAR

O.REG. 332/12

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NAME	SIGNATURE	BCIN
Walter Botter		21031

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

FIRM NAME	BCIN
jardin design group inc.	27763

WALK-OUT / DECK CONDITION EL-2

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD

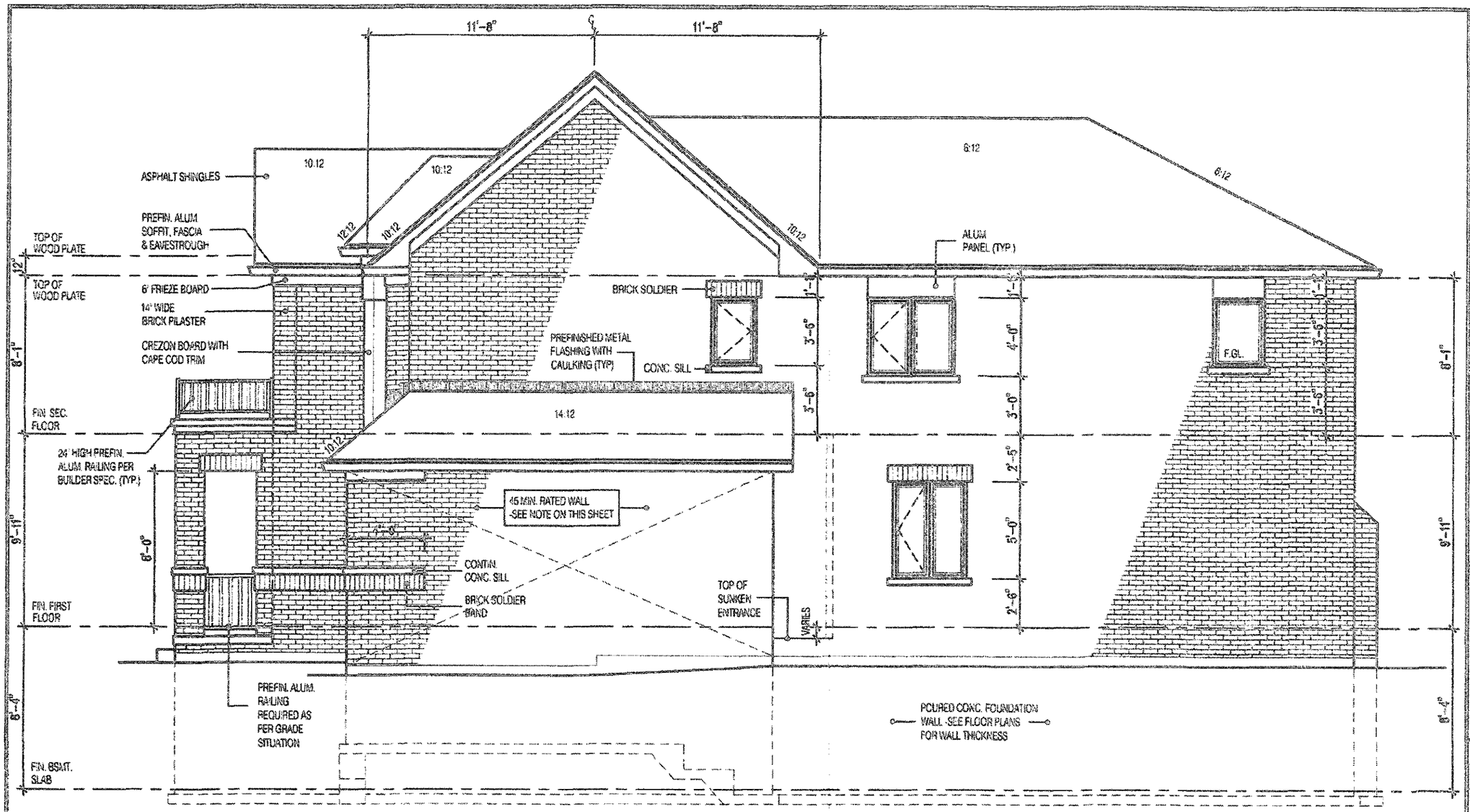
TYPE	AREA
T	----

SCALE 3/16" = 1'-0"

PROJ. No.	DWG. No
08-18	6A-3

DRAWN BY

DRAWING NAME



SIDE ELEVATION-1

UNPROTECTED OPENINGS

WALL AREA	1108 ϕ
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDEYARD)	77.6 ϕ
ACTUAL GLASS AREA	42.5 ϕ

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OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2m (3-11") FROM LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER 12.7mm (1/2") TYPE "X" GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/SQM AND MUST FILL AT LEAST 90%99% OF THE CAVITY THICKNESS. THE TYPE "X" & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE "X" IS INSTALLED IN GARAGE EXTERIOR WALLS

(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)

HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2m (3-11") FROM LOT LINE)

45 MINUTE FIRE RATED AT HEADER

PROVIDE 15.9mm (5/8") TYPE "X" GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)

RECEIVED
JUN 10 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO

MAR 21 2019

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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL AGENT
AND SUPERVISOR
APPROVED BY
DATE MAY 21, 2019
REGISTRATION NO. 1001

2638
11.0m LOTS
BARTON 3 (GR)
ELEVATION 1
ENERGY STAR
O.REG. 332/12

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2	JAN. 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018	COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT

jardin
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64 JARDIN DR. SUITE 3A
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TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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NAME	SIGNATURE	BCIN
Walter Botter		21031

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

FIRM NAME	BCIN
jardin design group inc.	27763

SIDE ELEVATION 1
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

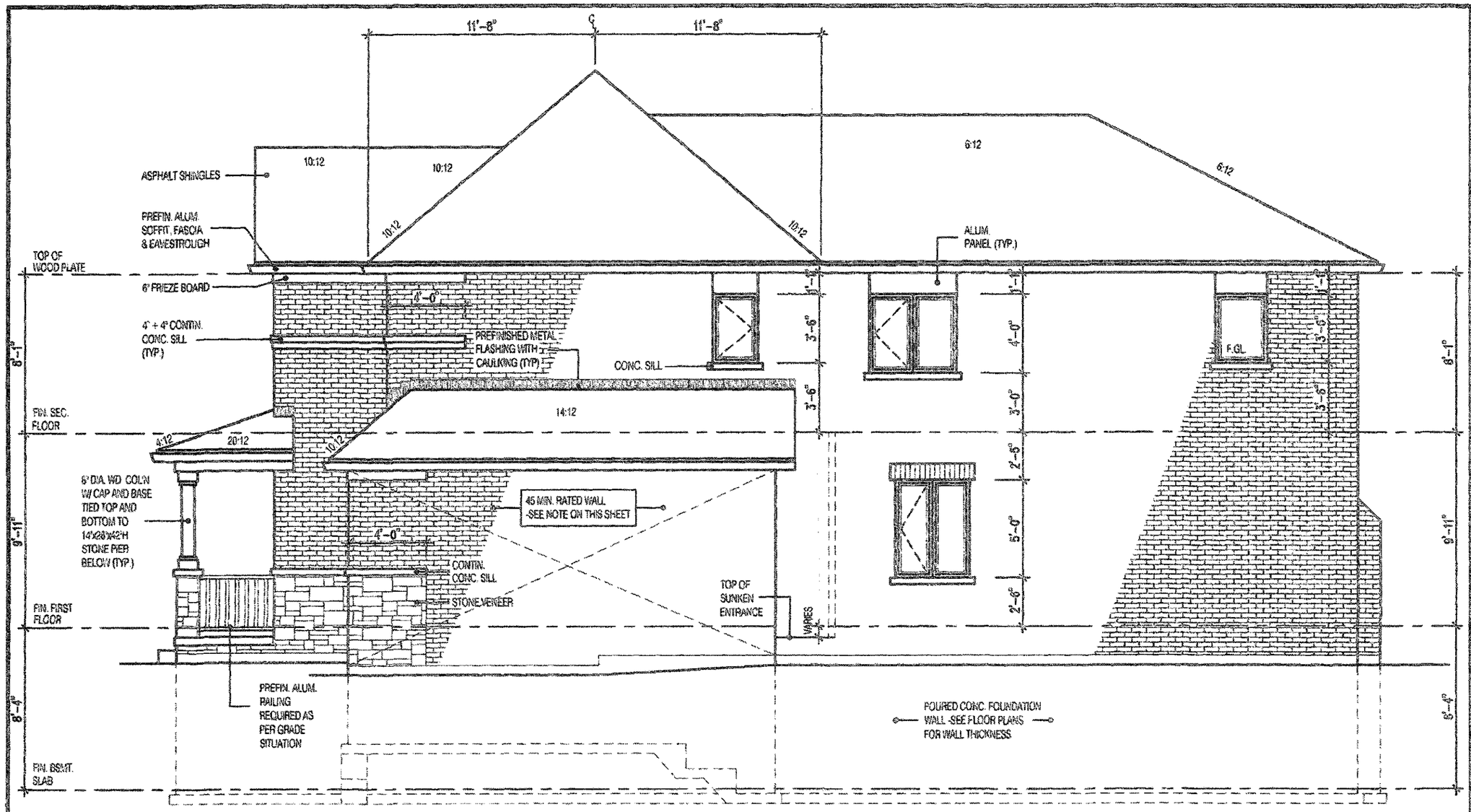
BILD

TYPE	AREA
T	----

SCALE 3/16"=1'-0"

PROJ. No.	DWG. No
08-18	7

DRAWN BY
DRAWING NAME



SIDE ELEVATION-2

UNPROTECTED OPENINGS

WALL AREA	1108 ⊕
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDEYARD)	77.6 ⊕
ACTUAL GLASS AREA	42.5 ⊕

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BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED WALL

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(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)

HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

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(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)

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JUN 10 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL ARCHITECT
APPROVAL
APPROVED BY
DATE MAY 2, 2019
THIS APPROVAL PERTAINS ONLY TO ARCHITECTURAL CONTROL AND NOT TO ZONING OR BUILDING CODE MATTERS

2638
11.0m LOTS
BARTON 3 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12

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NAME	SIGNATURE	BCIN
Walter Botter		21031

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

FIRM NAME	BCIN
jardin design group inc.	27763

SIDE ELEVATION 2
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

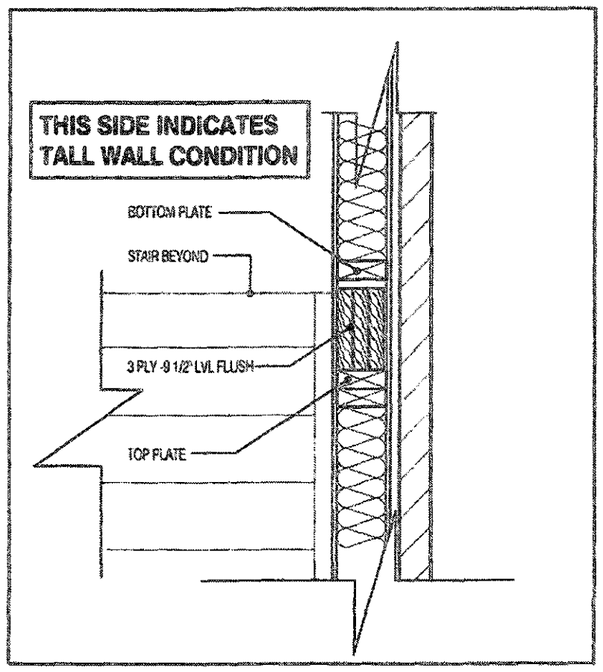
BILD

TYPE	AREA
T	---

SCALE: 3/16" = 1'-0"

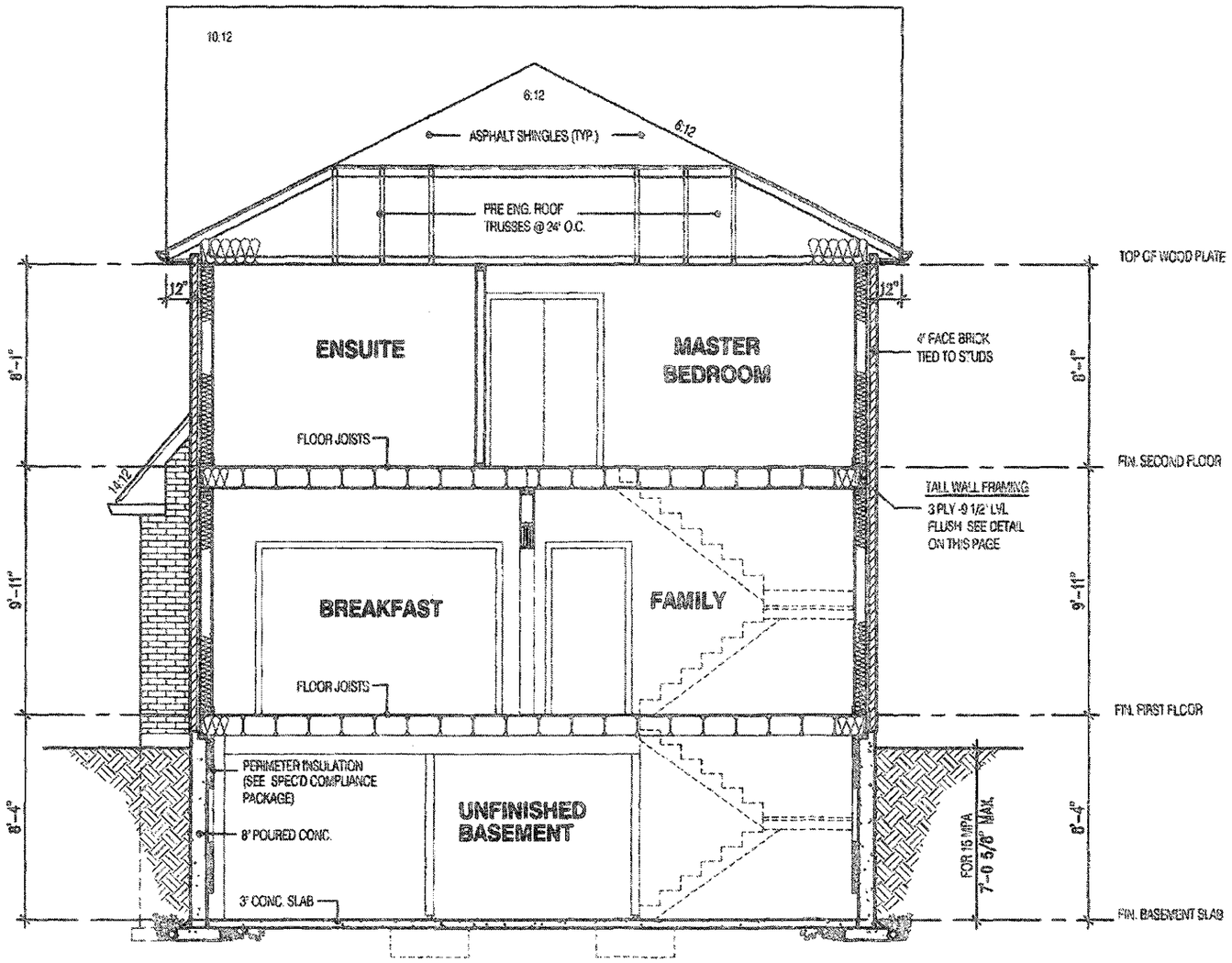
PROJ. No.	DWG. No.
08-18	7A

DRAWN BY | DRAWING NAME --



B TALL WALL FRAMING

N.T.S



SECTION A-A
ELEVATION 1

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

FOR STRUCTURE ONLY

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

RECEIVED
JUN 10 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO _____

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2638

11.0m LOTS

BARTON 3 (GR)
ELEVATION 1

ENERGY STAR

O.REG. 332/12

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

FOR STRUCTURAL ONLY

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JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

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No:	DATE:	WORK DESCRIPTION:
7		
6		
5		
4		
3		
2	JAN. 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018	COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

NAME	SIGNATURE	BCIN
Walter Botter		21031

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

FIRM NAME	BCIN
jardin design group inc.	27763

SECTION ELEVATION 1

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

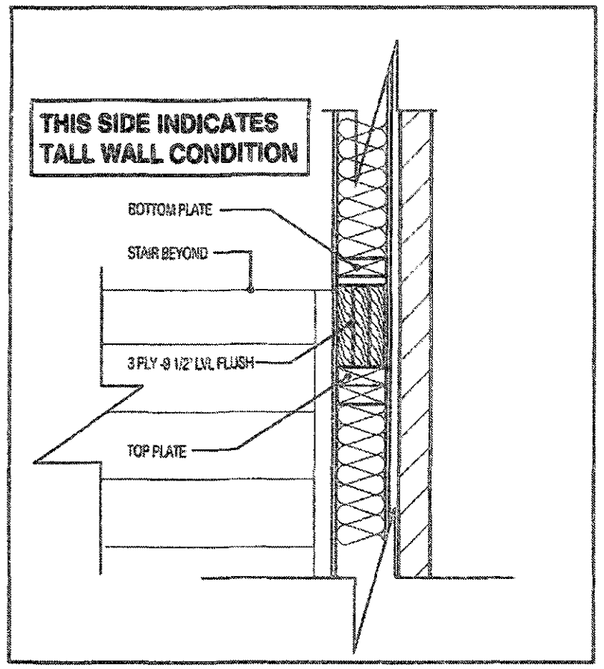
BILD

TYPE	AREA
T	----

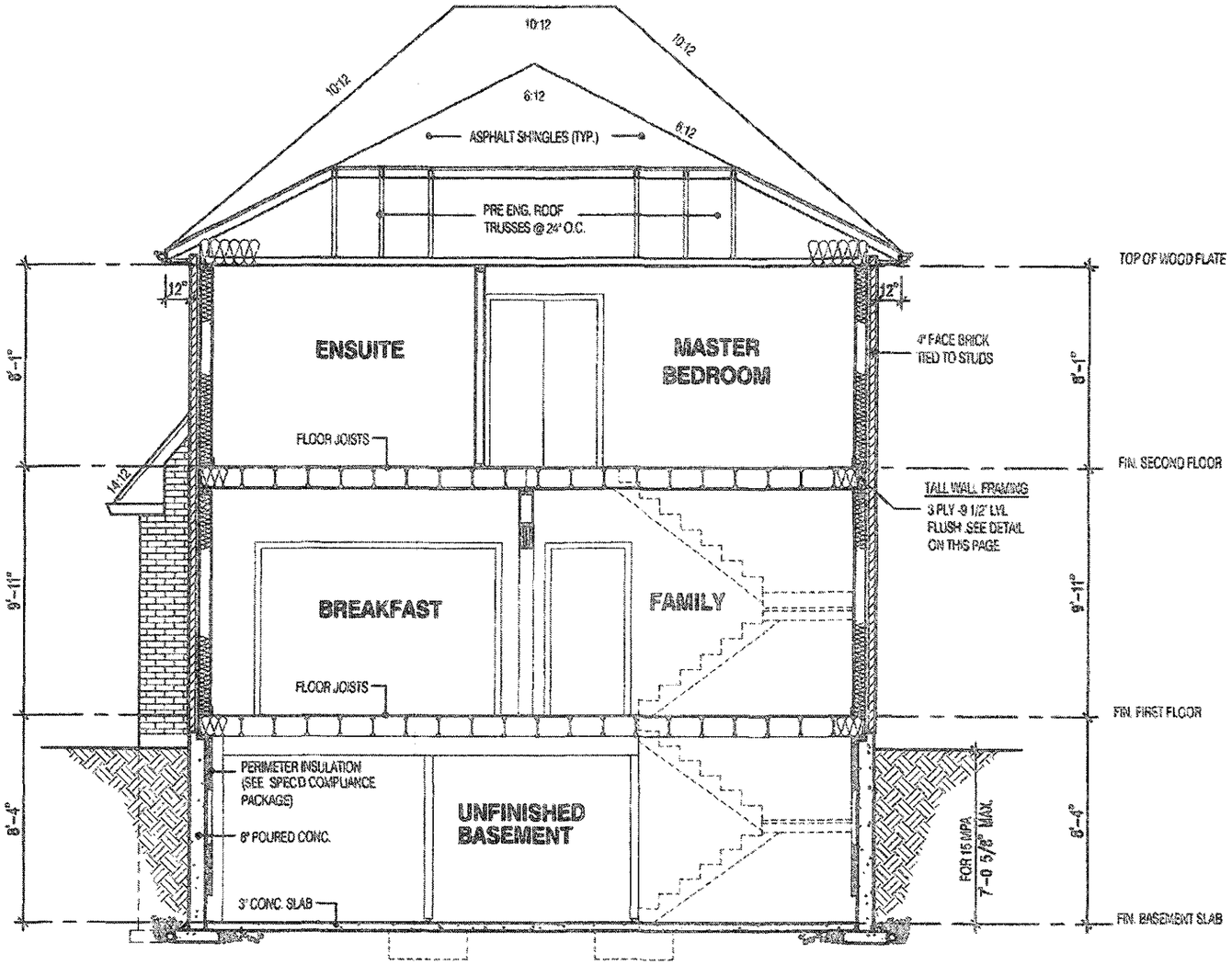
SCALE: 3/16" = 1'-0"

PROJ. No.	DWG. No.
08-18	8

DRAWN BY: DRAWING NAME: –



B TALL WALL FRAMING
N.T.S



SECTION A-A
ELEVATION 2

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

FOR STRUCTURE ONLY

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

RECEIVED
JUN 10 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

2638
11.0m LOTS
BARTON 3 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

FOR STRUCTURAL ONLY

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING DATA OBTAINED FROM CONSTRUCTION DRAWINGS OR FROM CONSTRUCTION BY-LAWS PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED HEIGHTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

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SECTION ELEVATION 2

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD

TYPE	AREA
T	---

SCALE: 3/16"=1'-0"

PROJ. No.	DWG. No
08-18	8A

DRAWN BY

DRAWING NAME --