

STRIP FOOTINGS FOR SINGLES AND SEMIS UP TO 2 STOREY

120 KPa NATIVE SOIL 20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS 24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS	90 KPa ENGINEERED FILL SOIL 24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW FOUNDATION WALLS 30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS
100 KPa NATIVE SOIL 22"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS 26"x10" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS OR 28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS	GENERAL NOTE: ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL FOOTING DETAIL FOR REINFORCEMENT. (REFER TO ENG. FILL FOOTING DETAIL)

A COMPLETE SET OF REVIEWED DRAWINGS &
SPECIFICATIONS MUST BE KEPT ON SITE AT ALL TIME
DURING CONSTRUCTION AS PER O.B.C.

PAD FOOTING

120 KPa NATIVE SOIL	90 KPa ENGINEERED FILL SOIL	100 KPa NATIVE SOIL
F1 = 42"x12"x18" CONCRETE PAD	F1 = 48"x18"x20" CONCRETE PAD	F1 = 46"x16"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD	F2 = 40"x40"x16" CONCRETE PAD	F2 = 38"x38"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD	F3 = 34"x34"x14" CONCRETE PAD	F3 = 32"x32"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD	F4 = 28"x28"x12" CONCRETE PAD	F4 = 26"x26"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD	F5 = 18"x18"x8" CONCRETE PAD	F5 = 17"x17"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

NOTE:

WHEN VENEER CUT IS GREATER THAN 26" A 10" ROUPED CONC. FOUNDATION WALL IS REQUIRED.

NOTE:

ALL GARAGE SLABS, PORCH SLABS, STAIRS, EXPOSED CONC. FLAT WORK TO BE 32 MPa
WITH 5-5% AIR ENTRAINMENT

BRICK VENEER LINTELS:

WL1 = 2'12" x 3'12" x 14" (90x90x6) + 2'2" x 8" SPR.	WL6 = 6'3" x 12" x 5'6" (125x90x6) + 3'2" x 12" SPR.
WL2 = 4'3" x 12" x 5'6" (100x90x6) + 2'2" x 8" SPR.	WL7 = 5'13" x 12" x 5'6" (125x90x6) + 3'2" x 10" SPR.
WL3 = 5'3" x 12" x 5'6" (125x90x6) + 2'2" x 10" SPR.	WL8 = 5'3" x 12" x 5'6" (125x90x6) + 3'2" x 12" SPR.
WL4 = 6'3" x 12" x 3'8" (150x90x10) + 2'2" x 12" SPR.	WL9 = 6'3" x 12" x 3'8" (150x90x10) + 3'2" x 12" SPR.
WL5 = 6'4" x 3'8" (150x100x10) + 2'2" x 12" SPR.	

WOOD LINTELS:

WB1 = 2'2" x 8" SPRUCE BEAM	WB6 = 3'2" x 12" SPRUCE BEAM
WB2 = 3'2" x 8" SPRUCE BEAM	WB7 = 5'2" x 12" SPRUCE BEAM
WB3 = 2'2" x 10" SPRUCE BEAM	WB10 = 4'2" x 8" SPRUCE BEAM
WB4 = 3'2" x 10" SPRUCE BEAM	WB11 = 4'2" x 10" SPRUCE BEAM
WB5 = 2'2" x 12" SPRUCE BEAM	

STEEL LINTELS:

L1 = 3'12" x 3'12" x 14" (90x90x6)	L4 = 6'3" x 12" x 3'8" (150x90x10)
L2 = 4'3" x 12" x 5'6" (100x90x6)	L5 = 6'4" x 3'8" (150x100x10)
L3 = 5'3" x 12" x 5'6" (125x90x6)	L6 = 7'4" x 3'8" (180x100x10)

LAMINATED VENEER LUMBER (LVL BEAMS)

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)



ALL ELECTRICAL INSTALLATIONS
MUST BE INSPECTED BY THE
ELECTRICAL SAFETY AUTHORITY
SEPARATE INSPECTION
APPLICATIONS MUST BE FILED
FOR MORE INFORMATION PLEASE CALL:
ELECTRICAL SAFETY AUTHORITY
1-877-ESA-SAFE (372-7233)
PLUG IN SAFELY. HIRE A LICENSED
ELECTRICAL CONTRACTOR AT
www.pluginsafely.ca

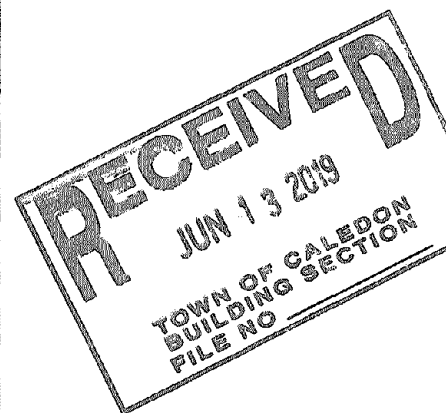
THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

DOOR SCHEDULE:

- 1 = 2'-10" x 6'-8" INSULATED ENTRANCE DOOR
- 1A = 2'-8" x 6'-8" INSULATED ENTRANCE DOOR
- 2 = 2'-8" x 6'-8" EXTERIOR GLAZED DOOR
- 3 = 2'-8" x 6'-8" SLAB DOOR (1 3/4" EXTERIOR)
- 4 = 2'-8" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
- 5 = 2'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
- 6 = 2'-2" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
- 7 = 1'-5" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
- 8 = 2'-6" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
- 9 = 3'-0" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
- 10 = 2'-2" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
- 11 = 2'-2" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
- 12 = 2'-6" x 6'-8" FRENCH DOOR (1 3/8" INTERIOR)

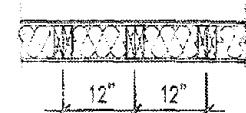
LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m)
(45 MIN. FIRE RATING REQ.)
- INDICATES SOLID BEARING REQUIRED
OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLUMN ABOVE
- LVL LAMINATED VENEER LUMBER
- SJ SINGLE JOIST
- DJ DOUBLE JOIST
- TJ TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS



BUILDING INSPECTOR IS REQUIRED TO BE ON SITE
FOR ALL MANDATORY INSPECTIONS. REFER TO
ATTACHED BUILDING PERMIT FOR DETAILS

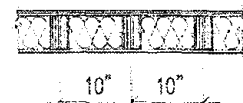
2'x6" STUD WALL NAILED TOGETHER AND SPACED @ 12" O.C.
FULL HT CW SOLID BLOCKING 4'-0" O.C. VERTICAL AND 7/16"
EXT. PLYWOOD SHEATHING



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

TWO STOREY HEIGHT WALL DETAIL

2'-1 1/2" x 5'1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED
AND NAILED TOGETHER AND SPACED MAX. 12" O.C. FULL HT
CW SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL AND 7/16" EXT.
CSB SHEATHING



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-0" AND
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

TWO STOREY HEIGHT WALL DETAIL

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
ROOF TRUSS DRAWINGS BY MANUFACTURER

NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 8'-7" 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
FLOOR TRUSS LAYOUT BY MANUFACTURER

NOTE:

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN

AREA CALCULATIONS EL-1

FIRST FLOOR AREA = 1137 Sq. Ft.	SECOND FLOOR AREA = 1406 Sq. Ft.
TOTAL FLOOR AREA = 2543 Sq. Ft.	
ADD OPEN AREAS = 0 Sq. Ft.	ADD FIN. BASEMENT AREA = 0 Sq. Ft.
GROSS FLOOR AREA = 2543 Sq. Ft.	
GROUND FLOOR COVERAGE = 1137 Sq. Ft.	GARAGE COVERAGE / AREA = 376 Sq. Ft.
PORCH COVERAGE / AREA = 60 Sq. Ft.	COVERAGE W/ PORCH = 1572 Sq. Ft.
COVERAGE W/O PORCH = 1512 Sq. Ft.	COVERAGE W/O PORCH = 1406 Sq. Ft.

AREA CALCULATIONS EL-2

FIRST FLOOR AREA = 1137 Sq. Ft.	SECOND FLOOR AREA = 1413 Sq. Ft.
TOTAL FLOOR AREA = 2550 Sq. Ft.	
ADD OPEN AREAS = 0 Sq. Ft.	ADD FIN. BASEMENT AREA = 0 Sq. Ft.
GROSS FLOOR AREA = 2550 Sq. Ft.	
GROUND FLOOR COVERAGE = 1137 Sq. Ft.	GARAGE COVERAGE / AREA = 376 Sq. Ft.
PORCH COVERAGE / AREA = 70 Sq. Ft.	COVERAGE W/ PORCH = 1582 Sq. Ft.
COVERAGE W/O PORCH = 1512 Sq. Ft.	COVERAGE W/O PORCH = 1406 Sq. Ft.

AREA CALCULATIONS EL-3

FIRST FLOOR AREA = 1137 Sq. Ft.	SECOND FLOOR AREA = 1406 Sq. Ft.
TOTAL FLOOR AREA = 2543 Sq. Ft.	
ADD OPEN AREAS = 0 Sq. Ft.	ADD FIN. BASEMENT AREA = 0 Sq. Ft.
GROSS FLOOR AREA = 2543 Sq. Ft.	
GROUND FLOOR COVERAGE = 1137 Sq. Ft.	GARAGE COVERAGE / AREA = 376 Sq. Ft.
PORCH COVERAGE / AREA = 60 Sq. Ft.	COVERAGE W/ PORCH = 1572 Sq. Ft.
COVERAGE W/O PORCH = 1512 Sq. Ft.	COVERAGE W/O PORCH = 1406 Sq. Ft.

BARTON 2 ELEV -1 ENERGY EFFICIENCY- ENERGY STAR

ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	571.00	82.00	14.36%
LEFT SIDE	1071.00	57.00	5.32%
RIGHT SIDE	1092.00	43.00	3.94%
REAR	557.00	121.00	21.72%
TOTAL	3291.00	303.00	9.21%

BARTON 2 ELEV -2 ENERGY EFFICIENCY- ENERGY STAR

ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	571.00	75.00	13.13%
LEFT SIDE	1071.00	57.00	5.32%
RIGHT SIDE	1092.00	43.00	3.94%
REAR	557.00	121.00	21.72%
TOTAL	3291.00	296.00	8.99%

BARTON 2 ELEV -3 ENERGY EFFICIENCY- ENERGY STAR

ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	573.00	74.00	12.91%
LEFT SIDE	1071.00	57.00	5.32%
RIGHT SIDE	1092.00	43.00	3.94%
REAR	557.00	121.00	21.72%
TOTAL	3293.00	295.00	8.96%

CERTIFIED MODEL PRE-APPROVED FOR PERMIT APPLICATION AS PER THE ONTARIO BUILDING CODE TOWN OF CALEDON BUILDING DIVISION

REVIEWED BY **J. S. SNELL**
DATE **JULY 23/19**
FILE # **BARTON 2 - ELEV 1,2,3**

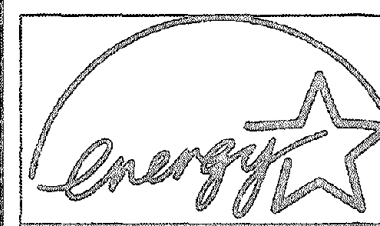
OPT. DELX
OPT. W/O.B.

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND
EQUIPMENT SHALL CONFORM TO THE FOLLOWING

ENERGY STAR V-17

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.56 (R80)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSE FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	4.75 (R22-RS)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
EDGE OF BELOW GRADE SLAB < 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
SLAB < 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY STAR @ ZONE 2 ER 29/UV 1.4
SPACE HEATING EQUIPMENT MINIMUM AFUE	MIN. 96% AFUE
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HVAC MINIMUM EFFICIENCY	TIER 2 75% SRE ENERGY STAR @ HRV TO BE INTERCONNECTED TO THE FURNACE FAN MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/AIR
HOT WATER TANK	CONDENSING HOT WATER TANK 90% TE ENVIRONMENT
DRAIN WATER HEAT RECOVERY	TWO SHOWERS > 42% STEADY R3-42 OR TDS42
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (2.5 ACH@0.16 NLPI) ATTACHED LEVEL 1 (3.0 ACH@0.26 NLPI)
DUCT SEALING	ALL SUPPLY DUCTS AND 1 m OF RETURN DUCTS
LIGHTS	75% CFLs OR LEDS

JUN 12 2019



ESCC MODEL

ENERGY STAR - V 17

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Contractor
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

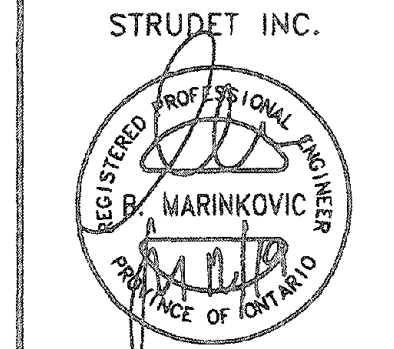
2543

11.0m LOTS

BARTON 2
ELEVATION 1,2 & 3

ENERGY STAR

O.REG. 332/12



FOR STRUCTURAL ONLY

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND
CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.
ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP
INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY
OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON
THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE
ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE
ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSULTED INVENTS MUST BE VERIFIED PRIOR TO PLACING
FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO OBTAIN OUT
GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY
FOR THE VALUE OF THE CONTRACTOR'S SUB CONTRACTOR TO
OBTAIN OUT OF THE WORK IN ACCORDANCE WITH THE CONTRACT
DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS
THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT
TO BE REPRODUCED.

7	
6	
5	
4	
3	MAY 14, 2019
2	JAN 17, 2019
1	OCT. 11, 2018
NO	DATE
	WORK DESCRIPTION:

Jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
12.5 of the building code

Walter Batten **21031**
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
12.4 of the building code

Jardin design group inc. **27763**
FIRM NAME BCIN

TITLE SHEET
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

TYPE	AREA
T	
SCALE	3/16" = 1'-0"
PROJ. No.	DWG No.
18-18	0

00-10	10
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2543

11.0m LOTS

BARTON 2 (GR)
ELEVATION 3

ENERGY STAR

O.REG. 332/12

STRUDET INC.



FOR STRUCTURAL ONLY

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION SHOWN ON THESE DRAWINGS FOR CONSTRUCTION. THE DESIGNER'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE STRUCTURE SHOWN ON THESE DRAWINGS. THE DESIGNER DOES NOT GUARANTEE THE ACCURACY OF ANY INFORMATION SHOWN ON THESE DRAWINGS.

JARDIN DESIGN GROUP INC. HAS BEEN RETAINED TO OBTAIN A GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION OR SUBSTANTIATION TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY JARDIN DESIGN GROUP INC. TO THE CLIENT FOR THE PROJECT SHOWN. IT IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF JARDIN DESIGN GROUP INC.

No	DATE	WORK DESCRIPTION
7		
6		
5		
4		
3	MAY 14, 2019	ADDED EL-3 TO DRAWING SET
2	JAN 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT 11, 2018	COMPLETED TO PRECOORDINATION STAGE - ISSUED TO CLIENT

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

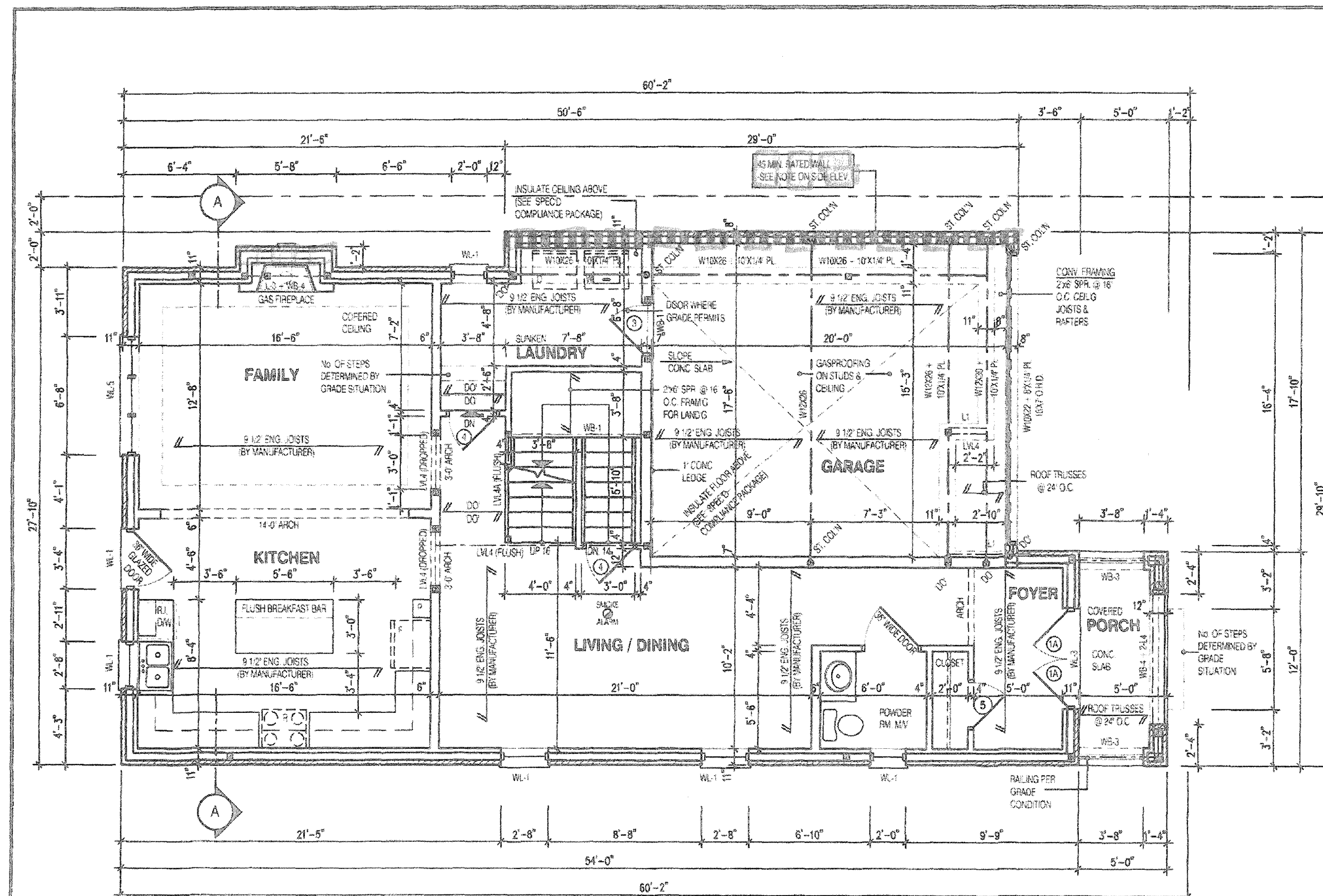
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.3 of the building code.

Walter Botter *WBe* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.3 of the building code.
jardin design group inc. 27763
FIRM NAME BCIN

FIRST FLOOR PLAN EL-3
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

TYPE T AREA
SCALE 3/16" = 1'-0"
PROJ. No. 08-18 DWG. No. 2B



THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

MINIMUM CEILING HEIGHT SHALL BE 2100 MM
OVER AT LEAST 75% OF BASEMENT
AREA EXCEPT THAT UNDER BEAMS AND
DRAFTS THE CLEARANCE IS PERMITTED TO
BE REDUCED 1000 MM

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

SMOKE ALARMS AND CARBON
MONOXIDE DETECTORS SHALL
CONFORM TO SUBSECTIONS
9.10.19. AND 9.33.4. OF THE
ONTARIO BUILDING CODE

NOTE:
REFER TO SHEET NO. 0-1 FOR LINTEL,
BEAMS AND DOOR SIZE

NOTE:
THESE DRAWINGS ARE TO BE READ IN
CONJUNCTION WITH ENGINEER APPROVED
ROOF TRUSS DRAWINGS BY MANUFACTURER

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12
O.C. BELOW ALL CERAMIC TILE AREAS, PROVIDE
1 ROW BRIDGING FOR SPANS UP TO 7' 2 ROWS
FOR SPANS GREATER THAN 7'

NOTE:
THESE DRAWINGS ARE TO BE READ IN
CONJUNCTION WITH ENGINEER APPROVED
FLOOR TRUSS LAYOUT BY MANUFACTURER

NOTE:
SUBFLOOR TO BE
5/8" PLYWOOD ON
THIS LEVEL
ALL FLOORS TO BE
NAILED AND GLUED
ON THIS LEVEL

LEGEND:
■ BUILDING FACE < THAN 4'-0" (1.2m)
(45 MIN. FIRE RATING REQ'D)
■ INDICATES SOLID BEARING REQUIRED
OR POINT LOAD FROM ABOVE
■ STL. PLATE FOR STEEL COLN ABOVE
■ LAMINATED VENEER LUMBER
LVL SINGLE JOIST
S.J. DOUBLE JOIST
D.J. TRIPLE JOIST
T.J. REPEAT NOTE
○ SHOWER WEEPERS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY
DATE: JUN 12, 2019
This stamp certifies a compliance with the applicable Building Guidelines and bears no further professional responsibility.

RECEIVED
JUN 13 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

JUN 12 2019

2543

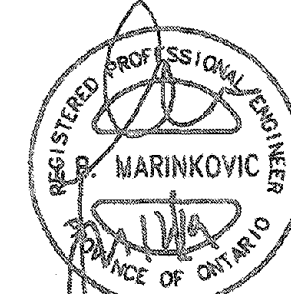
11.0m LOTS

BARTON 2 (GR)
ELEVATION 3

ENERGY STAR

O.REG. 332/12

STRUDET INC.



FOR STRUCTURAL ONLY

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION AND DISCREPANCIES SHALL BE REPORTED TO DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY DATA OR ANY INFORMATION PROVIDED BY THE CLIENT OR ANY OTHER PARTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS ON SITE PRIOR TO COMMENCEMENT OF WORK.

ADDITIONAL DIMENSIONS SHALL BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RE-APPOINTED TO CONDUCT A GENERAL REVIEW OF THE WORK AND THEREFORE NO RE-APPOINTMENT FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

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7		
6		
5		
4		
3	MAY 14, 2019	ADDED ELS TO DRAWING SET PREPARED FOR BUILDING PERMIT
2	JUN 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT 11, 2018	COMPLETED TO PRECOORDINATION STAGE, ISSUED TO CLIENT
NO	DATE	WORK DESCRIPTION

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, subsection 1.1.5 of the code.

Walter Boller 21037
NAME SIGNATURE BCN

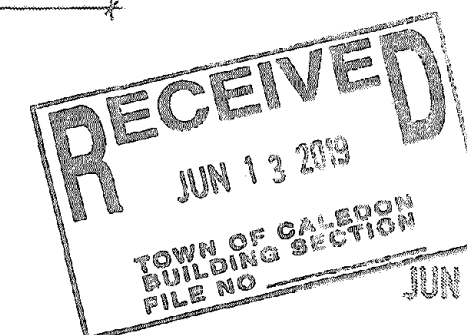
REGISTRATION INFORMATION
Required unless design is exempt under Division C, subsection 1.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCN

SECOND FL. PLAN EL-3

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD	TYPE	AREA
	SCALE	3/16" = 1'-0"
	PROJ. No	08-18
	DWG. No.	3B



JUN 12 2019

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m)
- 145 MIN. FIRE RATING REQ'D.
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLUMN ABOVE
- LAMINATED VENEER LUMBER
- SINGLE JOIST
- DOUBLE JOIST
- TRIPLE JOIST
- SHOWER WEEPERS

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving any (lifting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

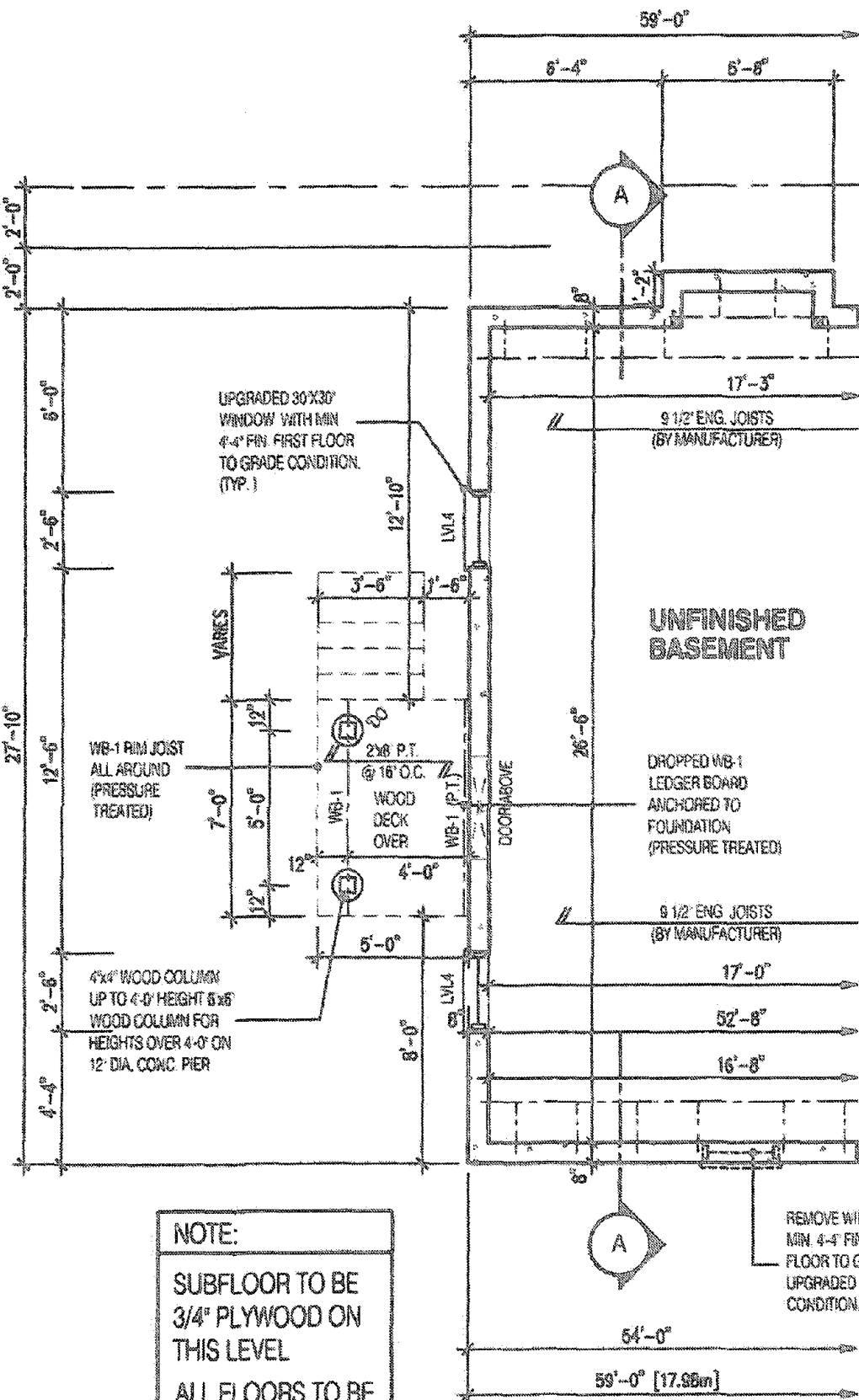
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: [Signature]
DATE: JUN 12, 2019
This stamp certifies compliance with the applicable Design Guidelines and zoning or building code provisions.

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

SMOKE ALARMS AND CARBON
MONOXIDE DETECTORS SHALL
CONFORM TO SUBSECTIONS
9.10.19. AND 9.33.4. OF THE
ONTARIO BUILDING CODE

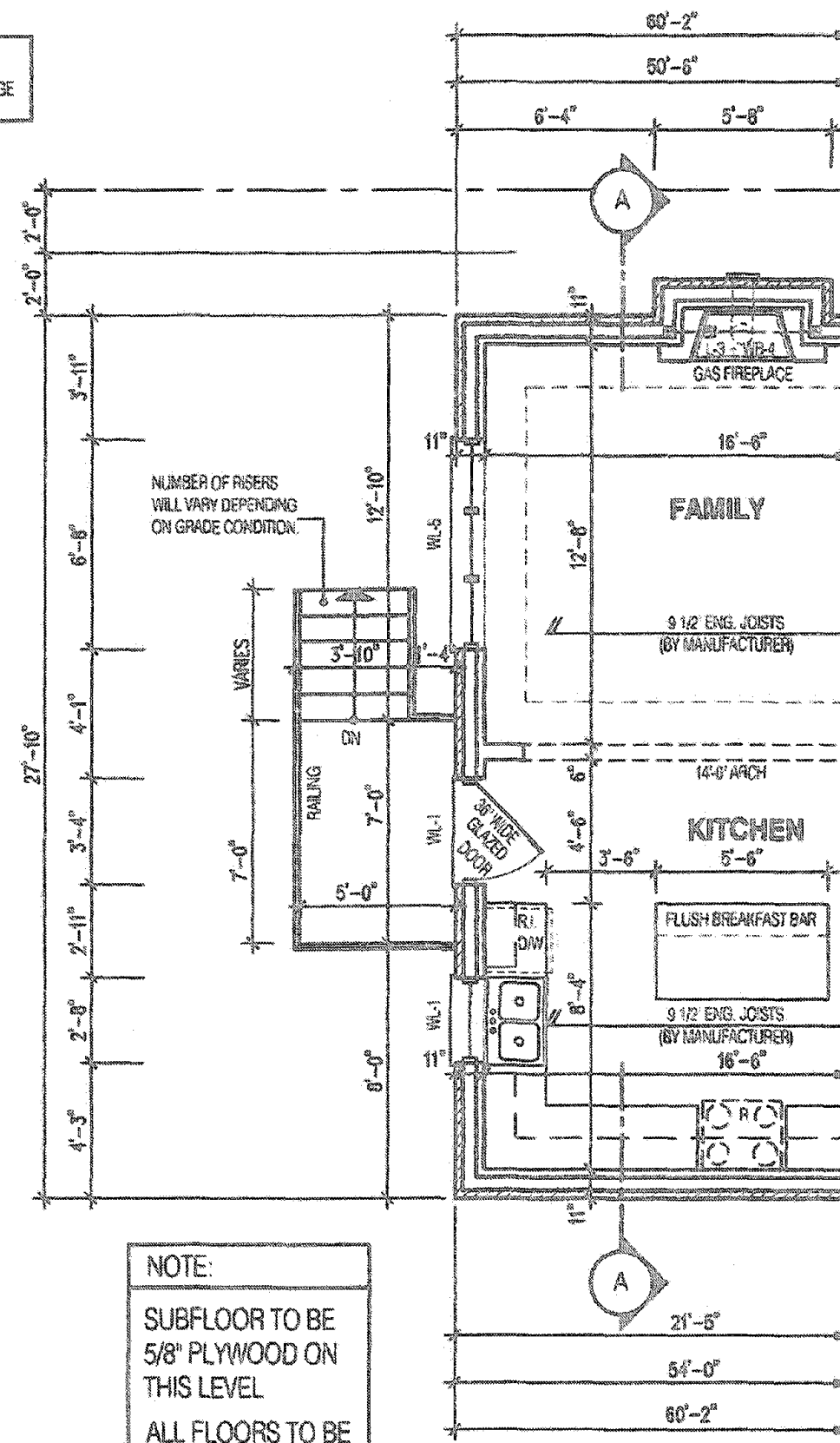
OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING



NOTE:
SUBFLOOR TO BE 3/4\"/>

PARTIAL BASEMENT LAYOUT FOR DECK CONDITION EL-3

FOR ADDITIONAL DECK STRUCTURE REFER TO PAGE 7 OF THE DETAIL PACKAGE

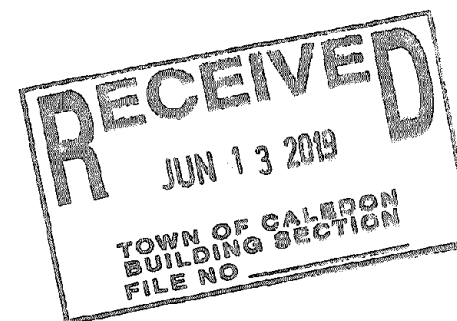


NOTE:
SUBFLOOR TO BE 5/8\"/>

PARTIAL FIRST FLOOR LAYOUT FOR DECK CONDITION EL-3

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING



JUN 12 2019

NOTE:
WHEN VENEER CUT IS GREATER THAN 26\"/>

NOTE:
REFER TO SHEET NO. 0 - FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12\"/>

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

- LEGEND:**
- BUILDING FACE < THAN 4-0\"/>

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (plotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
REGISTERED ARCHITECT, REVIEW AND APPROVAL

APPROVED BY: [Signature]
DATE: JUN 12, 2019

This stamp certifies compliance with the applicable Design Guidelines and does not constitute a building inspection or approval.

2543
11.0m LOTS
BARTON 2 (GR)
ELEVATION 3
ENERGY STAR
O.REG. 332/12

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

FOR STRUCTURAL ONLY
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION SITES PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED, THERE MAY BE VARIATIONS FROM THE PLANNING FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN REVIEWED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONSTRUCTION OR FOR CONSTRUCTION TO EXCEED THE INTENT OF THE DESIGN. THIS DRAWING IS NOT TO BE SCALED.
7
6
5
4
3 MAY 14, 2019 ADDED EL-3 TO DRAWING SET ISSUED FOR BUILDING PERMIT
2 JAN. 17, 2019 ISSUED FOR BUILDING PERMIT
1 OCT. 11, 2018 COMPLETED TO PRECOORDINATION STAGE ISSUED TO CLIENT
No. DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca
The undersigned has reviewed and takes responsibility for this design and has the qualifications and means the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION:
Registered unless design is exempt under Division C, Subsection 3.2.5 of the Building Code.
Walter Botter [Signature] 21031
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the Building Code
jardin design group inc. 27763
FIRM NAME BCIN

DECK CONDITION EL-3
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

TYPE T
SCALE 3/16\"/>
PROJ. No. 08-18
DWG. No. 3B-1

2543

11.0m LOTS

BARTON 2 (GR)
ELEVATION 3

ENERGY STAR

O.REG. 332/12

STRUDET INC.



FOR STRUCTURAL ONLY

THE CONTRACTOR SHALL ORDER AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO LANDWORKS GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

LANDWORKS GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF THESE DRAWINGS OR FOR CONSTRUCTION STARTED OR ON TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK. AS STRUCTURES IN THIS AREA MUST BE VERIFIED PRIOR TO INQUIRY FOR PERMITS.

LANDWORKS GROUP INC. HAS NOT BEEN RETAINED TO CONDUCT A GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONSTRUCTION OR FOR THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF LANDWORKS GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

7		
6		
5		
4		
3	MAY 14, 2019	ADDED EL-3 TO DRAWING SET ISSUED FOR BUILDING PERMIT
2	JAN. 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 11, 2018	COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT

No. DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.3 of the building code.

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCN

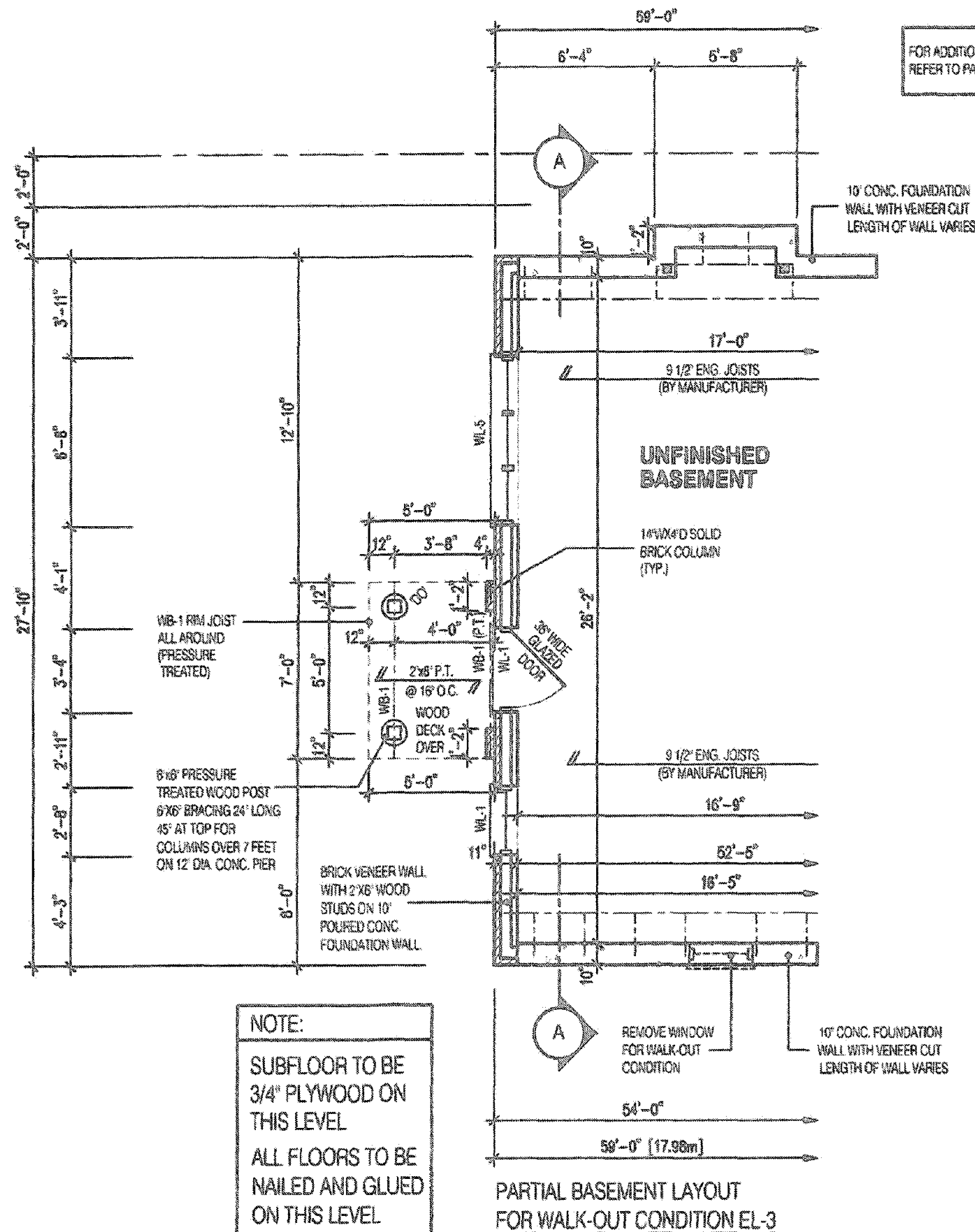
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCN

WALK-OUT / DECK CONDITION EL-3

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

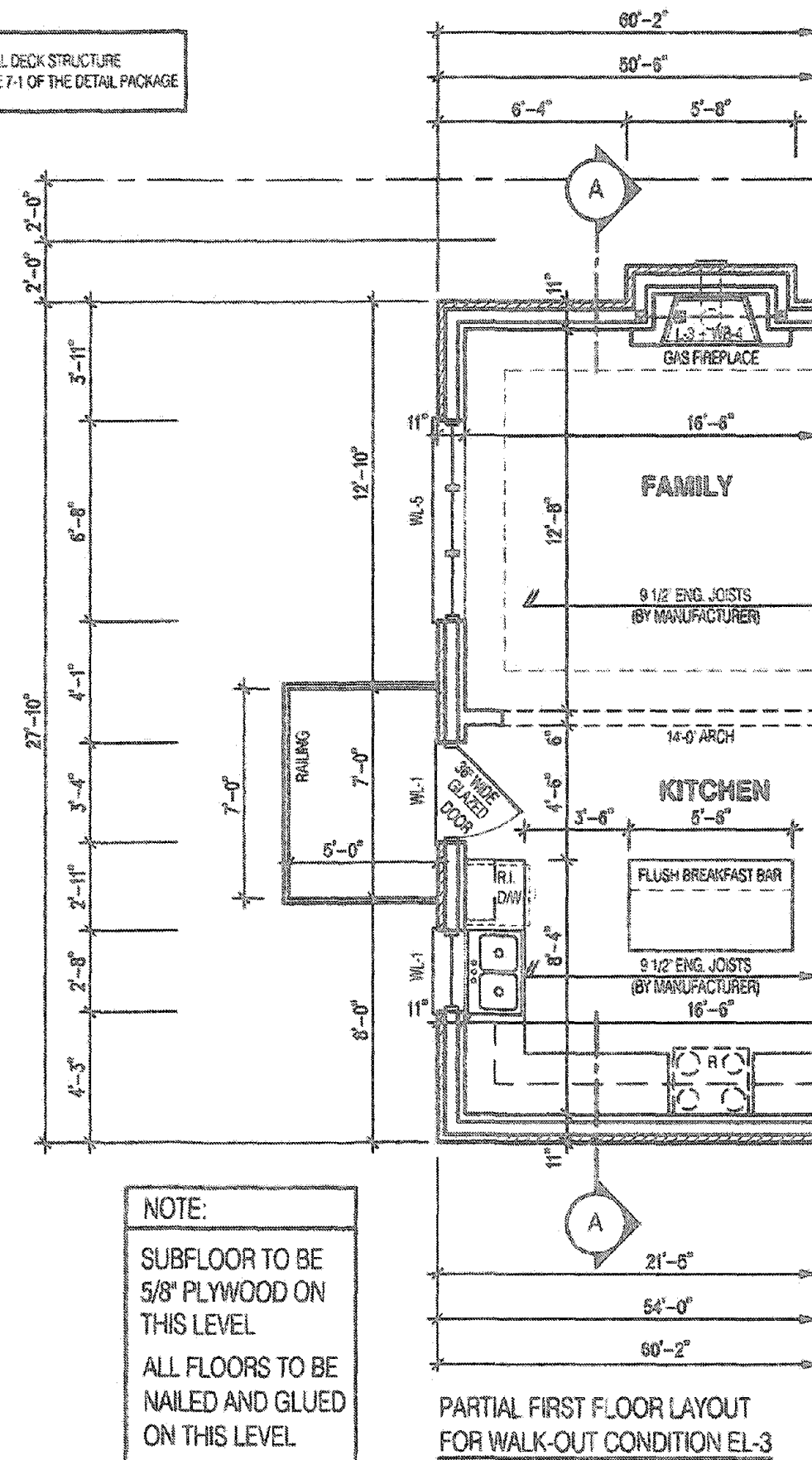
BILD	TYPE	T	AREA	---
	SCALE	3/16" = 1'-0"		
	PROJ. No.	08-18	DWG. No.	3B-2



NOTE:

SUBFLOOR TO BE
3/4" PLYWOOD ON
THIS LEVEL
ALL FLOORS TO BE
NAILED AND GLUED
ON THIS LEVEL

PARTIAL BASEMENT LAYOUT
FOR WALK-OUT CONDITION EL-3



NOTE:

SUBFLOOR TO BE
5/8" PLYWOOD ON
THIS LEVEL
ALL FLOORS TO BE
NAILED AND GLUED
ON THIS LEVEL

PARTIAL FIRST FLOOR LAYOUT
FOR WALK-OUT CONDITION EL-3

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

*FOUNDATION WALL
4'-7" MAX. FROM GRADE TO SLAB FOR 10' UNSUPPORTED SOLID CONC. WALL
3'-11" MAX. FROM GRADE TO SLAB FOR 8' UNSUPPORTED SOLID CONC. WALL
2'-7" MAX. FROM GRADE TO SLAB FOR 6' UNSUPPORTED SOLID CONC. WALL
(AS PER O.B.C. 9.15.4.2)

NOTE:

WHEN VENEER CUT IS GREATER THAN
26" A 10" POURED CONC. FOUNDATION
WALL IS REQUIRED. (FOUNDATION PLAN
TO BE REVIEWED IN CONJUNCTION WITH
SITE PLAN)

NOTE:

REFER TO SHEET NO. 0 - FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
FLOOR TRUSS LAYOUT BY MANUFACTURER.

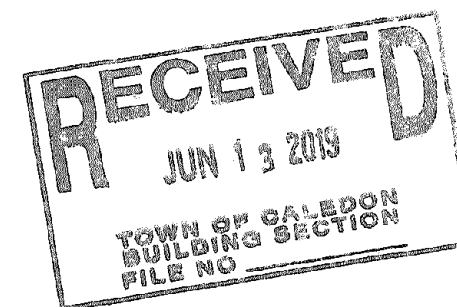
LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m)
(45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED
OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE
LAMINATED VENEER LUMBER
- LVL SINGLE JOIST
- S.J. DOUBLE JOIST
- D.J. TRIPLE JOIST
- T.J. REPEAT NOTE
- SHOWER WEEPERS

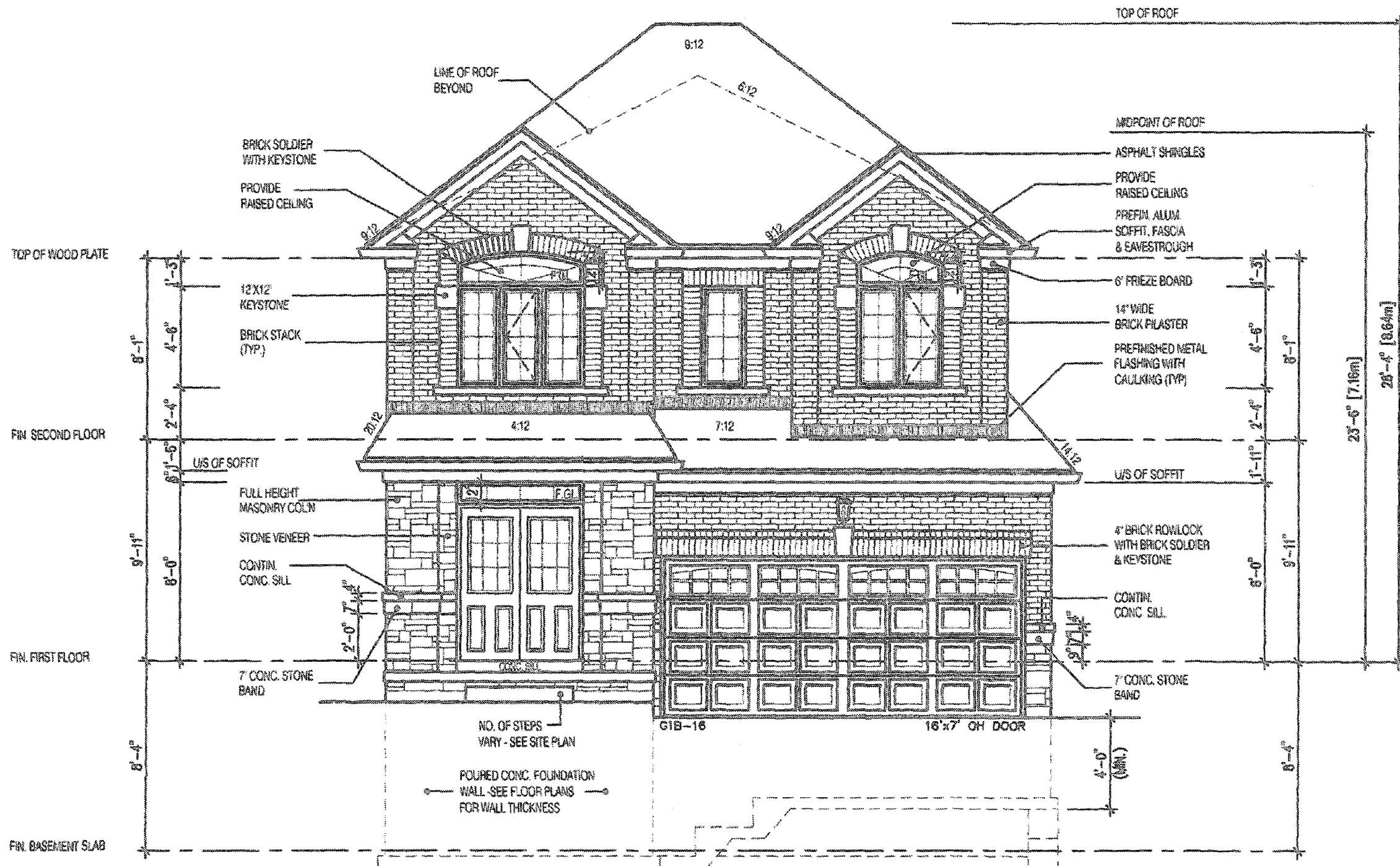
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Guidelines approved by the Town of Caledon.

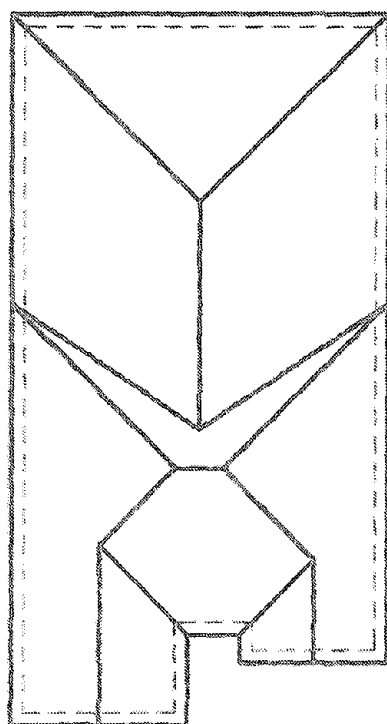
JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: JUN 12, 2019
This stamp certifies compliance with the applicable Architectural Guidelines only and does not further guarantee or warrant any other aspects of the design or construction.



JUN 12 2019

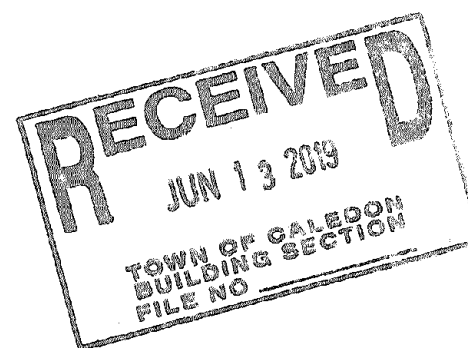


**BARTON 2
ELEV-3**



**ROOF PLAN
N.T.S.**

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE



JUN 12 2019

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Approved Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: JUN 12, 2019

This stamp certifies compliance with the applicable Design Guidelines and the Town of Caledon's responsibility.

2543
11.0m LOTS
BARTON 2 (GR)
ELEVATION 3
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONSTRUCTION ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENVIRONMENTAL INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STAGES PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED ELEMENTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT A GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

7		
6		
5		
4		
3	MAY 14, 2019	ADDED EL-3 TO DRAWING SET REISSUED FOR BUILDING PERMIT
2	JUN 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 11, 2018	COMPLETED TO PRECONSTRUCTION STAGE. ISSUED TO CLIENT

No. DATE WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Boller [Signature] 21031
NAME SIGNATURE BCIN

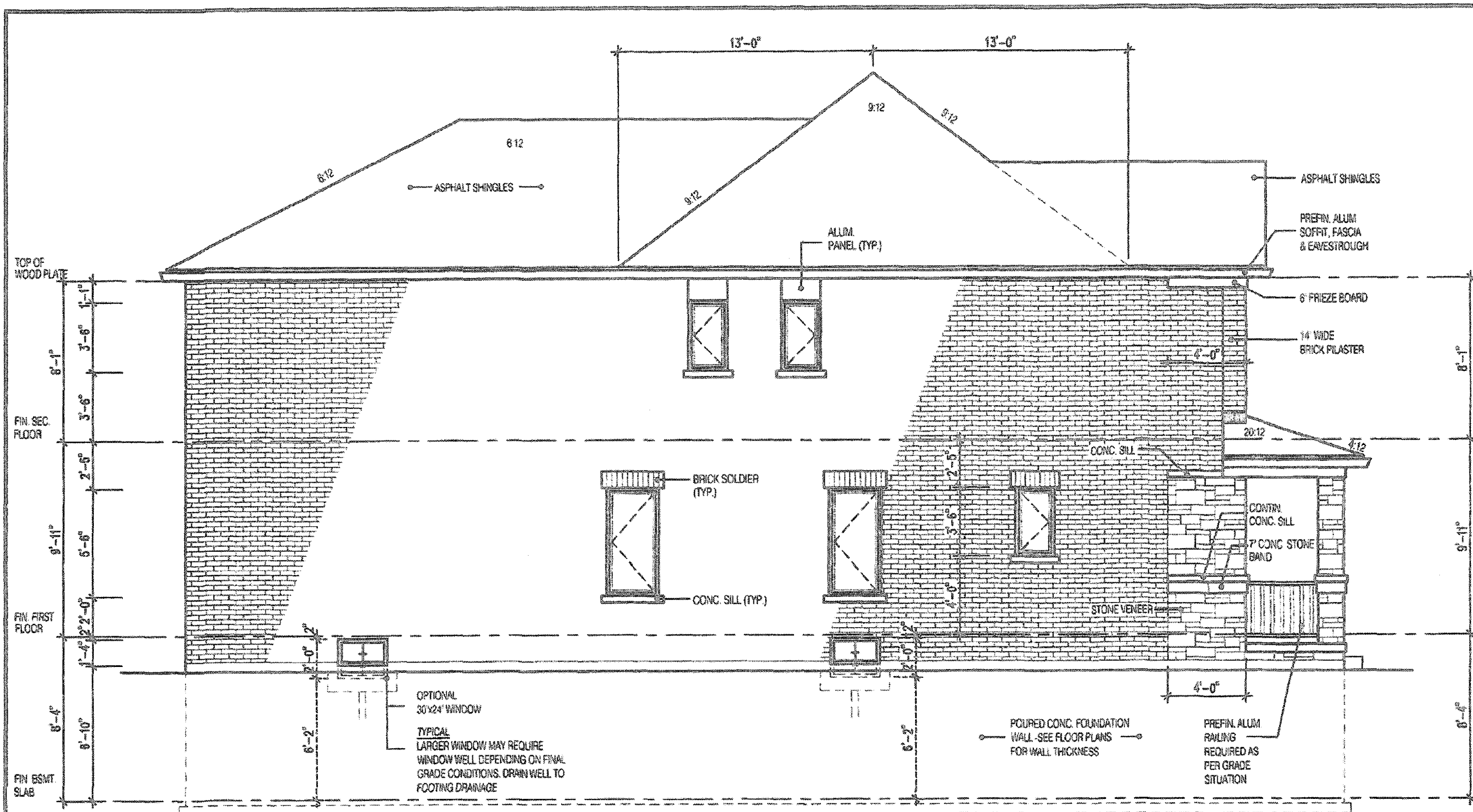
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

FRONT ELEVATION 3
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

TYPE T AREA
SCALE 3/16" = 1'-0"
PROJ. NO. 08-18 DWS. NO. 48

BILD



SIDE ELEVATION-3

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

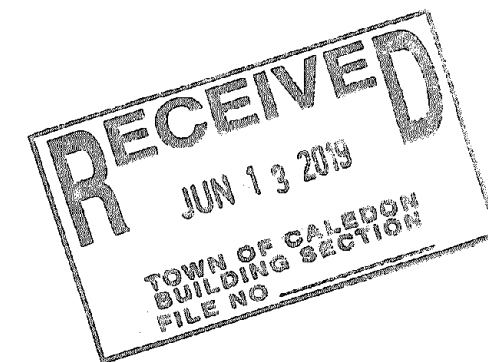
OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

UNPROTECTED OPENINGS

WALL AREA	1072
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDNEYARD)	75.0
ACTUAL GLASS AREA	44.3

UNPROTECTED OPENINGS WITH OPTIONAL 30"X24" WINDOWS

WALL AREA	1072
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDNEYARD)	75.0
ACTUAL GLASS AREA	47.2



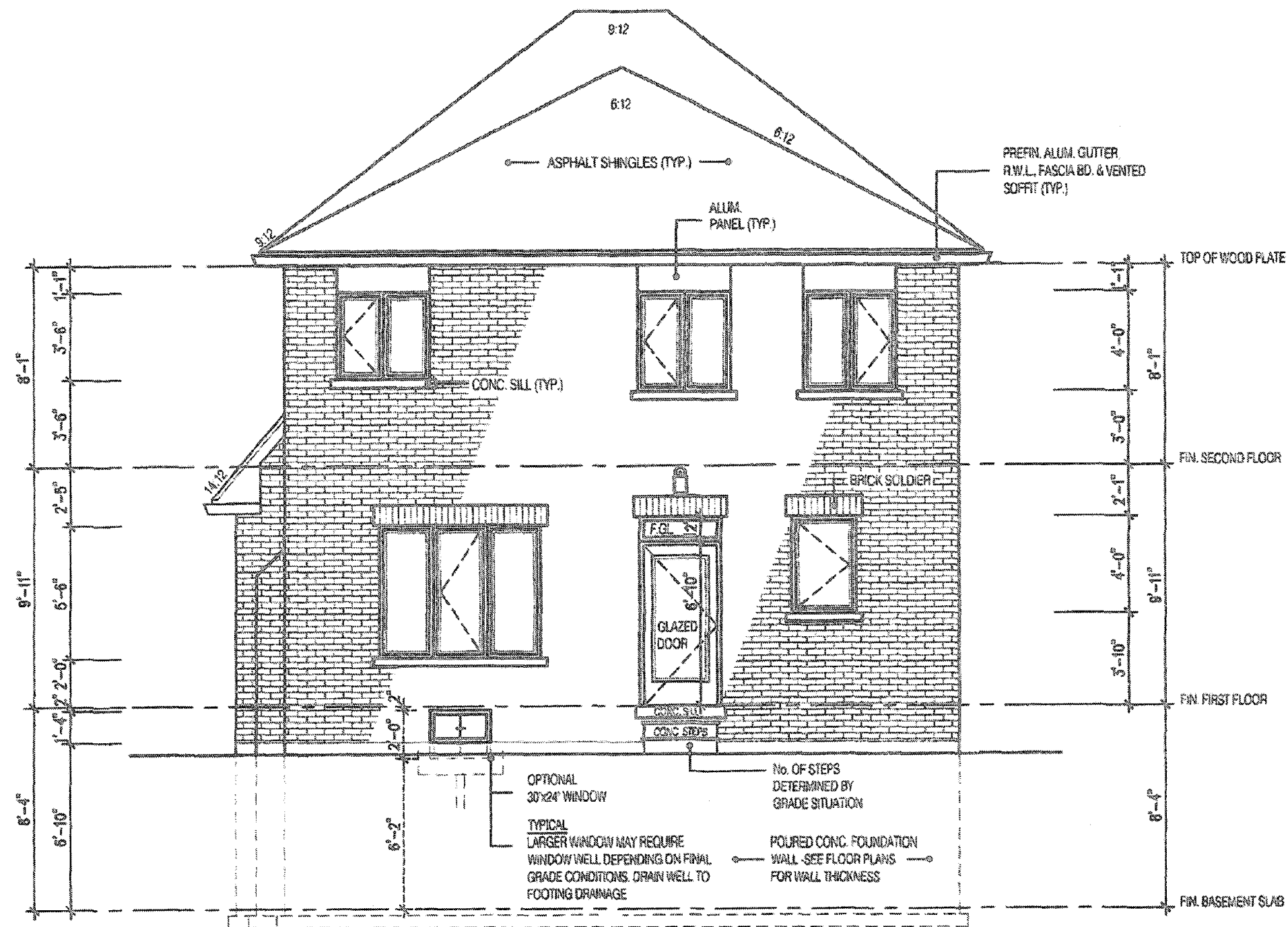
JUN 12 2019

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
houses can be properly built or located on the lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

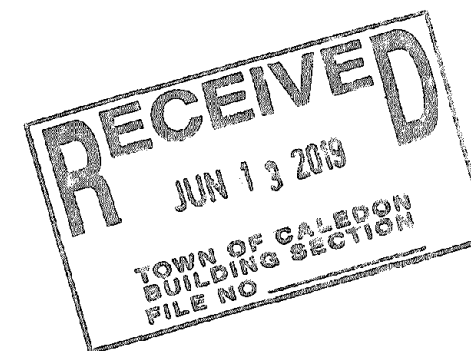
JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: JUN 14, 2012
This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
liability on the part of the architect.

2543	
11.0m LOTS	
BARTON 2 (GR)	
ELEVATION 3	
ENERGY STAR	
O.REG. 332/12	
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCY SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY & SPECIFIC OR EXISTING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED BY OR TO THE UNDERSIGNED OR A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK. AS CONSTRUCTED INVENTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS. JARDIN DESIGN GROUP INC. HAS NOT BEEN REFERRED TO CARRY OUT SURVEY REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE VALUE OF THE CONTRACTOR OR SUBCONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.	
7	
6	
5	
4	
3	MAY 14, 2019 ADDED EL-3 TO DRAWING SET ISSUED FOR BUILDING PERMIT
2	JUN 17, 2019 ISSUED FOR BUILDING PERMIT
1	OCT. 11, 2018 COMPLETED PRECOORDINATION STAGE ISSUED TO CLIENT
No.	DATE: WORK DESCRIPTION:
jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 1.2.5 of the building code. Walter Boller [Signature] 21031 NAME SIGNATURE BCIN REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 1.2.4 of the building code. jardin design group inc. 27763 FIRM NAME BCIN	
SIDE ELEVATION 3	
LAMBERTS LANE PHASE 2	
TOWN OF CALEDON	
BILD	
TYPE	AREA
T	
SCALE	3/16" = 1'-0"
PROJ. No.	DWG. No.
08-18	5B



REAR ELEVATION-3

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE



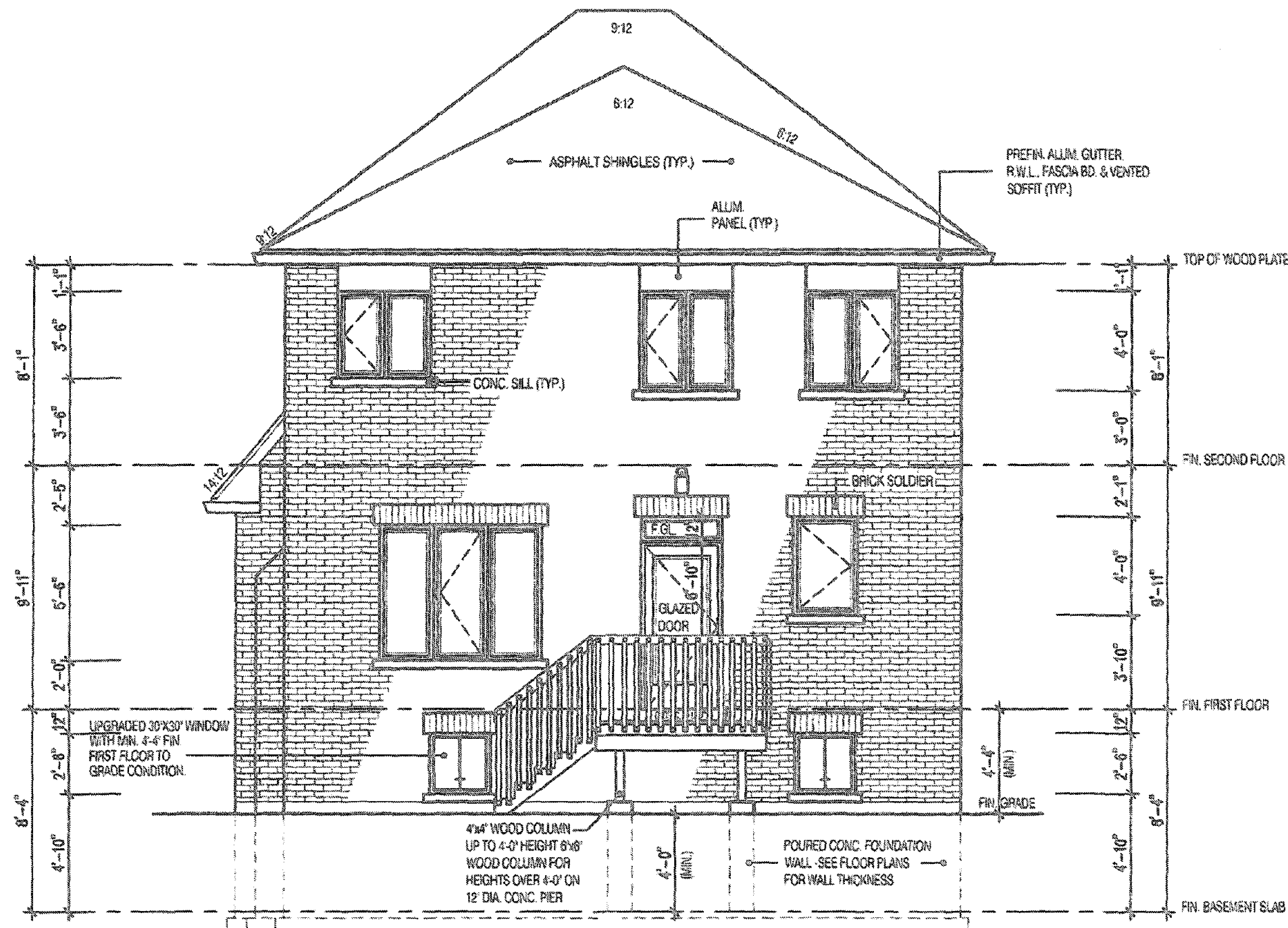
JUN 12 2019

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in this subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL ADVISOR
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: JUN 12, 2019
This stamp certifies compliance with the applicable Design Guidelines only and does not constitute professional responsibility.

2543	
11.0m LOTS	
BARTON 2 (GR)	
ELEVATION 3	
ENERGY STAR	
O.REG. 332/12	
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION OR FOR THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK. AS CONSTRUCTED, ALLERIES MUST BE VERIFIED PRIOR TO POURING FOOTINGS. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.	
7	
6	
5	
4	
3	MAY 14, 2019 ADDED BL-3 TO DRAWING SET REISSUED FOR BUILDING PERMIT
2	JAN. 17, 2019 ISSUED FOR BUILDING PERMIT
1	OCT. 11, 2018 COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT
No.	DATE: WORK DESCRIPTION:
Jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code. Walter Butler <i>[Signature]</i> 21031 NAME SIGNATURE BCIN REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code. Jardin design group inc. 27763 FIRM NAME BCIN	
REAR ELEVATION 3	
LAMBERTS LANE PHASE 2	
TOWN OF CALEDON	
TYPE T	AREA
SCALE 3/16"=1'-0"	
PROJ. No. 08-18	DWG. No. 6B



THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

REAR ELEVATION 3 DECK CONDITION

FOR ADDITIONAL DECK STRUCTURE
REFER TO PAGE 7 OF THE DETAIL PACKAGE

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

NOTE:
WHEN VENEER CUT IS GREATER THAN
28" A 10" POURED CONC. FOUNDATION
WALL IS REQUIRED.
(FOUNDATION PLAN TO BE REVIEWED
IN CONJUNCTION WITH SITE PLAN)

It is the builder's complete responsibility
to ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving any (existing) plans or
existing drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: *[Signature]*
DATE: JUN 12, 2019

This drawing is the property of the Architectural
Design Guidelines only and bears no further
professional responsibility.

2543

11.0m LOTS

BARTON 2 (GR)
ELEVATION 3

ENERGY STAR

O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND
CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.
ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP
INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY
OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON
THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE
ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE
ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INVENTS MUST BE VERIFIED PRIOR TO POURING
FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT
GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY
FOR THE FAILURE OF THE CONSTRUCTION OR SUB-CONTRACTOR TO
CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT
DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS
THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT
TO BE REPRODUCED.

7	
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3	MAY 14, 2019 ADDED EL-3 TO DRAWING SET REISSUED FOR BUILDING PERMIT
2	JUN. 17, 2019 ISSUED FOR BUILDING PERMIT
1	OCT. 11, 2018 COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT

No. DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.5 of the building code.

Walter Butler 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.5 of the building code.

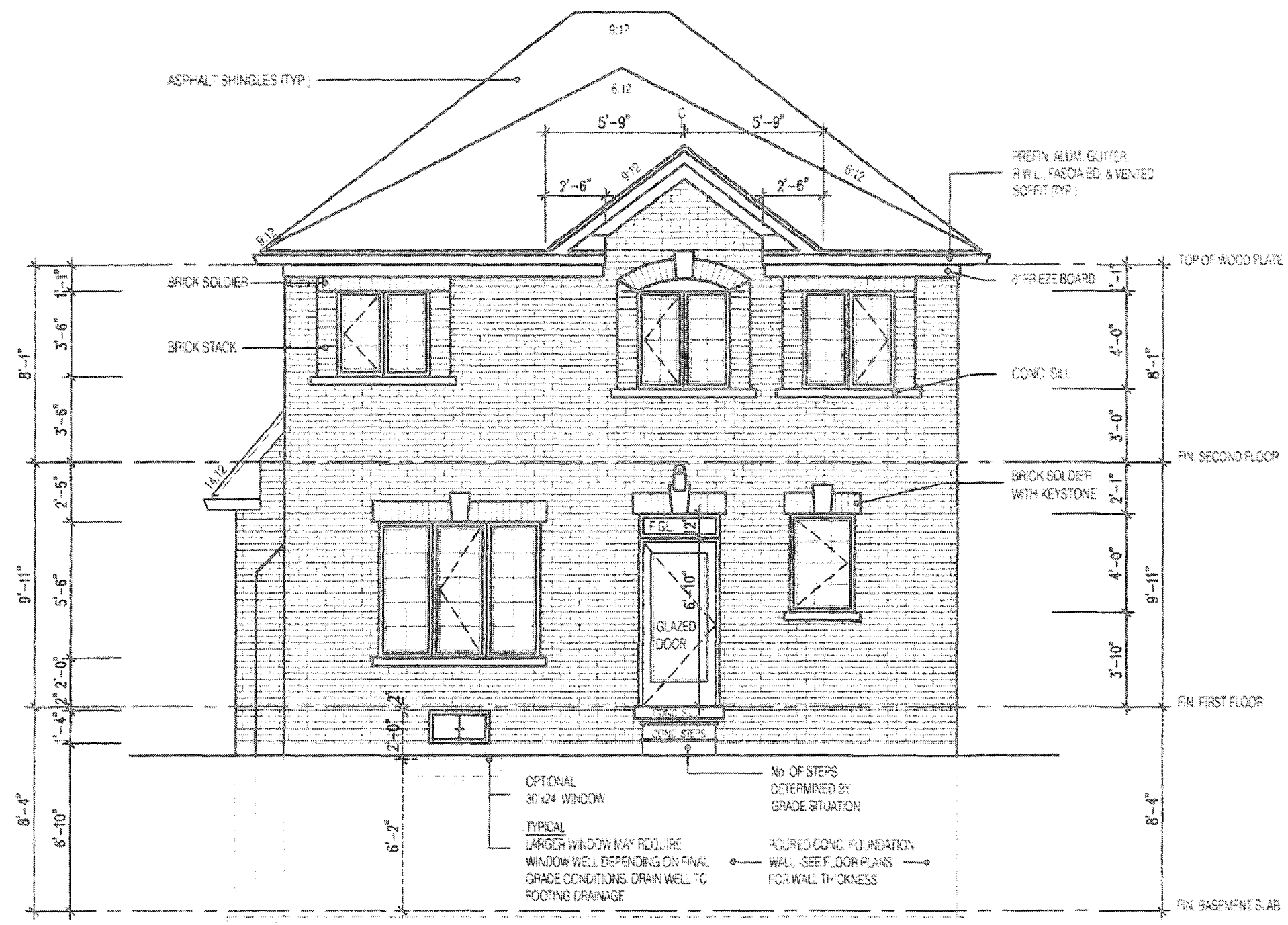
jardin design group inc. 27763
FIRM NAME BCIN

DECK CONDITION EL-3
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

TYPE AREA
T ---
SCALE 3/16" = 1'-0"
PROJ. No. 08-18 DWG. No. 6B-1

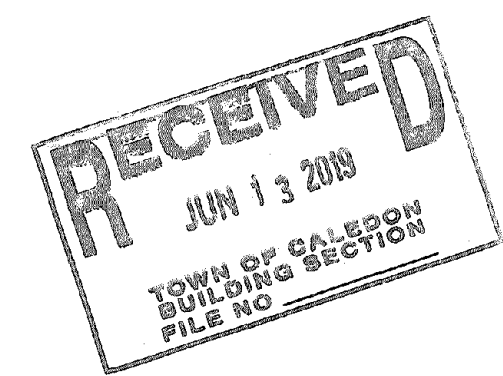
JUN 12 2019

RECEIVED
JUN 13 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.



REAR ELEVATION-3
UPGRADE

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE



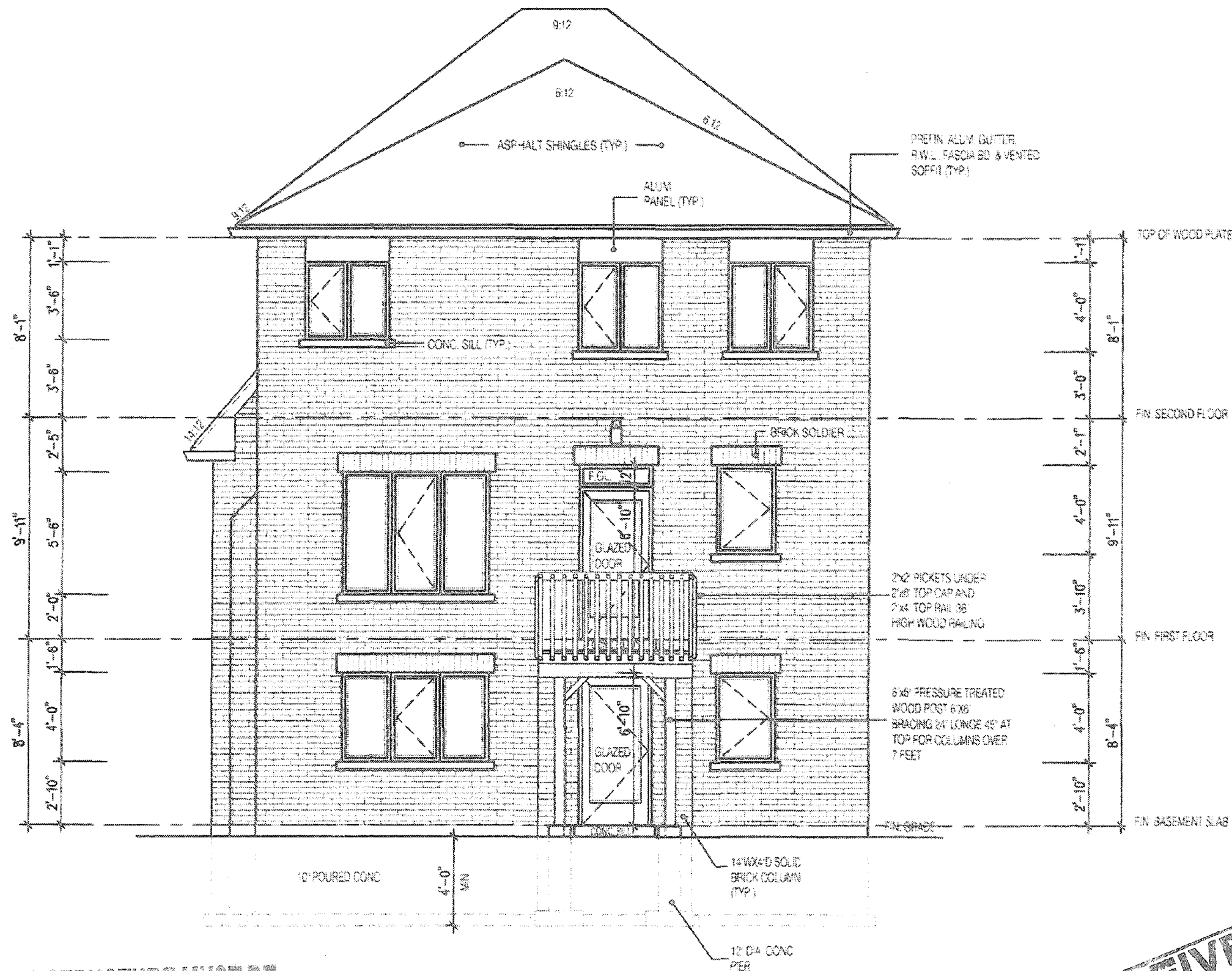
JUN 12 2019

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any houses can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: JUN 12, 2019
This stamp certifies compliance with the applicable Design Guidelines only and does not further constitute an endorsement.

2543	
11.0m LOTS	
BARTON 2 (GR)	
ELEVATION 3	
ENERGY STAR	
O.REG. 332/12	
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE NOTICED TO THE DESIGN GROUP AND PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION OR FOR CONSTRUCTION STARTING BEFORE THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK. ALL CONSTRUCTION PERMITS MUST BE OBTAINED PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. DOES NOT WARRANT OR CARRY OUT GENERAL WORK OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE VALUE OF THE CONSTRUCTION OR FOR THE CONTRACTOR TO COMPLY WITH THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE COPIED.	
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3	MAY 14 2019 ADDED BLU TO DRAWING SET RESUBMITTED FOR BUILDING PERMIT
2	JAN 11 2019 ISSUED FOR BUILDING PERMIT
1	OCT 11 2018 COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT
No	DATE WORK DESCRIPTION
jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 2.2.5 of the building code. Walter Butler 21031 NAME SIGNATURE BCIN REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 2.2.4 of the building code. jardin design group inc. 27763 FIRM NAME BCIN	
REAR ELEVATION 3	
LAMBERTS LANE PHASE 2	
TOWN OF CALEDON	
TYPE AREA SCALE 3/16" = 1'-0" PROJ. No 08-18 DWG No 6B-2	



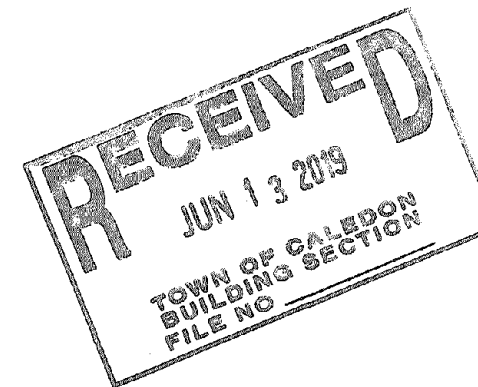
THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

REAR ELEVATION 3 FOR WALK-OUT / DECK CONDITON

FOR ADDITIONAL DECK STRUCTURE
REFER TO PAGE 7-1 OF THE DETAIL PACKAGE

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

NOTE:
WHEN VENEER CUT IS GREATER THAN
26" A 10" POURED CONC. FOUNDATION
WALL IS REQUIRED.
(FOUNDATION PLAN TO BE REVIEWED
IN CONJUNCTION WITH SITE PLAN)



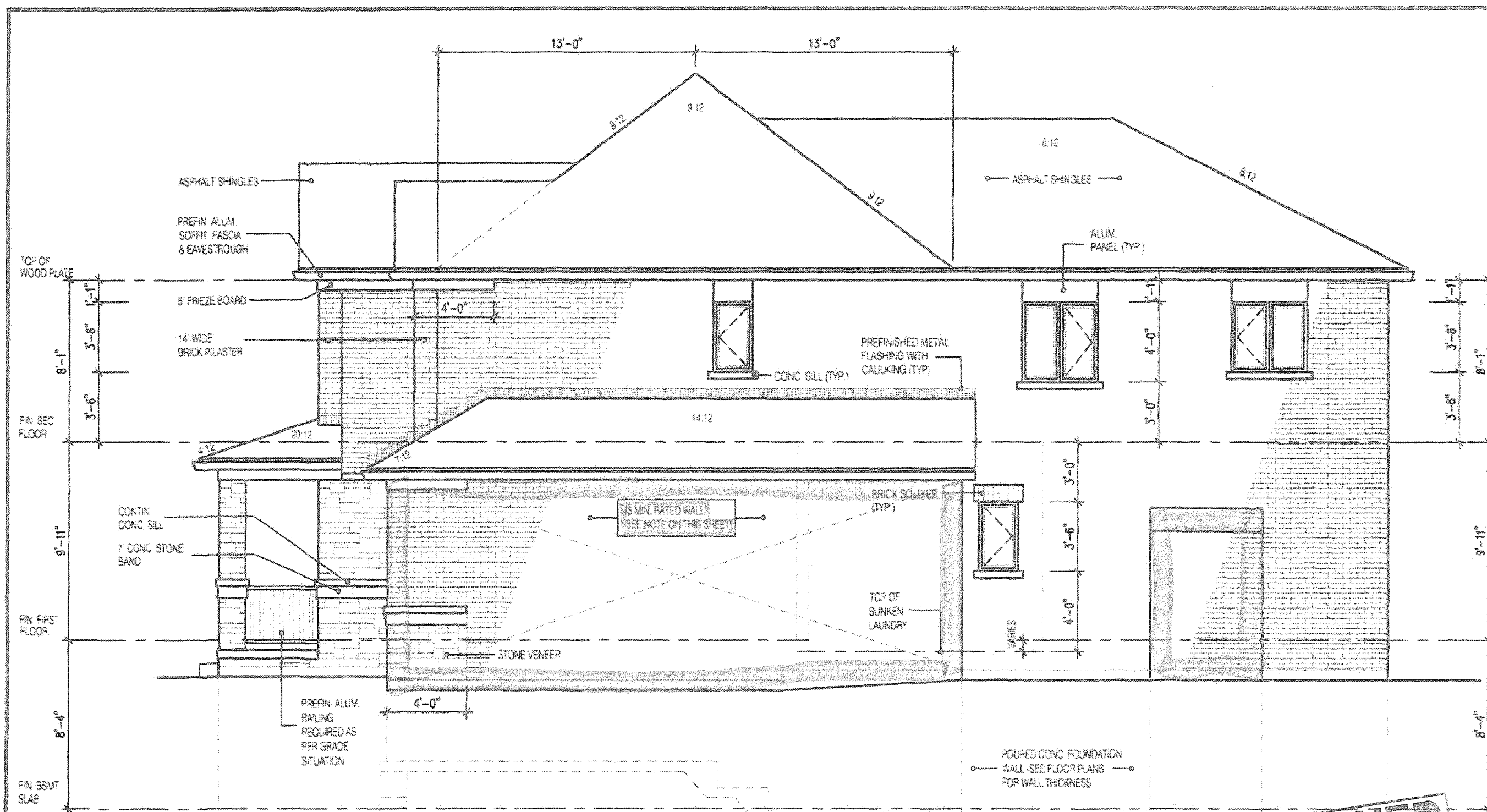
JUN 12 2019

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ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

JOHN C. WELLS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
DATE: JUN 12 2019
This stamp, combined with the applicable
Design Guidelines will ensure no further
professional responsibility.

2543	
11.0m LOTS	
BARTON 2 (GR)	
ELEVATION 3	
ENERGY STAR	
O.REG. 332/12	
THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, OR THE ACCURACY OF INFORMATION SHOWN ON THESE DRAWINGS OR FOR THE CONSTRUCTION OF THE BUILDING OR THE REQUIREMENT OF ANY OTHER PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK. AS CONSTRUCTED, THE BUILDING SHALL BE SUBJECT TO THE FOLLOWING FOOTINGS: JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR FOR THE CONTRACTOR TO OBTAIN THE APPROVAL IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.	
7	
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3	MAY 14 2019 ADDED ELS TO DRAWING SET
2	JAN 17 2019 ISSUED FOR BUILDING PERMIT
1	OCT 11 2018 COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT
NO.	DATE: WORK DESCRIPTION
jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.3 of the Building Code.	
NAME	Walter Boffler 21031
SIGNATURE	
REGISTRATION INFORMATION	Required unless design is exempt under Division C, Subsection 3.2.4 of the Building Code.
FIRM NAME	jardin design group inc. 27763
WALK-OUT / DECK CONDITION EL-3	
LAMBERTS LANE PHASE 2	
TOWN OF CALEDON	
TYPE	AREA
SCALE	3/16" = 1'-0"
DATE	08-18
DWG NO.	6B-3



SIDE ELEVATION-3

UNPROTECTED OPENINGS

WALL AREA	1092	⊘
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDEYARD)	76.4	⊘
ACTUAL GLASS AREA	32.0	⊘

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER 12 mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/80.0 M AND MUST FILL AT LEAST 80% OF THE CAVITY THICKNESS THE TYPE 'X' 6 INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATH-TUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS

(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)

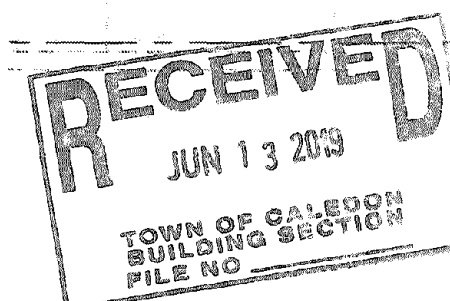
HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED AT HEADER

PROVIDE 15.8mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING

(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)



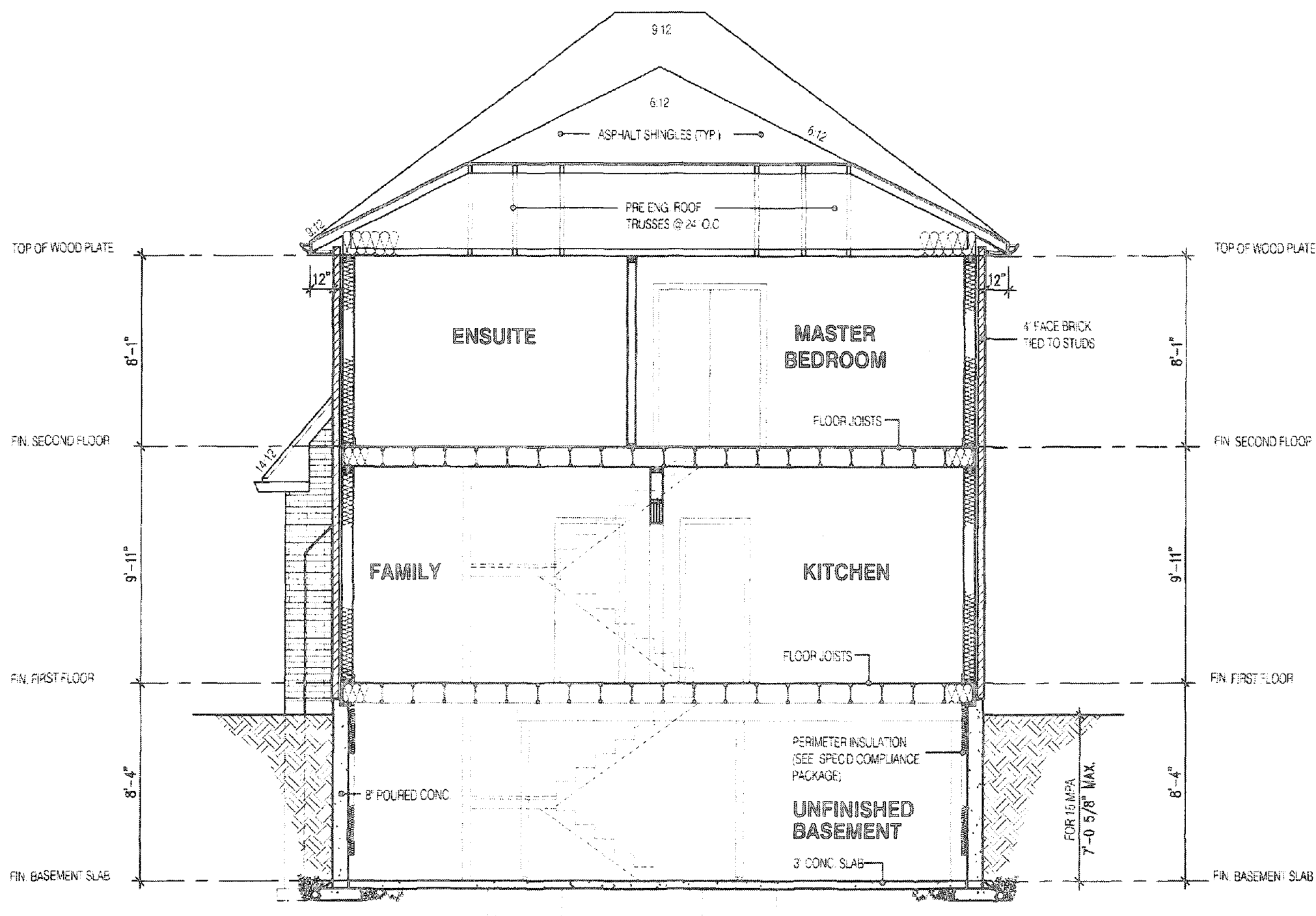
JUN 12 2019

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This is to certify that these plans comply with the applicable Architectural Design Guidelines, approved by the Town of CALEDON.

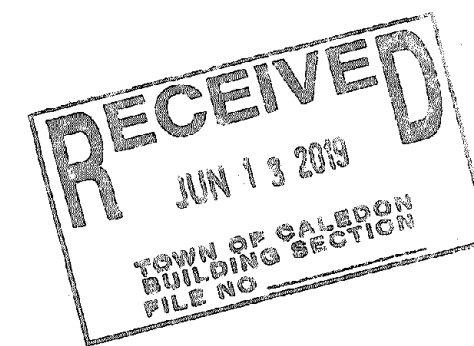
JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: JUN 12, 2019
This stamp renders compliance with the applicable Design Guidelines, only and does not further protect against non-compliance.

2543	
11.0m LOTS	
BARTON 2 (GR)	
ELEVATION 3	
ENERGY STAR	
O.REG. 332/12	
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE SIGNATURE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE PROFESSIONAL ENGINEERS BEFORE PROCEEDING WITH WORK. AS CORRECTED IN VENTS MUST BE VERIFIED PRIOR TO POLING LOTTING. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PREPARED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.	
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3	MAY 14, 2019 ADDED ELL-3 TO DRAWING SET
2	JUN 17, 2019 ISSUED FOR BUILDING PERMIT
1	OCT. 11, 2018 COMPLETED TO PRECOORDINATION STAGE ISSUED TO CLIENT
No.	DATE WORK DESCRIPTION
jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.co The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.3 of the building code. Walter Botter [Signature] 21031 NAME SIGNATURE BCIN REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code. Jardin design group inc. 27763 FIRM NAME BCIN	
SIDE ELEVATION 3	
LAMBERTS LANE PHASE 2	
TOWN OF CALEDON	
TYPE	AREA
T	
SCALE	3/16"=1'-0"
PROJ. NO.	DWG NO.
08-18	7B



SECTION A-A
ELEVATION 3

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE



JUN 12 2019

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2543

11.0m LOTS

BARTON 2 (GR)
ELEVATION 3

ENERGY STAR

O.REG. 332/12

STRUDET INC.



FOR STRUCTURAL ONLY

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JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTION PROGRESSES, VISUAL CHECKS SHOULD BE MADE TO VERIFY THE WORK IS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

JARDIN DESIGN GROUP INC. HAS BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

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3	MAY 14 2019	ADDED ELS-3 TO DRAWING SET REISSUED FOR BUILDING PERMIT
2	JAN 17 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 11 2018	COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT
No	DATE	WORK DESCRIPTION

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

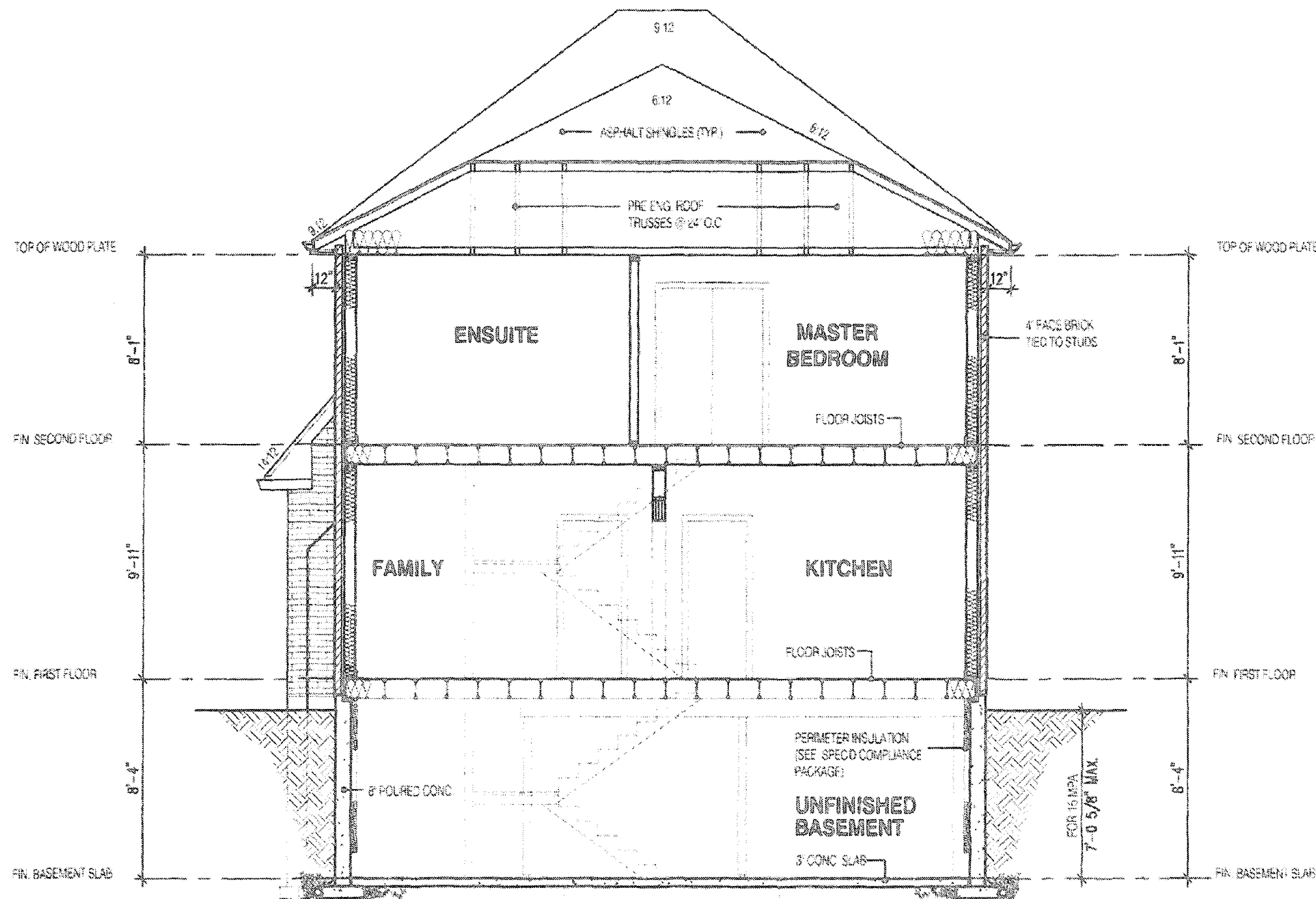
jardin design group inc. 27763
FIRM NAME BCIN

SECTION ELEVATION 3

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

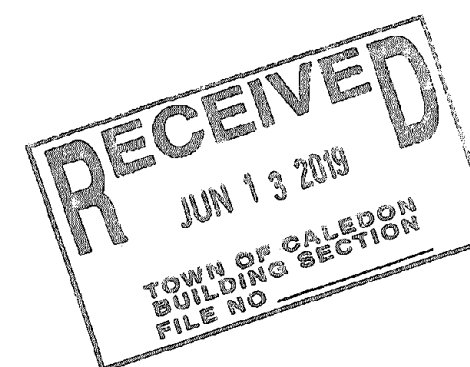
TYPE	T	AREA	---
SCALE	3/16"=1'-0"		
PROJ. No	08-18	OWG. No	8B





SECTION A-A
ELEVATION 3

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE



JUN 12 2019

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2543

11.0m LOTS

BARTON 2 (GR)
ELEVATION 3

ENERGY STAR

O.REG. 332/12

STRUDET INC.



FOR STRUCTURAL ONLY

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NO CONSTRUCTION WORKS MUST BE VERIFIED PRIOR TO BEGINNING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN REQUESTED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT REQUIREMENTS.

THIS DRAWING IS AN AUTOMATIC CHARGED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

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3	MAY 14, 2019 ADDED E.L. 3 TO DRAWING SET ISSUED FOR BUILDING PERMIT
2	JAN 17, 2019 ISSUED FOR BUILDING PERMIT
1	OCT. 11, 2018 COMPLETED TO PRECOORDINATION STAGE ISSUED TO CLIENT

NO. DATE WORK DESCRIPTION

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter *WBe* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

SECTION ELEVATION 3
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

TYPE	AREA
SCALE	3/16" = 1'-0"
PROJ. NO.	DWG. NO.
08-18	8B

