STRIP FOOTINGS FOR SINGLES AND SEMIS UP TO 2 STOREY

120 KPa NATIVE SOIL
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

90 KPa ENGINEERED FILL SOIL
24"x6" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW FOUNDATION WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.

100 KPa NATIVE SOIL
22"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
28"x10" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS
OR
28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS

GENERAL NOTE :
ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa FOR ENGINEERED FILL. TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL FOOTING DETAIL FOR REINFORCEMENT.

(REFER TO ENG. FILL FOOTING DETAIL)

AREA CALCULATIONS EL-1

FIRST FLOOR AREA	=	1047 Sq. Ft.
SECOND FLOOR AREA	=	1355 Sq. Ft.
TOTAL FLOOR AREA	=	2402 Sq. Ft.
ADD OPEN AREAS	=	0 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2402 Sq. Ft.
GROUND FLOOR COVERAGE	=	1047 Sq. Ft.
GARAGE COVERAGE / AREA	=	377 Sq. Ft.
PORCH COVERAGE / AREA	=	60 Sq. Ft.
COVERAGE W/ PORCH	=	1484 Sq. Ft.
	=	137.8 Sq. m.
COVERAGE W/O PORCH	=	1424 Sq. Ft.
	=	132.3 Sq. m.

AREA CALCULATIONS EL-2

FIRST FLOOR AREA	=	1047 Sq. Ft.
SECOND FLOOR AREA	=	1355 Sq. Ft.
TOTAL FLOOR AREA	=	2402 Sq. Ft.
ADD OPEN AREAS	=	0 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2402 Sq. Ft.
GROUND FLOOR COVERAGE	=	1047 Sq. Ft.
GARAGE COVERAGE / AREA	=	377 Sq. Ft.
PORCH COVERAGE / AREA	=	60 Sq. Ft.
COVERAGE W/ PORCH	=	1484 Sq. Ft.
	=	137.8 Sq. m.
COVERAGE W/O PORCH	=	1424 Sq. Ft.
	=	132.3 Sq. m.

2402
11.0m LOTS
BARTON 1
ELEVATION 1 & 2
ENERGY STAR
O.REG. 332/12

PAD FOOTING

120 KPa NATIVE SOIL	90 KPa ENGINEERED FILL SOIL	100 KPa NATIVE SOIL
F1 = 42"x42"x16" CONCRETE PAD	F1 = 46"x46"x20" CONCRETE PAD	F1 = 46"x46"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD	F2 = 40"x40"x16" CONCRETE PAD	F2 = 38"x38"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD	F3 = 34"x34"x14" CONCRETE PAD	F3 = 32"x32"x14 CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD	F4 = 28"x28"x12" CONCRETE PAD	F4 = 26"x26"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD	F5 = 16"x18"x8" CONCRETE PAD	F5 = 17"x17"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

LEGEND:

- BUILDING FACE < THAN 4-0 (1.2m) (45 MIN. FIRE RATING REQD)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

A COMPLETE SET OF REVIEWED DRAWINGS & SPECIFICATIONS MUST BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION AS PER O.B.C.

RECEIVED
JUN 1 1 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

BARTON 1 ELEV.-1		ENERGY EFFICIENCY- ENERGY STAR	
ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	539.00	94.00	18.04 %
LEFT SIDE	1031.00	67.00	6.50 %
RIGHT SIDE	1062.00	47.00	4.43 %
REAR	557.00	111.00	19.93 %
TOTAL	3236.00	319.00	9.86 %

BARTON 1 ELEV.-2		ENERGY EFFICIENCY- ENERGY STAR	
ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	591.00	99.00	16.75 %
LEFT SIDE	1031.00	67.00	6.50 %
RIGHT SIDE	1062.00	47.00	4.43 %
REAR	557.00	111.00	19.93 %
TOTAL	3241.00	324.00	10.00 %

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
ROY MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURAL ONLY

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No:	DATE:	WORK DESCRIPTION:
7		
6		
5		
4		
3		
2	JAN. 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 11, 2018	COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT

NOTE:
WHEN VENEER CUT IS GREATER THAN 26" A 16" POURED CONC. FOUNDATION WALL IS REQUIRED

NOTE:
ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAITMENT.

BUILDING INSPECTOR IS REQUIRED TO BE ON SITE FOR ALL MANDATORY INSPECTIONS. REFER TO ATTACHED BUILDING PERMIT FOR DETAILS

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

APPLICANT COPY

BRICK VENEER LINTELS:

WL1 = 3 1/2" x 3 1/2" x 1/4" (90x90x6) + 2- 2" x 6" SPR.
WL2 = 4" x 3 1/2" x 5/16" (100x90x8) + 2- 2" x 8" SPR.
WL3 = 5" x 3 1/2" x 5/16" (125x90x8) + 2- 2" x 10" SPR.
WL4 = 6" x 3 1/2" x 3/8" (150x90x10) + 2- 2" x 12" SPR.
WL5 = 6" x 4" x 3/8" (150x100x10) + 2- 2" x 12" SPR.
WL6 = 5" x 3 1/2" x 5/16" (125x90x8) + 2- 2" x 12" SPR.
WL7 = 5" x 3 1/2" x 5/16" (125x90x8) + 3- 2" x 10" SPR.
WL8 = 5" x 3 1/2" x 5/16" (125x90x8) + 3- 2" x 12" SPR.
WL9 = 6" x 4" x 3/8" (150x100x10) + 3- 2" x 12" SPR.

WOOD LINTELS:

WB1 = 2-2"x8" SPRUCE BEAM
WB2 = 3-2"x8" SPRUCE BEAM
WB3 = 2-2"x10" SPRUCE BEAM
WB4 = 3-2"x10" SPRUCE BEAM
WB5 = 2-2"x12" SPRUCE BEAM
WB6 = 3-2"x12" SPRUCE BEAM
WB7 = 5-2"x12" SPRUCE BEAM
WB10 = 4-2"x8" SPRUCE BEAM
WB11 = 4-2"x10" SPRUCE BEAM

STEEL LINTELS:

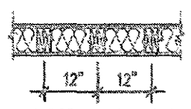
L1 = 3 1/2"x 3 1/2"x 1/4" (90 x 90 x 6)
L2 = 4" x 3 1/2" x 5/16" (100 x 90 x 8)
L3 = 5" x 3 1/2" x 5/16" (125 x 90 x 8)
L4 = 6" x 3 1/2" x 3/8" (150 x 90 x 10)
L5 = 6" x 4" x 3/8" (150 x 100 x 10)
L6 = 7" x 4" x 3/8" (180 x 100 x 10)

LAMINATED VENEER LUMBER (LVL BEAMS)

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x355)
LVL9 = 3-1 3/4" x 14" (3-45x355)

CERTIFIED MODEL
PRE-APPROVED
FOR PERMIT APPLICATION AS PER THE ONTARIO BUILDING CODE
TOWN OF CALEDON BUILDING DIVISION
REVIEWED BY J. SNELL
DATE JULY 23/19
FILE # BARTON 1 - ELEV. 1, 2
OPT. W.O.B.
OPT. DELK

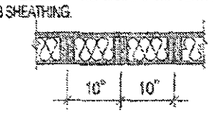
2-2"x8" STUD WALL NAILED TOGETHER AND SPACED @12" O.C. FULL HT CW SOLID BLOCKING 4-0" O.C. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18-0" AND MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40-0"

TWO STOREY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) LBE STUD WALL GLUED AND NAILED TOGETHER AND SPACED MAX. @10 O.C. FULL HT CW SOLID BLOCKING MAX. 8-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20-0" AND MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40-0"

TWO STOREY HEIGHT WALL DETAIL

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING

ENERGY STAR V-17

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.56 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSE FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	4.75 (R22+R5)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
EDGE OF BELOW GRADE SLAB < 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
SLAB < 600 mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY STAR ® ZONE 2 (ER 29/UV 1.4)
SPACE HEATING EQUIPMENT MINIMUM AFUE	MIN. 95% AFUE
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HRV MINIMUM EFFICIENCY	TIER 2 75% SRE ENERGY STAR ® HRV TO BE INTERCONNECTED TO THE FURNACE FAN MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/STALE
HOT WATER TANK	CONDENSING HOT WATER TANK 90% TE ENVIROSENCE
DRAIN WATER HEAT RECOVERY	TWO SHOWERS > 42% STEADY R3-42 OR TD3/42
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (2.5 ACH/0.18 NLR) ATTACHED LEVEL 1 (3.0 ACH/0.26 NLR)
DUCT SEALING	ALL SUPPLY DUCTS AND 1 m OF RETURN DUCTS
LIGHTS	75% CFLs OR LEDs

Electrical Contractor Registration Agency of the Electrical Safety Authority

ALL ELECTRICAL INSTALLATIONS MUST BE INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY SEPARATE INSPECTION APPLICATIONS MUST BE FILED

FOR MORE INFORMATION PLEASE CALL ELECTRICAL SAFETY AUTHORITY 1-877-ESA-SAFE (372-7233)

PLUG IN SAFELY. HIRE A LICENSED ELECTRICAL CONTRACTOR FIND A CONTRACTOR AT www.pluginsafely.ca

MAR 2 1 2019

ESCC MODEL
ENERGY STAR - V 17

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit, matter of that any house can be properly built or located on a lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5-7, 2 ROWS FOR SPANS GREATER THAN 7

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

DOOR SHEDULE
1 = 2'-10" x 6'-8" INSULATED ENTRANCE DOOR
1A = 2'-8" x 6'-8" INSULATED ENTRANCE DOOR
2 = 2'-8" x 6'-8" EXTERIOR GLAZED DOOR
3 = 2'-8" x 6'-8" SLAB DOOR (1 3/4" EXTERIOR)
4 = 2'-8" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
5 = 2'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
6 = 2'-2" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
7 = 1'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
8 = 2'-6" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
9 = 3'-0" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
10 = 2- 2'-0" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
11 = 2- 2'-6" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
12 = 2'-6" x 6'-8" FRENCH DOOR (1 3/8" INTERIOR)

jardin DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

NAME	SIGNATURE	BCIN
Walter Botter		21031

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

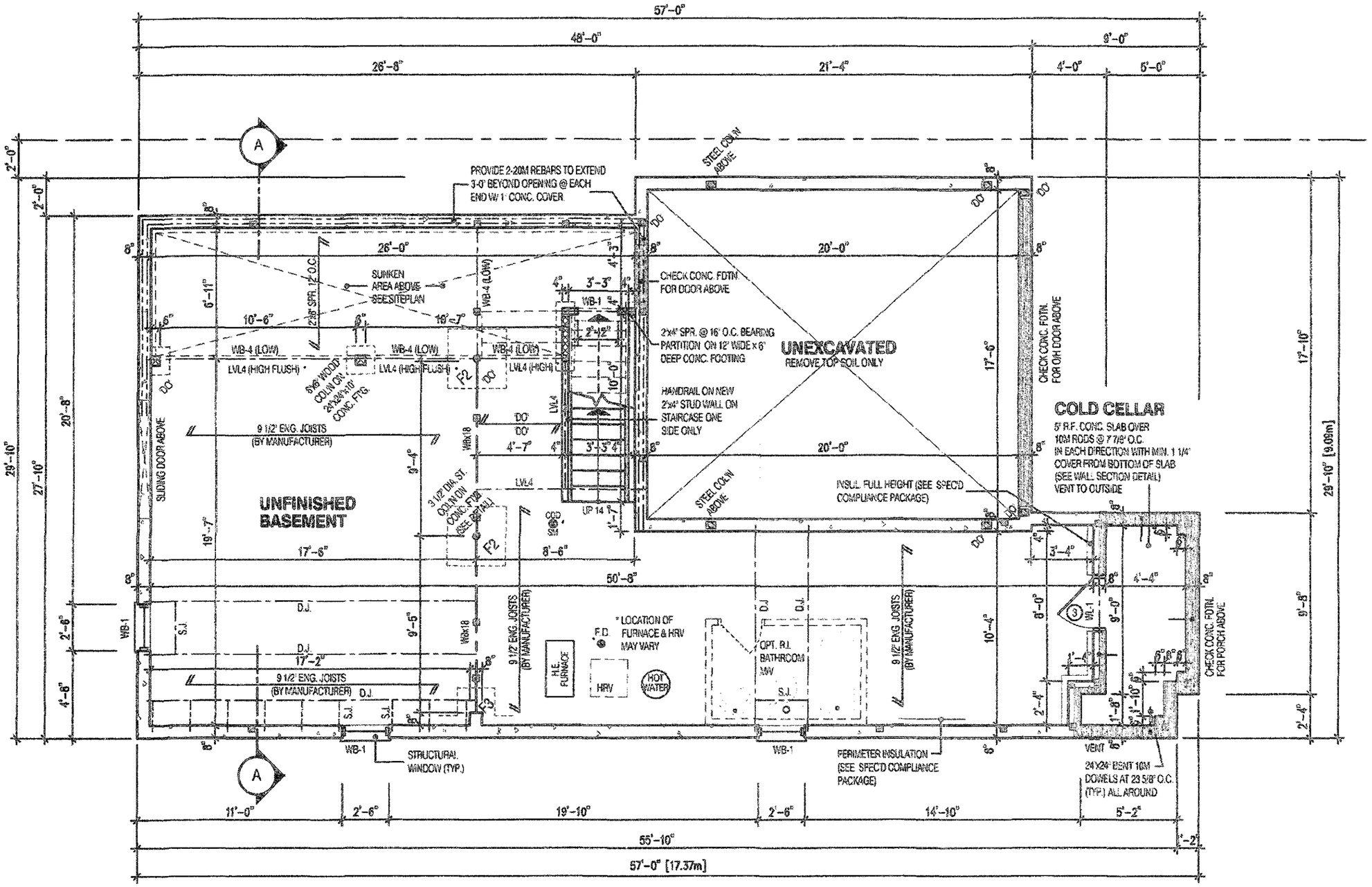
FIRM NAME	BCIN
jardin design group inc.	27763

TITLE SHEET
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD

TYPE	AREA
T	
SCALE: 3/16"=1'-0"	
PROJ. No. 18-18	DWG. No 0

DRAWN BY: | DRAWING NAME: DSN-17A



SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

MINIMUM CEILING HEIGHT SHALL BE 2100 MM OVER AT LEAST 75% OF BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED 1950 M M

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

NOTE:
REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5-7', 2 ROWS FOR SPANS GREATER THAN 7

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:
SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

LEGEND:
- BUILDING FACE < THAN 4'-0" (1.2m) (45 M'N. FIRE RATING REQD)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COL'N ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- DO REPEAT NOTE
- SHOWER WEEPERS

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: _____
DATE: _____

2402
11.0m LOTS
BARTON 1 (GR)
ELEVATION 1
ENERGY STAR
O.REG. 332/12

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER
R. MARINKOVIC
PROVINCE OF ONTARIO

FOR STRUCTURAL ONLY

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No:	DATE:	WORK DESCRIPTION:
7		
6		
5		
4		
3		
2	JAN. 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 11, 2018	COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
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Walter Botter		21031

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

FIRM NAME	BCIN
jardin design group inc.	27763

BASEMENT PLAN EL-1

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

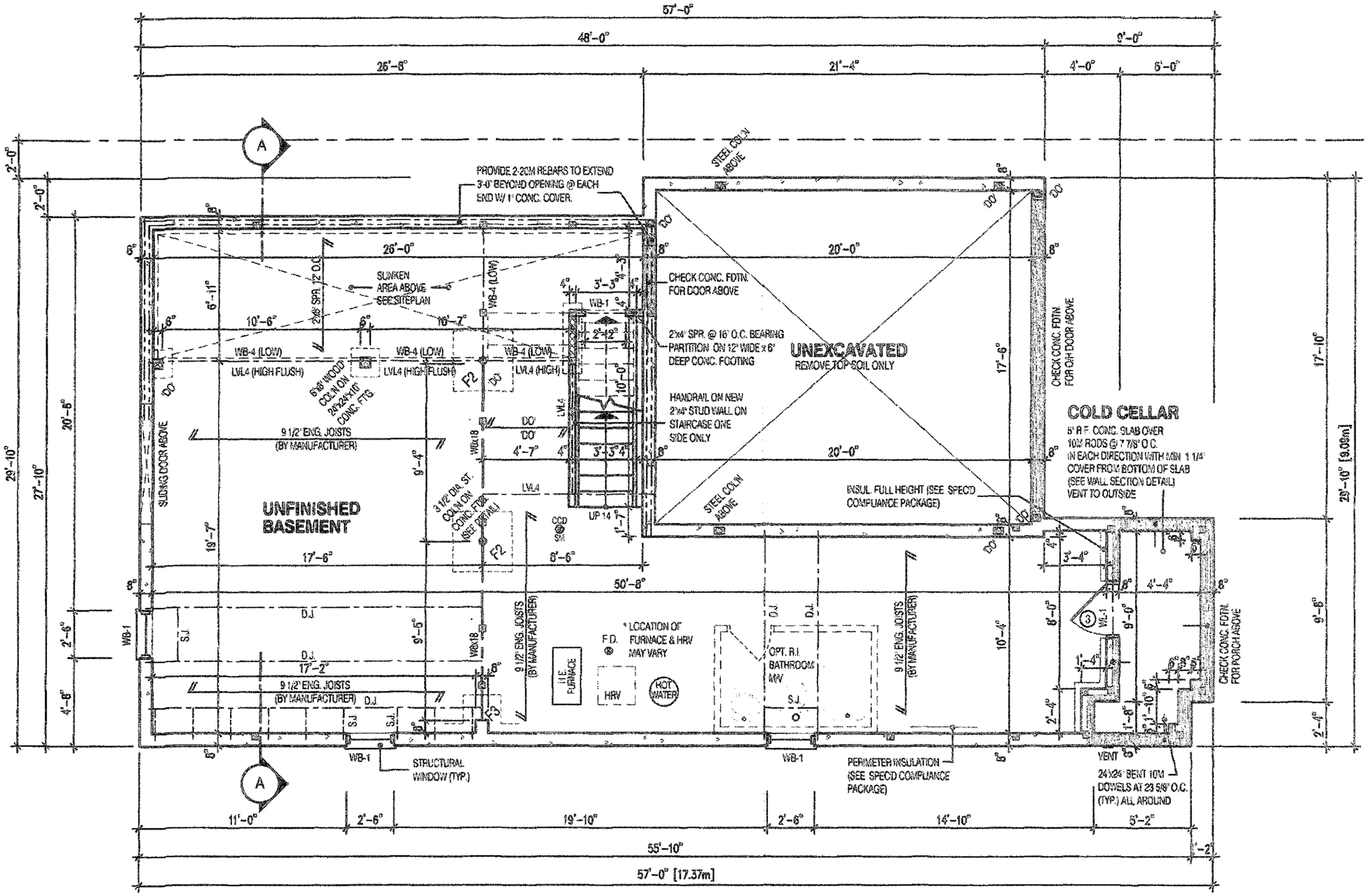
BILD

TYPE	AREA
T	----

SCALE 3/16" = 1'-0"

PROJ. No.	DWG. No.
08-18	1

DRAWN BY | DRAWING NAME --



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THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

NOTE:
REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5-7', 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER

NOTE:
SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

LEGEND:
- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE
- LVL — LAMINATED VENEER LUMBER
- S.J. — SINGLE JOIST
- D.J. — DOUBLE JOIST
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- REPEAT NOTE
- SHOWER WEEPERS

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JOHN C. WILLIAMS CILD, ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY:
DATE: MAY 01, 2019
This stamp indicates compliance with Design Guidelines. Building Permit Approval requires separate submission.

2402
11.0m LOTS
BARTON 1 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

FOR STRUCTURAL ONLY

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THIS DRAWING IS AN INSTRUMENT OF SERVICE IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

No:	DATE:	WORK DESCRIPTION:
7		
6		
5		
4		
3		
2	JAN. 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 11, 2018	COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

NAME	SIGNATURE	BCIN
Walter Botter		21031

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

FIRM NAME	BCIN
jardin design group inc.	27763

BASEMENT PLAN EL-2
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD

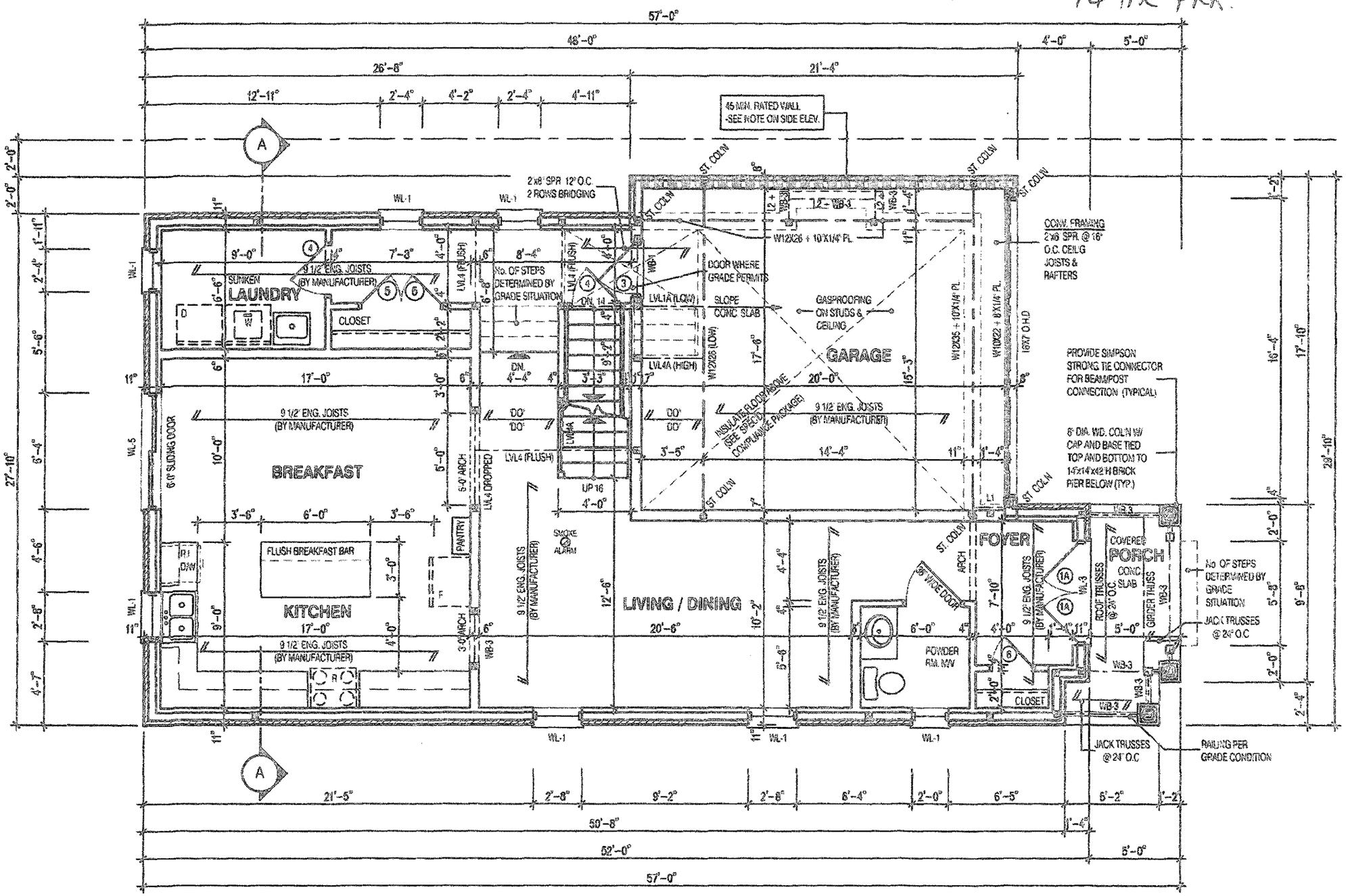
TYPE	AREA
T	----

SCALE: 3/16"=1'-0"

PROJ. No.	DWG. No.
08-18	1A

DRAWN BY | DRAWING NAME: --

3/4 HR FRR



SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

NOTE:
REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12 O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5-7, 2 ROWS FOR SPANS GREATER THAN 7

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:

SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL

ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COL'N ABOVE
- LVL — LAMINATED VENEER LUMBER
- S.J. — SINGLE JOIST
- D.J. — DOUBLE JOIST
- T.J. — TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: ____
DATE: MAY 31, 2019
THIS CERTIFICATE PERTAINS ONLY TO ARCHITECTURAL CONTROL REVIEW AND APPROVAL

MAR 2 1 2019

2402

11.0m LOTS

BARTON 1 (GR) ELEVATION 1

ENERGY STAR

O.REG. 332/12

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER B. MARINKOVIC PROVINCE OF ONTARIO

FOR STRUCTURAL ONLY

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

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jardin DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
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NAME	SIGNATURE	BCIN
Walter Botter		21031

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

FIRM NAME	BCIN
jardin design group inc.	27763

FIRST FLOOR PLAN EL-1

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

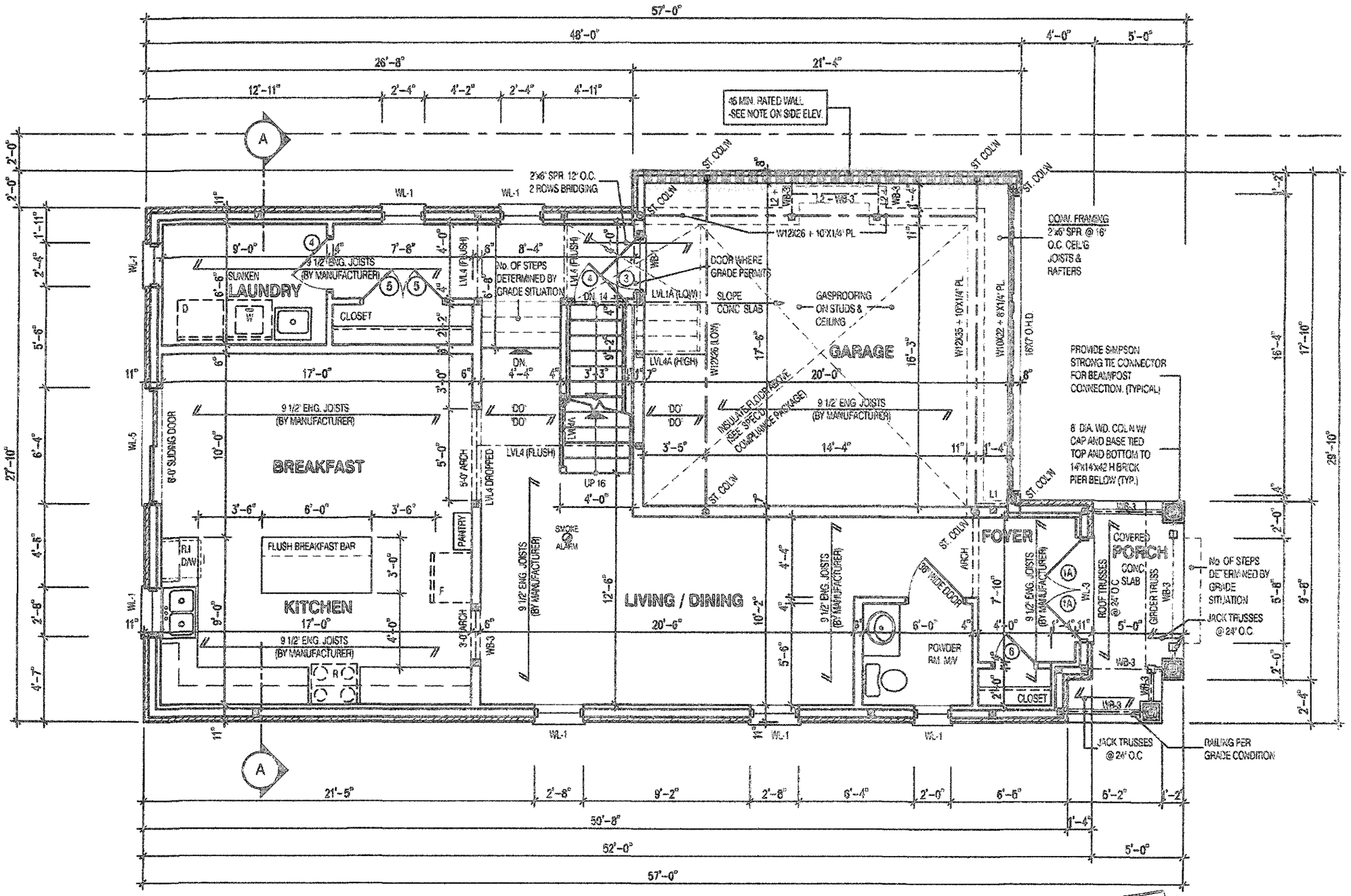
BILD

TYPE	AREA
T	---

SCALE 3/16"=1'-0"

PROJ. No.	DWG. No.
08-18	2

DRAWN BY | DRAWING NAME –



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- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

RECEIVED JUN 11 2019 TOWN OF CALEDON BUILDING SECTION FILE NO

MAR 21 2019

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY:
DATE: MAR. 21, 2019

2402
11.0m LOTS
BARTON 1 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER B. MARINKOVIC PROVINCE OF ONTARIO

FOR STRUCTURAL ONLY

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jardin DESIGN GROUP INC
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NAME	SIGNATURE	BCIN
Walter Botter		21031

REGISTRATION INFORMATION
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FIRM NAME	BCIN
jardin design group inc.	27763

FIRST FLOOR PLAN EL-2

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

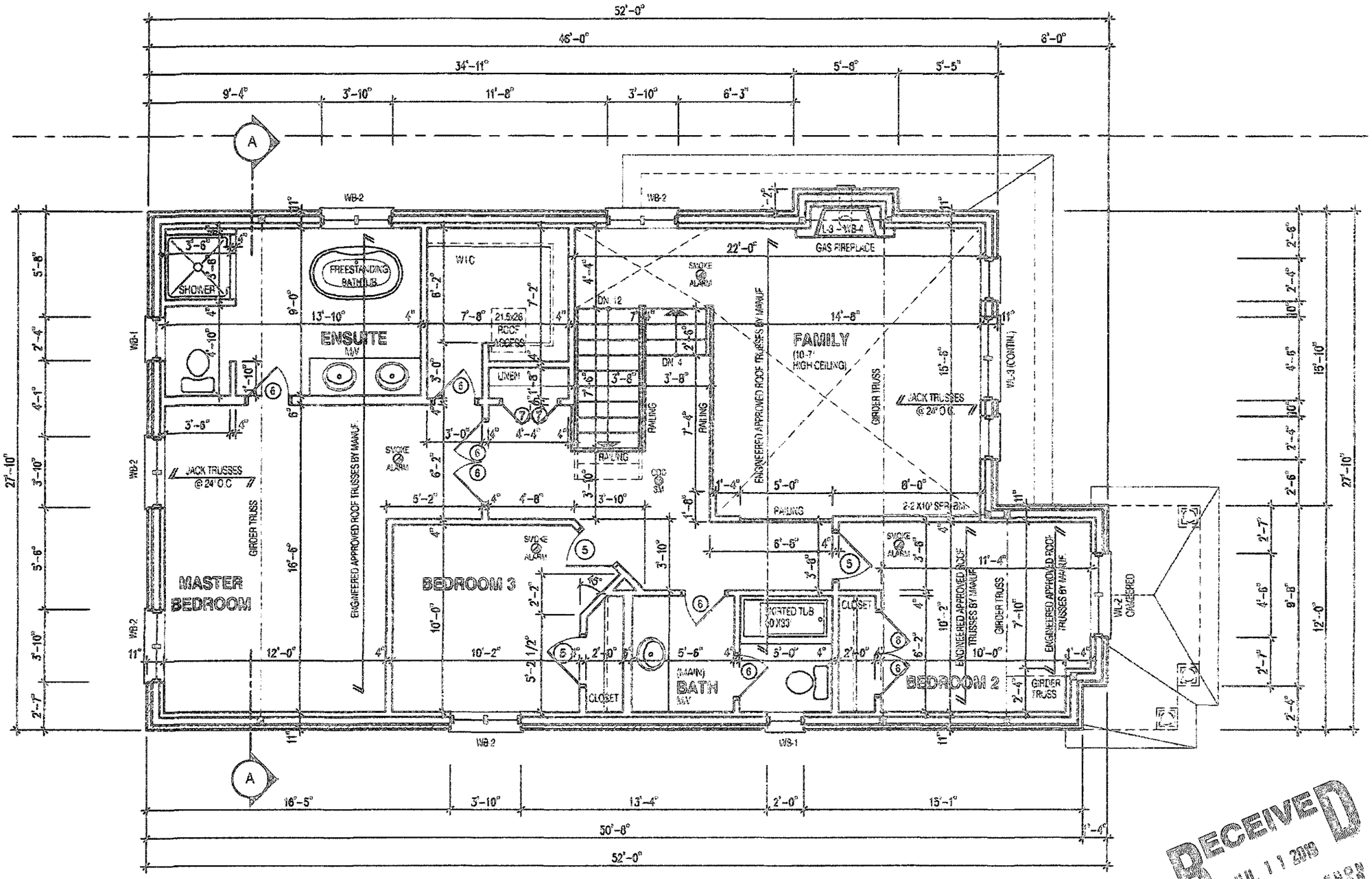
BILD

TYPE	AREA
T	—

SCALE: 3/16" = 1'-0"

PROJ. No.	DWG. No.
08-18	2A

DRAWN BY | DRAWING NAME: —



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NOTE:

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LEGEND:

	BUILDING FACE < THAN 4-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
	INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
	STL. PLATE FOR STEEL COL. ABOVE
LVL	LAMINATED VENEER LUMBER
S.J.	SINGLE JOIST
D.J.	DOUBLE JOIST
T.J.	TRIPLE JOIST
	REPEAT NOTE
	SHOWER WEEPERS

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RECEIVED
JUL 11 2019
TOWN OF CALEDON
SITE PLAN SECTION

JUN 25 2019

2402

11.0m LOTS

BARTON 1 (GR)
ELEVATION 1

ENERGY STAR

O.REG. 332/12

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

FOR STRUCTURAL ONLY

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DO NOT SCALE THE DRAWINGS. USE WRITTEN DIMENSIONS OR VERIFY WITH PRIOR TO PLACING FOOTINGS.

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No.	DATE:	WORK DESCRIPTION:
7		
6		
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3	JUNE 25, 2019	REV GIRDER LOCATION REISSUED TO CLIENT
2	JAN. 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 11, 2018	COMPLETED TO PRECONSTRUCTION STAGE. ISSUED TO CLIENT

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Div. C, 3.2.5 of the building code

NAME	SIGNATURE	BCIN
Walter Botter		21037

REGISTRATION INFORMATION
Required unless design is exempt under Div. C, 3.2.4 of the building code

FIRM NAME	BCIN
jardin design group inc.	27763

SECOND FL. PLAN EL-1

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

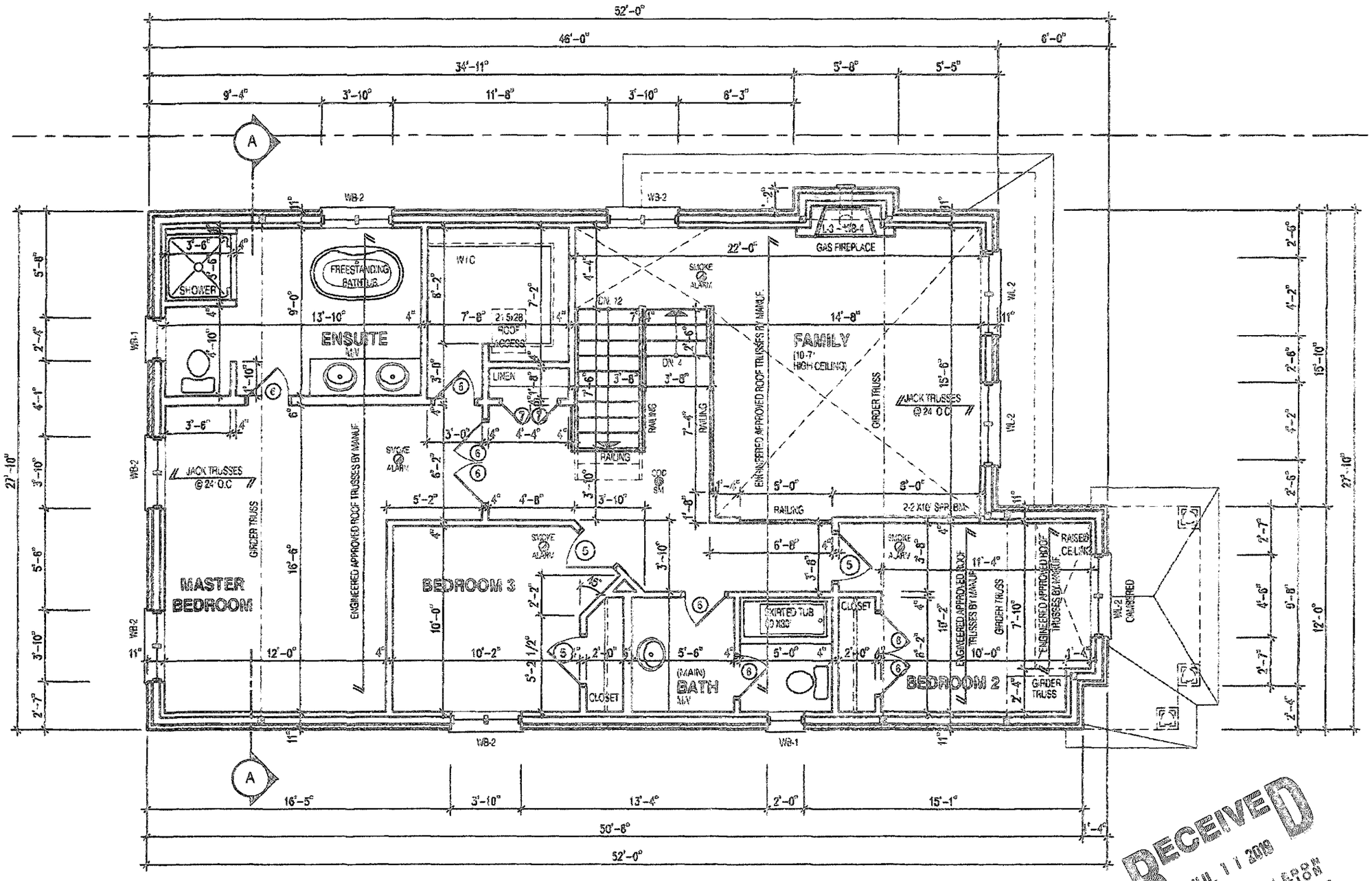
BILD

TYPE	AREA
T	----

SCALE: 3/16" = 1'-0"

PROJ. No.	DWG. No.
08-18	3

DRAWN BY: DATE: --



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NOTE:

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LEGEND:

- BUILDING FACE < THAN 4-0" (2m) (45 MIN FIRE RATING REQD)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL PLATE FOR STEEL COLN ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

RECEIVED JUL 11 2019 TOWN OF CALEDON BUILDING SECTION FILE NO.

JUN 25 2019

2402

11.0m LOTS

BARTON 1 (GR) ELEVATION 2

ENERGY STAR

O.REG. 332/12

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER R. MARINKOVIC PROVINCE OF ONTARIO

FOR STRUCTURAL ONLY

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. NOTIFY DESIGNER IMMEDIATELY IF ANY DISCREPANCY OR ERROR EXISTS IN DRAWINGS PRIOR TO CONSTRUCTION OR FABRICATION OF PARTS.

DRAWINGS NOT TO BE SCALED. DIMENSIONS FOR THE ARCHITECT OF RECORD. STRUCTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS. DIMENSIONS SHOWN ON STRUCTURAL DRAWINGS TAKEN PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT MAY BE ADJUSTED TO SUITE ARCHITECTURAL DRAWINGS WITHOUT FURTHER REFERENCE TO STRUCTURAL ENGINEER.

DO NOT SCALE DRAWINGS. ALL DIMENSIONS TO BE VERIFIED ON SITE BEFORE PROCEEDING WITH FABRICATION OF ANY PARTS.

ALL STRUCTURAL STEEL TO BE PROTECTED FROM CORROSION BY PAINT OR OTHER COATINGS.

ALL DIMENSIONS ON DRAWINGS HAS NOT BEEN REVIEWED TO COMPLY WITH ONTARIO BUILDING CODE REQUIREMENTS. ARCHITECT MUST REVIEW ALL DRAWINGS FOR ACCURACY AND COMPLIANCE WITH ONTARIO BUILDING CODE.

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64 JARDIN DR. SUITE 3A
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Walter Bolter		21031

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FIRM NAME	BCIN
jardin design group inc.	27763

SECOND FL. PLAN EL-2

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

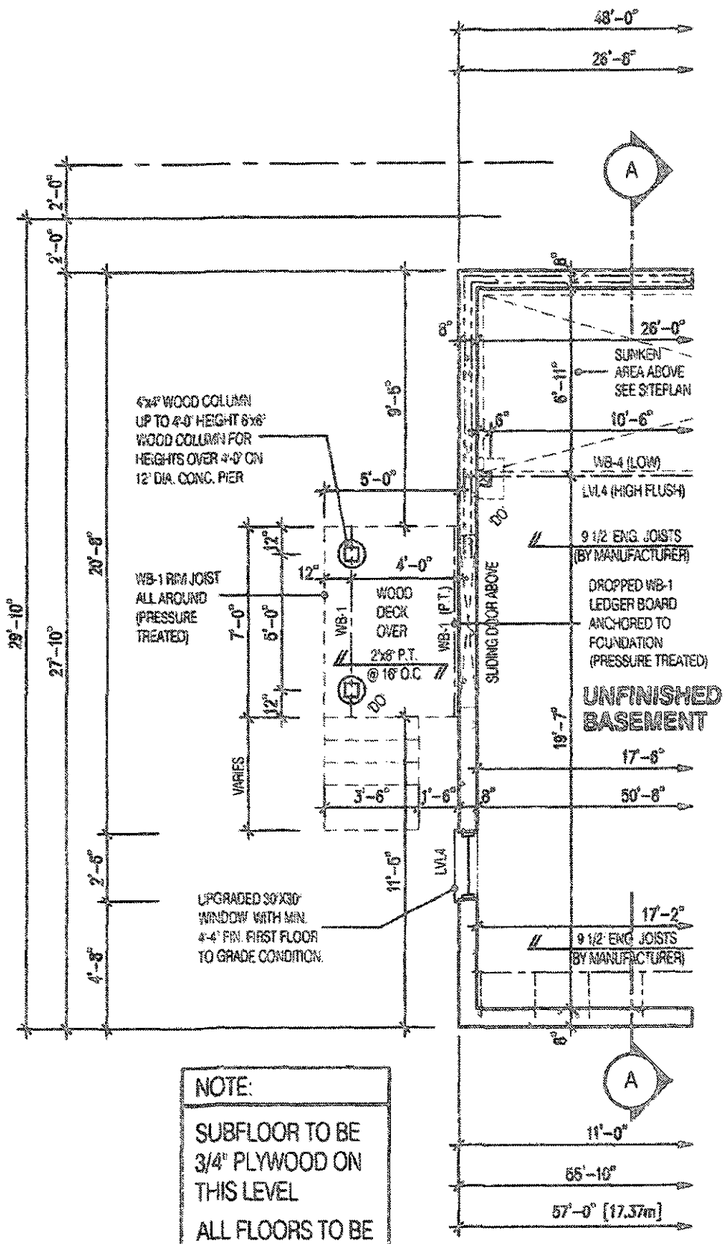
BILD

TYPE	AREA
T	---

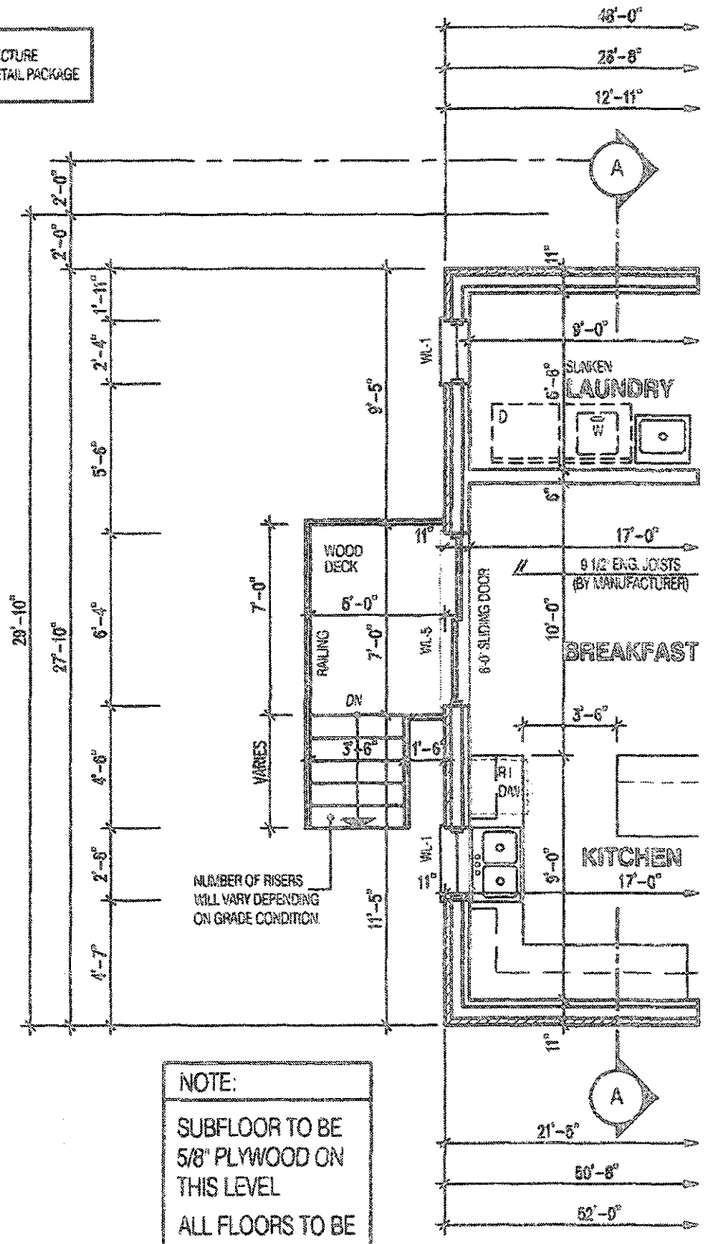
SCALE: 3/16 = 1'-0"

PROJ. No.	DWG. No.
08-18	3A

FOR ADDITIONAL DECK STRUCTURE REFER TO PAGE 7 OF THE DETAIL PACKAGE



PARTIAL BASEMENT LAYOUT FOR DECK CONDITION EL-1



PARTIAL FIRST FLOOR LAYOUT FOR DECK CONDITION EL-1

NOTE:

SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL

ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

NOTE:

SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL

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MAR 21 2019

NOTE:
WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED. (FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)

NOTE:
REFER TO SHEET NO. 0 - FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:
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NOTE:
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NOTE:
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JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE MAY 24, 2019

2402

11.0m LOTS

BARTON 1 (GR) ELEVATION 1

ENERGY STAR

O.REG. 332/12

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER B. MARINKOVIC PROVINCE OF ONTARIO

FOR STRUCTURAL ONLY

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NAME	SIGNATURE	BCIN
Walter Botter		21031

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

FIRM NAME	BCIN
jardin design group inc.	27763

DECK CONDITION EL-1

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD

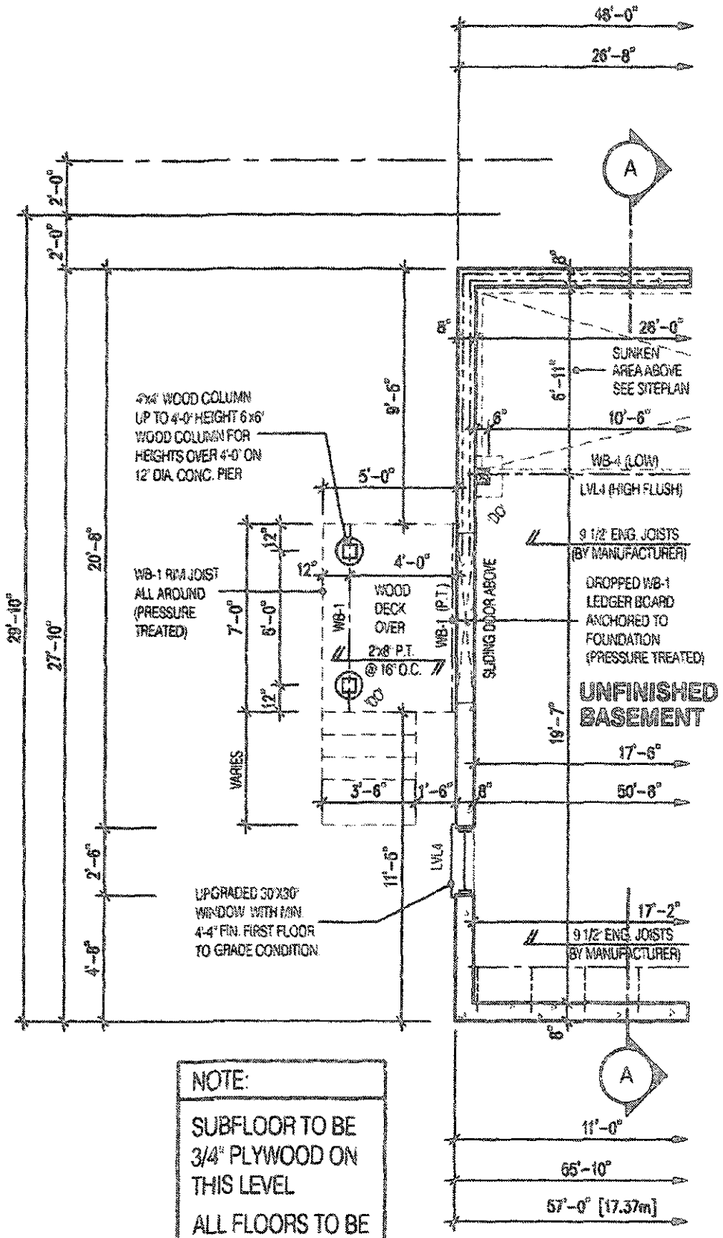
TYPE	AREA
T	---

SCALE 3/16"=1'-0"

PROJ. No	DWG. No
08-18	3-1

DRAWN BY: DRAWING NAME: –

FOR ADDITIONAL DECK STRUCTURE REFER TO PAGE 7 OF THE DETAIL PACKAGE

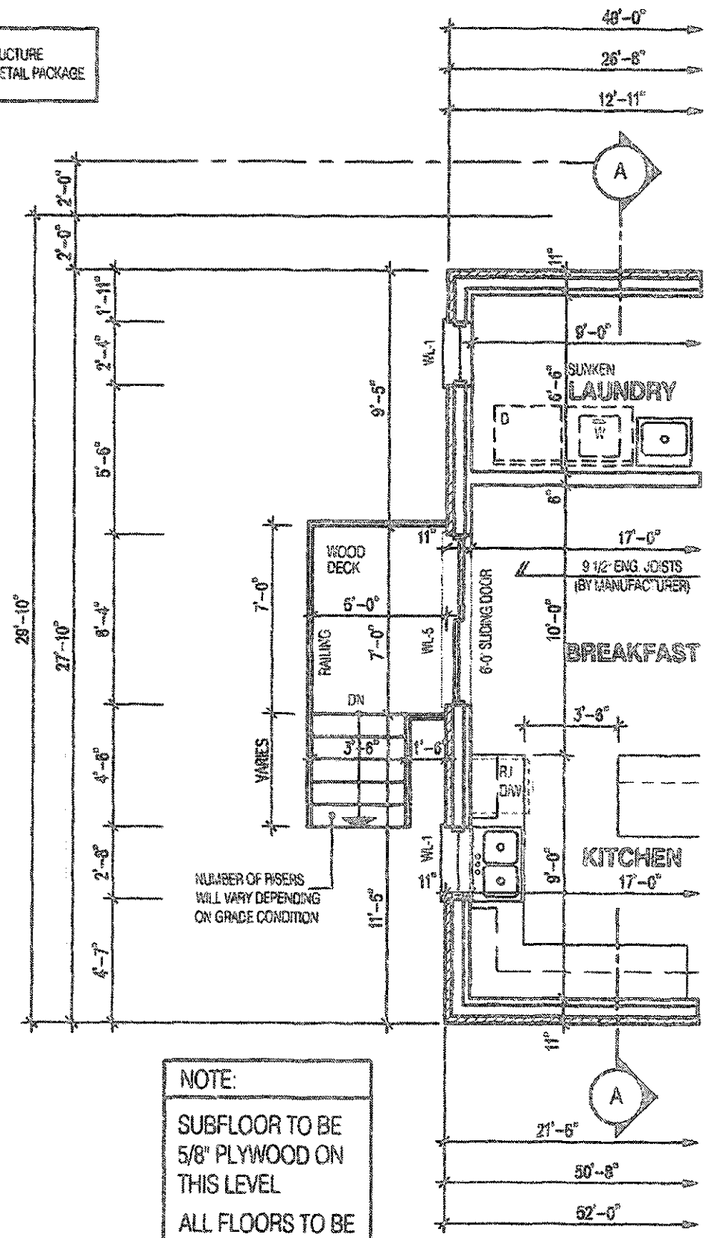


PARTIAL BASEMENT LAYOUT
FOR DECK CONDITION EL-2

NOTE:

SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL

ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL



PARTIAL FIRST FLOOR LAYOUT
FOR DECK CONDITION EL-2

NOTE:

SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL

ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

MAR 2 1 2019

NOTE:
WHEN VENEER CUT IS GREATER THAN 28" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED. (FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)

NOTE:
REFER TO SHEET NO. 0 - FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5-7, 2 ROWS FOR SPANS GREATER THAN 7

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQD)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

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JOHN L. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL AGENT
SITE APPROVAL
APP. CODE NO. _____
DATE: _____ MM/DD/YEAR
TO BE ATTACHED TO BUILDING PERMIT APPLICATION
SUBMIT TO: TOWN OF CALEDON
PHONE: 416-924-7708

2402
11.0m LOTS
BARTON 1 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

FOR STRUCTURAL ONLY

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

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AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

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No:	DATE:	WORK DESCRIPTION:
7		
6		
5		
4		
3		
2	JAN. 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 11, 2018	COMPLETED TO PRECOORDINATION STAGE ISSUED TO CLIENT

jardin DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

NAME	SIGNATURE	BCIN
Walter Botter		21031

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

FIRM NAME	BCIN
jardin design group inc.	27763

DECK CONDITION EL-2

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD

TYPE	AREA
T	---

SCALE: 3/16" = 1'-0"

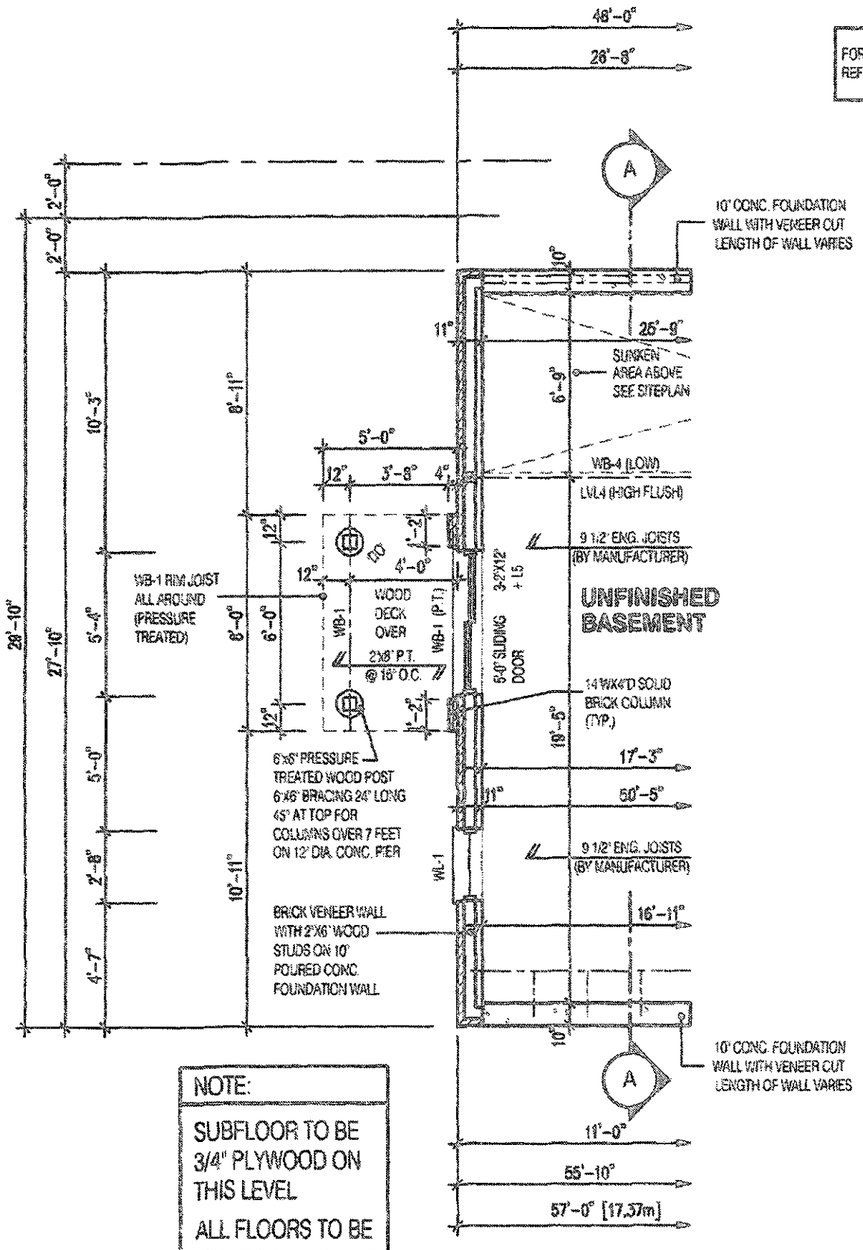
PROJ. No. 08-18

DWG. No. 3A-1

DRAWN BY:

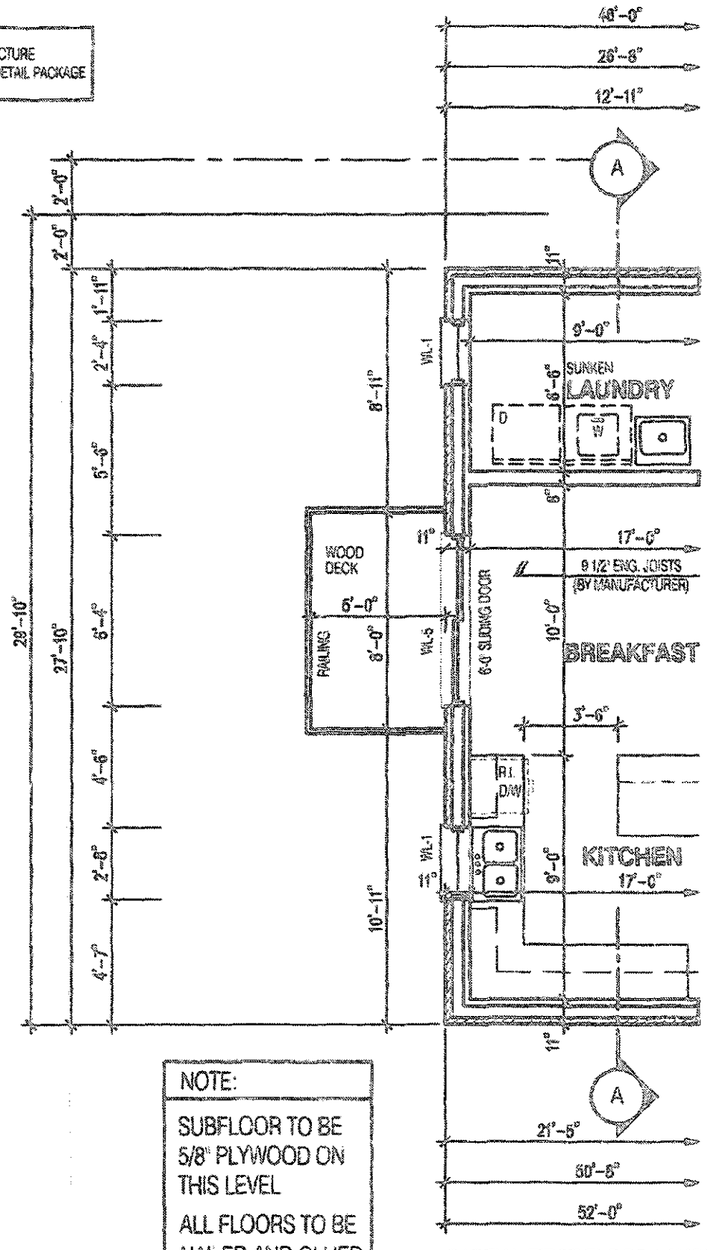
DRAWING NAME: –

FOR ADDITIONAL DECK STRUCTURE REFER TO PAGE 7-1 OF THE DETAIL PACKAGE



PARTIAL BASEMENT LAYOUT
FOR WALK-OUT CONDITION EL-1

NOTE:
SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL



PARTIAL FIRST FLOOR LAYOUT
FOR WALK-OUT CONDITION EL-1

NOTE:
SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

*FOUNDATION WALL
4'-7" MAX. FROM GRADE TO SLAB FOR 10" UNSUPPORTED SOLID CONC. WALL
3'-11" MAX. FROM GRADE TO SLAB FOR 8" UNSUPPORTED SOLID CONC. WALL
2'-7" MAX. FROM GRADE TO SLAB FOR 6" UNSUPPORTED SOLID CONC. WALL
(AS PER O.B.C. 9.15.4.2)

NOTE:
WHEN VENEER CUT IS GREATER THAN 28" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED. (FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)

NOTE:
REFER TO SHEET NO. 0 - FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:
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NOTE:
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NOTE:
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LEGEND:
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- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL PLATE FOR STEEL COLN ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

RECEIVED
JUN 1 6 2019
TOWN OF CALEDON BUILDING SECTION FILE NO

MAR 2 1 2019

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL ARCHITECT
APPROVED BY: _____
DATE: MAY 31, 2019

2402
11.0m LOTS
BARTON 1 (GR)
ELEVATION 1
ENERGY STAR
O.REG. 332/12

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

FOR STRUCTURAL ONLY

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2	JAN. 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 11, 2018	COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT

jardin DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

NAME	SIGNATURE	BCIN
Walter Baltar		21031

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

FIRM NAME	BCIN
jardin design group inc.	27763

WALK-OUT / DECK CONDITION EL-1

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

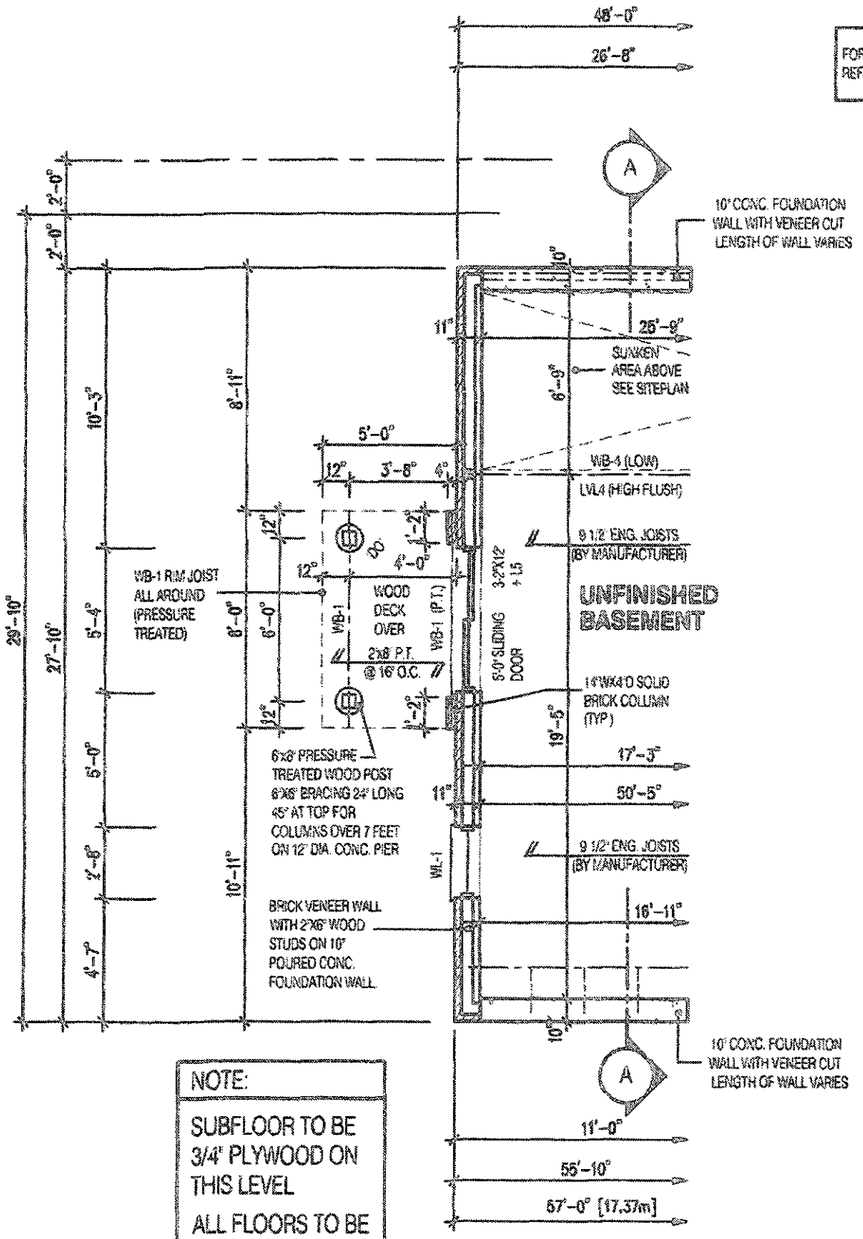
BILD

TYPE	AREA
T	----

SCALE: 3/16" = 1'-0"
PROJ. No. 08-18
DWG. No 3-2

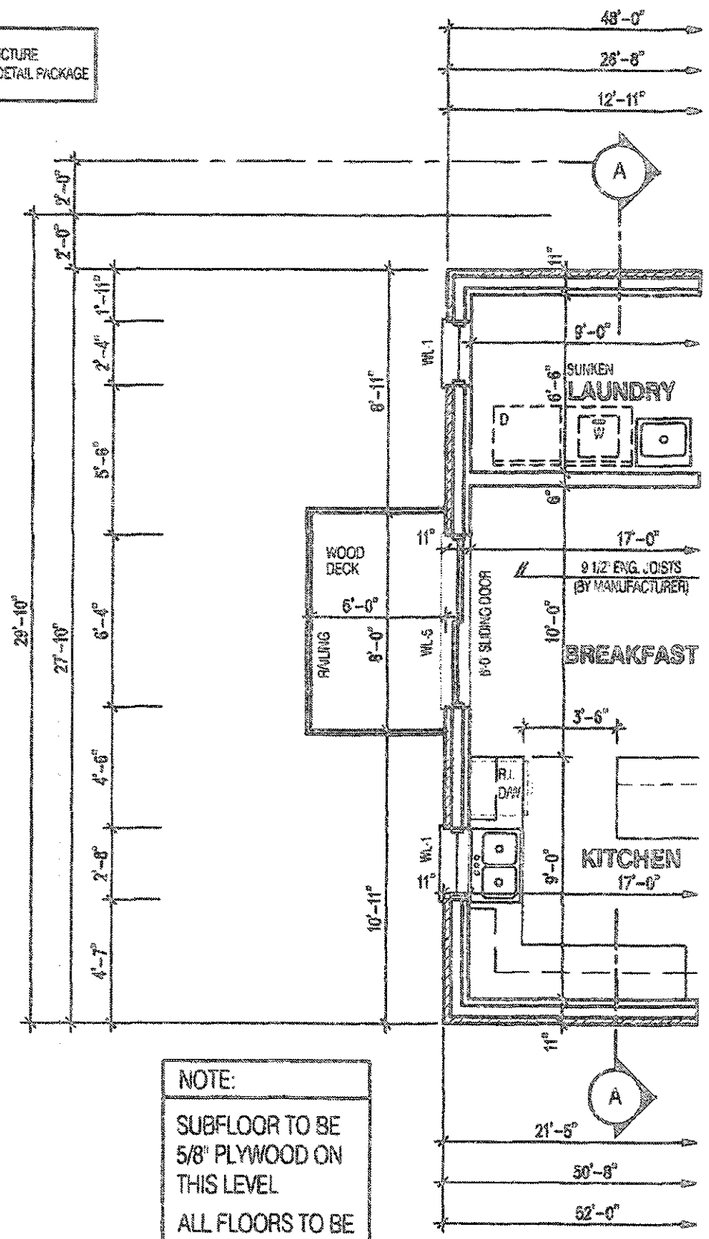
DRAWN BY:
DRAWING NAME: --

FOR ADDITIONAL DECK STRUCTURE REFER TO PAGE 7-1 OF THE DETAIL PACKAGE



PARTIAL BASEMENT LAYOUT
FOR WALK-OUT CONDITION EL-2

NOTE:
SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL



PARTIAL FIRST FLOOR LAYOUT
FOR WALK-OUT CONDITION EL-2

NOTE:
SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

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MAR 2 1 2019

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2'-7" MAX. FROM GRADE TO SLAB FOR 6" UNSUPPORTED SOLID CONC. WALL
(AS PER O.B.C. 9.15.4.2)

NOTE:
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NOTE:
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NOTE:
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NOTE:
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NOTE:
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JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL REVIEW
APPROVED
DATE MAR 21 2019

2402
11.0m LOTS
BARTON 1 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

FOR STRUCTURAL ONLY

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2	JAN. 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 11, 2018	COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT

jardin DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

NAME	SIGNATURE	BCIN
Walter Botter		21031

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

FIRM NAME	BCIN
jardin design group inc.	27763

WALK-OUT / DECK CONDITION EL-2

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

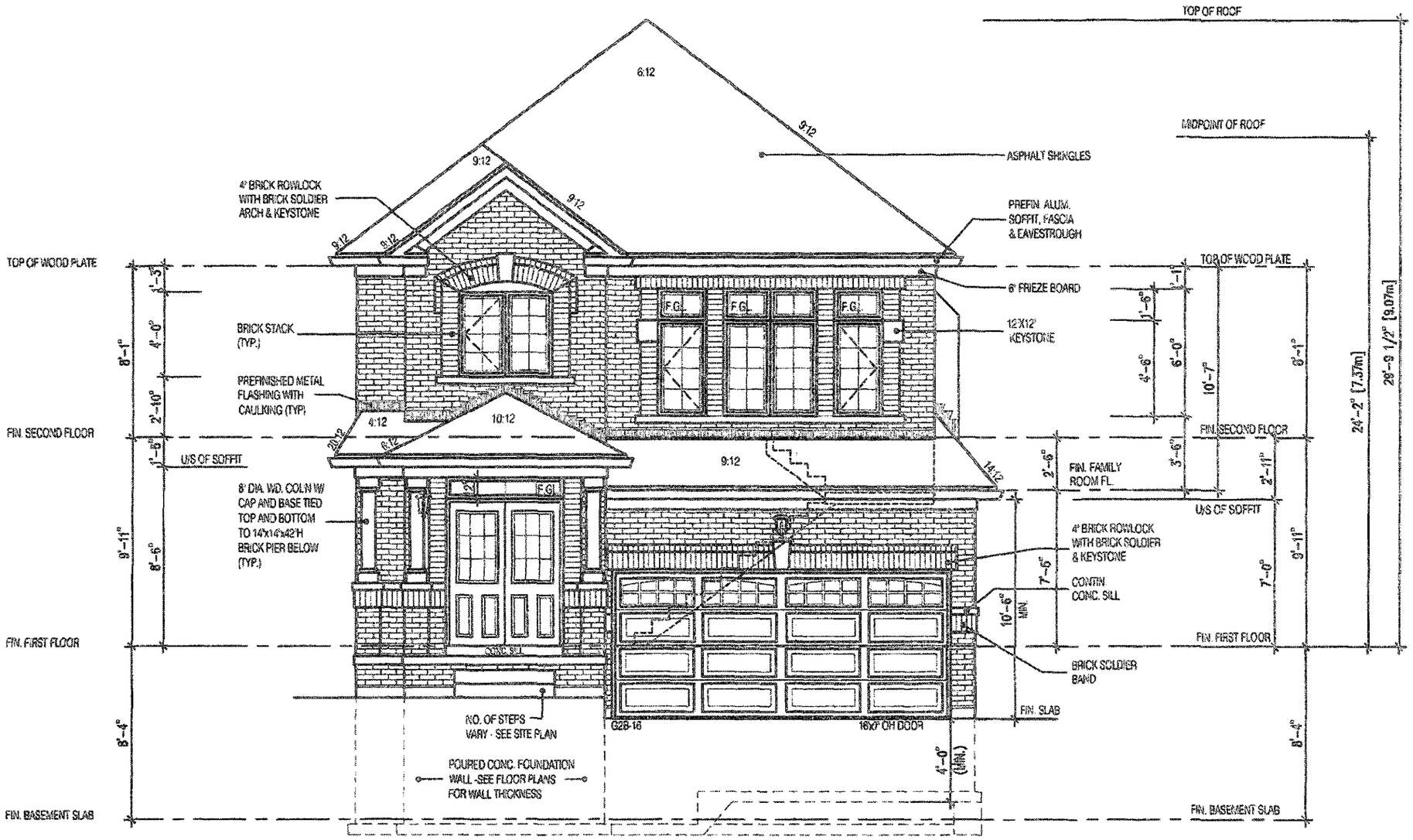
BILD

TYPE	AREA
T	----

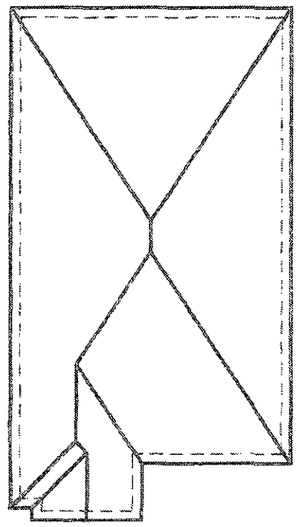
SCALE: 3/16"=1'-0"

PROJ. No	DWG. No
08-18	3A-2

DRAWN BY: DRAWING NAME: --



BARTON 1
ELEV-1



ROOF PLAN

N.T.S.

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JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY:
DATE: MAY 31, 2019

2402

11.0m LOTS

BARTON 1 (GR) ELEVATION 1

ENERGY STAR

O.REG. 332/12

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NAME	SIGNATURE	BCIN
Walter Bolter		21031

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

FIRM NAME	BCIN
jardin design group inc.	27763

FRONT ELEVATION 1

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

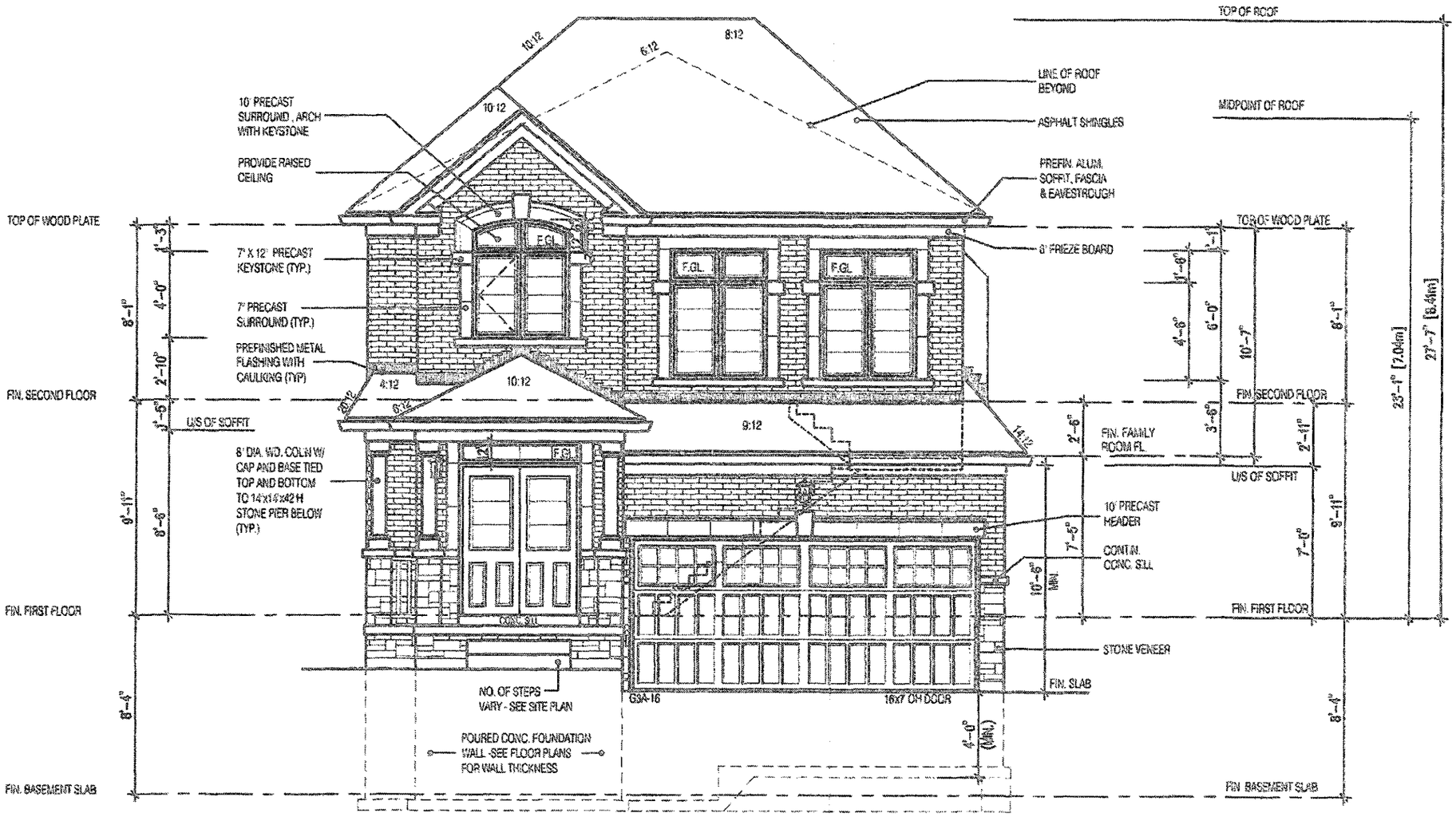
BILD

TYPE	AREA
T	----

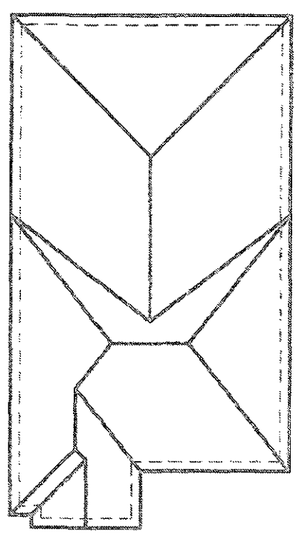
SCALE: 3/16" = 1'-0"

PROJ. No.	DWG. No.
08-18	4

DRAWN BY: DRAW'G NAME: --



BARTON 1
ELEV-2



ROOF PLAN
N.T.S.

MAR 2 1 2019

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: _____
DATE: MAY 21, 2019

2402
11.0m LOTS
BARTON 1 (GR) ELEVATION 2
ENERGY STAR
O.REG. 332/12

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jardin
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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

NAME	SIGNATURE	BCIN
Walter Botter		21031

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

FIRM NAME	BCIN
jardin design group inc.	27763

FRONT ELEVATION 2
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

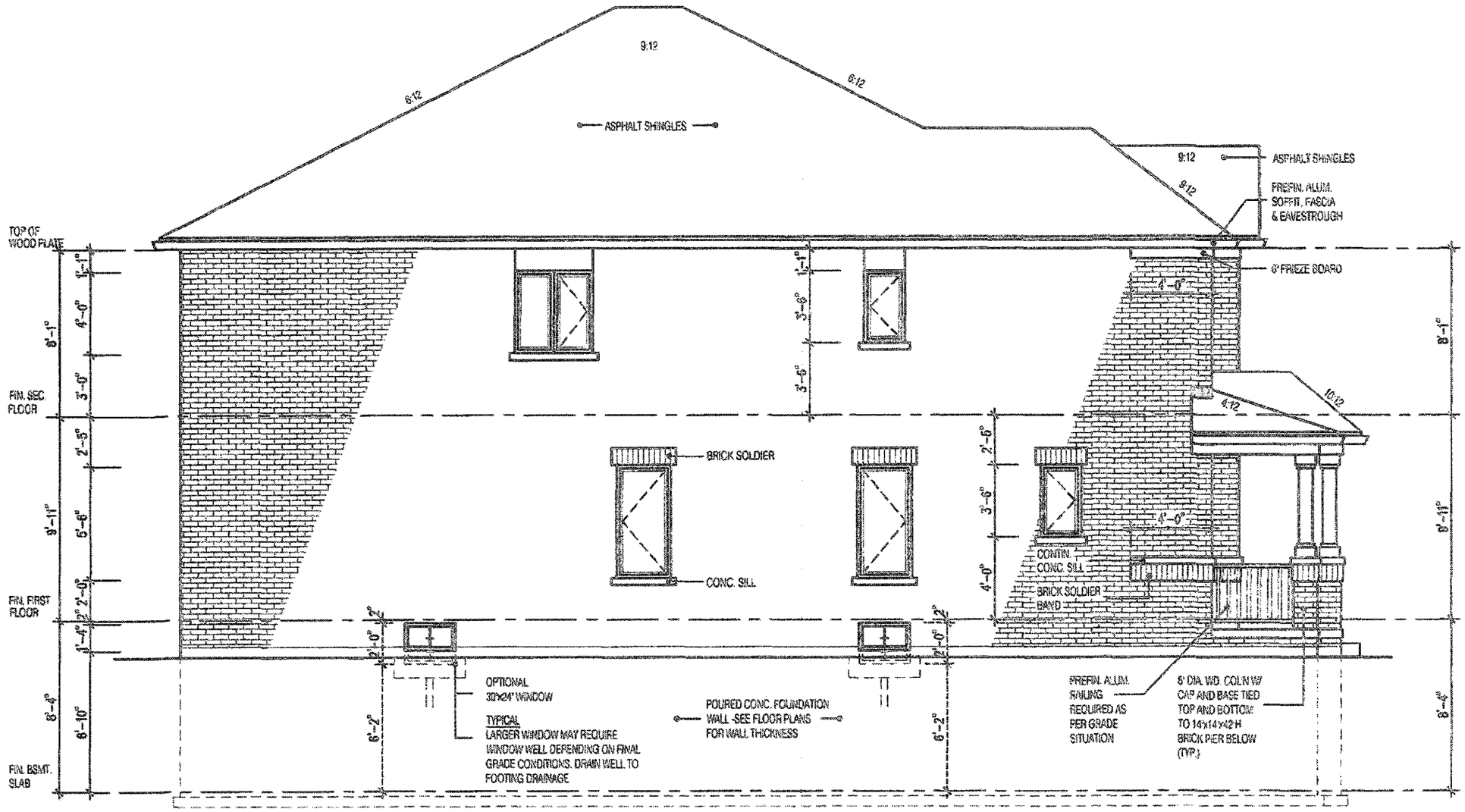
BILD

TYPE	AREA
T	—

SCALE 3/16"=1'-0"

PROJ. No.	DWG. No
08-18	4A

DRAWN BY:
DRAWING NAME: —



SIDE ELEVATION-1

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

UNPROTECTED OPENINGS

WALL AREA	1031
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDEYARD)	72.2
ACTUAL GLASS AREA	50.6

UNPROTECTED OPENINGS WITH OPTIONAL 32"X24" WINDOWS

WALL AREA	1031
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDEYARD)	72.2
ACTUAL GLASS AREA	53.5

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: _____
DATE: MAY 14, 2019

2402

11.0m LOTS

BARTON 1 (GR)
ELEVATION 1

ENERGY STAR

O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO CONTINUING WITH WORK.

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No:	DATE:	WORK DESCRIPTION:
7		
6		
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4		
3		
2	JAN. 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 11, 2018	COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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NAME	SIGNATURE	BCIN
Walter Botter		21031

REGISTRATION INFORMATION
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FIRM NAME	BCIN
jardin design group inc.	27763

SIDE ELEVATION 1

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD

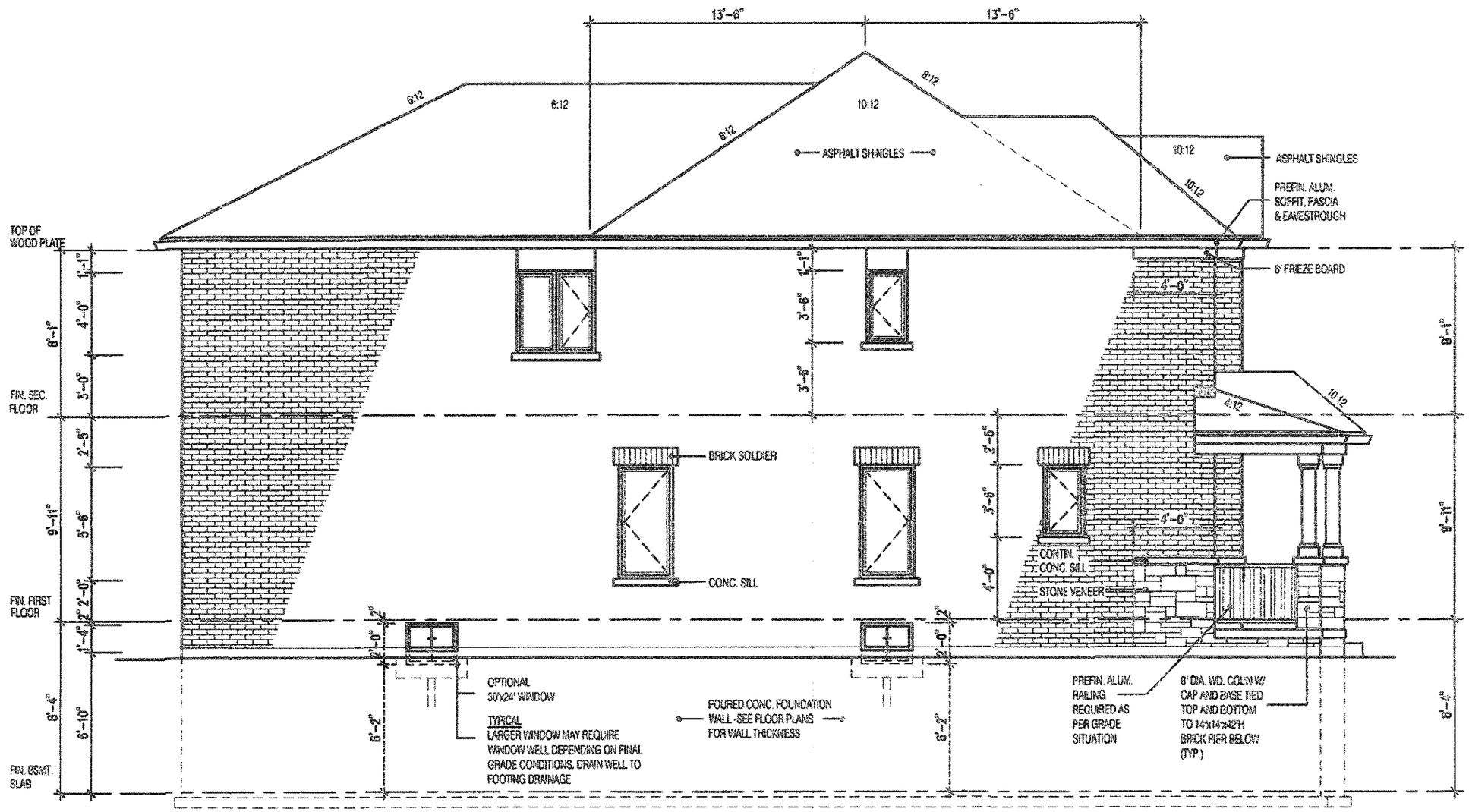
TYPE	AREA
T	---

SCALE: 3/16"=1'-0"

PROJ. No.	DWG. No.
08-18	5

DRAWN BY

DRAWING NAME: —



SIDE ELEVATION-2

UNPROTECTED OPENINGS

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ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDEYARD)	72.2
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RECEIVED
JUN 10 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY:
DATE: MAY 31, 2019

DRAWN BY
DRAWING NAME --

2402

11.0m LOTS

BARTON 1 (GR) ELEVATION 2

ENERGY STAR

O.REG. 332/12

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Walter Botter		21031

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FIRM NAME	BCIN
jardin design group inc.	27763

SIDE ELEVATION 2

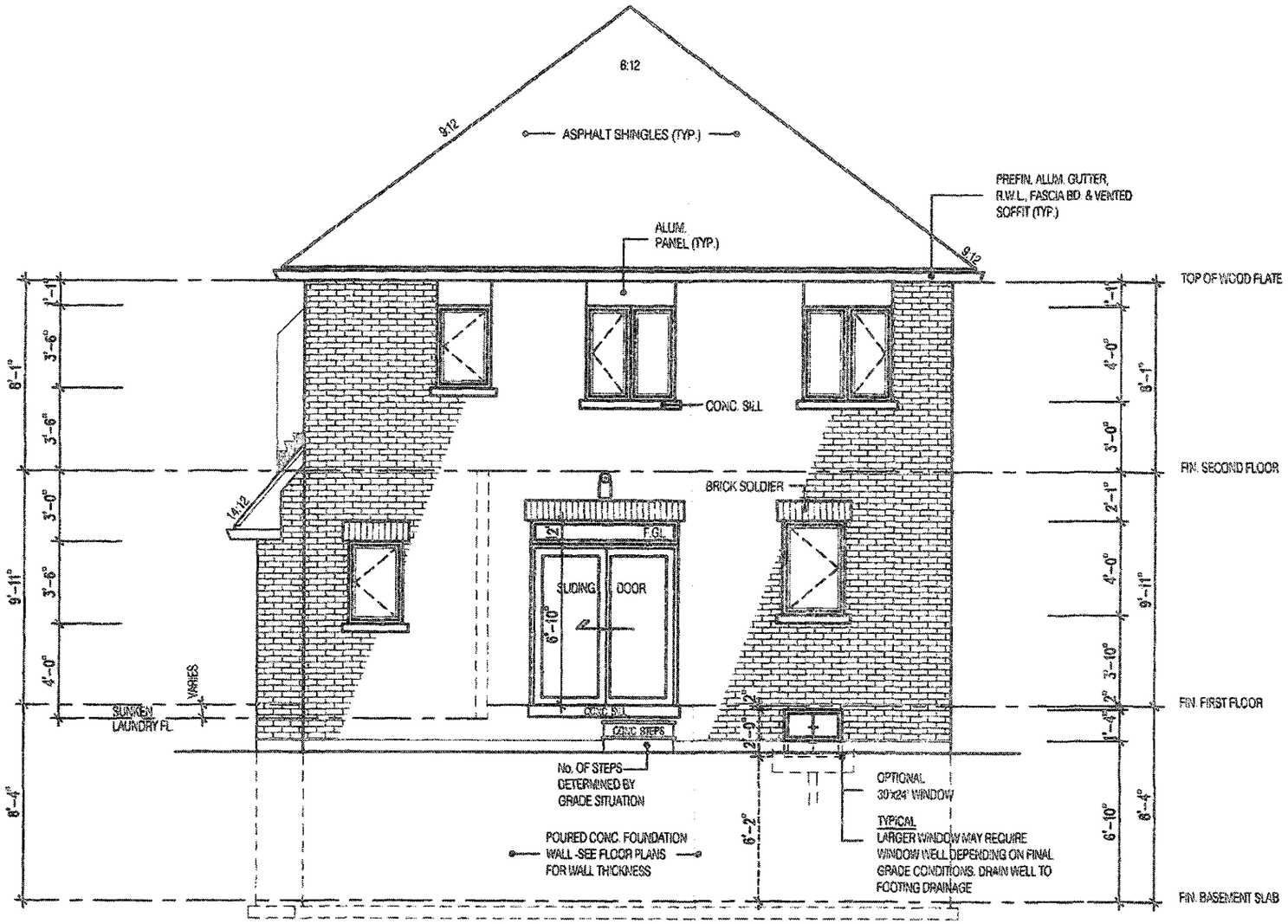
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD

TYPE	AREA
T	--

SCALE: 3/16"=1'-0"

PROJ. No.	DWG. No.
08-18	5A



REAR ELEVATION-1

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

2402

11.0m LOTS

BARTON 1 (GR)
ELEVATION 1

ENERGY STAR

O.REG. 332/12

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE MAY 31, 2019
This approval relates only to compliance with the Design Guidelines and does not imply compliance with any other regulations.

REAR ELEVATION 1

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD

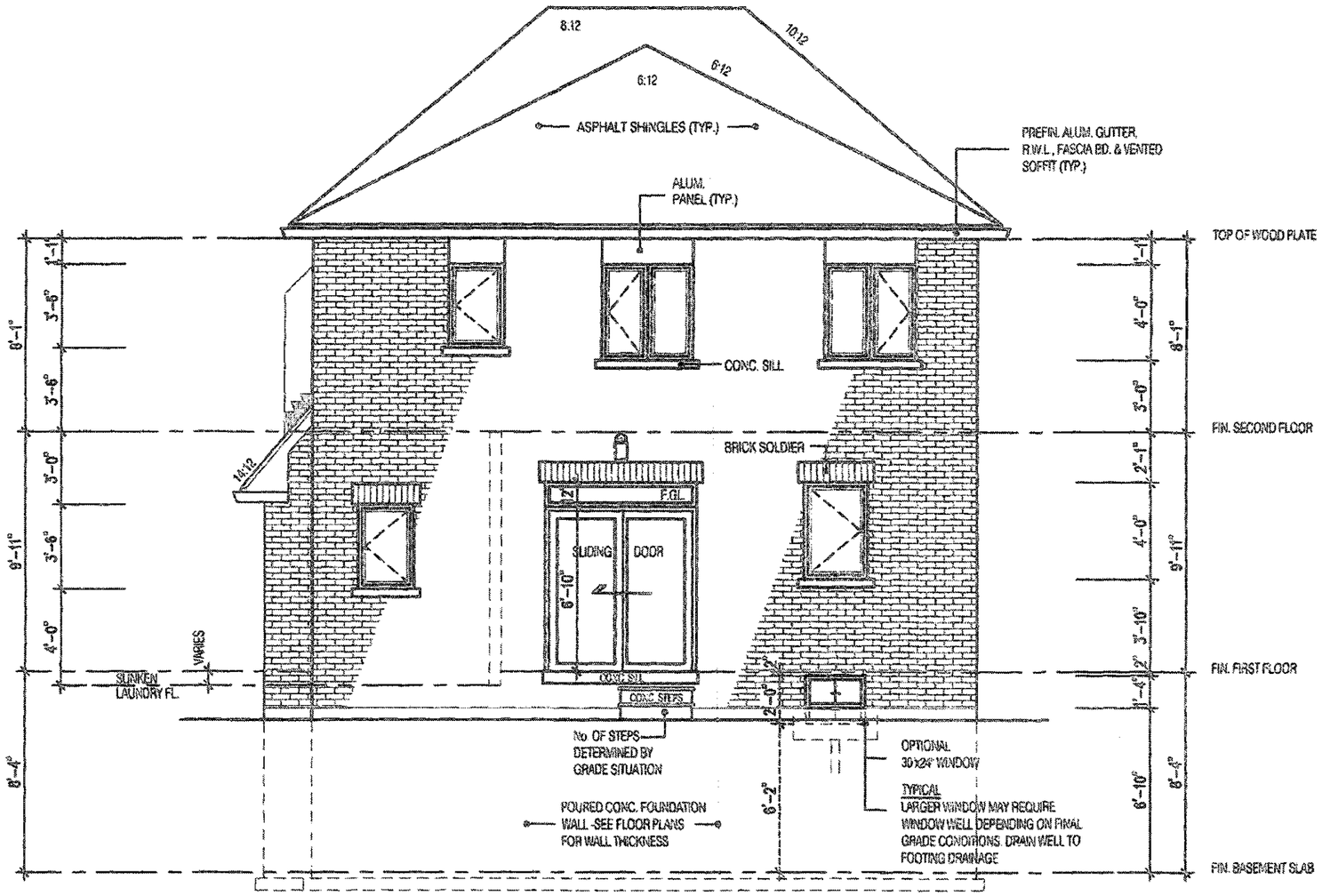
TYPE	AREA
T	—

SCALE 3/16"=1'-0"

PROJ. No	DWG. No.
08-18	6

DRAWN BY

DRAWING NAME –



REAR ELEVATION-2

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

RECEIVED
JUN 10 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO

2402

11.0m LOTS

BARTON 1 (GR)
ELEVATION 2

ENERGY STAR

O.REG. 332/12

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1	OCT. 11, 2018	COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT

jardin
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64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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NAME	SIGNATURE	BCIN
Walter Botter		21031

REGISTRATION INFORMATION
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FIRM NAME	BCIN
jardin design group inc.	27763

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE MAY 31, 2019

REAR ELEVATION 2

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

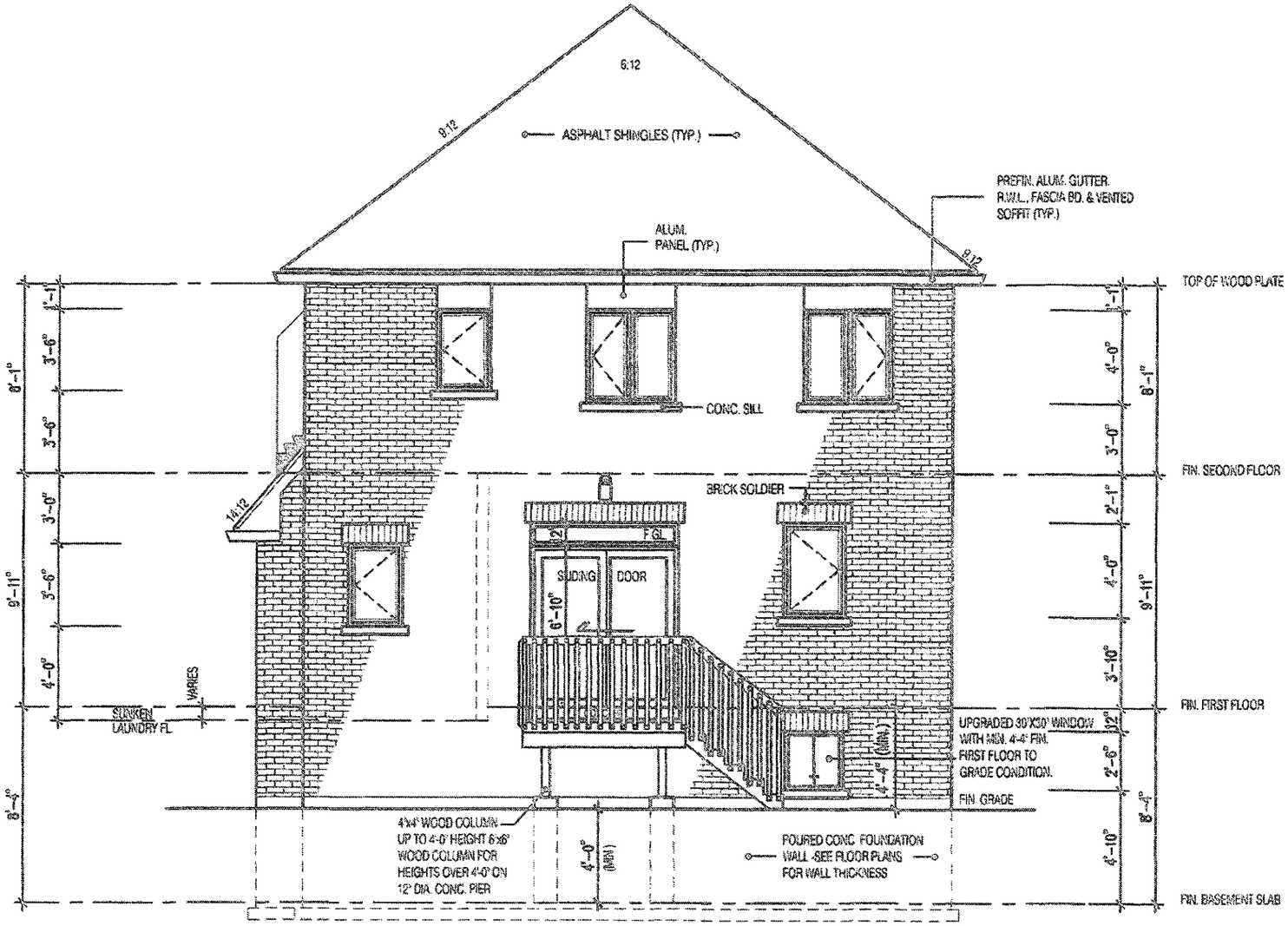
BILD

TYPE	AREA
T	---

SCALE: 3/16" = 1'-0"

PROJ. No.	DWG. No.
08-18	6A

DRAWN BY | DRAWING NAME –



REAR ELEVATION 1
DECK CONDITION

FOR ADDITIONAL DECK STRUCTURE REFER TO PAGE 7 OF THE DETAIL PACKAGE

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

MAR 21 2019

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

NOTE:

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.
(FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: _____
DATE: MAY 31 2019
This approval is conditional upon the Building Permit Drawings being identical to those reviewed and approved.

2402
11.0m LOTS
BARTON 1 (GR)
ELEVATION 1
ENERGY STAR
O.REG. 332/12

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2	JAN. 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 11, 2018	COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT

jardin DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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NAME	SIGNATURE	BCIN
Walter Batter		21031

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

FIRM NAME	BCIN
jardin design group inc.	27763

DECK CONDITION EL-1

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

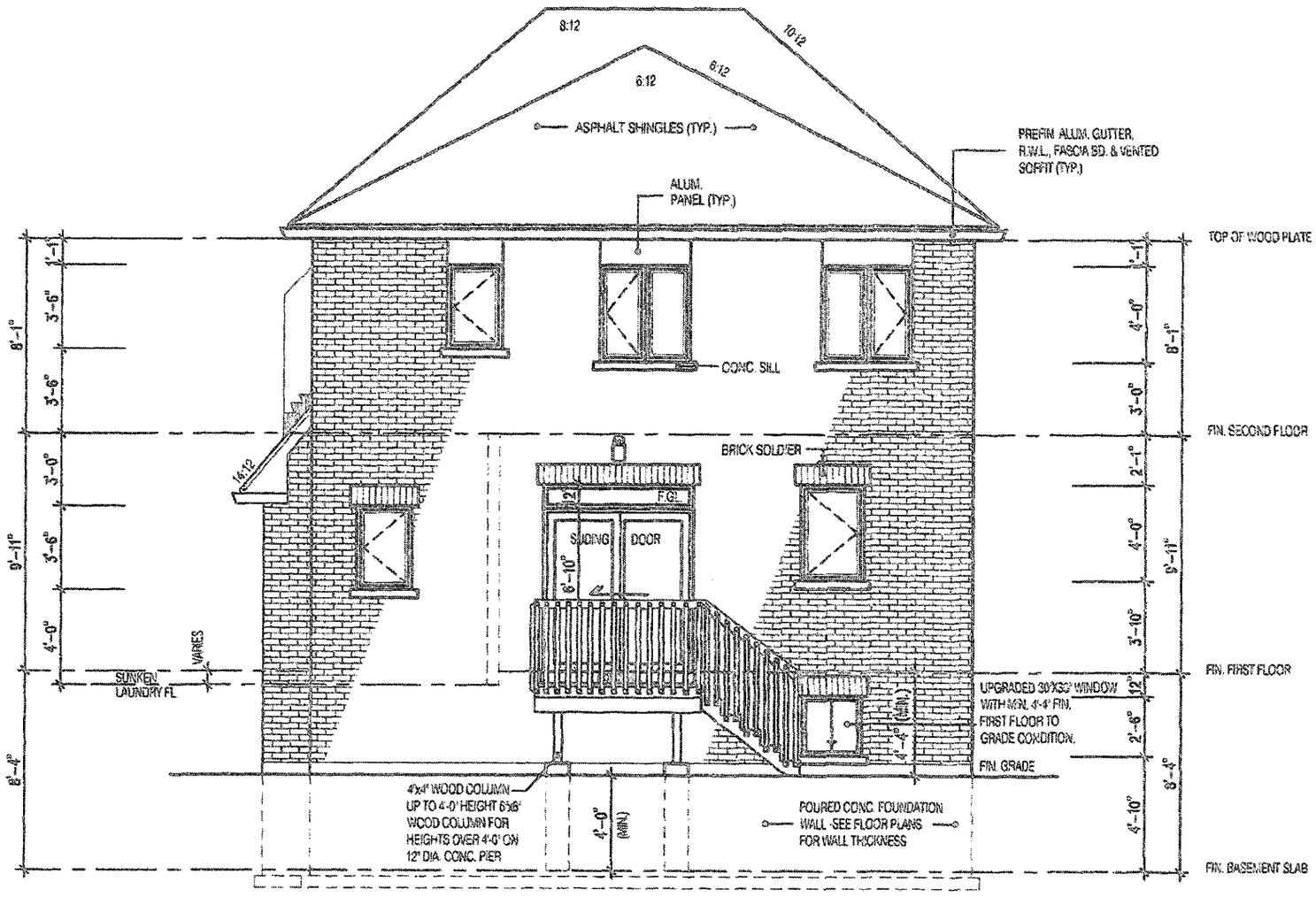
BILD

TYPE	AREA
T	---

SCALE 3/16"=1'-0"

PROJ. No.	DWG. No.
08-18	6-1

DRAWN BY: | DRAWING DATE: --



REAR ELEVATION 2
DECK CONDITION

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FOR ADDITIONAL DECK STRUCTURE REFER TO PAGE 7 OF THE DETAIL PACKAGE

RECEIVED
JUN 1 8 2019
TOWN OF CALEDON BUILDING SECTION FILE NO

MAR 2 1 2019

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ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE May 31, 2019

2402
11.0m LOTS
BARTON 1 (GR) ELEVATION 2
ENERGY STAR
O.REG. 332/12

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Walter Botter		21031

REGISTRATION INFORMATION
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FIRM NAME	BCIN
jardin design group inc.	27763

DECK CONDITION EL-2

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

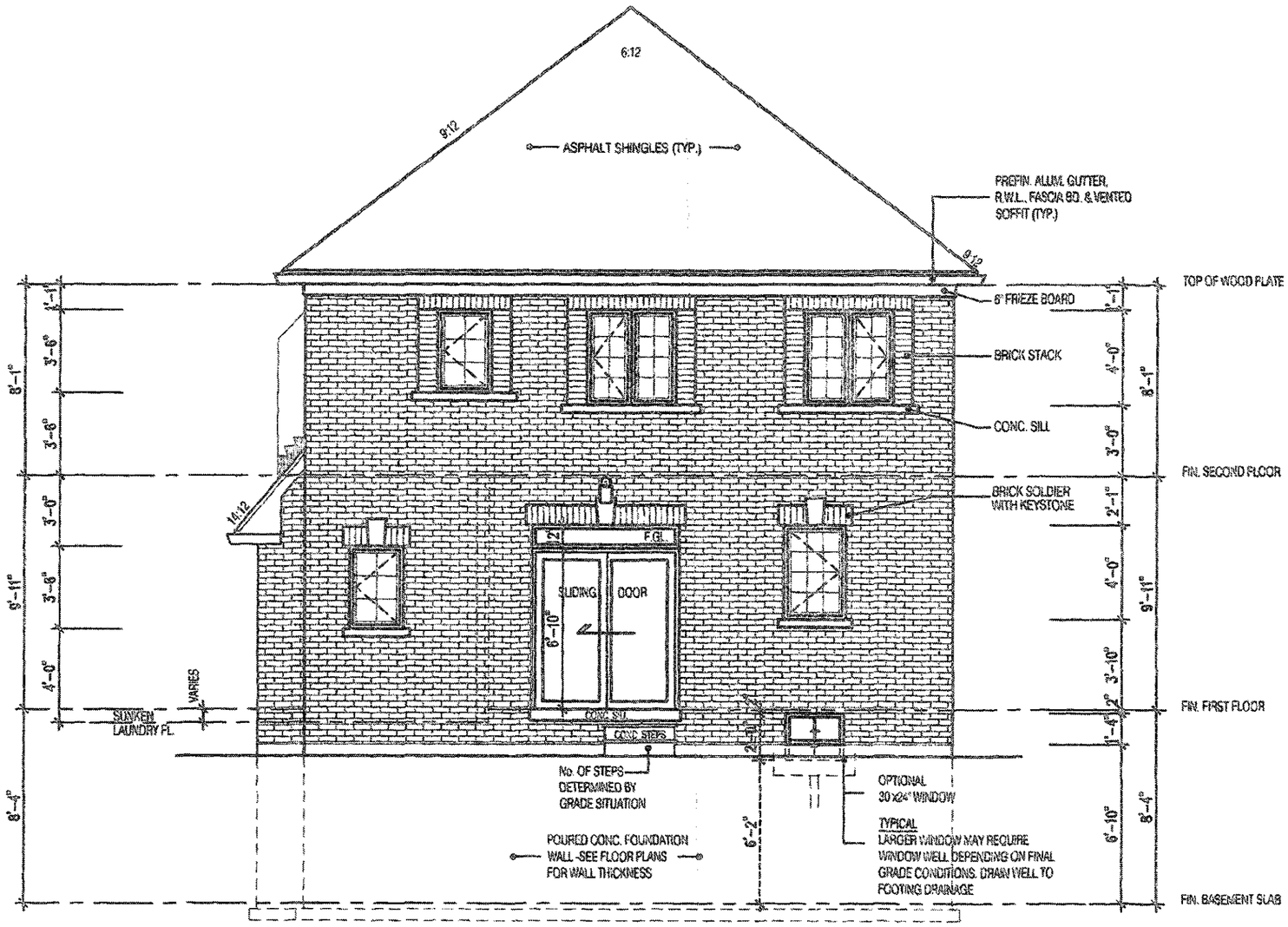
BILD

TYPE	AREA
T	—

SCALE: 3/16" = 1'-0"

PROJ. No.	DWG. No.
08-18	6A-1

DRAWN BY: DRAWING NAME: --



REAR ELEVATION-1 UPGRADE

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ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE MAY 31, 2019

2402

11.0m LOTS

BARTON 1 (GR) ELEVATION 1

ENERGY STAR

O.REG. 332/12

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter		21031
NAME	SIGNATURE	BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc.	27763
FIRM NAME	BCIN

REAR ELEVATION 1

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

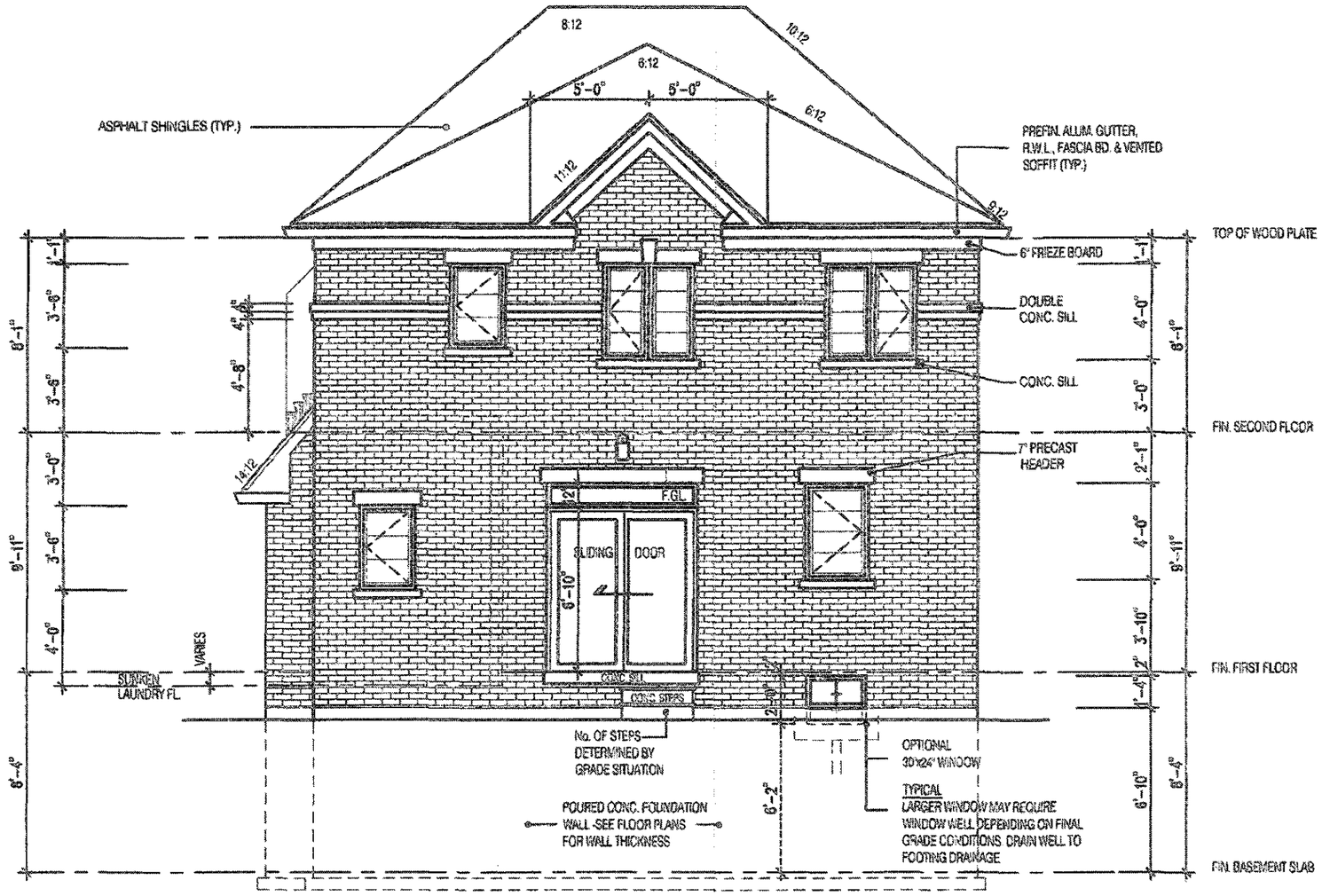
BILD

TYPE	AREA
T	----

SCALE 3/16" = 1'-0"

PROJ. No	DWG. No.
08-18	6-2

DRAWN BY | DRAWING NAME –



REAR ELEVATION-2 UPGRADE

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JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL ARCHITECT AND APPROVAL
APPROVED BY: _____
DATE: MAY 31, 2019

2402

11.0m LOTS

BARTON 1 (GR) ELEVATION 2

ENERGY STAR

O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REFERRED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

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No:	DATE:	WORK DESCRIPTION:
7		
6		
5		
4		
3		
2	JAN. 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 11, 2018	COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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NAME	SIGNATURE	BCIN
Walter Botter		21031

REGISTRATION INFORMATION
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FIRM NAME	BCIN
jardin design group inc.	27763

REAR ELEVATION 2

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

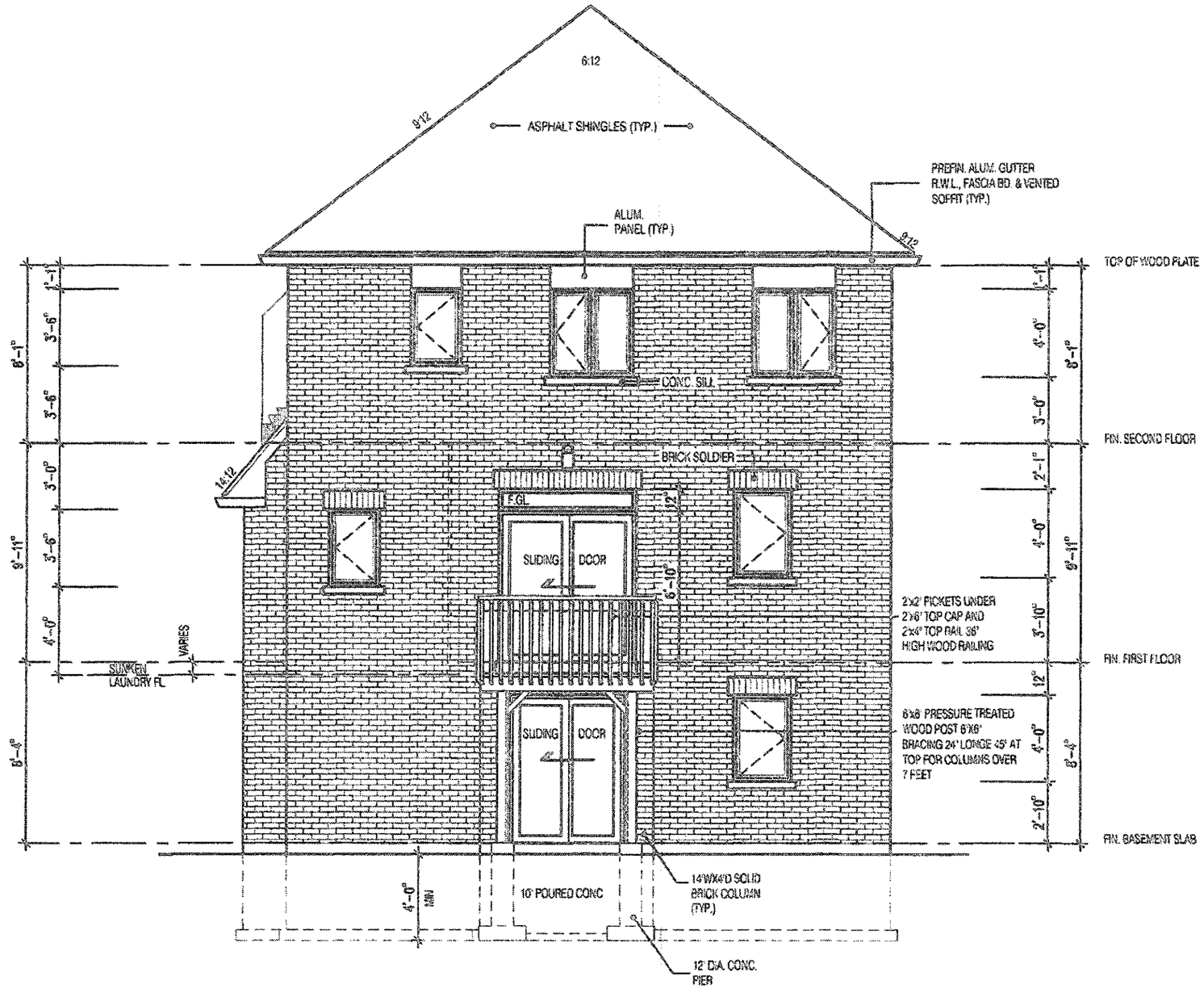
BILD

TYPE	AREA
T	----

SCALE: 3/16" = 1'-0"

PROJ. No.	DWG. No
08-18	6A-2

DRAWN BY | DRAWING NAME –



REAR ELEVATION 1 FOR WALK-OUT / DECK CONDITON

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

FOR ADDITIONAL DECK STRUCTURE REFER TO PAGE 7-1 OF THE DETAIL PACKAGE

MAR 2 1 2019

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

NOTE:

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.
(FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY
DATE MAY 31, 2019

DRAWN BY | DRAWING NAME

2402
11.0m LOTS
BARTON 1 (GR)
ELEVATION 1
ENERGY STAR
O.REG. 332/12

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Walter Botter		21031

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FIRM NAME	BCIN
jardin design group inc.	27763

WALK-OUT / DECK CONDITION EL-1

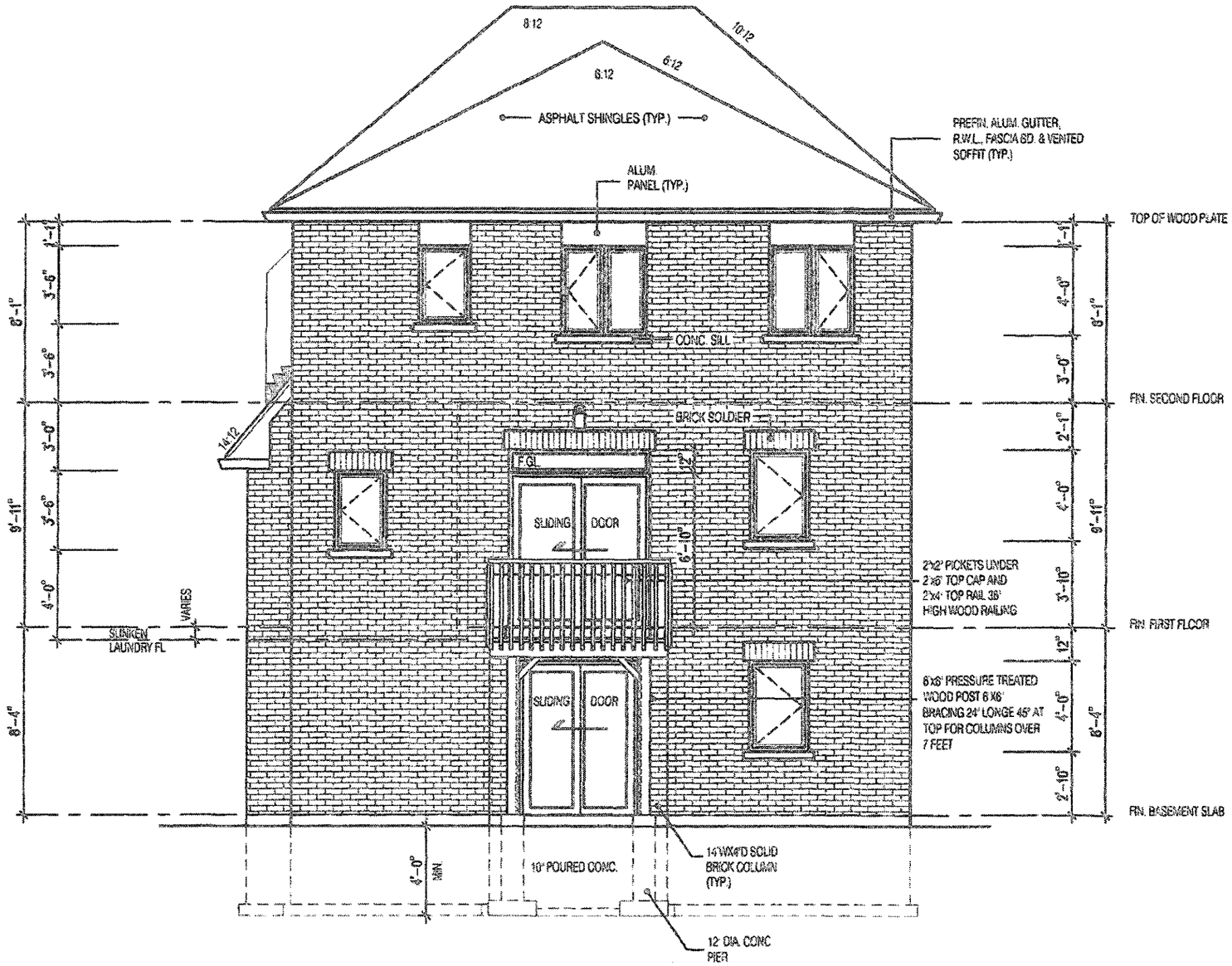
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD

TYPE	AREA
T	---

SCALE: 3/16"=1'-0"

PROJ. No.	DWG. No.
08-18	6-3



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REAR ELEVATION 2 FOR WALK-OUT / DECK CONDITON

FOR ADDITIONAL DECK STRUCTURE REFER TO PAGE 7-1 OF THE DETAIL PACKAGE

MAR 2 1 2019

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL ARCHITECT
APPROVED BY
DATE MAY 31, 2019

DRAWN BY: | DRAWING NAME:

2402
11.0m LOTS
BARTON 1 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12

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Walter Botter		21031

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FIRM NAME	BCIN
jardin design group inc.	27763

WALK-OUT / DECK CONDITION EL-2

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

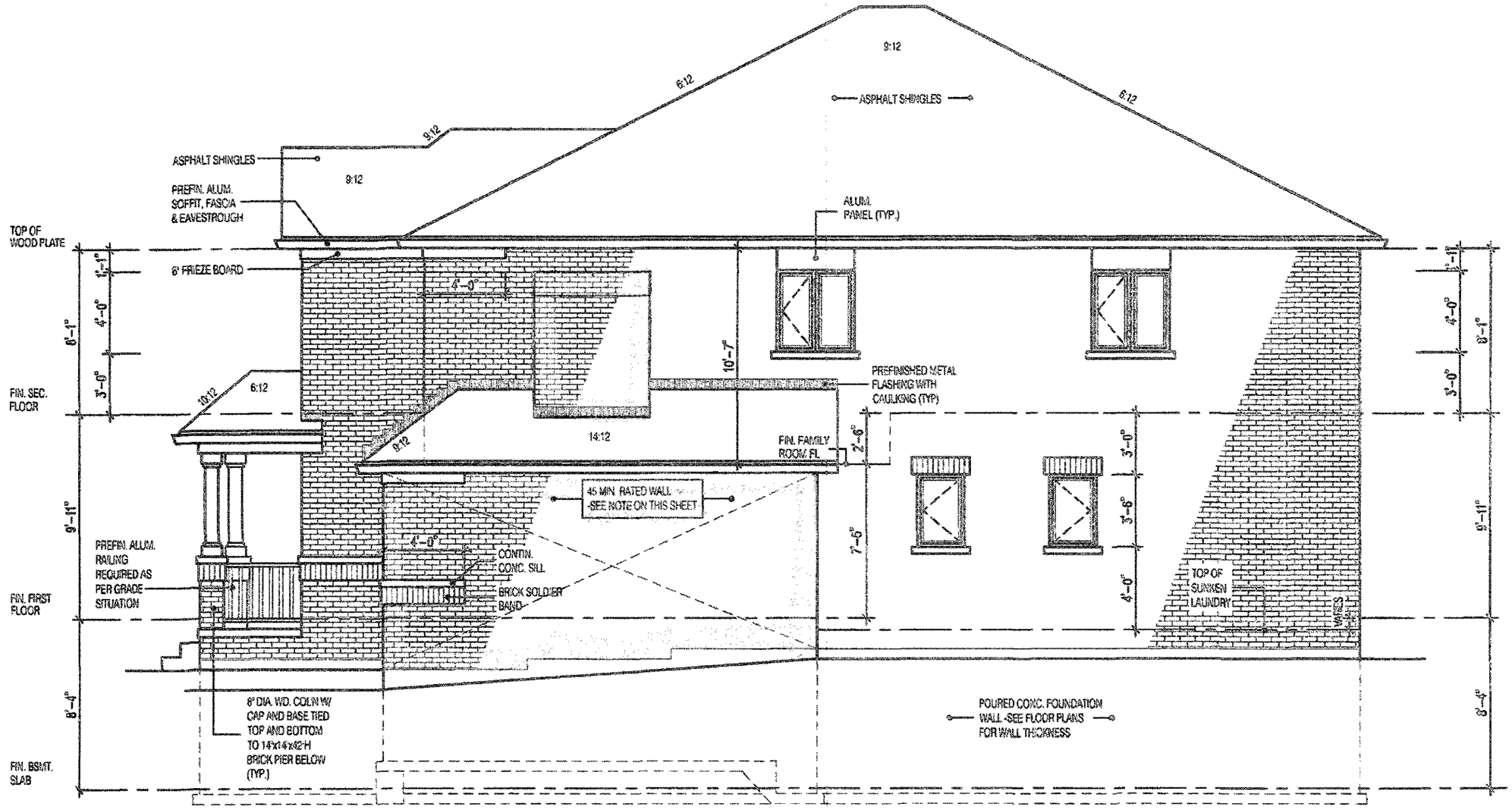
BILD

TYPE	AREA
T	---

SCALE: 3/16"=1'-0"

PROJ. No.: 08-18

DWG. No.: 6A-3



SIDE ELEVATION-1

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

UNPROTECTED OPENINGS

WALL AREA	1062 ϕ
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDEYARD)	74.3 ϕ
ACTUAL GLASS AREA	36.0 ϕ

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER 12.7mm (1/2") TYPE "X" GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M AND MUST FILL AT LEAST 90%%% OF THE CAVITY THICKNESS. THE TYPE "X" & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE "X" IS INSTALLED IN GARAGE EXTERIOR WALLS.

(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)

HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED AT HEADER

PROVIDE 15.9mm (5/8") TYPE "X" GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL ARCHITECT
APPROVED
APPROVED BY
DATE MAY 31, 2012

2402

11.0m LOTS

BARTON 1 (GR) ELEVATION 1

ENERGY STAR

O.REG. 332/12

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No:	DATE:	WORK DESCRIPTION:
7		
6		
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3		
2	JAN. 17, 2013	ISSUED FOR BUILDING PERMIT
1	OCT. 11, 2010	COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT

jardin DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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NAME	SIGNATURE	BCIN
Walter Botter		21031

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FIRM NAME	BCIN
jardin design group inc.	27763

SIDE ELEVATION 1

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD

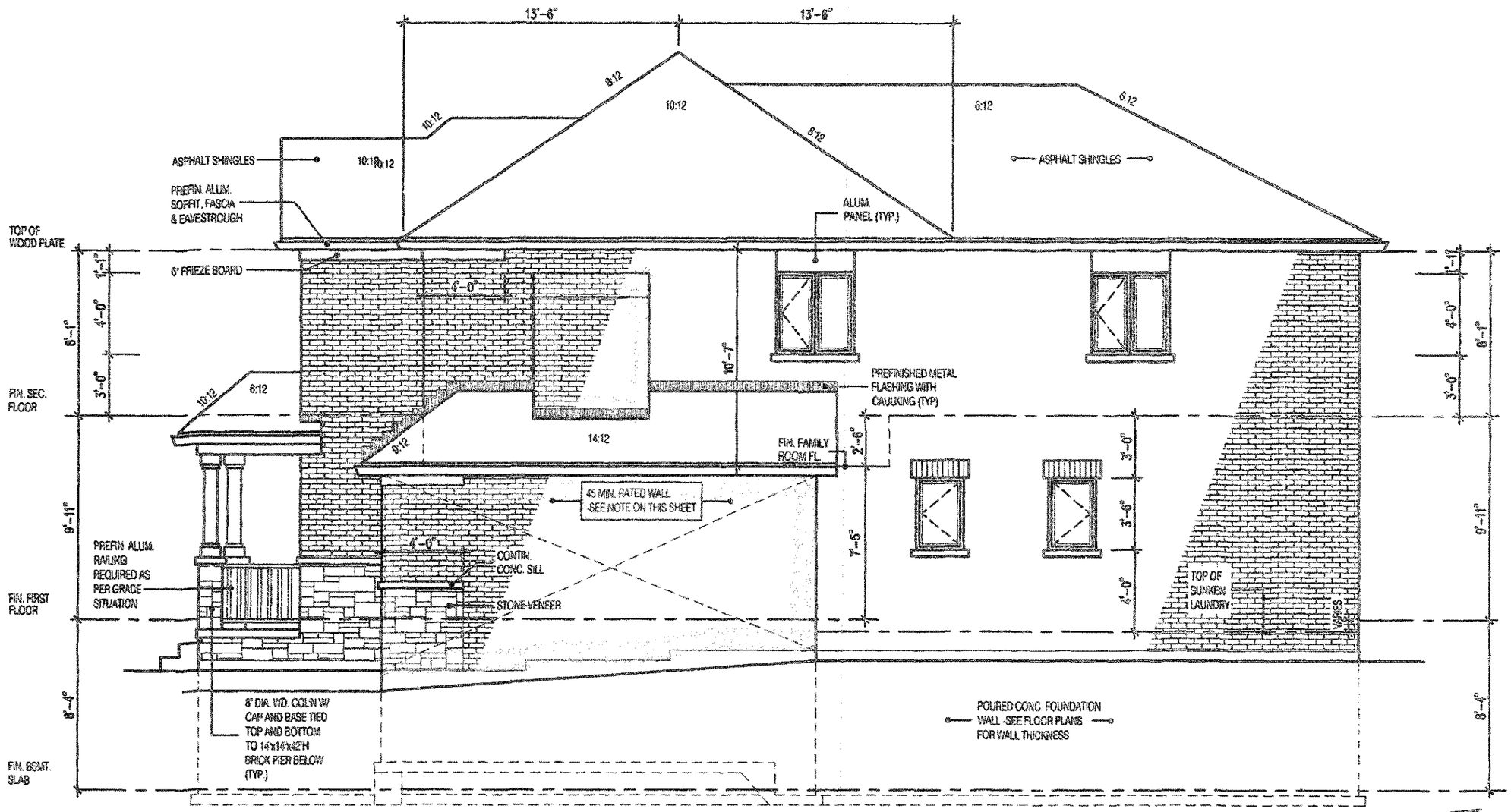
TYPE	AREA
T	---

SCALE: 3/16"=1'-0"

PROJ. No.	DWG. No.
08-18	7

DRAWN BY

DRAWING NAME



SIDE ELEVATION-2

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UNPROTECTED OPENINGS

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ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDEYARD)	74.3 ϕ
ACTUAL GLASS AREA	36.0 ϕ

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RECEIVED
JUN 10 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER 12.7mm (1/2") TYPE "X" GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M AND MUST FILL AT LEAST 80%% OF THE CAVITY THICKNESS. THE TYPE "X" & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE "X" IS INSTALLED IN GARAGE EXTERIOR WALLS.

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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE MAY 22, 2018

2402

11.0m LOTS

BARTON 1 (GR) ELEVATION 2

ENERGY STAR

O.REG. 332/12

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Walter Botter		21031

REGISTRATION INFORMATION
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FIRM NAME	BCIN
jardin design group inc.	27763

SIDE ELEVATION 2

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD

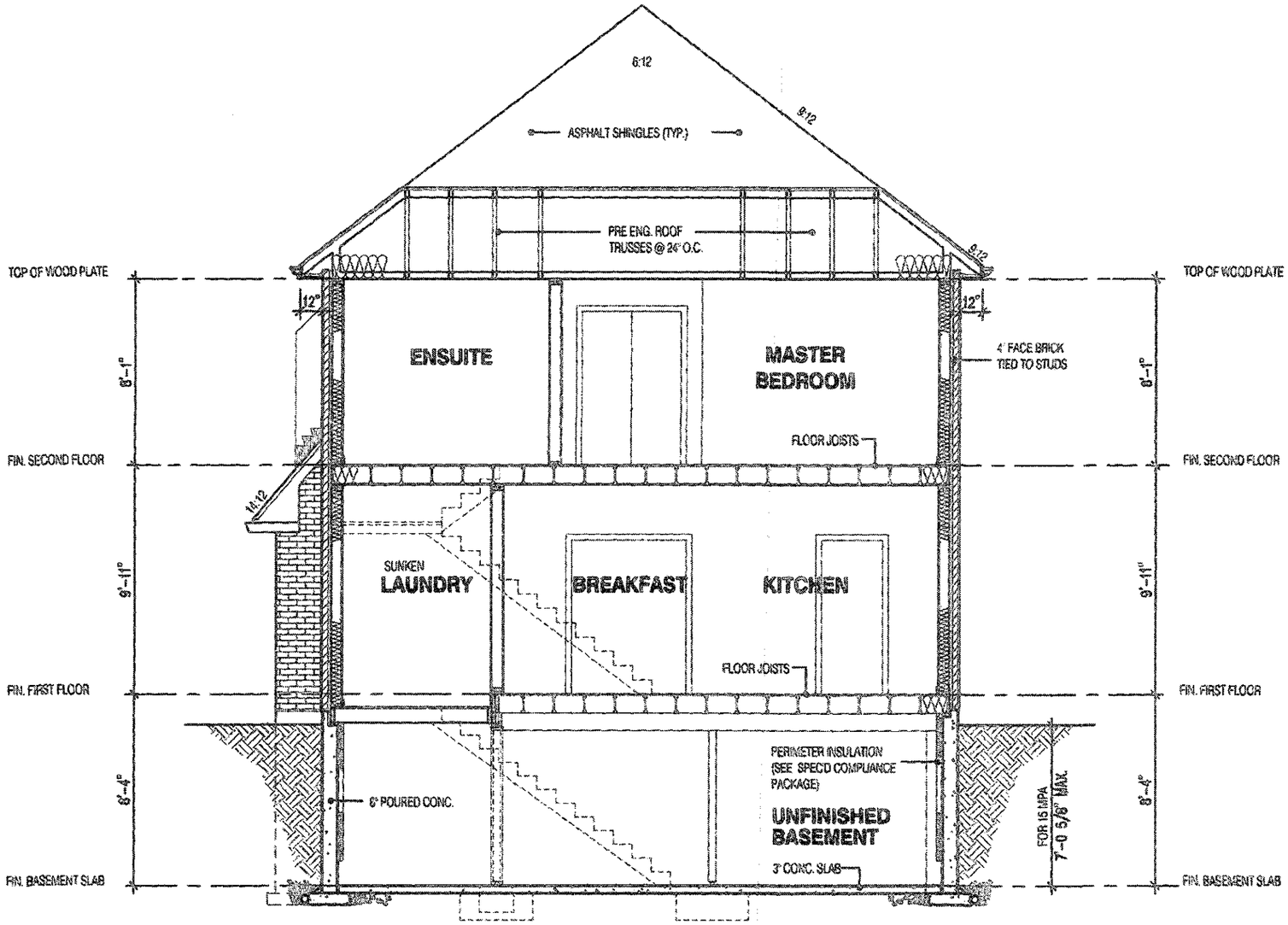
TYPE	AREA
T	---

SCALE 3/16"=1'-0"

PROJ. No.	DWG. No.
08-18	7A

DRAWN BY

DRAWING NAME



SECTION A-A
ELEVATION 1

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2402

11.0m LOTS

BARTON 1 (GR)
ELEVATION 1

ENERGY STAR

O.REG. 332/12

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

FOR STRUCTURAL ONLY

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jardin design group inc.	27763

SECTION ELEVATION 1

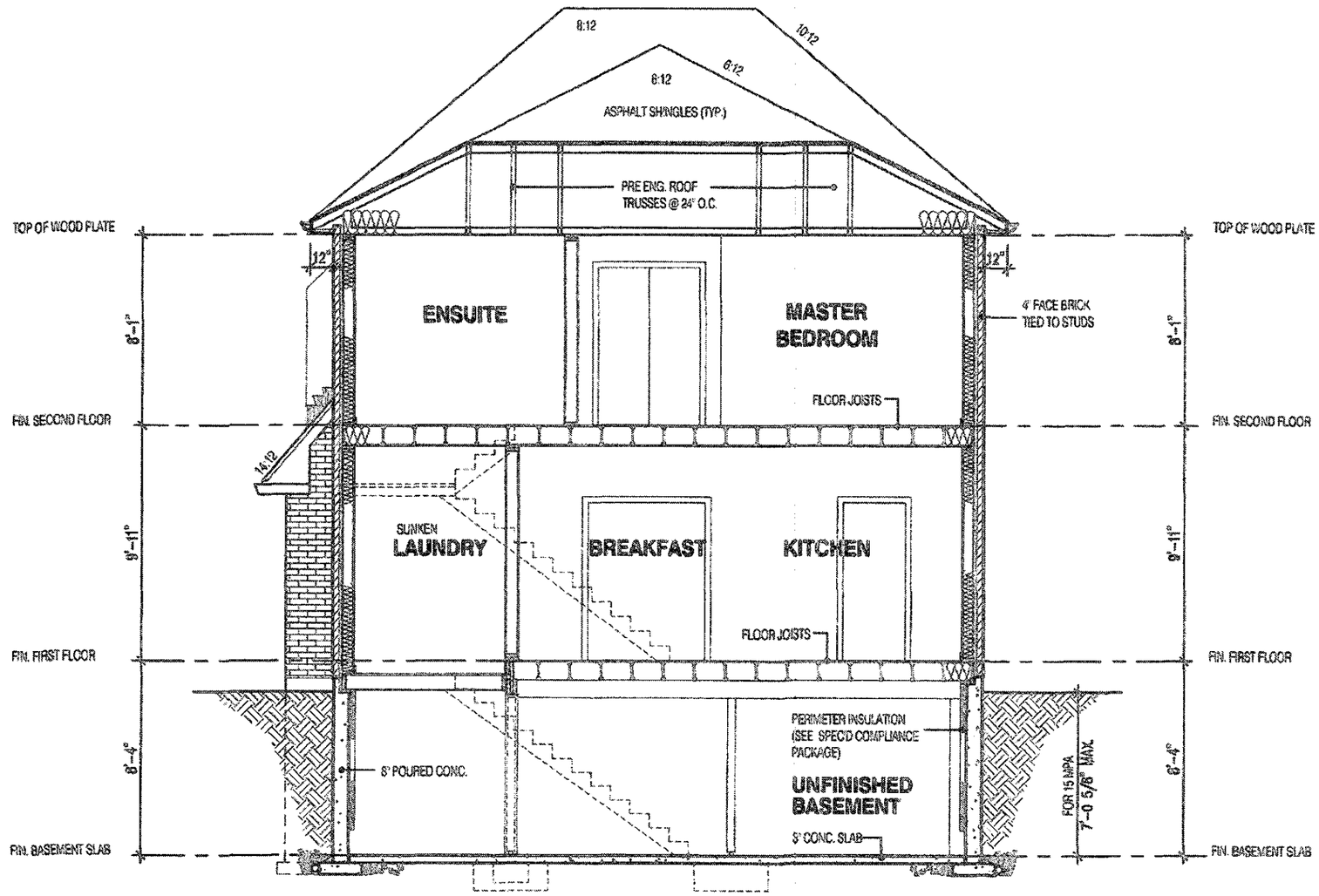
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD

TYPE	AREA
T	—

SCALE: 3/16"=1'-0"

PROJ. No.	DWG. No.
08-18	8



SECTION A-A
ELEVATION 2

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

DRAWN BY

DRAWING NAME –

2402

11.0m LOTS

BARTON 1 (GR)
ELEVATION 2

ENERGY STAR

O.REG. 332/12

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER
R. MARINKOVIC
PROVINCE OF ONTARIO

FOR STRUCTURAL ONLY

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERED INFORMATION INCLUDED ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

No:	DATE:	WORK DESCRIPTION:
7		
6		
5		
4		
3		
2	JAN. 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 11, 2018	COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

NAME	SIGNATURE	BCIN
Walter Botter		21031

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

FIRM NAME	BCIN
jardin design group inc.	27763

SECTION ELEVATION 2

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD

TYPE	AREA
T	----

SCALE: 3/16"=1'-0"

PROJ. No	DWG. No.
08-18	8A