
STORM CONNECTION

SANITARY CONNECTION

W---

WATER CONNECTION

H---

HYDRO CONNECTION

□

DOUBLE CATCH BASIN

○

CATCH BASIN

⊕

HYDRANT

⊗

VALVE AND CHAMBER

△

ENTRANCE DOOR LOCATION

▲

GARAGE DOOR LOCATION

✱

ENGINEERED FILL LOT

●

SANITARY MANHOLE

○

STORM MANHOLE

MAIL

COMMUNITY MAILBOX

○

DOWNSPOUT LOCATION

→

SWALE DIRECTION

●

STREET LIGHT

▲

TRANSFORMER

⊠

CABLE TV PEDESTAL

■

BELL PEDESTAL

⊕

HYDRO METER

⊗

GAS METER

⊠

AIR-CONDITIONING UNIT

SP

SUMP PUMP

F.FLR.

FINISHED FLOOR ELEVATION

T.WALL

TOP OF FOUNDATION WALL

F.SLAB

FIN. BASEMENT FLOOR SLAB

U/FTG.

UNDERSIDE FOOTING ELEVATION

|||||

PROPOSED 3:1 SLOPE

100.00

PROPOSED GRADE

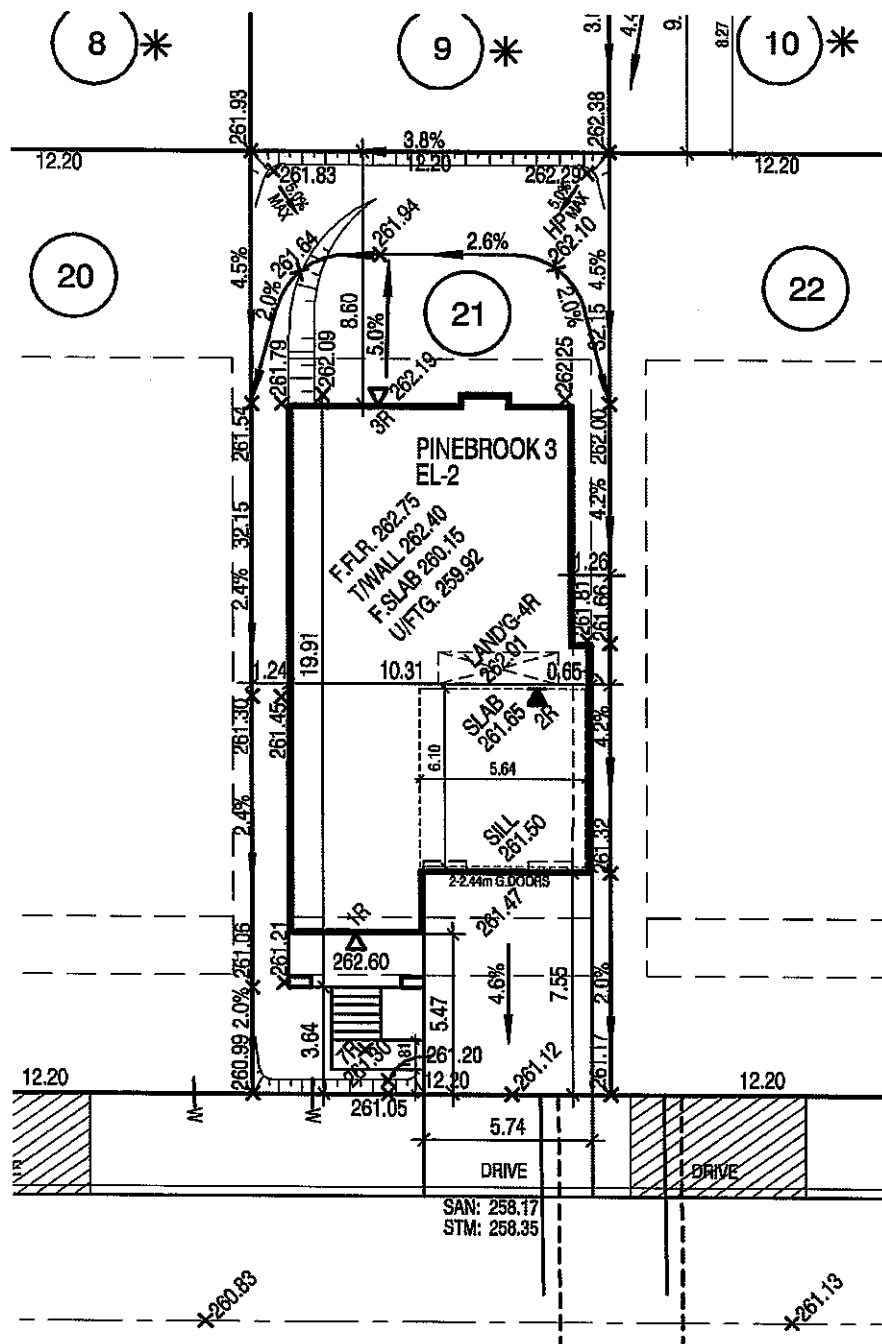
(100.00)

EXISTING GRADE

SW

PROPOSED SWALE GRADE

×100.00



ALLANGROVE AVENUE

45 MINUTE RATED WALL
WITH SIDE YARD < 1.2m

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of East Gwillimbury.

ARCHITECTURAL REVIEW & APPROVAL
NOV 28 2018
John G. Williams Limited, Architect

LOT GRADING



REVIEWED	<input type="checkbox"/>
REVIEWED AS MODIFIED	<input type="checkbox"/>
REVISE AND RE-SUBMIT FOR REVIEW	<input type="checkbox"/>
NOT REVIEWED	<input type="checkbox"/>

This review by the undersigned is for the sole purpose of ascertaining conformance with the general grading concept, but no approval is given or responsibility assumed by the undersigned for correctness of dimensions or details or conformity to zoning by-law, which remain the responsibility of the architect.
Builder to verify lateral elevations prior to digging foundation.

Date November 21/18 By Martin Mon

NOTE:
BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AND HIS OWN EXPENSE.

NOTE:
BUILDER TO VERIFY SANITARY AND STORM INVERT ELEVATIONS PRIOR TO EXCAVATION FOR FOOTINGS.

5		
4		
3		
2	NOV. 21, 2018	ISSUED FOR PERMIT
1	NOV. 14, 2018	ISSUED FOR ENGINEERS GRADING REVIEW.

REVISIONS:

SCALE 1:250

5m

0m

5m

10m

SECONDO VALES ESTATES INC.

PROJ. No. 17-41

LOT No. 21

MUNICIPAL ADDRESS

REG. PLAN

PLAN OF SUBDIVISION OF PART OF PART OF LOT 11, CONCESSION 2, TOWN OF EAST GWILLIMBURY (GEOGRAPHIC TOWNSHIP OF EAST GWILLIMBURY) REGIONAL MUNICIPALITY OF YORK REGISTERED PLAN 65M.

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code.

Walter Botter

NAME

21031

BCIN

SIGNATURE

REGISTRATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.4 of the Building Code.

jardin design group inc.

27763

FIRM NAME

BCIN

64 JARDIN DR. SUITE 3A

VAUGHAN ONT. L4K 3P3

TEL: 905 660-3377 FAX: 905 660-3713

EMAIL: info@jardindesign.ca

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

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AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

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