

HOLLAND 14 ELEV-1 TH 51-1      HOLLAND 3A ELEV-1A TH 51-2      HOLLAND 3A ELEV-1 TH 51-3      HOLLAND 8E ELEV-1 TH 51-4

**BLOCK 51**

**NOTE:**  
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS DRAWINGS BY MANUFACTURER

**NOTE:**  
REFER TO GRADING PLAN FOR NUMBER OF STEPS

**NOTE:**  
ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

**REFER TO INDIVIDUAL UNITS FOR THE FOLLOWING:**

- GROUND FLOOR ROOF STRUCTURE
- BASEMENT AND GROUND FLOOR LINTELS
- GROUND FLOOR AND SECOND FLOOR STRUCTURE
- DOUBLE VOLUME WALL LOCATION AND DETAILS
- CONCRETE SLABS

**TOWN OF EAST GWILLIMBURY**  
Building Department

These plans have been reviewed for use with the conditions as noted. No other changes may be made without written approval of the Building Department. All work must comply with the Ontario Building Code, and the Building Permit must be kept on site at all times.

THESE DOCUMENTS WERE REVIEWED AND EXAMINED BY: *[Signature]*  
DATE: **NOV 26 2018**

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ARCHITECTURAL REVIEW AND APPROVAL  
TOWN OF EAST GWILLIMBURY

Signed: \_\_\_\_\_  
Date: **OCT 31 2018**  
JOHN G. WILLIAMS LIMITED  
ARCHITECT

**STRIP FOOTINGS - FOR 3 STOREY CLOVER SERIES TOWNHOUSES**  
REFER TO FOUNDATION PLAN FOR DIMENSIONS AND FOOTING DETAIL FOR REINFORCEMENT

FOOTINGS ON NATIVE SOIL (120kPa / 17.4 psi)  
20"x6" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS AS NOTED ON PLANS  
32"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED)  
32"x8" CONCRETE STRIP FOOTINGS (WITH REINF.) BELOW PARTY WALLS

FOOTINGS ON ENGINEERED FILL (90kPa / 13.0 psi)  
24"x8" CONCRETE STRIP FOOTINGS - WITH REINF. AS NOTED ON PLANS  
32"x8" CONCRETE STRIP FTGS BELOW EXT. WALLS - WITH REINF. (UNLESS OTHERWISE NOTED)  
44"x8" CONCRETE STRIP FOOTINGS - WITH REINF. - BELOW PARTY WALLS

ASSUMED 120kPa / 17.4psi BEARING CAPACITY FOR NATIVE SOIL OR 90 kPa / 13.0psi FOR ENGINEERED FILL TO BE VERIFIED ON SITE

**STRIP FOOTINGS - FOR 2 STOREY CLOVER SERIES TOWNHOUSES**  
REFER TO FOUNDATION PLAN FOR DIMENSIONS AND FOOTING DETAIL FOR REINFORCEMENT

FOOTINGS ON NATIVE SOIL (120kPa / 17.4 psi)  
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32"x8" CONCRETE STRIP FOOTINGS (WITH REINF.) BELOW FIRE WALL

FOOTINGS ON ENGINEERED FILL (90kPa / 13.0 psi)  
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32"x8" CONCRETE STRIP FOOTINGS - WITH REINF. - BELOW PARTY WALLS  
44"x8" CONCRETE STRIP FOOTINGS - WITH REINF. - BELOW FIRE WALL

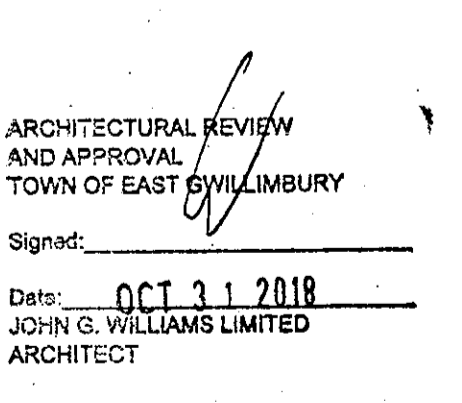
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**NOTE:**  
WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED. (FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)

**TYPICAL PAD FOOTING**

120 kPa NATIVE SOIL	90 kPa ENGINEERED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD	F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x18" CONCRETE PAD	F2 = 42"x42"x20" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD	F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD	F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD	F5 = 18"x18"x8" CONCRETE PAD

REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART



**RECEIVED**  
NOV 06 2018  
TOWN OF EAST GWILLIMBURY  
BUILDING DEPARTMENT  
ROLL #

**APPLICANT COPY**

**STRUDET INC.**

**REGISTERED PROFESSIONAL ENGINEER**  
B. MARINKOVIC  
PROVINCE OF ONTARIO

**FOR STRUCTURE ONLY**

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DATE: \_\_\_\_\_ WORK DESCRIPTION: \_\_\_\_\_

**jardin DESIGN GROUP INC**  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

Walter Botter 21031  
NAME REGISTRATION NUMBER  
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

**BASMENT PLAN**  
SECOND OVALES ESTATES  
EAST GWILLIMBURY

SCALE: 1/8" = 1'-0"  
17-41

**NOTE:**  
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- CONCRETE SLABS

**TOWN OF EAST GWILLIMBURY**  
Building Department

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THESE DOCUMENTS WERE REVIEWED AND EXAMINED BY: *[Signature]*  
DATE: **NOV 26 2018**

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ARCHITECTURAL REVIEW AND APPROVAL  
TOWN OF EAST GWILLIMBURY

Signed: \_\_\_\_\_  
Date: **OCT 31 2018**  
JOHN G. WILLIAMS LIMITED  
ARCHITECT

**STRIP FOOTINGS - FOR 3 STOREY CLOVER SERIES TOWNHOUSES**  
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ASSUMED 120kPa / 17.4psi BEARING CAPACITY FOR NATIVE SOIL OR 90 kPa / 13.0psi FOR ENGINEERED FILL TO BE VERIFIED ON SITE

**STRIP FOOTINGS - FOR 2 STOREY CLOVER SERIES TOWNHOUSES**  
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F4 = 24"x24"x12" CONCRETE PAD	F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD	F5 = 18"x18"x8" CONCRETE PAD

REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART

**PARTY WALL FOOTINGS**

32"x8" (WITH REBAR) FOR 120 kPa  
32"x8" (WITH REBAR) FOR 90 kPa

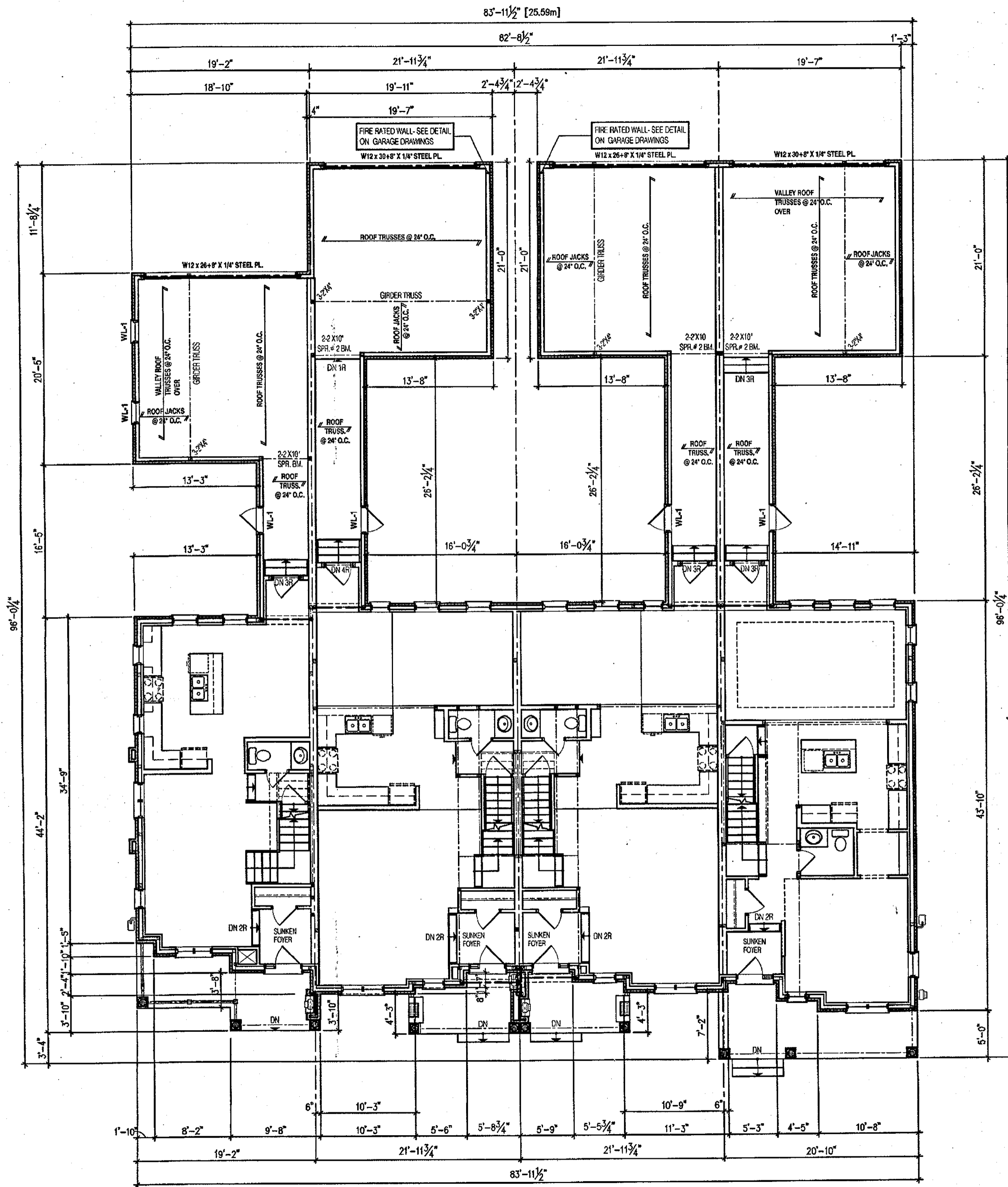
15M @ 10" C. FOR 32" WIDTH  
15M @ 10" C. FOR 44" WIDTH

SEE FOUNDATION PLAN FOR DIMENSIONS

**EXTERIOR STRIP FOOTINGS**

24" 90 kPa (32" FOR 90 kPa)  
SEE FOUNDATION PLAN FOR DIMENSIONS

OCT 29 2018



HOLLAND 14  
ELEV-1  
TH 51-1

HOLLAND 3A  
ELEV-1A  
TH 51-2

HOLLAND 3A  
ELEV-1  
TH 51-3

HOLLAND 8E  
ELEV-1  
TH 51-4

**BLOCK 51**

**TOWN OF EAST GWILLIMBURY**  
Building Department

These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Department. All work must comply with the Ontario Building Code, as amended. These reviewed documents and the Building Permit must be kept on site at all times.

**THESE DOCUMENTS WERE REVIEWED AND EXAMINED BY:** *[Signature]*

**DATE:** \_\_\_\_\_

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ARCHITECTURAL REVIEW AND APPROVAL  
TOWN OF EAST GWILLIMBURY

Signature: *[Signature]*  
DATE: **OCT 31 2018**  
J. B. WILLIAMS LIMITED  
ARCHITECT

**BUILDING AREA**  
IN ACCORDANCE WITH OBC, DIVA 1.4.1.2.  
BLOCK TH 370-1 TO TH 370-6  
BUILDING AREA = 5687 SQ. FT.  
= 519.0 m<sup>2</sup>

**NOTE:**  
REFER TO INDIVIDUAL PLANS FOR STANDARD WOOD, STEEL BEAMS AND LINTELS OVER WINDOWS

**NOTE:**  
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER

**STEEL LINTELS:**  
L1 = 3 1/2" x 3 1/2" x 1/4" (90x90x6) + 2-2" x 8" SPR.  
L2 = 4" x 3 1/2" x 5/16" (100x90x8)  
L3 = 5" x 3 1/2" x 5/16" (125x90x8)  
L4 = 6" x 3 1/2" x 3/8" (150x90x10)  
L5 = 6" x 4" x 3/8" (150x100x10)  
L6 = 7" x 4" x 3/8" (180x100x10)

**WOOD LINTELS:**  
WB1 = 2-2 x 8" SPRUCE BEAM  
WB2 = 3-2 x 8" SPRUCE BEAM  
WB3 = 2-2 x 10" SPRUCE BEAM  
WB4 = 3-2 x 10" SPRUCE BEAM  
WB5 = 2-2 x 12" SPRUCE BEAM  
WB6 = 3-2 x 12" SPRUCE BEAM  
WB7 = 5-2 x 12" SPRUCE BEAM  
WB8 = 4-2 x 8" SPRUCE BEAM  
WB9 = 4-2 x 10" SPRUCE BEAM  
WB10 = 4-2 x 12" SPRUCE BEAM  
WB11 = 4-2 x 10" SPRUCE BEAM  
WB12 = 4-2 x 12" SPRUCE BEAM  
LSL = TIMBERSTRAND BOARD

**BRICK VENEER LINTELS:**  
WL1 = 3 1/2" x 3 1/2" x 1/4" (90x90x6) + 2-2" x 8" SPR.  
WL2 = 4" x 3 1/2" x 5/16" (100x90x8) + 2-2" x 8" SPR.  
WL3 = 5" x 3 1/2" x 5/16" (125x90x8) + 2-2" x 10" SPR.  
WL4 = 6" x 3 1/2" x 3/8" (150x90x10) + 2-2" x 12" SPR.  
WL5 = 6" x 4" x 3/8" (150x100x10) - 2-2" x 12" SPR.  
WL6 = 6" x 3 1/2" x 5/16" (125x90x8) + 2-2" x 12" SPR.  
WL7 = 6" x 3 1/2" x 5/16" (125x90x8) + 3-2" x 10" SPR.  
WL8 = 6" x 3 1/2" x 5/16" (125x90x8) + 3-2" x 12" SPR.  
WL9 = 6" x 4" x 3/8" (150x100x10) - 3-2" x 12" SPR.

**BLOCK 51**

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**STRUDET INC.**

REGISTERED PROFESSIONAL ENGINEER  
*[Signature]*  
B. MARINKOVIC  
PROVINCE OF ONTARIO

FOR STRUCTURE ONLY

NO.	DATE	WORK DESCRIPTION
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3	OCT. 23, 2018	REVISED BREZELWAY WIDTH PER CITY COMMENTS
2	OCT. 17, 2018	REVISED DEPTH OF GARAGE TO 19'-1" FOR 61-1 AS PER CITY COMMENTS
1	DEC. 21, 2017	ISSUED FOR BUILDING PERMIT

**jardin**  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the code.

Walter Botter *[Signature]* 21031  
NAME REGISTRATION NUMBER  
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code  
jardin design group inc. 27763  
FIRM NUMBER

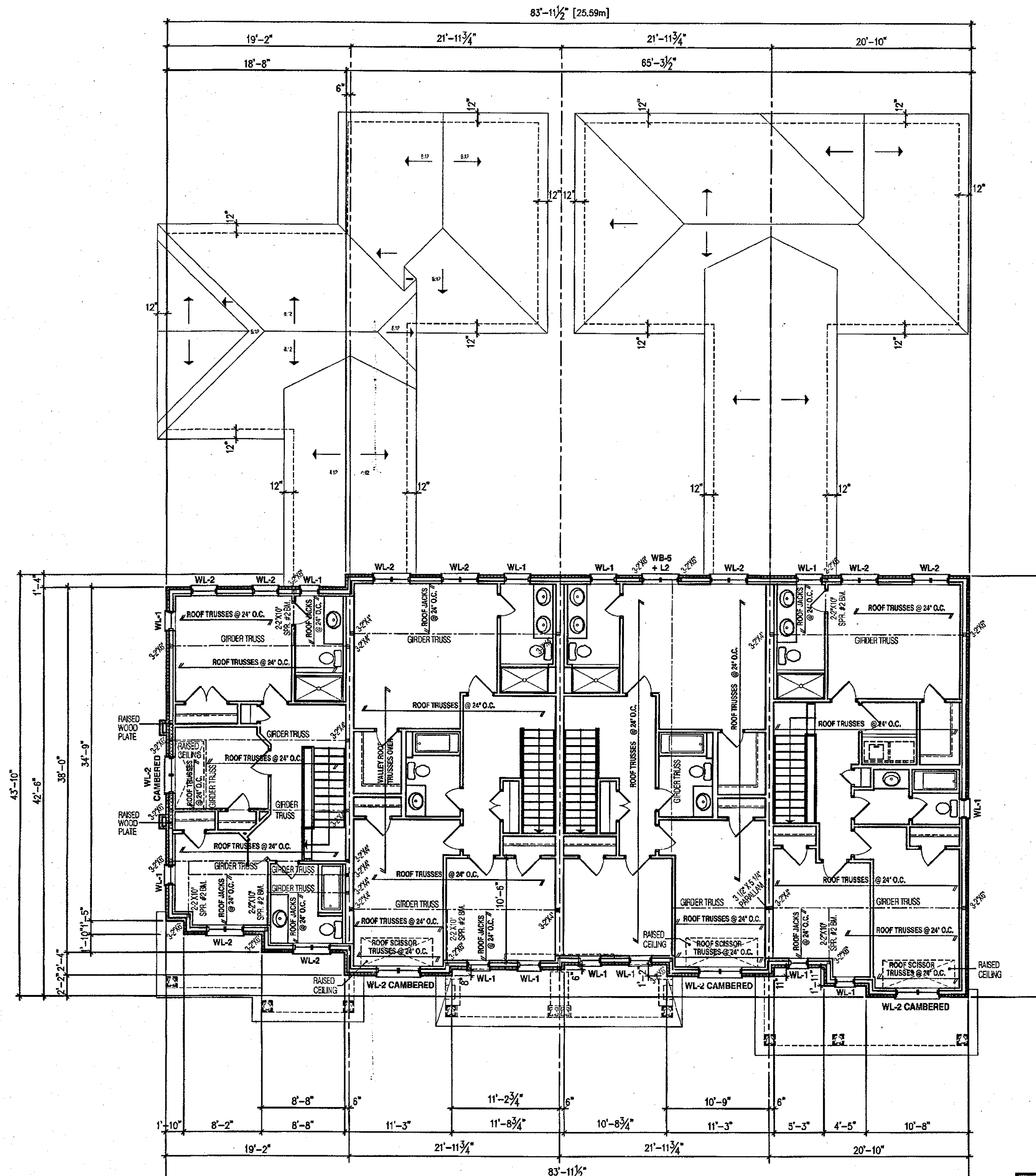
**FIRST FLOOR PLAN**  
SECONDO VALES ESTATES  
EAST GWILLIMBURY

T AFA

SCALE: 1/8" = 1'-0"

PROJ. No. 17-41 DIV. No. 2

OCT 29 2018



HOLLAND 14 ELEV-1 TH 51-1      HOLLAND 3A ELEV-1A TH 51-2      HOLLAND 3A ELEV-1 TH 51-3      HOLLAND 8E ELEV-1 TH 51-4

**BLOCK 51**

**TOWN OF EAST GWILLIMBURY**  
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**THESE DOCUMENTS WERE REVIEWED AND EXAMINED BY:** [Signature]  
**DATE:** \_\_\_\_\_

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ARCHITECTURAL REVIEW AND APPROVAL  
 TOWN OF EAST GWILLIMBURY  
 Signed: [Signature]  
 DATE: OCT 31 2018  
 JOHN G. WILLIAMS LIMITED  
 ARCHITECT

OCT 29 2018

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 L2 = 4 x 3 1/2 x 5/16 (100x90x8)  
 L3 = 5 x 3 1/2 x 5/16 (125x90x8)  
 L4 = 5 x 3 1/2 x 3/8 (150x90x10) - 2-2x12 SPR.  
 L5 = 5 x 4 x 3/8 (150x100x10)  
 L6 = 7 x 4 x 3/8 (180x100x10)

**BRICK VENEER LINTELS:**  
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 WL3 = 5 x 3 1/2 x 5/16 (125x90x8) - 2-2 x 10 SPR.  
 WL4 = 5 x 3 1/2 x 3/8 (150x90x10) - 2-2 x 12 SPR.  
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 WL7 = 5 x 3 1/2 x 5/16 (125x90x8) - 3-2 x 10 SPR.  
 WL8 = 5 x 3 1/2 x 5/16 (125x90x8) + 3-2 x 12 SPR.  
 WL9 = 5 x 4 x 3/8 (150x100x10) + 3-2 x 12 SPR.

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 WB1 = 2-2 x 8' SPRUCE BEAM  
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 WB9 = 4-2 x 10' SPRUCE BEAM  
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 WB11 = 4-2 x 12' SPRUCE BEAM  
 WB12 = 4-2 x 12' SPRUCE BEAM  
 LSL = TIMBERSTRAND BOARD

**BLOCK 51**

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**STRUDET INC.**

REGISTERED PROFESSIONAL ENGINEER  
 B. MARINKOVIC  
 PROVINCE OF ONTARIO

**FOR STRUCTURE ONLY**

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2	OCT 23 2018	REVISED BREEZEWAY WIDTH PER CITY COMMENTS
1	DEC 21 2017	ISSUED FOR BUILDING PERMIT

No. DATE: WORK DESCRIPTION:

**Jardin DESIGN GROUP INC**  
 64 JARDIN DR. SUITE 3A  
 VAUGHAN ONT. L4K 3P3  
 TEL: 905 660-3377 FAX: 905 660-3713  
 EMAIL: info@jardindesign.ca

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QUALIFICATION INFORMATION  
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Water Butler [Signature] 21031  
 TITLE: REGISTERED PROFESSIONAL ENGINEER

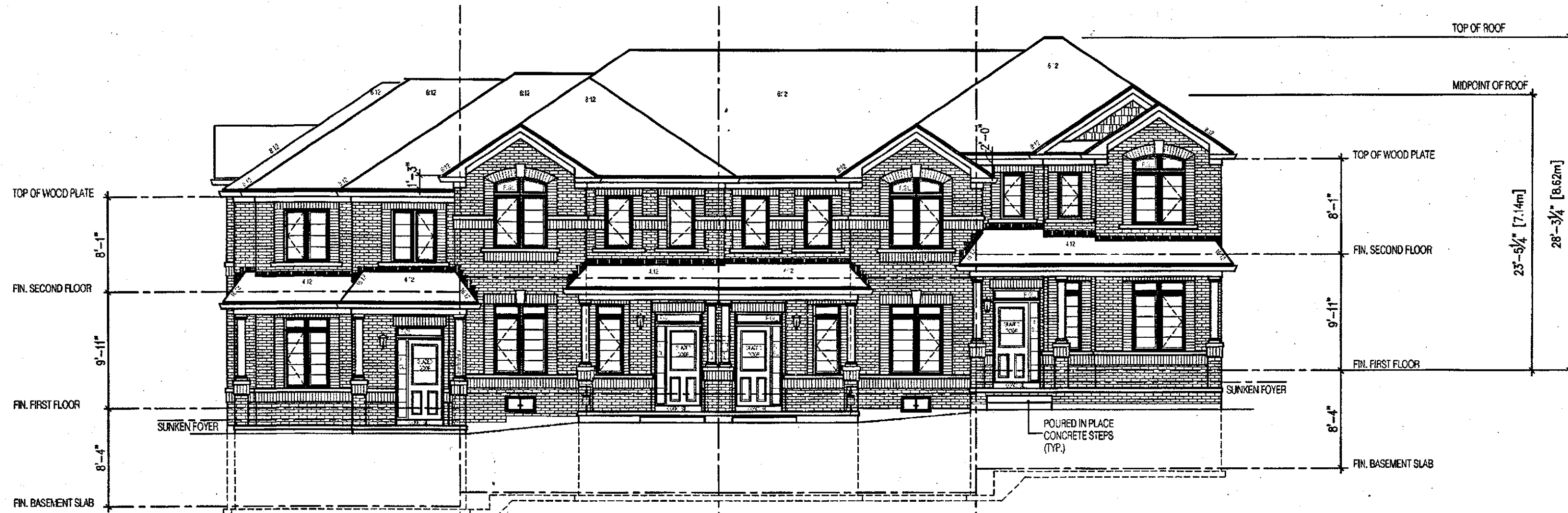
Required unless design is exempt under Division C, Subsection 3.1.5 of the Building Code.

Jardin design group inc. 22763  
 TRANT NAME: BCR

**SECOND FLOOR PLAN**

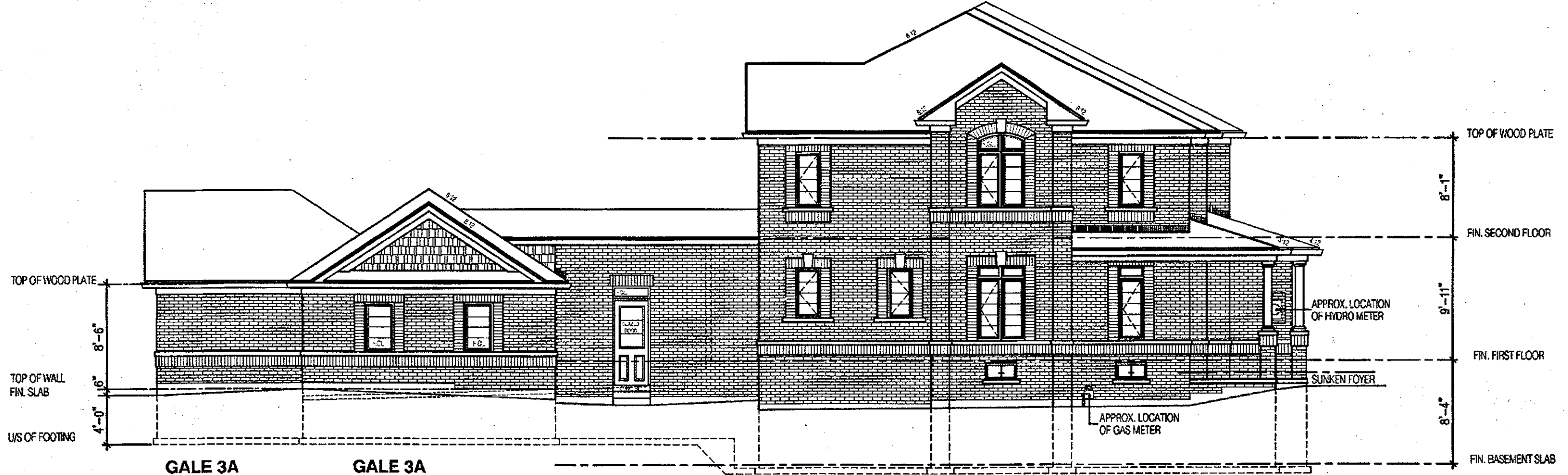
SECOND FLOOR ESTATES  
 EAST GWILLIMBURY

T: AREA: ---  
 SCALE: 1/8" = 1'-0"  
 PROJ. NO.: 17-41  
 DWG. NO.: 3

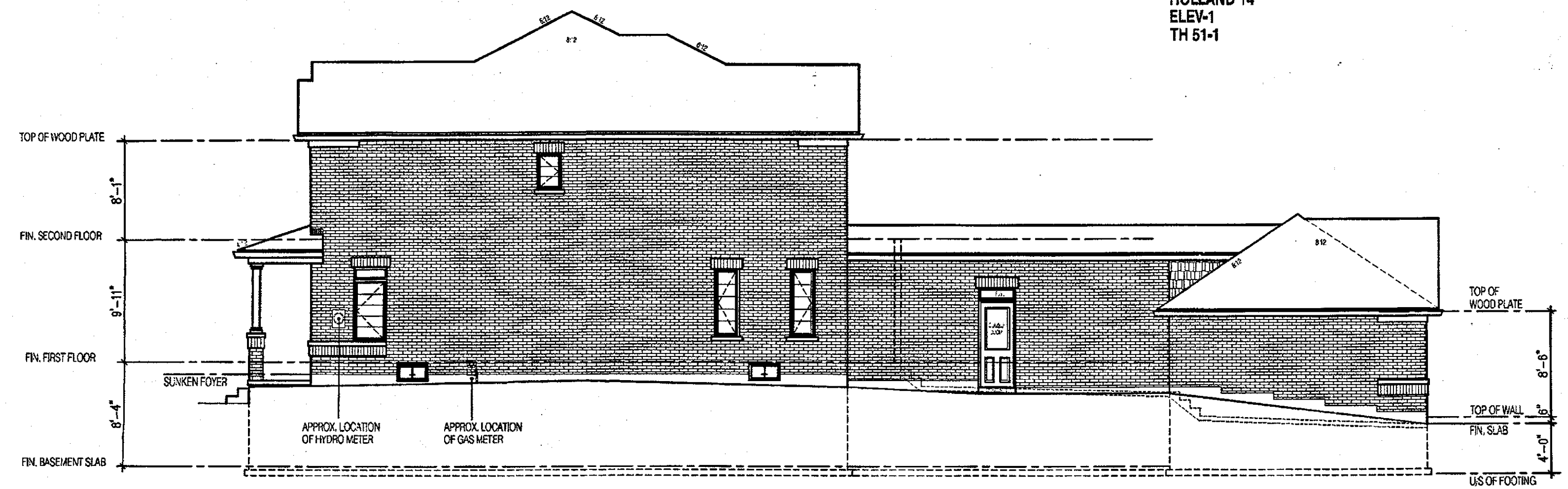


HOLLAND 14 ELEV-1 TH 51-1  
 HOLLAND 3A ELEV-1A TH 51-2  
 HOLLAND 3A ELEV-1 TH 51-3  
 HOLLAND 8E ELEV-1 TH 51-4

**BLOCK 51**



GALE 3A SIDE ELEV. - 1  
 GALE 3A SIDE UPGRADE ELEV. - 2  
 HOLLAND 14 ELEV-1 TH 51-1



HOLLAND 8E ELEV-1 TH 51-4  
 TH 51-4 GALE 1A SIDE ELEV. - 3

**TOWN OF EAST GWILLIMBURY  
 Building Department**

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ARCHITECTURAL REVIEW AND APPROVAL  
 TOWN OF EAST GWILLIMBURY  
 Signoff: \_\_\_\_\_  
 Date: **OCT 31 2018**  
 JOHN G. WILLIAMS LIMITED  
 ARCHITECT

**BLOCK 51**

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of East Gwillimbury.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS AND BEING PROCEEDING WITH THE PROJECT. ANY DELAYED WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS AND BEING PROCEEDING WITH THE PROJECT. ANY DELAYED WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

NO.	DATE	WORK DESCRIPTION
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2	OCT. 23, 2018	REVISED GREENWAY WIDTH PER CITY COMMENTS.
1	DEC. 21, 2017	ISSUED FOR BUILDING PERMIT

**jardin**  
 DESIGN GROUP INC  
 64 JARDIN DR. SUITE 3A  
 VAUGHAN ONT. L4K 3P3  
 TEL: 905 660-3377 FAX: 905 660-3713  
 EMAIL: info@jardindesign.co

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
**QUALIFICATION INFORMATION**  
 Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.  
 Walter Bohler 21031  
 REGISTRATION INFORMATION  
 Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.  
 Jardin design group inc. 27763

**STREETSCAPE**  
 SECONDO VALES ESTATES  
 EAST GWILLIMBURY

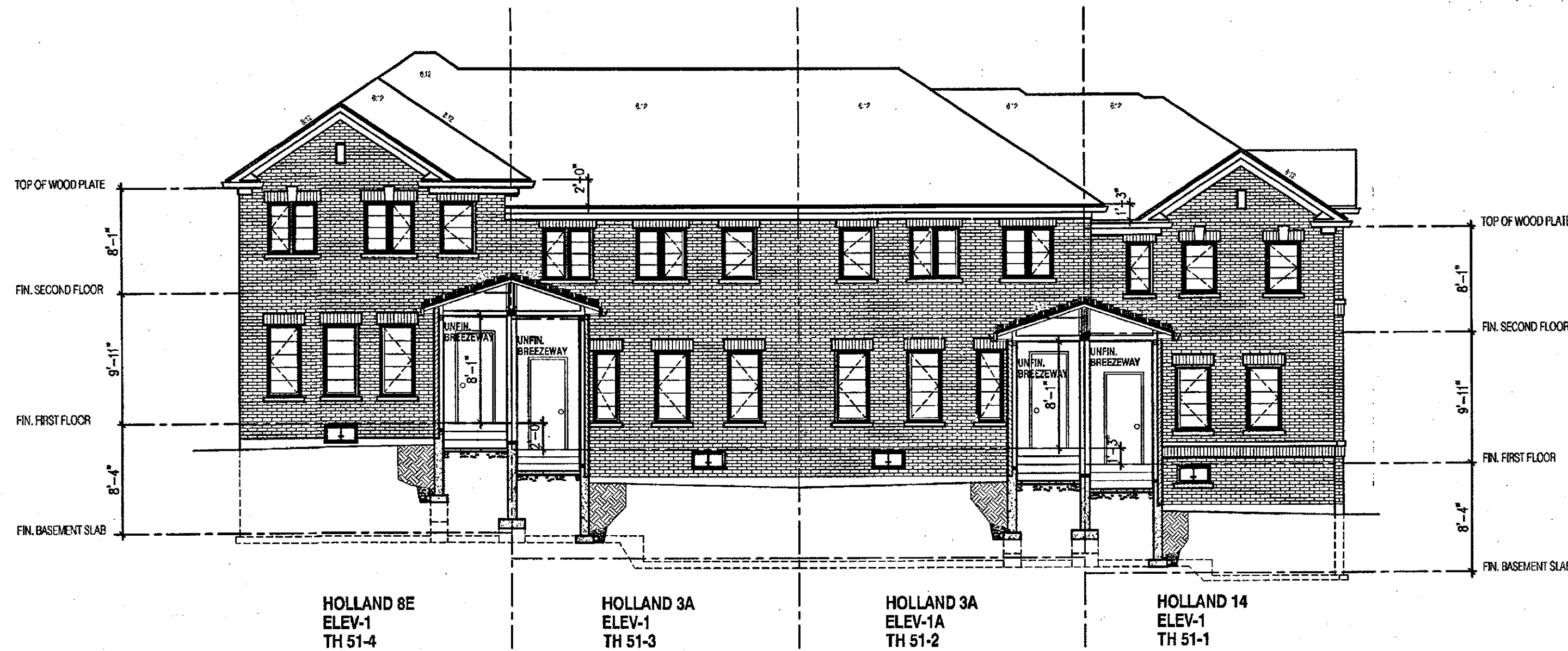
**BILD**  
 SCALE: 1/8" = 1'-0"  
 17-41 4

OCT 29 2018

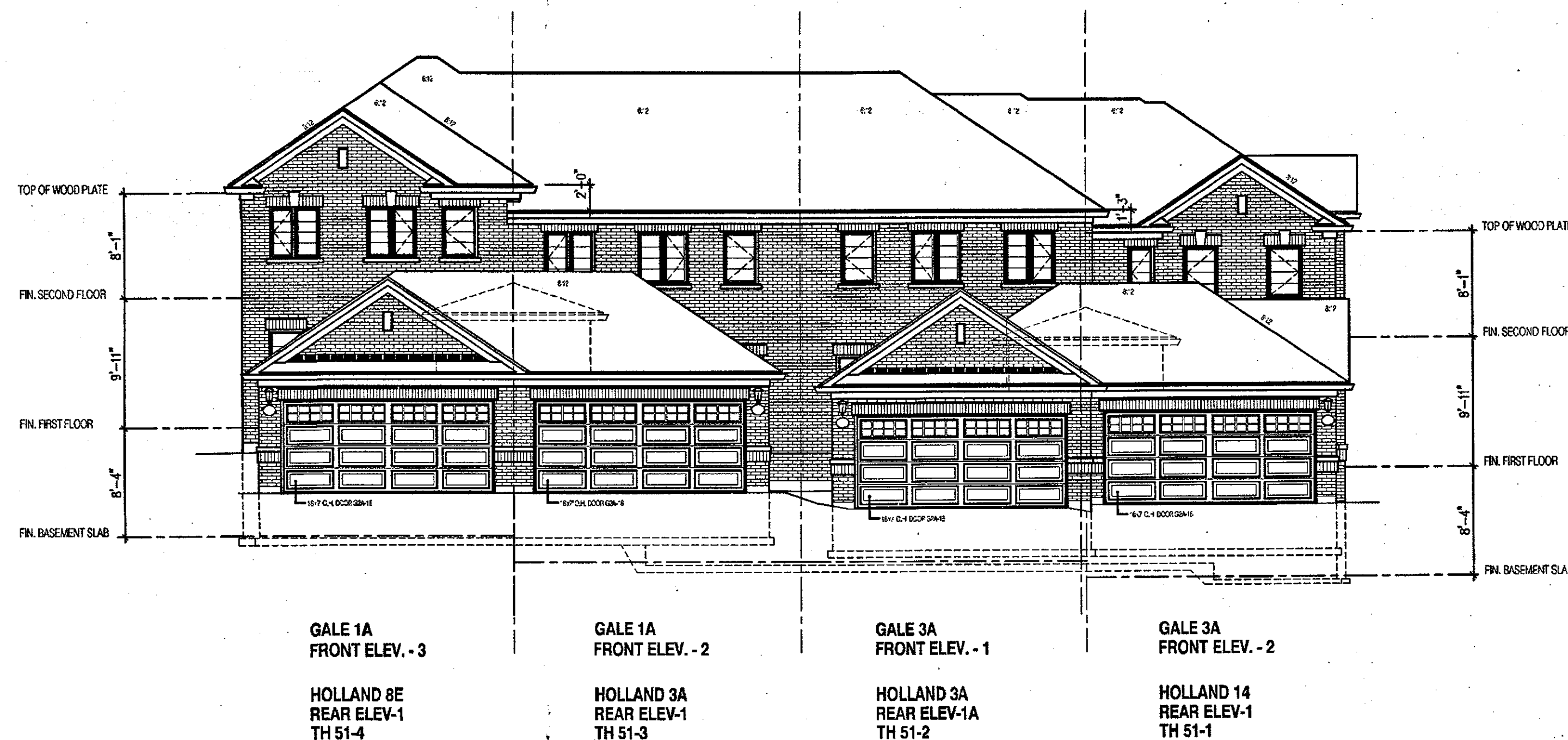
**BLOCK 51**

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of **GAWILLIMBURY**.



**BLOCK 51**



**BLOCK 51**

**TOWN OF EAST GWILLIMBURY**  
 Building Department  
 These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Department. All work must comply with the Ontario Building Code, as amended. These reviewed documents and the Building Permit must be kept on site at all times.  
**THESE DOCUMENTS WERE REVIEWED AND EXAMINED BY:** *[Signature]*  
 DATE: \_\_\_\_\_

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

ARCHITECTURAL REVIEW  
 AND APPROVAL  
 TOWN OF EAST GWILLIMBURY  
 Signed: *[Signature]*  
 Date: **OCT 3 1 2018**  
 JOHN A. WILLIAMS LIMITED  
 ARCHITECT

THE CONTRACTOR SHALL OBTAIN EVERY NECESSARY PERMIT AND CONVEYANCE ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY PERMIT OR CONVEYANCE SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.  
 JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY SURVEY OR ENGINEERING INFORMATION. IN-CHARGE OF THIS DRAWING OR FOR QUALITY CONTROL SHALL BE THE RESPONSIBILITY OF THE BUILDING DEPARTMENT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.  
 ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF EAST GWILLIMBURY ZONING BY-LAW AND THE ONTARIO BUILDING CODE.  
 JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY SURVEY OR ENGINEERING INFORMATION. IN-CHARGE OF THIS DRAWING OR FOR QUALITY CONTROL SHALL BE THE RESPONSIBILITY OF THE BUILDING DEPARTMENT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.  
 THESE DRAWINGS ARE THE PROPERTY OF JARDIN DESIGN GROUP INC. AND SHALL BE KEPT ON SITE AT ALL TIMES.

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2	OCT. 23, 2018	REVISED BREEZEWAY WIDTH PER CITY COMMENTS.
1	DEC. 21, 2017	ISSUED FOR BUILDING PERMIT

No. DATE: WORK DESCRIPTION:

**jardin**  
 DESIGN GROUP INC  
 64 JARDIN DR., SUITE 3A  
 VAUGHAN, ONT. L4K 3P3  
 TEL: 905 660-3377 FAX: 905 660-3713  
 EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code by a designer.

QUALIFICATION INFORMATION  
 Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code.

Walter Botter *[Signature]* 21037  
 NAME SIGNATURE BORN  
 REGISTRATION INFORMATION  
 Required unless design is exempt under Division C, Subsection 3.2.4 of the Building Code.

Jardin design group inc. 27763  
 FIRM NAME BORN

**STREETSCAPE**  
 SECONDO VALES ESTATES  
 EAST GWILLIMBURY

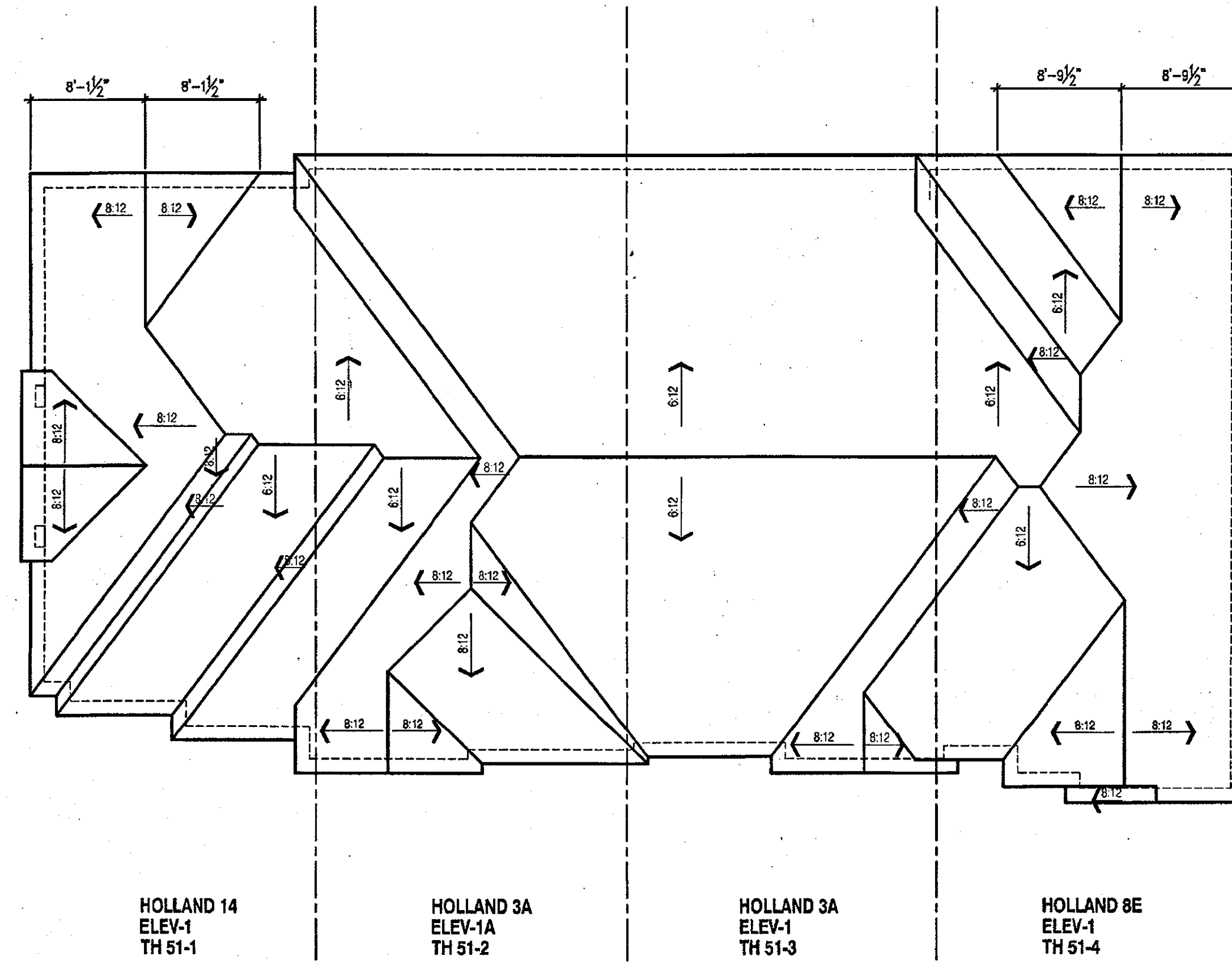
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SCALE:	1/8" = 1'-0"
PREC. NO.	17-41
DWG. NO.	5

OCT 2 9 2018

**BLOCK 51**

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of East Gwillimbury.



**BLOCK 51**

**TOWN OF EAST GWILLIMBURY  
Building Department**

These plans have been reviewed for use with the notations as noted. No other changes may be made without written approval of the Building Department. All work must comply with the Ontario Building Code, as amended. These reviewed documents and the Building Permit must be kept on site at all times.

**THESE DOCUMENTS WERE REVIEWED AND EXAMINED BY:** *[Signature]*  
**DATE:** \_\_\_\_\_

THE CONTRACTOR SHALL CHECK AND VERIFY ALL CONDITIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE TOWN OF EAST GWILLIMBURY PRIOR TO COMMENCEMENT OF WORK.  
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY STATION DATA OR INFORMATION CONTAINED THEREIN. SUCH DATA MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK.  
JARDIN DESIGN GROUP INC. HAS NOT BEEN ADVISED OF ANY CHANGES TO THE ORIGINAL DESIGN OR ANY INFORMATION THAT MAY AFFECT THE ACCURACY OF THE ORIGINAL DESIGN.  
THESE DRAWINGS ARE THE PROPERTY OF JARDIN DESIGN GROUP INC. AND SHALL REMAIN THE PROPERTY OF JARDIN DESIGN GROUP INC. IF YOU HAVE ANY QUESTIONS, PLEASE CONTACT US AT 905-660-3377.

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2	OCT. 23, 2018	REVISED BREZEWAY WIDTH PER CITY COMMENTS.
1	DEC. 21, 2017	ISSUED FOR BUILDING PERMIT

No. \_\_\_\_\_ DATE: \_\_\_\_\_ WORK DESCRIPTION: \_\_\_\_\_

**jardin**  
DESIGN GROUP INC  
64 JARDIN DR., SUITE 3A  
VAUGHAN, ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

**QUALIFICATION INFORMATION**  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

*Walter Botter* *[Signature]* 21031  
NAME SIGNATURE BCIN

**REGISTRATION INFORMATION**  
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

Jardin design group inc. 27763  
FIRM NAME BCIN

**ROOF PLAN**  
SECONDO VALES ESTATES  
EAST GWILLIMBURY

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SCALE	1/8" = 1'-0"		
PROJ. NO.	17-41	DWG. NO.	6

**BILD**

OCT 29 2018