

STRIP FOOTINGS FOR SINGLES AND SEMIS UP TO 2 STOREY

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS

20"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

ASSUME THE LARGER FOOTINGS SIZE WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa FOR ENGINEERED FILL IS USED, TO BE VERIFIED ON SITE.

FOUNDATION WALLS WITH ENGINEERING JOISTS OVER 16'-0" SPAN

24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

ENGINEERED FILL FOOTINGS

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING

BELOW EXTERIOR WALLS.

30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS. (REFER TO ENG. FILL FOOTING DETAIL)

PAD FOOTING

120 KPa NATIVE SOIL

90 KPa ENGINEERED FILL SOIL

F1 = 42"x42"x18" CONCRETE PAD

F1 = 48"x48"x20" CONCRETE PAD

F2 = 36"x36"x16" CONCRETE PAD

F2 = 40"x40"x18" CONCRETE PAD

F3 = 30"x30"x12" CONCRETE PAD

F3 = 34"x34"x14" CONCRETE PAD

F4 = 24"x24"x12" CONCRETE PAD

F4 = 28"x28"x12" CONCRETE PAD

F5 = 18"x18"x8" CONCRETE PAD

F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

NOTE:

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.

NOTE:

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS:

WL1 = 3 1/2" x 3 1/2" x 1 1/4" (80x80x6) + 2-2" x 8" SPR.

WL6 = 5" x 3 1/2" x 5 1/8" (125x80x6) + 2-2" x 12" SPR.

WL2 = 4" x 3 1/2" x 5 1/8" (100x80x6) + 2-2" x 8" SPR.

WL7 = 5" x 3 1/2" x 5 1/8" (125x80x6) + 3-2" x 10" SPR.

WL3 = 5" x 3 1/2" x 5 1/8" (125x80x6) + 2-2" x 10" SPR.

WL8 = 5" x 3 1/2" x 5 1/8" (125x80x6) + 3-2" x 12" SPR.

WL4 = 6" x 3 1/2" x 3 3/8" (150x80x10) + 2-2" x 12" SPR.

WL9 = 6" x 4" x 3 3/8" (150x100x10) + 3-2" x 12" SPR.

WL5 = 6" x 4" x 3 3/8" (150x100x10) + 2-2" x 12" SPR.

WOOD LINTELS:

WB1 = 2-2" x 8" SPRUCE BEAM

WB6 = 3-2" x 12" SPRUCE BEAM

WB2 = 3-2" x 8" SPRUCE BEAM

WB7 = 5-2" x 12" SPRUCE BEAM

WB3 = 2-2" x 10" SPRUCE BEAM

WB10 = 4-2" x 8" SPRUCE BEAM

WB4 = 3-2" x 10" SPRUCE BEAM

WB11 = 4-2" x 10" SPRUCE BEAM

WB5 = 2-2" x 12" SPRUCE BEAM

STEEL LINTELS:

L1 = 3 1/2" x 3 1/2" x 1 1/4" (80x80x6)

L4 = 6" x 3 1/2" x 3 3/8" (150x80x10)

L2 = 4" x 3 1/2" x 5 1/8" (100x80x6)

L5 = 6" x 4" x 3 3/8" (150x100x10)

L3 = 5" x 3 1/2" x 5 1/8" (125x80x6)

L6 = 7" x 4" x 3 3/8" (180x100x10)

LAMINATED VENEER LUMBER (LVL BEAMS)

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)

LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)

LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)

LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)

LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)

LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)

LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)

LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)

LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)

LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)

LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)

LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)

LVL8 = 2-1 3/4" x 14" (2-45x356)

LVL9 = 3-1 3/4" x 14" (3-45x356)

APPLICANT COPY

TOWN OF EAST GWILLIMBURY Building Department

These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Department.

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THESE DOCUMENTS HAVE BEEN REVIEWED AND EXAMINED BY:

NOV 27 2018

DOOR SCHEDULE:

1 = 2'-10" x 6'-8" INSULATED ENTRANCE DOOR

1A = 2'-8" x 6'-8" INSULATED ENTRANCE DOOR

2 = 2'-8" x 6'-8" EXTERIOR GLAZED DOOR

3 = 2'-8" x 6'-8" SLAB DOOR (1 3/4" EXTERIOR)

4 = 2'-8" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)

5 = 2'-8" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)

6 = 2'-8" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)

7 = 1'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)

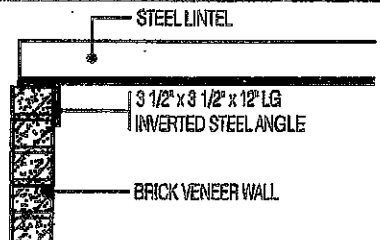
8 = 2'-6" x 6'-8" BI-FOLD (1 3/8" INTERIOR)

9 = 3'-0" x 6'-8" BI-FOLD (1 3/8" INTERIOR)

10 = 2'-2" x 6'-8" BI-FOLD (1 3/8" INTERIOR)

11 = 2'-2" x 6'-8" BI-FOLD (1 3/8" INTERIOR)

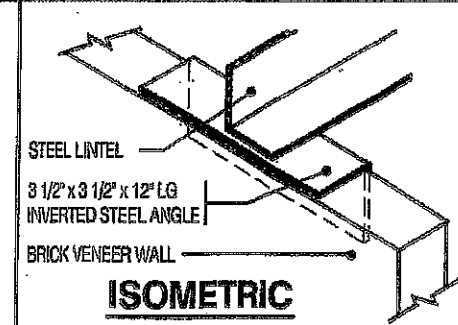
12 = 2'-6" x 6'-8" FRENCH DOOR (1 3/8" INTERIOR)



SECTION

INVERTED STEEL ANGLE DETAIL

Scale: 3/4" = 1'-0"



ISOMETRIC

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:

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NOTE:

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

HOLLAND 3A ELEV.-1 & 1A ENERGY EFFICIENCY- ENERGY STAR

ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	442.00	127.00	28.73 %
LEFT SIDE	790.00	0.00	0.00 %
RIGHT SIDE	790.00	0.00	0.00 %
REAR	440.00	108.00	24.09 %
TOTAL	2462.00	235.00	9.46 %

HOLLAND 3A ELEV.-2 ENERGY EFFICIENCY- ENERGY STAR

ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	428.00	120.00	28.04 %
LEFT SIDE	790.00	0.00	0.00 %
RIGHT SIDE	790.00	0.00	0.00 %
REAR	440.00	108.00	24.09 %
TOTAL	2448.00	228.00	9.29 %

RECEIVED

NOV 06 2018

TOWN OF EAST GWILLIMBURY
BUILDING DEPARTMENT
ROLL #

STRUDET INC.



FOR STRUCTURE ONLY

AREA CALCULATIONS EL-1 & 2

GROUND FLOOR AREA	=	918 Sq. Ft.
SECOND FLOOR AREA	=	908 Sq. Ft.
TOTAL FLOOR AREA	=	1826 Sq. Ft.
ADD OPEN AREAS	=	0 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	1826 Sq. Ft.
GROUND FLOOR COVERAGE	=	918 Sq. Ft.
GARAGE COVERAGE / AREA	=	412 Sq. Ft.
PORCH COVERAGE / AREA	=	70 Sq. Ft.
COVERAGE W/ PORCH	=	1400 Sq. Ft.
COVERAGE W/O PORCH	=	1330 Sq. Ft.

AREA CALCULATIONS EL-1A

GROUND FLOOR AREA	=	918 Sq. Ft.
SECOND FLOOR AREA	=	914 Sq. Ft.
TOTAL FLOOR AREA	=	1832 Sq. Ft.
ADD OPEN AREAS	=	0 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	1832 Sq. Ft.
GROUND FLOOR COVERAGE	=	918 Sq. Ft.
GARAGE COVERAGE / AREA	=	412 Sq. Ft.
PORCH COVERAGE / AREA	=	70 Sq. Ft.
COVERAGE W/ PORCH	=	1400 Sq. Ft.
COVERAGE W/O PORCH	=	1330 Sq. Ft.

1826

TOWNHOUSE

HOLLAND 3A

ELEVATION 1,1A & 2

O.REG. 332/12

ENERGY STAR

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ASSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THIS CONTRACT DOCUMENTS.

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7		
6		
5		
4		
3	OCT. 24, 2018	REVISED BREEZEWAY WIDTH PER CITY COMMENTS.
2	DEC. 21, 2017	ISSUED FOR BUILDING PERMIT
1	SEPT. 5, 2017	CAME FROM HOLLAND 3 FATHINGALE

No. DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.3 of the building code

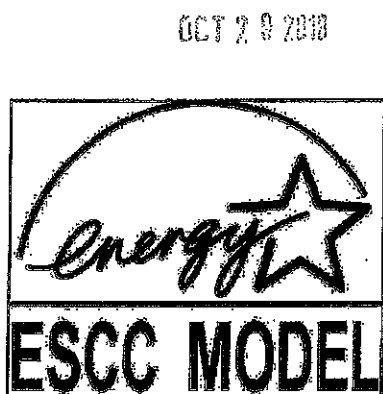
Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc. 27763
FIRM NAME BCIN

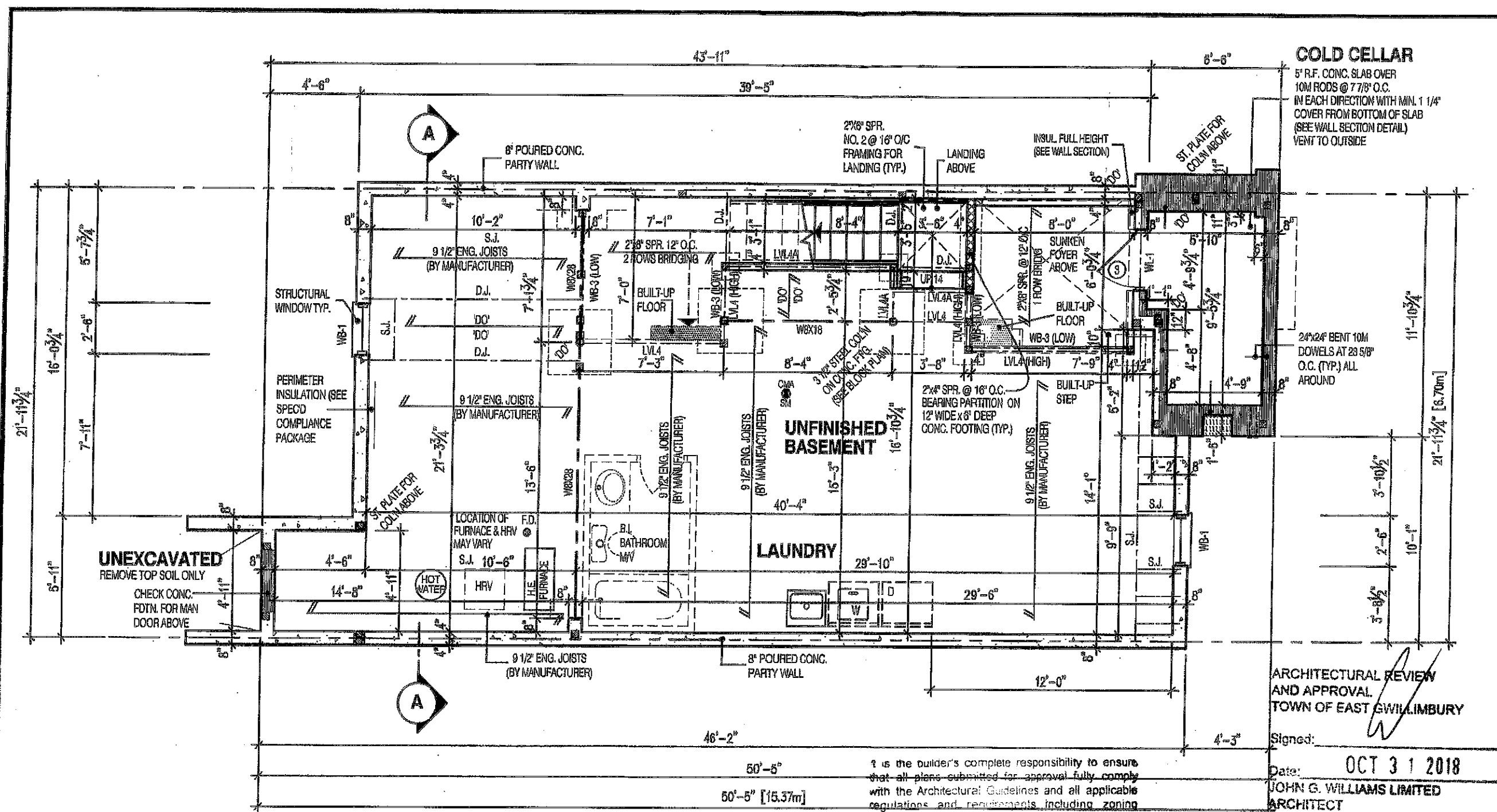
TITLE SHEET
SECONDO VALES ESTATES
TOWN OF EAST GWILLIMBURY

MODEL: ---
SCALE: 3/16" = 1'-0"
PROJ. No. 17-41 DWG. No. 0



LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COL'N ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS



1826
TOWNHOUSE
HOLLAND 3A
ELEVATION 1 & 2
O.REG. 332/12
ENERGY STAR

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7		
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4	OCT. 24, 2018	REVISED BREEZEWAY WIDTH PER CITY COMMENTS.
3	DEC. 21, 2017	ISSUED FOR BUILDING PERMIT
2	OCT. 25, 2017	REV. AS PER CLIENT'S COMMENTS & RE-ISSUED
1	SEPT. 5, 2017	CAME FROM HOLLAND 3 FATHINGALE

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Boffa 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

Jardin design group inc. 27763
FIRM NAME BCIN

BASEMENT PL. EL-1 & 2

SECONDO VALES ESTATES
TOWN OF EAST GWILLIMBURY

MODEL: ---
SCALE: 3/16"=1'-0"
PROJ. No. 17-41 DWG. No. 1

TOWN OF GWILLIMBURY
Building Department

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THESE DOCUMENTS WERE REVIEWD AND EXAMINED BY: _____

DATE: _____

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

NOTE:
REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE

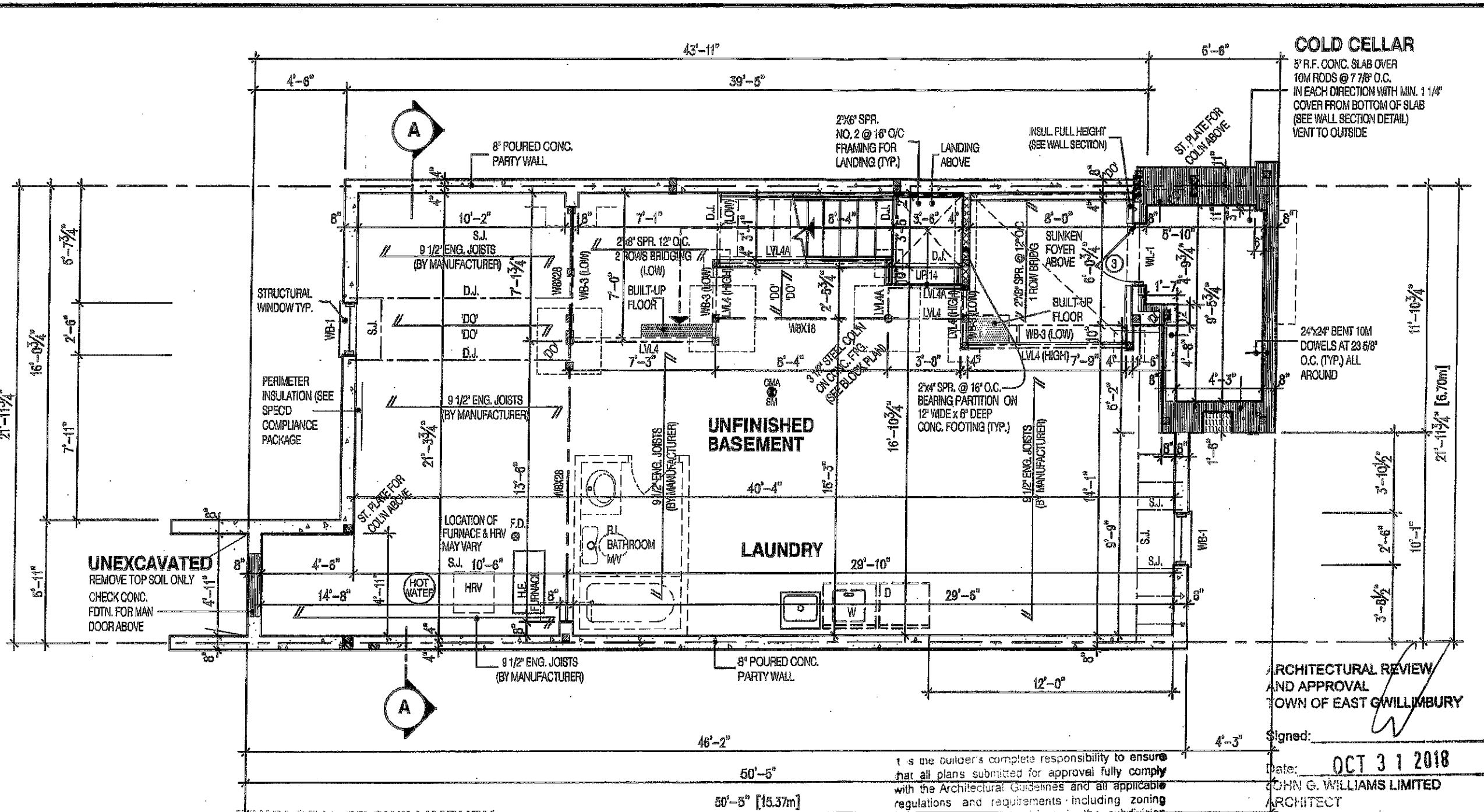
NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:
SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE LAMINATED VENEER LUMBER
- LVL SINGLE JOIST
- S.J. DOUBLE JOIST
- D.J. TRIPLE JOIST
- T.J. REPEAT NOTE
- SHOWER WEEPERS



1826
TOWNHOUSE
HOLLAND 3A
ELEVATION 1A
O.REG. 332/12
ENERGY STAR

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4	OCT. 24, 2018 REVISED BREEZEWAY WIDTH PER CITY COMMENTS.
3	DEC. 21, 2017 ISSUED FOR BUILDING PERMIT
2	OCT. 25, 2017 REV. AS PER CLIENTS COMMENTS & RE-ISSUED
1	SEPT. 5, 2017 CAME FROM HOLLAND 3 PARTHINGALE

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code

Walter Botter *WBe* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc. 27763
FIRM NAME BCIN

BASEMENT PL. EL-1A
SECONDO VALES ESTATES
TOWN OF EAST GWILLIMBURY

MODEL: ---
SCALE: 3/16" = 1'-0"
PROJ. No. 17-41 DWG. No. 1A

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STRUDET INC.
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PROVINCE OF ONTARIO
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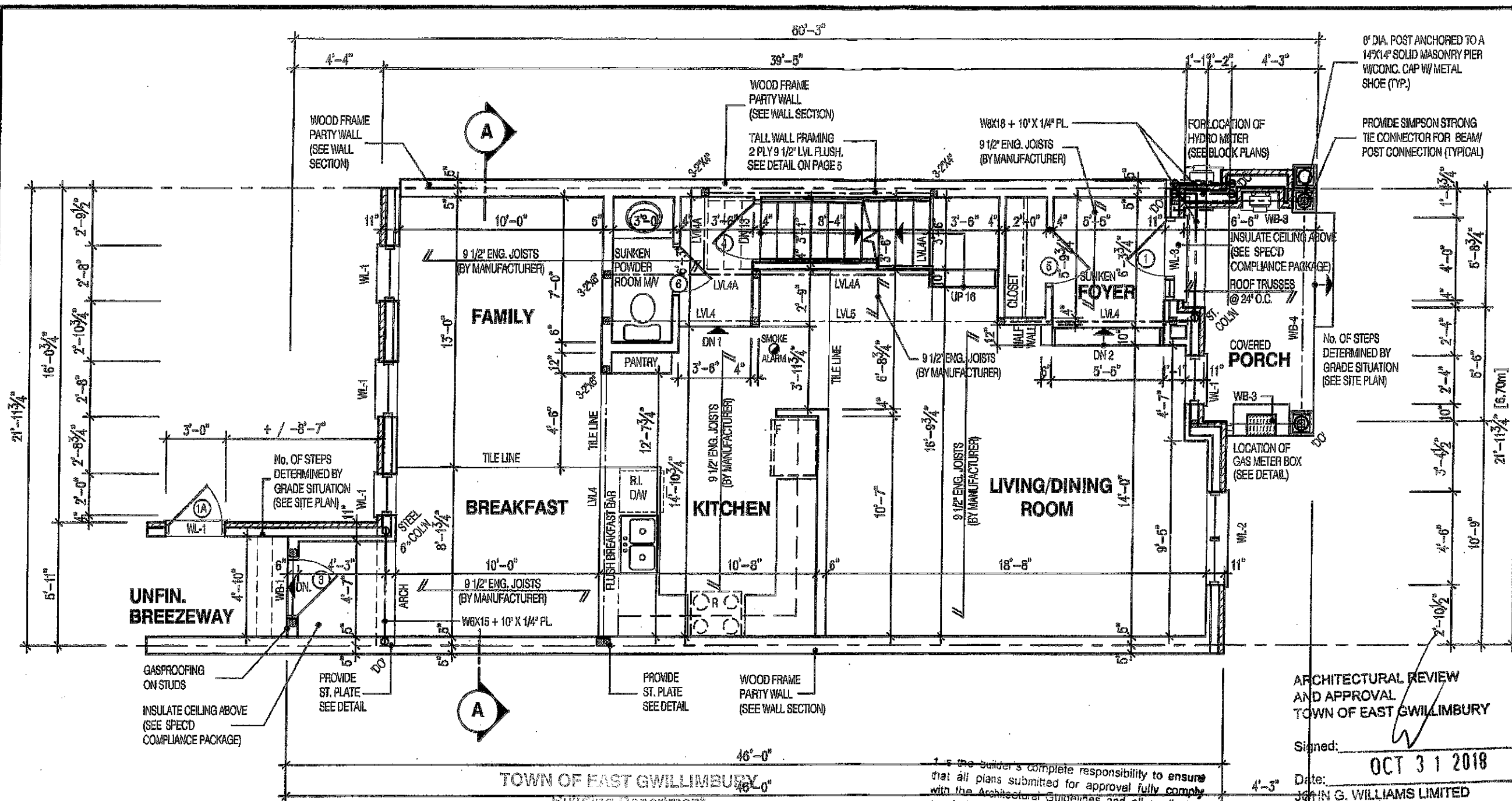
NOTE:
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1826
TOWNHOUSE
HOLLAND 3A
ELEVATION 1
O.REG. 332/12
ENERGY STAR

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2	DEC. 21, 2017	ISSUED FOR BUILDING PERMIT
1	SEPT. 5, 2017	CAME FROM HOLLAND 3 PARTHINGALE

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.3 of the building code

Walter Botten *WBe* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc. 27763
FIRM NAME BCIN

FIRST FLOOR PL. EL-1
SECONDO VALES ESTATES
TOWN OF EAST GWILLIMBURY

MODEL: —
SCALE: 3/16"=1'-0"
PROJ. No. 17-41 DWG. No. 2

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THESE DOCUMENTS WERE REVIEWED AND EXAMINED BY: *de*
DATE: _____

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- SHOWER WEEPERS

STRUDET INC.

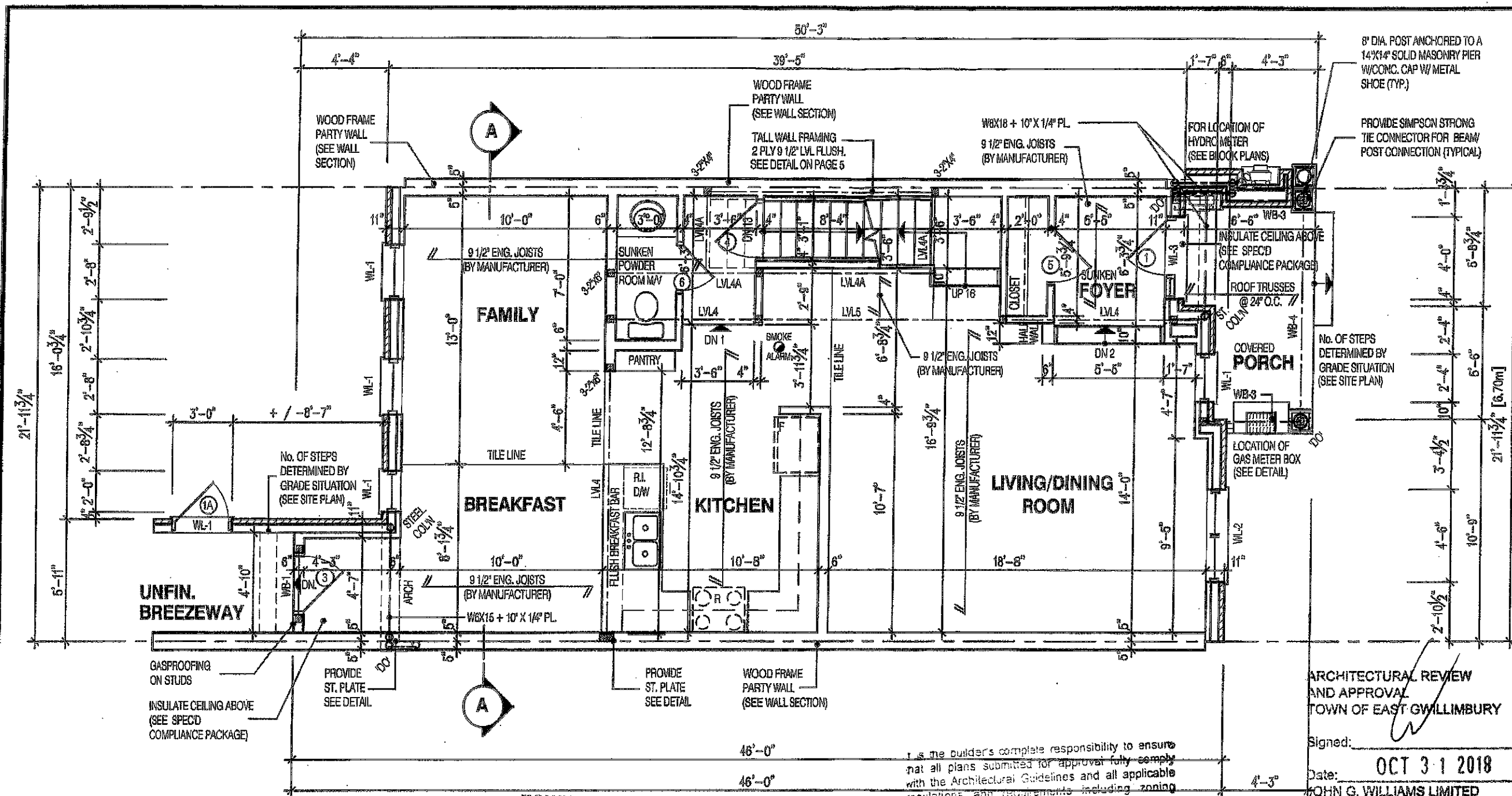


FOR STRUCTURE ONLY

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ARCHITECTURAL REVIEW AND APPROVAL
TOWN OF EAST GWILLIMBURY

Signed: *[Signature]*
Date: OCT 31 2018
JORDIN G. WILLIAMS LIMITED
ARCHITECT



1826
TOWNHOUSE
HOLLAND 3A
ELEVATION 1A
O.REG. 332/12
ENERGY STAR

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

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3	OCT. 24, 2018 REVISED BREEZEWAY WIDTH PER CITY COMMENTS.
2	DEC. 21, 2017 ISSUED FOR BUILDING PERMIT
1	SEPT. 5, 2017 CAME FROM HOLLAND 3 FARTHINGALE

No. DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
 64 JARDIN DR. SUITE 3A
 VAUGHAN ONT. L4K 3P3
 TEL: 905 660-3377 FAX: 905 660-3713
 EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Batten *WBe* 21031
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.6 of the building code

Jardin design group inc. 27763
 FIRM NAME BCIN

FIRST FLOOR PL. EL-1A
SECONDO VALES ESTATES
TOWN OF EAST GWILLIMBURY

MODEL: _____
 SCALE: 3/16"=1'-0"
 PROJ. No. 17-41 DWG. No. 2A

TOWN OF EAST GWILLIMBURY
 Building Department

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THESE DOCUMENTS WERE REVIEWED AND EXAMINED BY: *[Signature]*
 DATE: _____

NOTE:
 REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:
 SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:
 THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS DRAWINGS BY MANUFACTURER.

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ARCHITECTURAL REVIEW AND APPROVAL
 TOWN OF EAST GWILLIMBURY

Signed: _____
 Date: OCT 31 2018
 JOHN G. WILLIAMS LIMITED
 ARCHITECT

NOTE:
 SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL
 ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

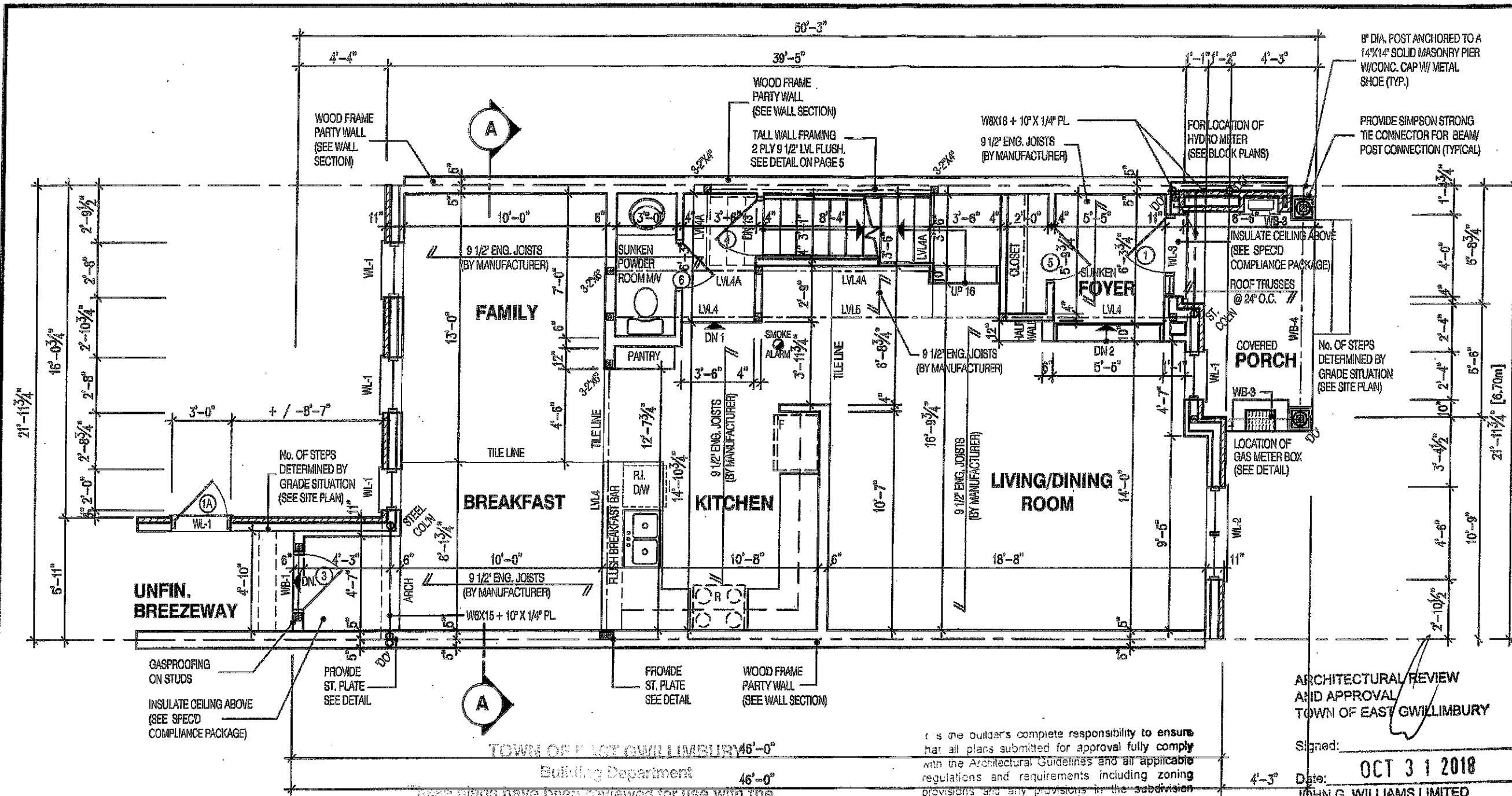
LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE LAMINATED VENEER LUMBER
- LVL SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER
 B. MARINKOVIC
 PROVINCE OF ONTARIO

FOR STRUCTURE ONLY



1826
TOWNHOUSE
HOLLAND 3A
ELEVATION 2
O.REG. 332/12
ENERGY STAR

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AS CONSTRUCTED INHERITS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

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3	OCT. 24, 2018 REVISED BREEZEWAY WIDTH PER CITY COMMENTS.
2	DEC. 21, 2017 ISSUED FOR BUILDING PERMIT
1	SEPT. 8, 2017 CAME FROM HOLLAND 3 PARTHINGALE

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
 64 JARDIN DR. SUITE 3A
 VAUGHAN ONT. L4K 3P3
 TEL: 905 660-3377 FAX: 905 660-3713
 EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter *Walter Botter* 21031
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

Jardin design group Inc. 27763
 FIRM NAME BCIN

FIRST FLOOR PL. EL-2
SECONDO VALES ESTATES
TOWN OF EAST GWILLIMBURY

BILD

MODEL: ---
 SCALE: 3/16"=1'-0"
 PROJ. No. 17-41 DWG. No. 2B

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THESE DOCUMENTS WERE REVIEWED AND EXAMINED BY: *[Signature]*
 DATE: _____

STRUDET INC.

FOR STRUCTURE ONLY

NOTE:
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NOTE:
 REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:
 SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:
 THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:

SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL
 ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

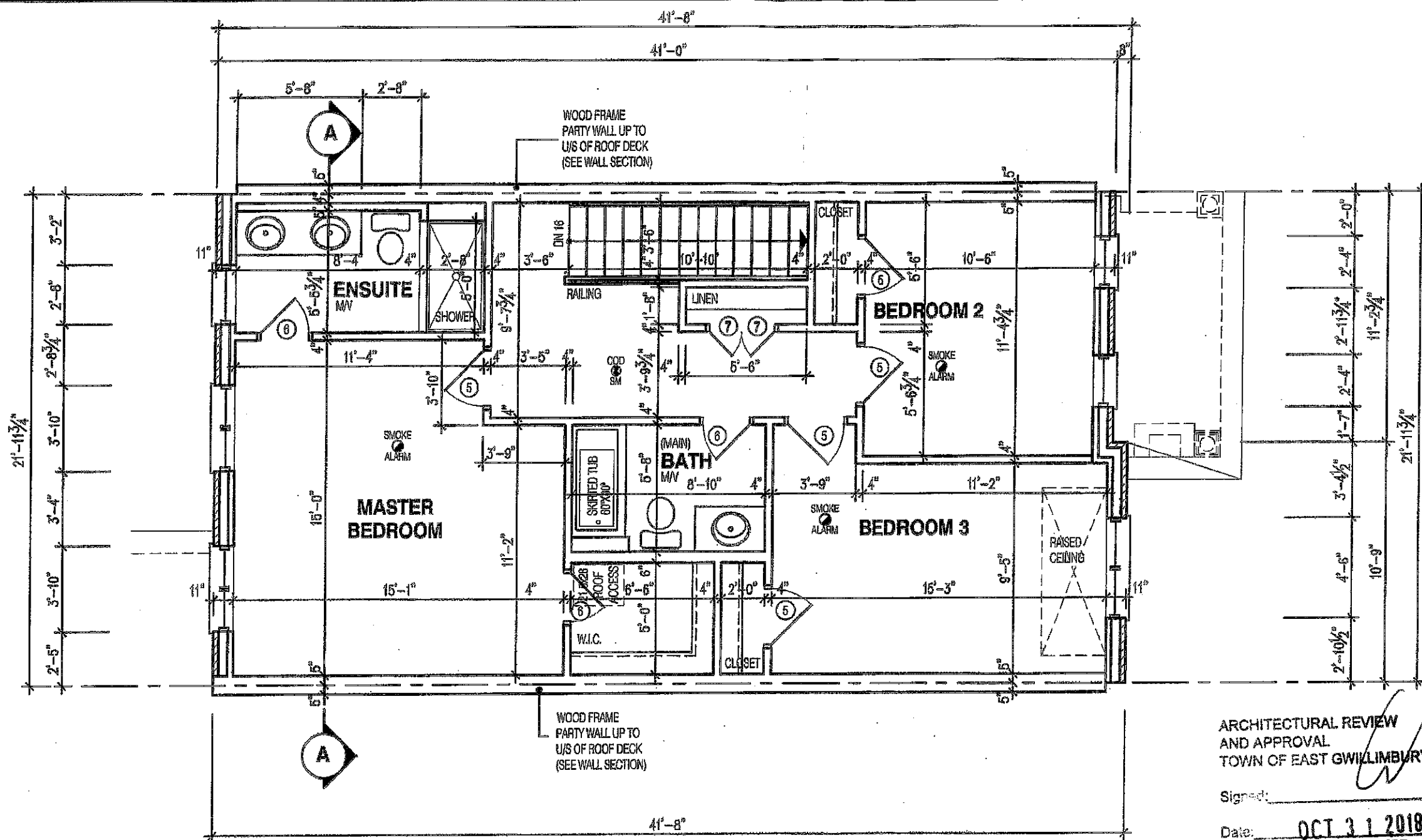
LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE
- LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

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ARCHITECTURAL REVIEW AND APPROVAL
 TOWN OF EAST GWILLIMBURY

Signed: _____
 Date: OCT 31 2018
 JOHN G. WILLIAMS LIMITED
 ARCHITECT



TOWN OF EAST GWILLIMBURY
Building Department

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THESE DOCUMENTS WERE REVIEWED AND
EXAMINED BY: *de*

DATE: _____

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ROOF TRUSS DRAWINGS BY MANUFACTURER.

ARCHITECTURAL REVIEW
AND APPROVAL
TOWN OF EAST GWILLIMBURY

Signed: _____

Date: **OCT 31 2018**
JOHN G. WILLIAMS LIMITED
ARCHITECT

LEGEND:

- BUILDING FACE < 4'-0" (1.2m)
(45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED
OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

1826
TOWNHOUSE
HOLLAND 3A
ELEVATION 1A
O.REG. 332/12
ENERGY STAR

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND
CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.
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INC. PRIOR TO COMMENCEMENT OF WORK.
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OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION ON
THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE
ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE
ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED (INVERTS MUST BE VERIFIED PRIOR TO POURING
FOOTINGS).
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT
GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY
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3	OCT. 24, 2018	REVISED BREEZEWAY WIDTH PER CITY COMMENTS.
2	DEC. 21, 2017	ISSUED FOR BUILDING PERMIT
1	SEPT. 5, 2017	CAME FROM HOLLAND 3 FARTHINGALE

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.5 of the building code

Walter Batten *WBe* 21031
NAME SIGNATURE BCIN

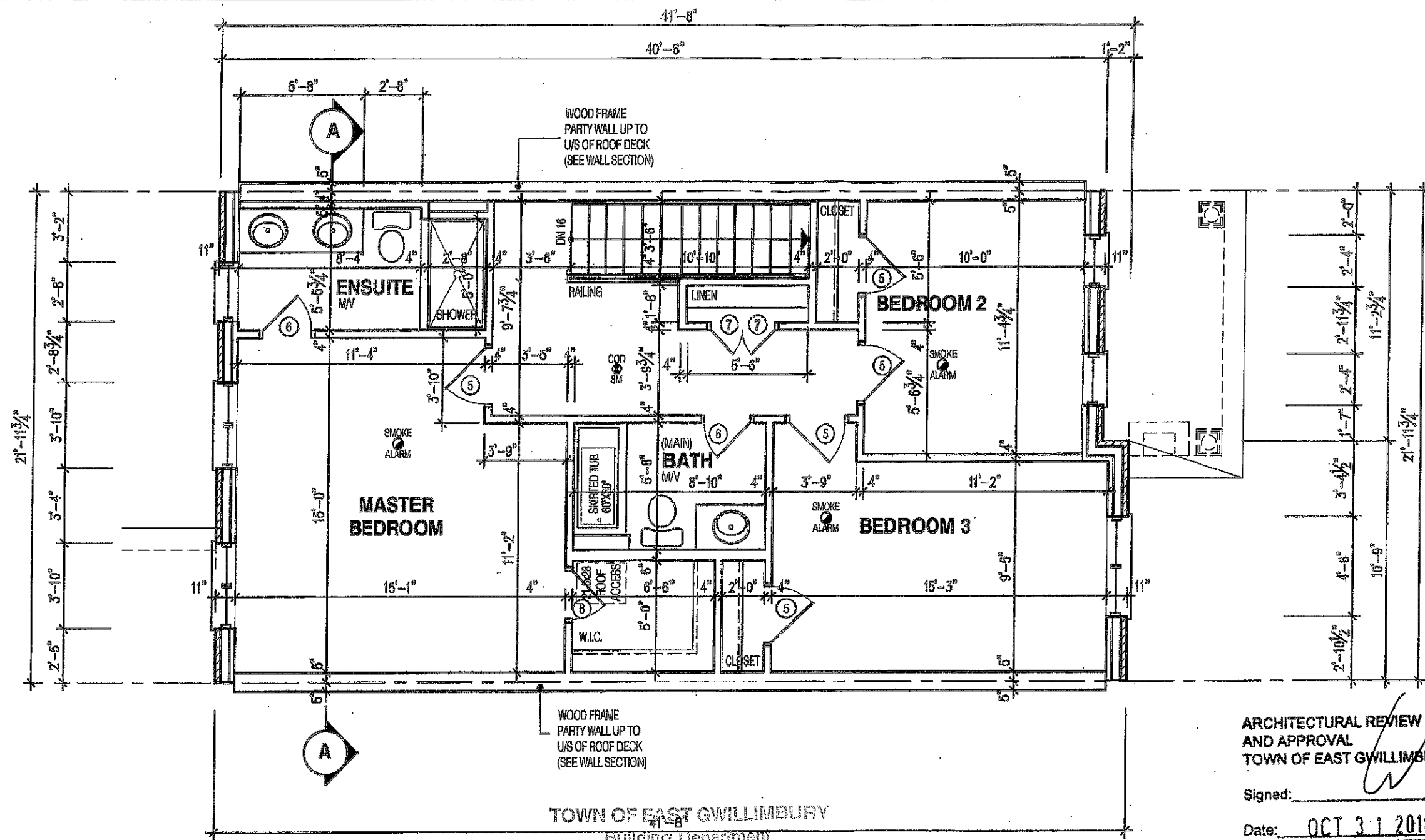
Required unless design is exempt under Division C, Subsection
3.2.4 of the building code

Jardin design group inc. 27763
FIRM NAME BCIN

SECOND FL. PLAN EL-1A

SECONDO VALES ESTATES
TOWN OF EAST GWILLIMBURY

MODEL: ---
SCALE: 3/16"=1'-0"
PROJ. No. 17-41 DWG. No. 3A



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DATE: _____

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NOTE:

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ARCHITECTURAL REVIEW AND APPROVAL
TOWN OF EAST GWILLIMBURY

Signed: _____

Date: OCT 31 2018
JOHN G. WILLIAMS LIMITED
ARCHITECT

LEGEND:

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- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

1826

TOWNHOUSE

HOLLAND 3A
ELEVATION 2

O.REG. 332/12

ENERGY STAR

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3	OCT. 24, 2018	REVISED BREEZEWAY WIDTH PER CITY COMMENTS.
2	DEC. 21, 2017	ISSUED FOR BUILDING PERMIT
1	SEPT. 6, 2017	CAME FROM HOLLAND 3 FARTHINGALE

No: _____ DATE: _____ WORK DESCRIPTION: _____

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code.

Walter Botter *[Signature]* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

SECOND FL. PLAN EL-2
SECONDO VALES ESTATES
TOWN OF EAST GWILLIMBURY



MODEL: _____

SCALE: 3/16"=1'-0"

PROJ. No. 17-41

DWG. No. 3B

TOWN OF EAST GWILLIMBURY
Building Department

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FOR DOCUMENTS HAVE REVIEWED AND

APPROVED BY:

DATE:

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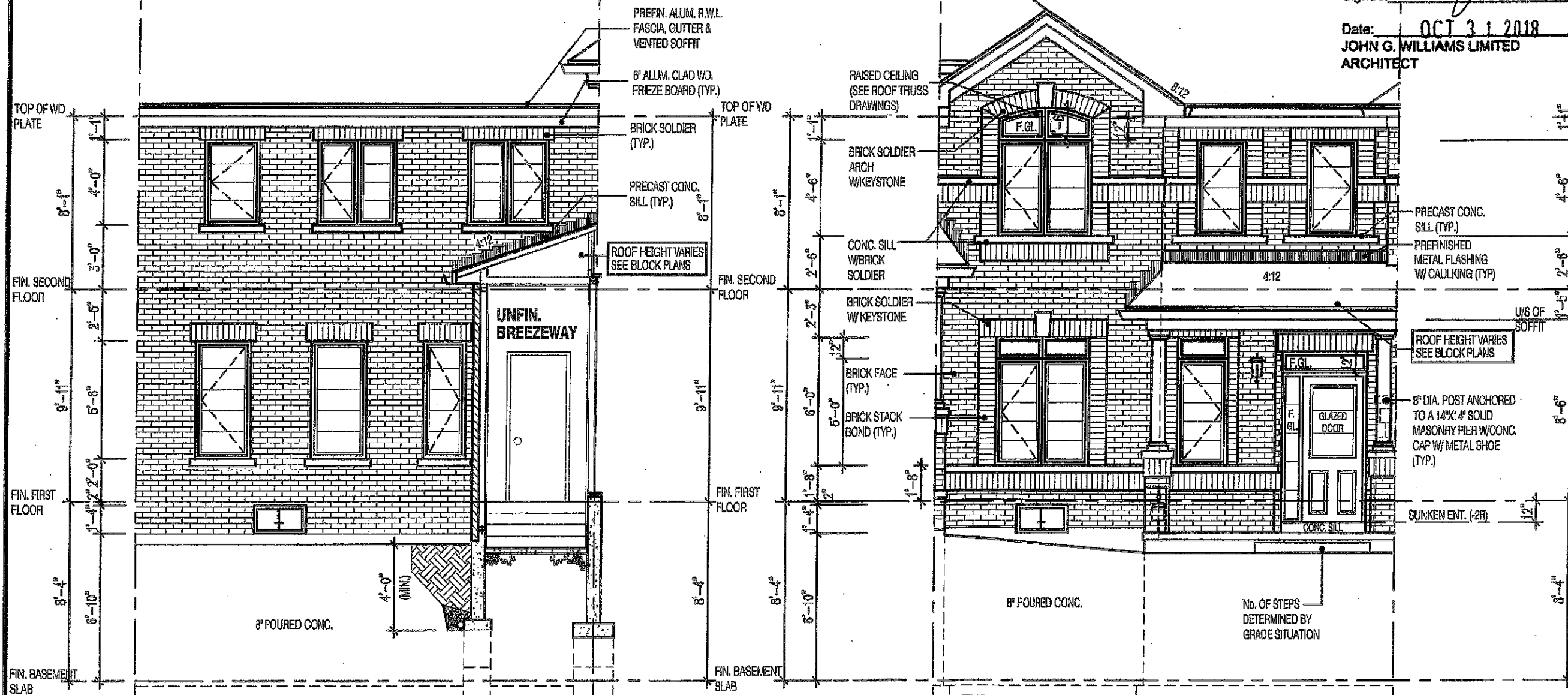
**ARCHITECTURAL REVIEW
AND APPROVAL
TOWN OF EAST GWILLIMBURY**

Signed:

Date: **OCT 31 2018**
JOHN G. WILLIAMS LIMITED
ARCHITECT

6:12

6:12



**HOLLAND 3A
ELEV-1
TH 51-3**

**HOLLAND 3A
ELEV-1
TH 51-3**

NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

1826

TOWNHOUSE

**HOLLAND 3A
ELEVATION 1**

O.REG. 332/12

ENERGY STAR

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3	OCT. 24, 2018	REVISED BREEZEWAY WIDTH PER CITY COMMENTS.
2	DEC. 21, 2017	ISSUED FOR BUILDING PERMIT
1	SEPT. 5, 2017	CAME FROM HOLLAND 3 FARTHINGDALE

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, subsection 3.2.5 of the building code

Walter Boffa *WBE* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, subsection 3.2.4 of the building code

jardin design group inc. 27763
FIRM NAME BCIN

FRONT & REAR ELEV. 1

**SECONDO VALES ESTATES
TOWN OF EAST GWILLIMBURY**

MODEL:	---
SCALE:	3/16"=1'-0"
PROJ. No.	17-41
DWG. No.	4



TOWN OF EAST GWILLIMBURY
Building Department

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THESE DOCUMENTS WERE REVIEWED AND

APPROVED BY:

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ARCHITECTURAL REVIEW
AND APPROVAL
TOWN OF EAST GWILLIMBURY

Signed:

Date: OCT 31 2018
JOHN G. WILLIAMS LIMITED
ARCHITECT

1826

TOWNHOUSE

HOLLAND 3A
ELEVATION 1A

O.REG. 332/12

ENERGY STAR

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3	OCT. 24, 2018 REVISED BREEZEWAY WIDTH PER CITY COMMENTS.
2	DEC. 21, 2017 ISSUED FOR BUILDING PERMIT
1	SEPT. 5, 2017 CAME FROM HOLLAND 3 FARTHINGALE

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter *Walter Botter* 21037
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

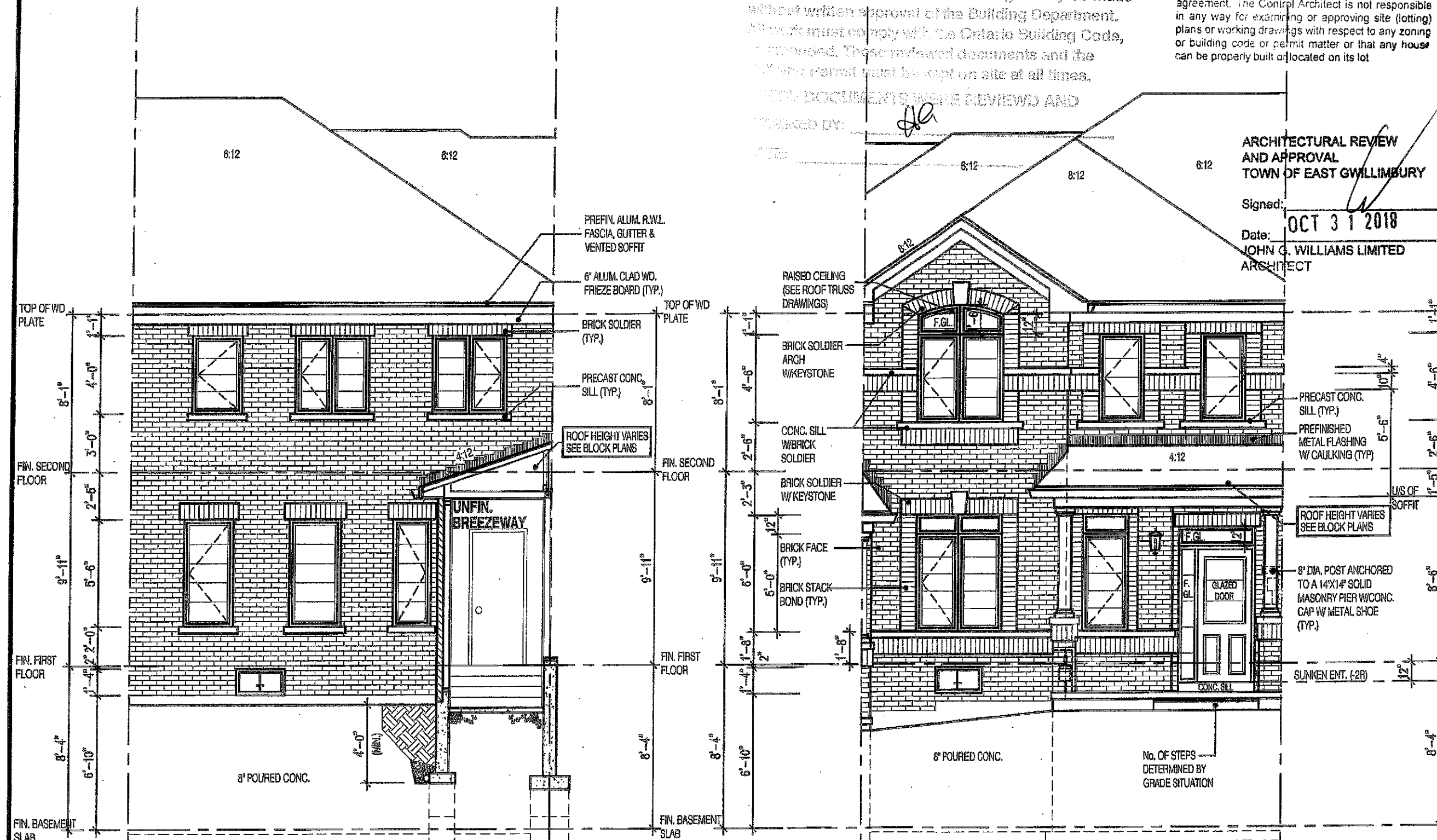
Jardin design group inc. 27763
FIRM NAME BCIN

FRONT & REAR ELEV. 1A

SECONDO VALES ESTATES
TOWN OF EAST GWILLIMBURY

MODEL:	---
SCALE:	3/16" = 1'-0"
PROJ. No.	17-41
DWG. No.	4A

NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

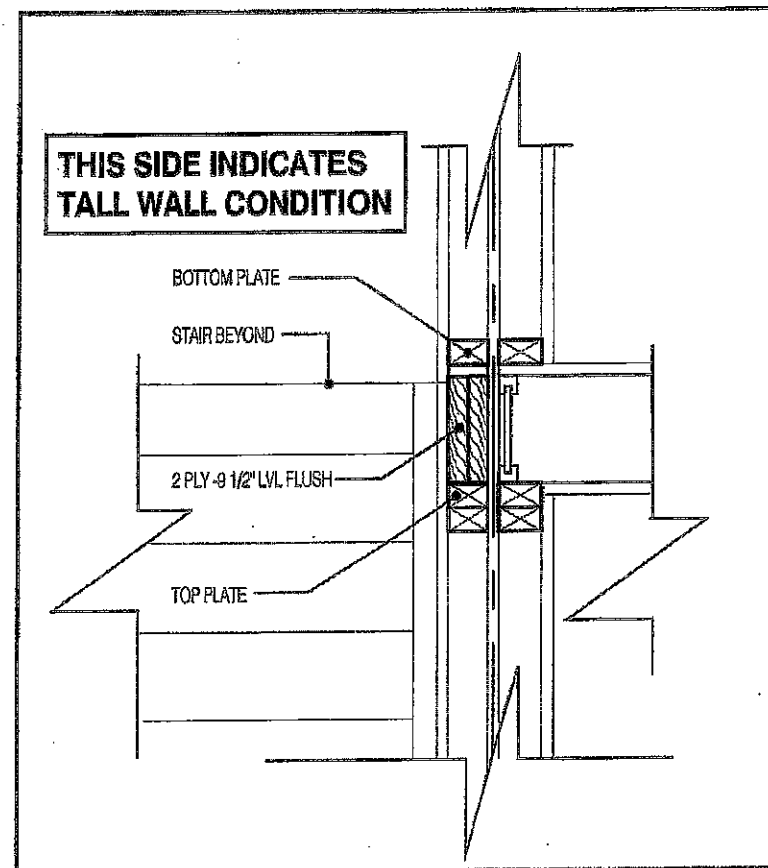


HOLLAND 3A
ELEV-1A
TH 51-2

HOLLAND 3A
ELEV-1A
TH 51-2

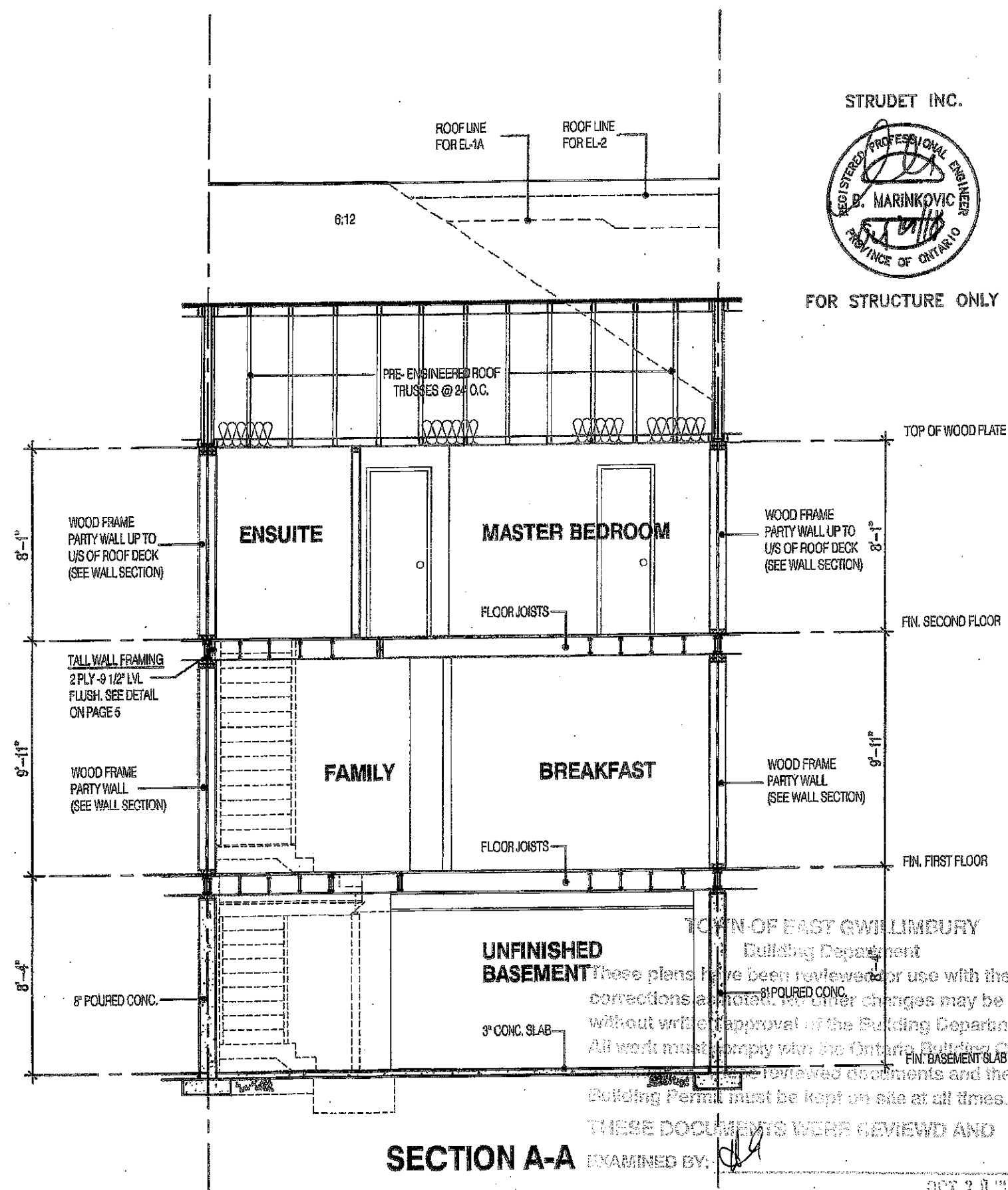
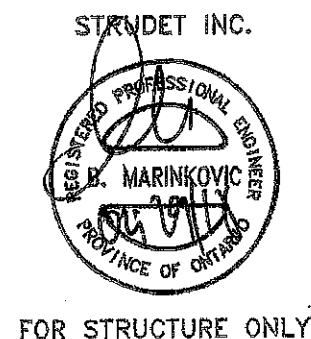
OCT 31 2018





B TALL WALL FRAMING

N.T.S.



1826
TOWNHOUSE
HOLLAND 3A
ELEVATION 1
O.REG. 332/12
ENERGY STAR

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JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INVENTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

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3	OCT. 24, 2018	REVISED BREEZEWAY WIDTH PER CITY COMMENTS.
2	DEC. 21, 2017	ISSUED FOR BUILDING PERMIT
1	SEPT. 5, 2017	CAME FROM HOLLAND 3 PARTHINGALE

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 1.2.3 of the Building Code

Walter Boffa [Signature] 21037
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 1.2.4 of the Building Code

jardin design group inc. 27763
FIRM NAME BCIN

SECTION
SECONDO VALES ESTATES
TOWN OF EAST GUILDFORD

MODEL: ---
SCALE: 3/16"=1'-0"
PROJ. No. 17-41 DWG. No. 5