

STRIP FOOTINGS FOR SINGLES AND SEMIS UP TO 2 STOREY

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS

20"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

ASSUME THE LARGER FOOTINGS SIZE WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa
FOR ENGINEERED FILL IS USED, TO BE VERIFIED ON SITE.

FOUNDATION WALLS WITH ENGINEERING JOISTS OVER 16'-0" SPAN

24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

ENGINEERED FILL FOOTINGS

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING

BELOW EXTERIOR WALLS.

30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS. (REFER TO ENG. FILL FOOTING DETAIL)

PAD FOOTING

120 KPa NATIVE SOIL

90 KPa ENGINEERED FILL SOIL

F1 = 42"x42"x18" CONCRETE PAD

F1 = 48"x48"x20" CONCRETE PAD

F2 = 36"x36"x16" CONCRETE PAD

F2 = 40"x40"x16" CONCRETE PAD

F3 = 30"x30"x12" CONCRETE PAD

F3 = 34"x34"x14" CONCRETE PAD

F4 = 24"x24"x12" CONCRETE PAD

F4 = 28"x28"x12" CONCRETE PAD

F5 = 18"x18"x8" CONCRETE PAD

F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

NOTE:

WHEN VENEER CUT IS GREATER THAN 2" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.

NOTE:

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa
WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS:

WL1 = 3 1/2" x 3 1/2" x 1 1/4" (90x90x8) + 2-2" x 8" SPR.

WL6 = 5" x 3 1/2" x 5 1/8" (125x90x8) + 2-2" x 12" SPR.

WL2 = 4" x 3 1/2" x 5 1/8" (100x90x8) + 2-2" x 8" SPR.

WL7 = 5" x 3 1/2" x 5 1/8" (125x90x8) + 3-2" x 10" SPR.

WL3 = 5" x 3 1/2" x 5 1/8" (125x90x8) + 2-2" x 10" SPR.

WL8 = 5" x 3 1/2" x 5 1/8" (125x90x8) + 3-2" x 12" SPR.

WL4 = 6" x 3 1/2" x 3/8" (150x90x10) + 2-2" x 12" SPR.

WL9 = 6" x 4" x 3/8" (150x100x10) + 3-2" x 12" SPR.

WL5 = 6" x 4" x 3/8" (150x100x10) + 2-2" x 12" SPR.

WOOD LINTELS:

WB1 = 2-2" x 8" SPRUCE BEAM

WB6 = 3-2" x 12" SPRUCE BEAM

WB2 = 3-2" x 8" SPRUCE BEAM

WB7 = 5-2" x 12" SPRUCE BEAM

WB3 = 2-2" x 10" SPRUCE BEAM

WB10 = 4-2" x 8" SPRUCE BEAM

WB4 = 3-2" x 10" SPRUCE BEAM

WB11 = 4-2" x 10" SPRUCE BEAM

WB5 = 2-2" x 12" SPRUCE BEAM

STEEL LINTELS:

L1 = 3 1/2" x 3 1/2" x 1 1/4" (90 x 90 x 8)

L4 = 6" x 3 1/2" x 3/8" (150 x 90 x 10)

L2 = 4" x 3 1/2" x 5 1/8" (100 x 90 x 8)

L5 = 6" x 4" x 3/8" (150 x 100 x 10)

L3 = 5" x 3 1/2" x 5 1/8" (125 x 90 x 8)

L6 = 7" x 4" x 3/8" (180 x 100 x 10)

LAMINATED VENEER LUMBER (LVL BEAMS)

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)

LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)

LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)

LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)

LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)

LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)

LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)

LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)

LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)

LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)

LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)

LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)

LVL8 = 2-1 3/4" x 14" (2-45x356)

LVL9 = 3-1 3/4" x 14" (3-45x356)

DOOR SCHEDULE:

1 = 2'-10" x 6'-8" INSULATED ENTRANCE DOOR

1A = 2'-8" x 6'-8" INSULATED ENTRANCE DOOR

2 = 2'-8" x 6'-8" EXTERIOR GLAZED DOOR

3 = 2'-8" x 6'-8" SLAB DOOR (1 3/4" EXTERIOR)

4 = 2'-8" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)

5 = 2'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)

6 = 2'-2" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)

7 = 1'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)

8 = 2'-6" x 6'-8" BI-FOLD (1 3/8" INTERIOR)

9 = 3'-0" x 6'-8" BI-FOLD (1 3/8" INTERIOR)

10 = 2'-2'-0" x 6'-8" BI-FOLD (1 3/8" INTERIOR)

11 = 2'-2'-6" x 6'-8" BI-FOLD (1 3/8" INTERIOR)

12 = 2'-6" x 6'-8" FRENCH DOOR (1 3/8" INTERIOR)

TOWN OF EAST GWILLIMBURY
Building Department

These plans have been reviewed for use with the
corrections as noted. No other changes may be made
without written approval of the Building Department.
All work must comply with the Ontario Building Code,
as amended. These reviewed documents and the
Building Permit must be kept on site at all times.

THESE DOCUMENTS WERE REVIEWD AND

EXAMINED BY: 

DATE: _____

HOLLAND 14 ELEV-1

ENERGY EFFICIENCY- ENERGY STAR

ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	387.00	91.00	23.51 %
LEFT SIDE	815.00	101.00	12.39 %
RIGHT SIDE	805.00	0.00	0.00 %
REAR	387.00	81.00	20.93 %
TOTAL	2394.00	273.00	11.40 %

AREA CALCULATIONS EL-1

GROUND FLOOR AREA	=	729 Sq. Ft.
SECOND FLOOR AREA	=	701 Sq. Ft.
TOTAL FLOOR AREA	=	1430 Sq. Ft.
ADD OPEN AREAS	=	7 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	1437 Sq. Ft.
GROUND FLOOR COVERAGE	=	729 Sq. Ft.
GARAGE COVERAGE / AREA	=	412 Sq. Ft.
PORCH COVERAGE / AREA	=	114 Sq. Ft.
COVERAGE W/ PORCH	=	1255 Sq. Ft.
	=	116.6 Sq. m.
COVERAGE W/O PORCH	=	1141 Sq. Ft.
	=	106.0 Sq. m.

1437

TOWNHOUSE

HOLLAND 14
ELEVATION 1

O.REG. 332/12

ENERGY STAR

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND
CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.
ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP
INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY
OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON
THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE
ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE
ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING
FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT
GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY
FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO
CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT
DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS
THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT
TO BE REPRODUCED.

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2	OCT. 24, 2018	REVISED BREEZEWAY WIDTH PER CITY COMMENTS.
1	DEC. 21, 2017	ISSUED FOR BUILDING PERMIT

No: _____ DATE: _____ WORK DESCRIPTION: _____

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.5 of the building code

Walter Botter  21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.4 of the building code

Jardin design group inc. 27763
FIRM NAME BCIN

TITLE SHEET
SECONDO VALES ESTATES
TOWN OF EAST GWILLIMBURY

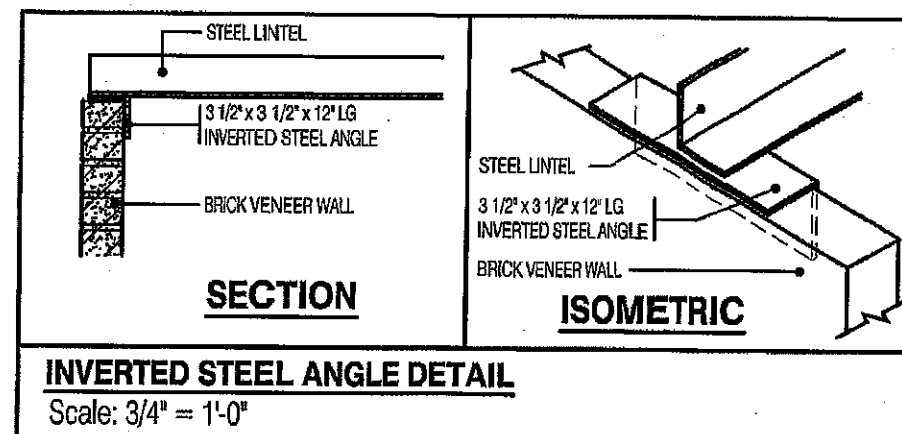
MODEL: _____
SCALE: 3/16"=1'-0"
PROJ. No. 17-41 DWG. No. 0

RECEIVED

NOV 06 2018

TOWN OF EAST GWILLIMBURY
BUILDING DEPARTMENT
ROLL # _____

APPLICANT COPY



NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 6'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:

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FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:

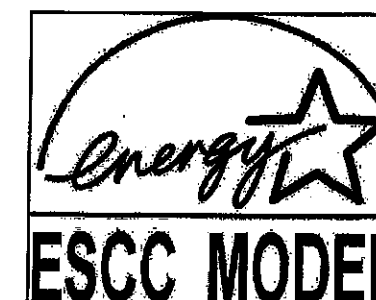
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

STRUDET INC.



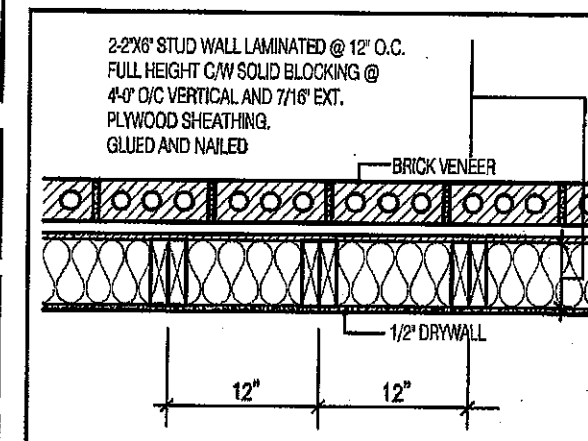
FOR STRUCTURE ONLY

OCT 29 2018



LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m)
(45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED
OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COL'N ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS



FULL HEIGHT WALL DETAIL 1
WITH BRICK VENEER

N.T.S.

1437

TOWNHOUSE

HOLLAND 14

ELEVATION 1

O.REG. 332/12

ENERGY STAR

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

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2	OCT. 24, 2018	REVISED BREEZEWAY WIDTH PER CITY COMMENTS.
1	DEC. 21, 2017	ISSUED FOR BUILDING PERMIT

No: DATE: WORK DESCRIPTION:

jardin

DESIGN GROUP INC

64 JARDIN DR. SUITE 3A

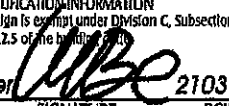
VAUGHAN ONT. L4K 3P3

TEL: 905 660-3377 FAX: 905 660-3713

EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter  21031

NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc. 27763

FIRM NAME BCIN

FIRST FLOOR PLAN EL-1

SECONDO VALES ESTATES

TOWN OF EAST GWILLIMBURY

 BILD

MODEL: ---

SCALE: 3/16"=1'-0"

PROJ. No. 17-41

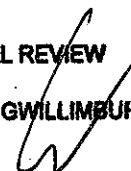
DWG. No. 2

TOWN OF EAST GWILLIMBURY
Building Department

These plans have been reviewed for use with the
exceptions as noted. No other changes may be made
without written approval of the Building Department.
Work must comply with the Ontario Building Code.
Approved. These reviewed documents and the
Building Permit must be kept on site at all times.

USE DOCUMENTS WERE REVIEWED AND
EXAMINED BY: 

ARCHITECTURAL REVIEW
AND APPROVAL
TOWN OF EAST GWILLIMBURY

Signed: 

Date: OCT 3, 2018
JOHN G. WILLIAMS LIMITED
ARCHITECT

STRUDET INC.



FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure
that all plans submitted for approval fully comply
with the Architectural Guidelines and all applicable
regulations and requirements including zoning
provisions and any provisions in the subdivision
agreement. The Control Architect is not responsible
in any way for examining or approving site (lotting
plans or working drawings with respect to any zoning
or building code or permit matter or that any house
can be properly built or located on its lot

NOTE:
REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:
SUBFLOOR TO BE
5/8" PLYWOOD ON
THIS LEVEL

ALL FLOORS TO BE
NAILED AND GLUED
ON THIS LEVEL

LEGEND:

 BUILDING FACE < THAN 4'-0" (1.2m)
(45 MIN. FIRE RATING REQ'D)

 INDICATES SOLID BEARING REQUIRED
OR POINT LOAD FROM ABOVE

 STL. PLATE FOR STEEL COLN ABOVE

 LVL LAMINATED VENEER LUMBER

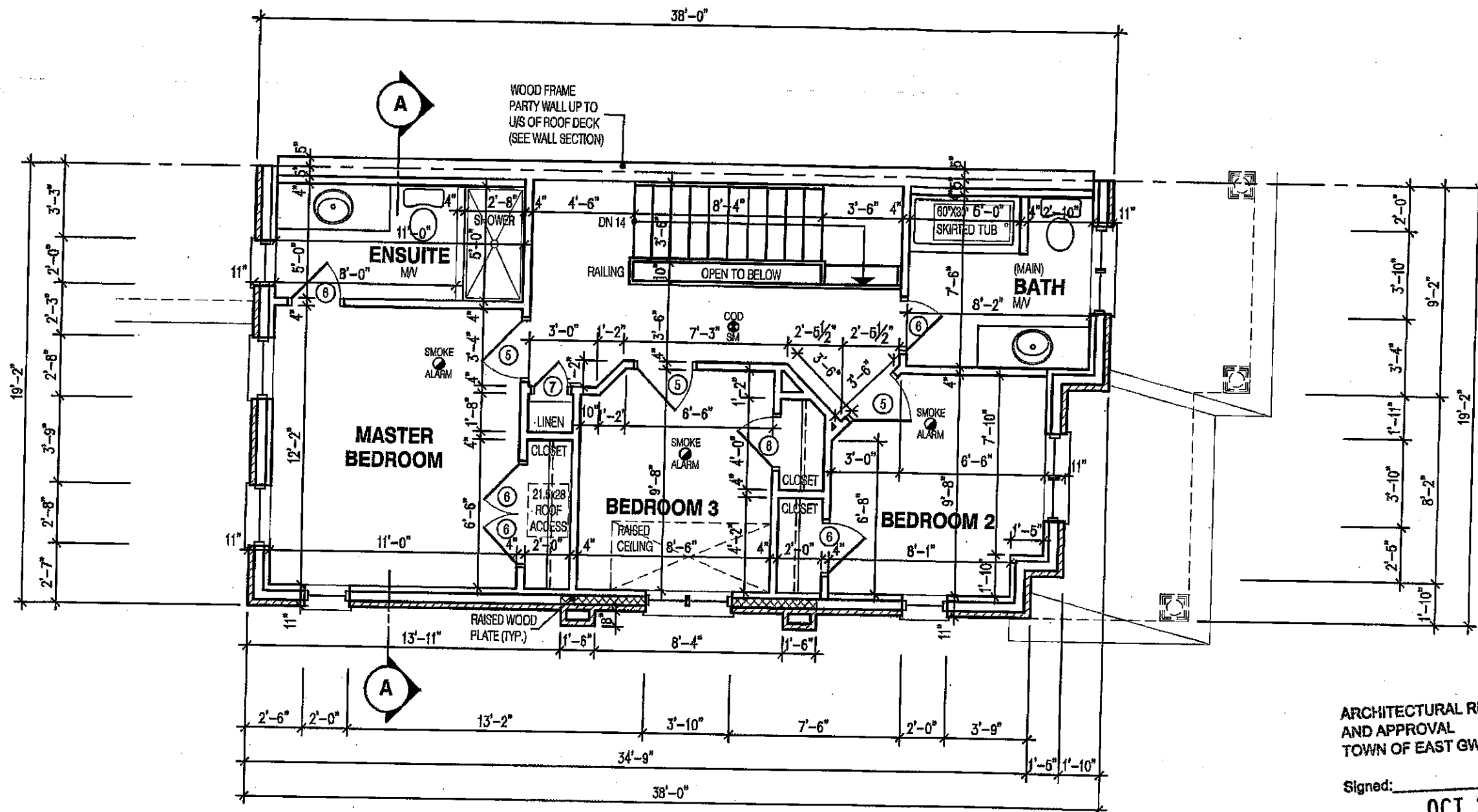
 S.J. SINGLE JOIST

 D.J. DOUBLE JOIST

 T.J. TRIPLE JOIST

 REPEAT NOTE

 SHOWER WEEPERS



TOWN OF EAST GWILLIMBURY
 Building Department

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 directions as noted. No other changes may be made
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 These plans must comply with the Ontario Building Code,
 as amended. These reviewed documents and the
 Building Permit must be kept on site at all times.

THESE DOCUMENTS WERE REVIEWED AND
 APPROVED BY: *[Signature]*

NOTE:
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 ROOF TRUSS DRAWINGS BY MANUFACTURER.

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ARCHITECTURAL REVIEW
 AND APPROVAL
 TOWN OF EAST GWILLIMBURY

Signed: *[Signature]*
 Date: **OCT 31 2018**
JOHN G. WILLIAMS LIMITED
 ARCHITECT

- LEGEND:**
- BUILDING FACE < THAN 4'-0" (1.2m)
(45 MIN. FIRE RATING REQ'D)
 - INDICATES SOLID BEARING REQUIRED
OR POINT LOAD FROM ABOVE
 - STL. PLATE FOR STEEL COL'N ABOVE
 - L.V.L. LAMINATED VENEER LUMBER
 - S.J. SINGLE JOIST
 - D.J. DOUBLE JOIST
 - T.J. TRIPLE JOIST
 - REPEAT NOTE
 - SHOWER WEEPERS

1437
TOWNHOUSE
HOLLAND 14
ELEVATION 1
O.REG. 332/12
ENERGY STAR

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND
 CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.
 ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP
 INC. PRIOR TO COMMENCEMENT OF WORK.
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2	OCT. 24, 2018	REVISED BREEZEWAY WIDTH PER CITY COMMENTS.
1	DEC. 21, 2017	ISSUED FOR BUILDING PERMIT

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
 64 JARDIN DR. SUITE 3A
 VAUGHAN ONT. L4K 3P3
 TEL: 905 660-3377 FAX: 905 660-3713
 EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
 for this design and has the qualifications and meets the
 requirements set out in the Ontario Building Code to be
 a designer.

QUALIFICATION INFORMATION
 Required unless design is exempt under Division C, Subsection
 3.2.5 of the building code

Walter Botter *[Signature]* 21031
 NAME SIGNATURE BCIN

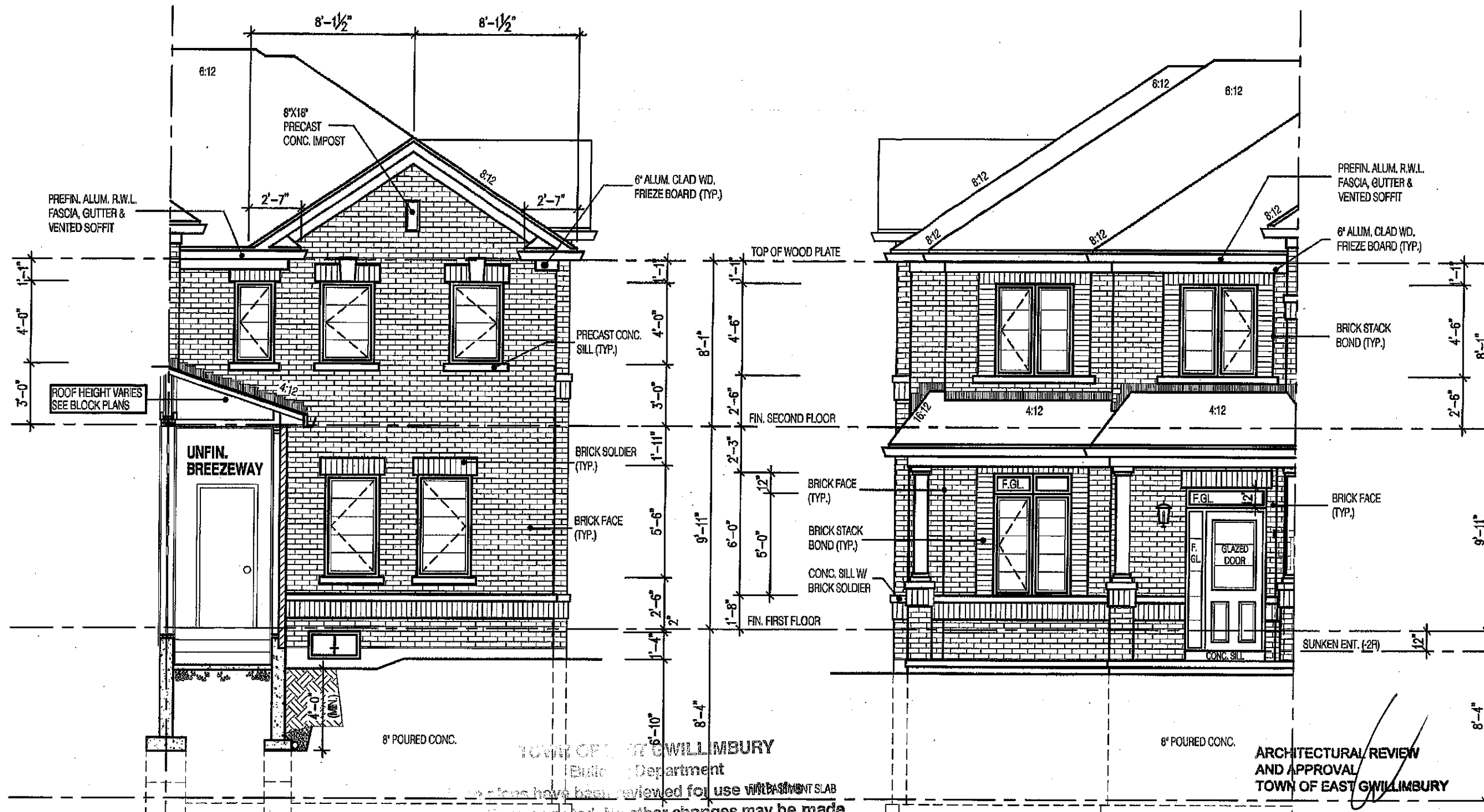
REGISTRATION INFORMATION
 Required unless design is exempt under Division C, Subsection
 3.2.4 of the building code

Jardin design group inc. 27763
 FIRM NAME BCIN

SECOND FL. PLAN EL-1
SECONDO VALES ESTATES
TOWN OF EAST GWILLIMBURY

BILD

MODEL: _____
 SCALE: 3/16" = 1'-0"
 PROJ. No. 17-41 DWG. No. 3



**HOLLAND 14
ELEV-1
TH 51-1**

**HOLLAND 14
ELEV-1
TH 51-1**

These documents have been reviewed for use with the Building Department. As noted. No other changes may be made without written approval of the Building Department. It must comply with the Ontario Building Code, as amended. These reviewed documents and the Building Permit must be kept on site at all times. THESE DOCUMENTS WERE REVIEWED AND EXAMINED BY: [Signature] DATE: _____

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

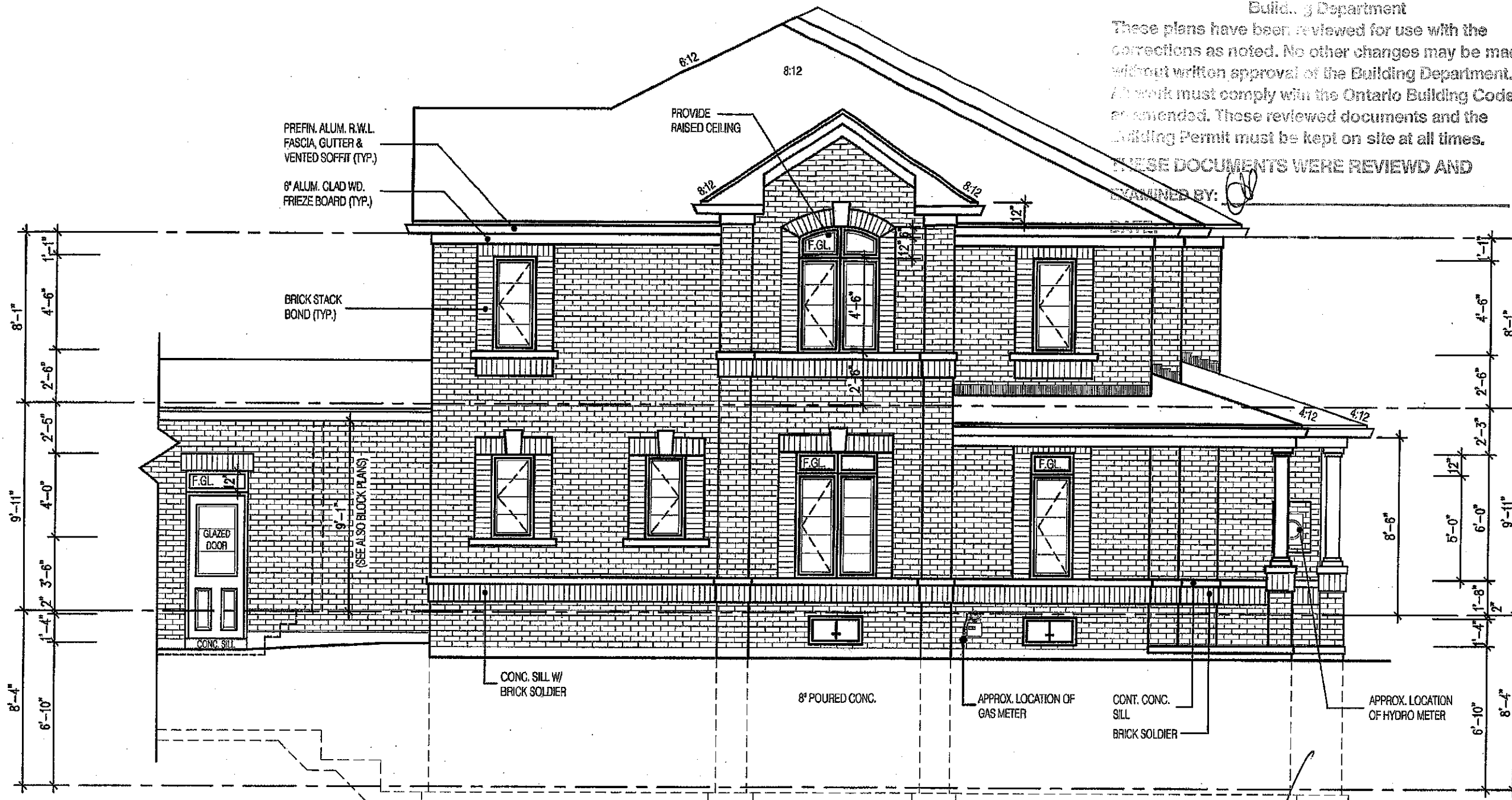
ARCHITECTURAL REVIEW
AND APPROVAL
TOWN OF EAST GWILLIMBURY

Signed: _____
Date: **OCT 31 2018**
JOHN G. WILLIAMS LIMITED
ARCHITECT

OCT 29 2018

NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

1437 TOWNHOUSE HOLLAND 14 ELEVATION 1 O.REG. 332/12 ENERGY STAR	
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK. AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.	
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2	OCT. 24, 2018 REVISED BREEZEWAY WIDTH PER CITY COMMENTS.
1	DEC. 21, 2017 ISSUED FOR BUILDING PERMIT
NO:	DATE: WORK DESCRIPTION:
jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.	
Walter Botter	21037
NAME	SIGNATURE BCIN
REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.	
jardin design group inc.	27763
FIRM NAME	BCIN
FRONT ELEVATION 1	
SECONDO VALES ESTATES TOWN OF EAST GWILLIMBURY	
MODEL: _____ SCALE: 3/16"=1'-0" PROJ. No. 17-41 DWG. No. 4	



TOWN OF EAST GWILLIMBURY
Building Department

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THESE DOCUMENTS WERE REVIEWED AND
EXAMINED BY: *[Signature]*

HOLLAND 14
ELEV-1
TH 51-1

ARCHITECTURAL REVIEW
AND APPROVAL
TOWN OF EAST GWILLIMBURY

Signed: _____

Date: **OCT 31 2018**
JOHN G. WILLIAMS LIMITED
ARCHITECT

OCT 29 2018

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AND BLOCK PLANS FOR
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1437
TOWNHOUSE
HOLLAND 14
ELEVATION 1
O.REG. 332/12
ENERGY STAR

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

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2	OCT. 24, 2018	REVISED BREEZEWAY WIDTH PER CITY COMMENTS.
1	DEC. 21, 2017	ISSUED FOR BUILDING PERMIT

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR, SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Batten *[Signature]* 21031
NAME SIGNATURE BCIN

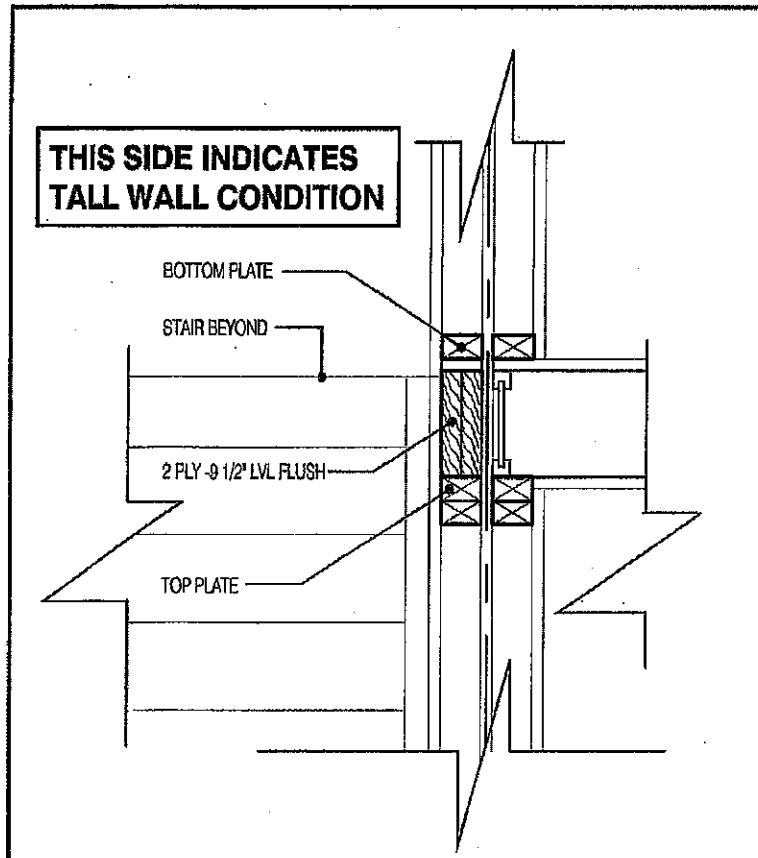
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

Jardin design group inc. 27763
FIRM NAME BCIN

SIDE ELEVATION 1
SECONDO VALES ESTATES
TOWN OF EAST GWILLIMBURY

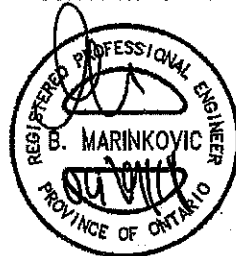


MODEL: _____
SCALE: 3/16"=1'-0"
PROJ. No. 17-41 DWG. No. 5



B TALL WALL FRAMING
N.T.S

STRUDET INC.

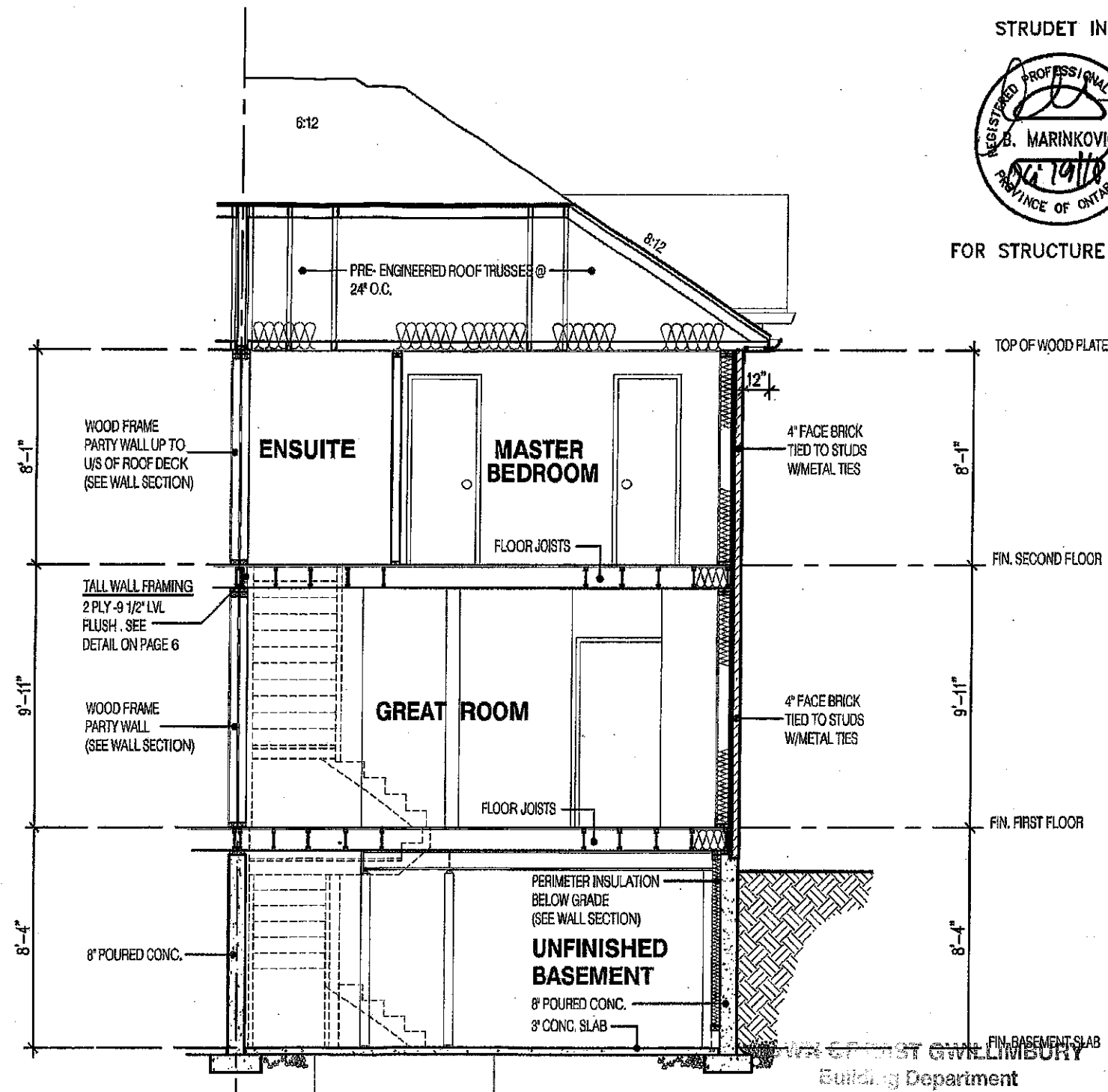


FOR STRUCTURE ONLY

STRUDET INC.



FOR STRUCTURE ONLY



SECTION A-A

Plans have been reviewed for use with the
as noted. No other changes may be made
without approval of the Building Department.
must comply with the Ontario Building Code,
etc. These reviewed documents and the
Building Permit must be kept on site at all times.

SE DOCUMENTS WERE REVIEWD AND

EXAMINED BY:

DATE:

OCT 29 2018

1437
TOWNHOUSE
HOLLAND 14
ELEVATION 1
O.REG. 332/12
ENERGY STAR

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Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

Jardin design group inc. 27763
FIRM NAME BCIN

SECTION ELEVATION 1
SECONDO VALES ESTATES
TOWN OF EAST GWILLIMBURY



MODEL:	
SCALE:	3/16"=1'-0"
PROJ. No.	17-41
DWG. No.	6