

2984 SF.

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS
8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.
FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
FOOTINGS ON ENGINEERED FILL
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW PARTY WALLS.
(REFER TO ENGINEER FILL FOOTING DETAIL)
ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY
ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa FOR ENGINEERED FILL TO BE VERIFIED ON SITE.
PAD FOOTINGS
120 KPa NATIVE SOIL 90 KPa ENGINEERED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)
ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)
WL1 = 3-1/2" x 3-1/2" x 1/4" L (90x90x8.0L) + 2-2"x8" SPR. No.2
WL2 = 4" x 3-1/2" x 5/16" L (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6" x 3-1/2" x 3/8" L (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6" x 4" x 3/8" L (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 3-2"x12" SPR. No.2
WL8 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 3-2"x10" SPR. No.2
WL9 = 6" x 4" x 3/8" L (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)
WB1 = 2-2"x8" (2-38x184) SPR. No.2
WB2 = 3-2"x8" (3-38x184) SPR. No.2
WB3 = 2-2"x10" (2-38x235) SPR. No.2
WB4 = 3-2"x10" (3-38x235) SPR. No.2
WB5 = 2-2"x12" (2-38x286) SPR. No.2
WB6 = 3-2"x12" (3-38x286) SPR. No.2
WB7 = 5-2"x12" (5-38x286) SPR. No.2
WB11 = 4-2"x10" (4-38x235) SPR. No.2
WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS
LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)

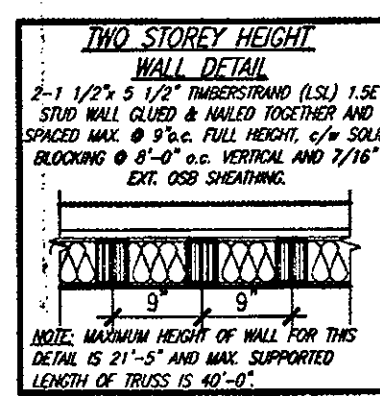
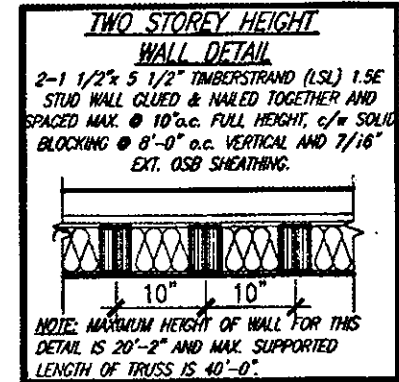
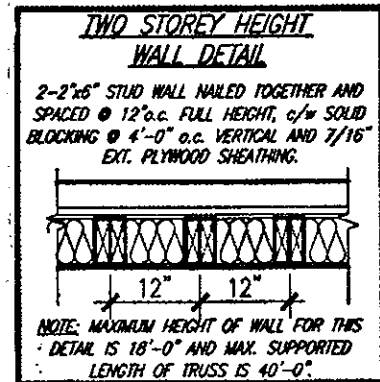
LOOSE STEEL LINTELS (L)
L1 = 3-1/2" x 3-1/2" x 1/4" L (90x90x8.0L)
L2 = 4" x 3-1/2" x 5/16" L (100x90x8.0L)
L3 = 5" x 3-1/2" x 5/16" L (125x90x8.0L)
L4 = 6" x 3-1/2" x 3/8" L (150x90x10.0L)
L5 = 6" x 4" x 3/8" L (150x100x10.0L)
L6 = 7" x 4" x 3/8" L (180x100x10.0L)

CERAMIC TILE FOR CONVENTIONAL LUMBER
(OBC 9.30.6)
SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0".
2 ROWS FOR SPANS GREATER THAN 7'0".

NOTE: ROOF FRAMING
REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING
REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving any (telling) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING:

2012 ENERGY STAR V-12.7	
COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	8.81 (R50)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSED FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	4.4 (R20+R5)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY STAR @ ZONE 2 (ER 29/UV 1.4)
SPACE HEATING EQUIPMENT MINIMUM AFUE	95% ENERGY STAR @ WITH ECM
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HVAC MINIMUM EFFICIENCY	TIER 2 55% SRE ENERGY STAR @ HVAC TO BE INTERCONNECTED TO THE FURNACE FAN MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/AIR
HOT WATER TANK	CONDENSING HOT WATER TANK 90% IE ENVIRONMENT
DRAIN WATER HEAT RECOVERY	ONE SHOWER > 42% STEADY R3-42 OR TD342
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (2.5 ACH/0.18 NLR) ATTACHED LEVEL 1 (3.0 ACH/0.26 NLR)
DUCT SEALING	ALL SUPPLY DUCTS 1 m (HORIZONTAL) OF RETURN DUCTS
LIGHTS	75% CFLs OR LEDs

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
NEWBERRY 6A AND ELEV. 1			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	546.51 S.F.	119.82 S.F.	21.92 %
LEFT SIDE	1405.33 S.F.	98.66 S.F.	7.02 %
RIGHT SIDE	1405.33 S.F.	0.00 S.F.	0.00 %
REAR	530.44 S.F.	113.07 S.F.	21.32 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3887.61 S.F.	331.55 S.F.	8.53 %
TOTAL SQ. M.	361.17 S.M.	30.80 S.M.	8.53 %

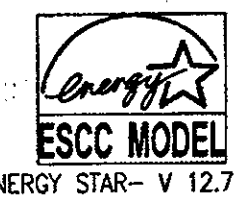
These plans have been reviewed for use with the Building Department. No other changes may be made without written approval of the Building Department. All work must comply with the Ontario Building Code, as amended. These reviewed documents and the Building Permit must be kept on site at all times.

THESE DOCUMENTS WERE REVIEWED AND APPROVED BY THE BUILDING DEPARTMENT ON NOV 23 2018

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
NEWBERRY 6A AND ELEV. 2			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	536.43 S.F.	109.38 S.F.	20.39 %
LEFT SIDE	1405.33 S.F.	98.66 S.F.	7.02 %
RIGHT SIDE	1405.33 S.F.	0.00 S.F.	0.00 %
REAR	530.44 S.F.	113.07 S.F.	21.32 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3877.53 S.F.	321.11 S.F.	8.28 %
TOTAL SQ. M.	360.23 S.M.	29.83 S.M.	8.28 %

APPLICANT COPY

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
NEWBERRY 6A AND ELEV. 3			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	544.61 S.F.	105.89 S.F.	19.44 %
LEFT SIDE	1405.33 S.F.	98.66 S.F.	7.02 %
RIGHT SIDE	1405.33 S.F.	0.00 S.F.	0.00 %
REAR	530.44 S.F.	113.07 S.F.	21.32 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3885.71 S.F.	317.62 S.F.	8.17 %
TOTAL SQ. M.	360.99 S.M.	29.51 S.M.	8.17 %



JUL 27 2018

NEWBERRY 6A
ENERGY STAR

AREA CALCULATIONS		ELEV '1'
GROUND FLOOR AREA	1314 SF	
SECOND FLOOR AREA	1651 SF	
TOTAL FLOOR AREA	2965 SF	(275.55 m2)
FIRST FLOOR OPEN AREA	XX SF	
SECOND FLOOR OPEN AREA	19 SF	
ADD TOTAL OPEN AREAS	+19 SF	
ADD FINISHED BSMT AREA	+XX SF	
GROSS FLOOR AREA	2984 SF	(277.32 m2)
GROUND FLOOR COVERAGE	1356 SF	
GARAGE COVERAGE/AREA	345 SF	
FRONT PORCH COVERAGE/AREA	56 SF	
COVERAGE W/ FRONT PORCH	1756 SF	(163.13 m2)
COVERAGE W/O FRONT PORCH	1700 SF	(157.94 m2)

AREA CALCULATIONS		ELEV '2'
GROUND FLOOR AREA	1314 SF	
SECOND FLOOR AREA	1646 SF	
TOTAL FLOOR AREA	2960 SF	(275.00 m2)
FIRST FLOOR OPEN AREA	XX SF	
SECOND FLOOR OPEN AREA	19 SF	
ADD TOTAL OPEN AREAS	+19 SF	
ADD FINISHED BSMT AREA	+XX SF	
GROSS FLOOR AREA	2979 SF	(276.76 m2)
GROUND FLOOR COVERAGE	1356 SF	
GARAGE COVERAGE/AREA	345 SF	
FRONT PORCH COVERAGE/AREA	56 SF	
COVERAGE W/ FRONT PORCH	1756 SF	(163.13 m2)
COVERAGE W/O FRONT PORCH	1700 SF	(157.94 m2)

AREA CALCULATIONS		ELEV '3'
GROUND FLOOR AREA	1314 SF	
SECOND FLOOR AREA	1646 SF	
TOTAL FLOOR AREA	2960 SF	(275.00 m2)
FIRST FLOOR OPEN AREA	XX SF	
SECOND FLOOR OPEN AREA	19 SF	
ADD TOTAL OPEN AREAS	+19 SF	
ADD FINISHED BSMT AREA	+XX SF	
GROSS FLOOR AREA	2979 SF	(276.76 m2)
GROUND FLOOR COVERAGE	1356 SF	
GARAGE COVERAGE/AREA	345 SF	
FRONT PORCH COVERAGE/AREA	56 SF	
COVERAGE W/ FRONT PORCH	1756 SF	(163.13 m2)
COVERAGE W/O FRONT PORCH	1700 SF	(157.94 m2)



no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6	RAISED 2nd FL CLG/WINDOWS PER CLIENT.	JULY 25/18	GW
14				5	OVERALL LENGTH REDUCED 12" RE-ISSUED.	JAN. 03/18	GW
13				4	ISSUED FOR PERMIT.	NOV. 21/17	GW
12				3	UPDATED. ISSUED FOR REVIEW.	OCT. 16/17	GW
11				2	REVISED. ISSUED FOR CLIENT REVIEW.	OCT. 10/17	GW
10				1	TRANSFER FROM FARTHINGALE TO SECONDO	OCT. 03/17	GW
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

signature: R. Vink
name: Richard Vink
registration information: 24488
VAS Design Inc.
42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
vasdesign.com

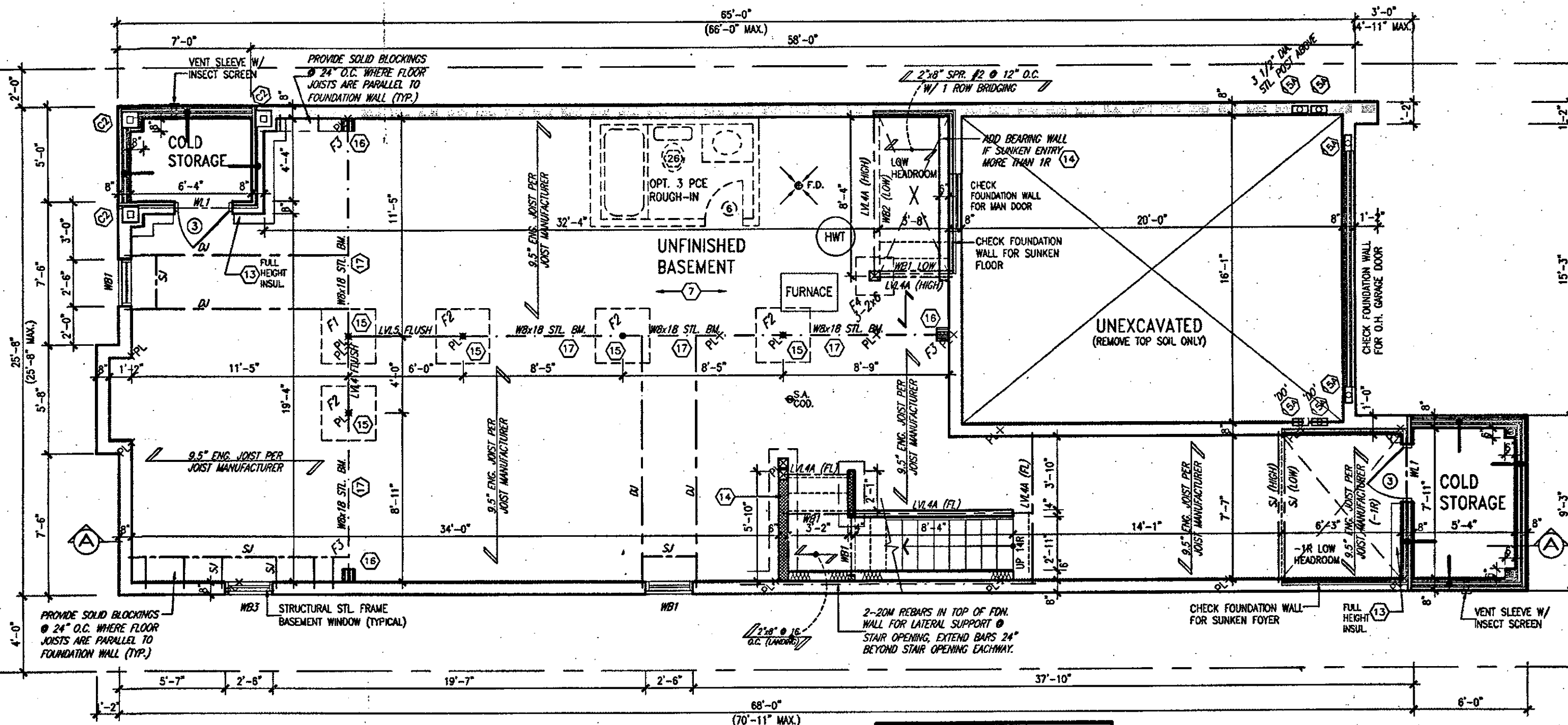
Greenpark.		NEWBERRY 6A	
project name	SECONDO VALES ESTATES INC.	municipality	Town of EAST GWILLIMBURY
date	OCTOBER 2017	checked by	scale 3/16" = 1'-0"
drawn by	GW	project no.	17030
CSEC - (416) 466-1000 / 17030 CSEC (416) 466-1000 / 17030-NEWBERRY-6A		drawing no.	A0

ALL drawings specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

2984 SF.

INDICATES REDUCED SIDE YARD CONDITION

COLD STORAGE SLAB
5" REINFORCED CONCRETE SLAB
WITH 10M BARS @ 7' 8" o.c.
EACH WAY WITH MIN. 1 1/4"
CONC. COVER AND 10M BENT
(24"x24") DOWELS SPACED NOT
MORE THAN 23 5/8" o.c.



BASEMENT PLAN - ELEV. 1

C1 = 5"x5"x1/4" H.S.S. w/ 10"x10"x1/2" BEARING
PLATE & 4 - 3/4" DIA. ANCHOR BOLTS

C2 = 4"x4"x1/4" H.S.S. w/ 10"x10"x1/2" BEARING
PLATE & 2 - 3/4" DIA. ANCHOR BOLTS

C3 = 4"x4"x1/4" H.S.S. w/ 10"x10"x1/2" BEARING
PLATE & 4 - 3/4" DIA. ANCHOR BOLTS

M - MOMENT CONNECTION BEAM/COLUMN = 20 kNm



STRUDET INC.
FOR STRUCTURE ONLY

AREA CALCULATIONS	ELEV. '1'
GROUND FLOOR AREA	1314 SF
SECOND FLOOR AREA	1651 SF
TOTAL FLOOR AREA	2965 SF (275.55 m2)
FIRST FLOOR OPEN AREA	XX SF
SECOND FLOOR OPEN AREA	19 SF
ADD TOTAL OPEN AREAS	+19 SF
ADD FINISHED BSMT AREA	+XX SF
GROSS FLOOR AREA	2984 SF (277.32 m2)
GROUND FLOOR COVERAGE	1356 SF
GARAGE COVERAGE/AREA	345 SF
FRONT PORCH COVERAGE/AREA	56 SF
COVERAGE W/ FRONT PORCH	1757 SF (163.23 m2)
COVERAGE W/O FRONT PORCH	1701 SF (158.03 m2)

TOWN OF EAST GWILLIMBURY

Building Department

These plans have been reviewed for use

as noted. No other changes

without written approval of the Building

Department. All work must comply with the Ontario Building Code.

These reviewed documents and the

Building Permit must be kept on site at all times.

THESE DOCUMENTS WERE REVIEWED AND

EXAMINED BY: *[Signature]*

DATE: JUL 27 2018

NEWBERRY 6A
ENERGY STAR

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of East Gwillimbury.

ARCHITECTURAL REVIEW & APPROVAL

AUG 7 2018

John G. Williams Limited, Architect

no.	Description	date	by	no.	Description	date	by
18				9			
17				8			
16				7			
15				6	RAISED 2nd FL CLG/WINDOWS PER CLIENT.	JULY 25/18	GW
14				5	OVERALL LENGTH REDUCED 12". RE-ISSUED.	JAN. 03/18	GW
13				4	ISSUED FOR PERMIT.	NOV. 21/17	GW
12				3	UPDATED, ISSUED FOR REVIEW.	OCT. 16/17	GW
11				2	REVISED, ISSUED FOR CLIENT REVIEW.	OCT. 10/17	GW
10				1	TRANSFER FROM FATHINGALE TO SECONDO	OCT. 03/17	GW
no.	Description	date	by	no.	Description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
signature: *[Signature]*
name: Richard Vink
registration information: 24488
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

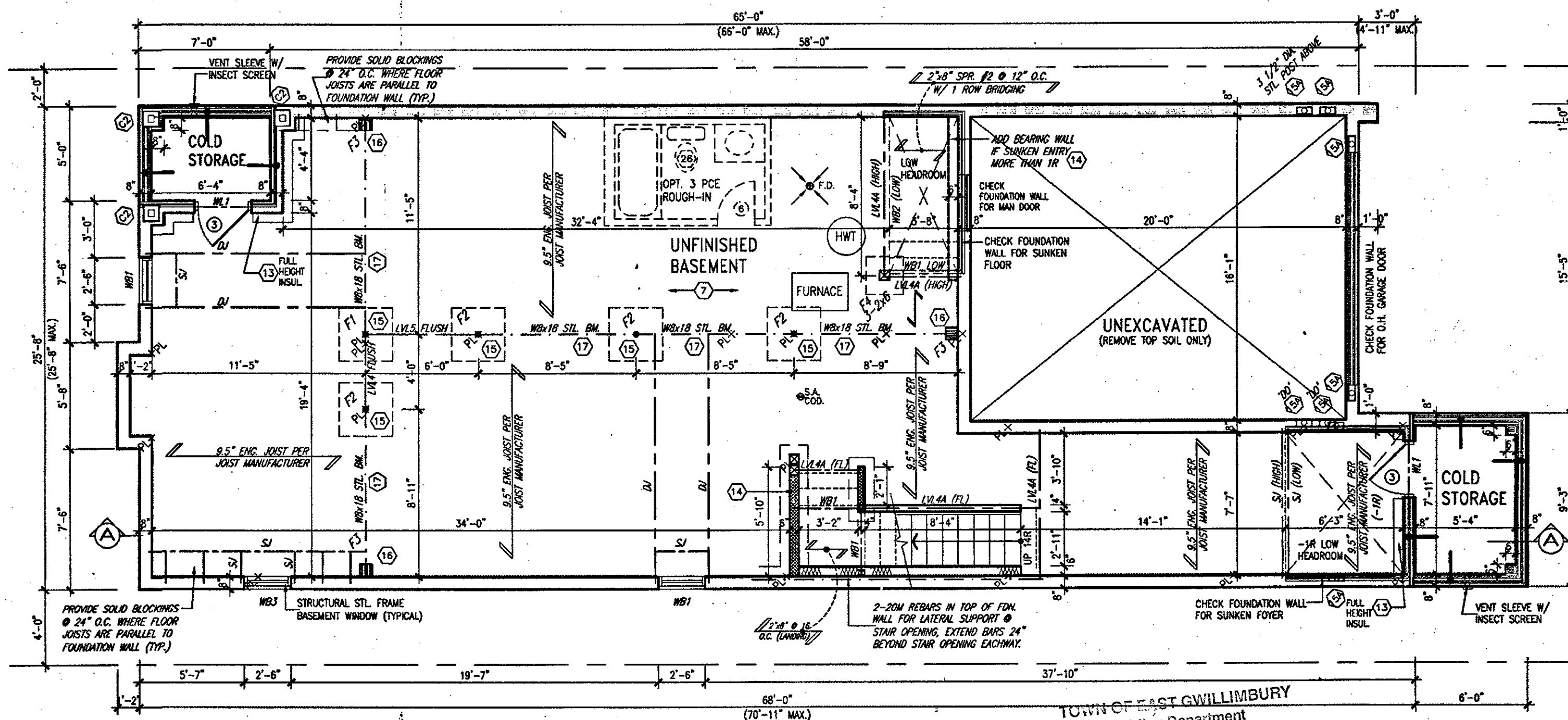
project name		multiplicity		project no.	
SECONDO VALES ESTATES INC.		Town of EAST GWILLIMBURY		17030	
date		checked by		drawing no.	
OCTOBER 2017		scale		A1	
drawn by		3/16" = 1'-0"		file name	
GWW				17030-NEWBERRY-6A	
DWG - PLANNING WORKING 2017.17030.001 UNITS NEWBERRY NEWBERRY 6A 17030-NEWBERRY-6A.dwg - Wed - Jul 26 2018 - 4:23 PM					

All drawings, specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

2984 SF.

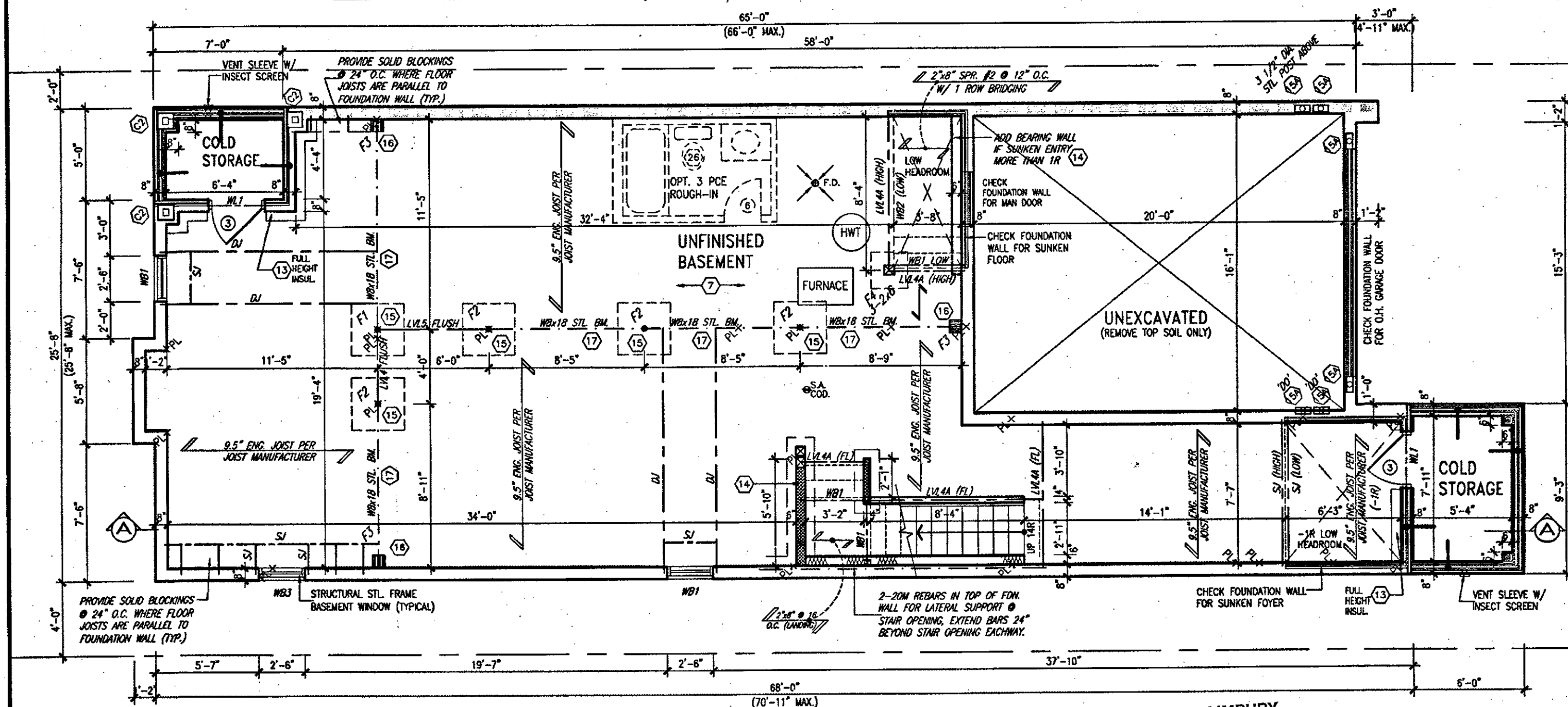
INDICATES REDUCED SIDE YARD CONDITION

COLD STORAGE SLAB
5" REINFORCED CONCRETE SLAB
WITH 10M BARS @ 7 7/8" O.C.
EACH WAY WITH MIN. 1 1/4"
CONC. COVER AND 10M BENT
(24"x24") DOWELS SPACED NOT
MORE THAN 23 5/8" O.C.



INDICATES REDUCED SIDE YARD CONDITION

COLD STORAGE SLAB
5" REINFORCED CONCRETE SLAB
WITH 10M BARS @ 7 7/8" o.c.
EACH WAY WITH MIN. 1 1/4"
CONC. COVER AND 10M BENT
(24"x24") DOWELS SPACED NOT
MORE THAN 23 5/8" o.c.



"M" - MOMENT CONNECTION BEAM/COLUMN = 20 kNm

BASEMENT PLAN - ELEV. 3



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving the (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL

AUG 7 2018

John G. Williams Limited, Architect

TOWN OF EAST GWILLIMBURY
Building Department

These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Department. All work must comply with the Ontario Building Code, as amended. These reviewed documents and the Building Permit must be kept on site at all times.

THESE DOCUMENTS WERE REVIEWED AND
EXAMINED BY: 

DATE: _____

JUL 27 2018

NEWBERRY 6A
ENERGY STAR

COLD STORAGE SLAB
5" REINFORCED CONCRETE SLAB
WITH 10M BARS @ 7 7/8" o.c.
EACH WAY WITH MIN. 1 1/4"
CONC. COVER AND 10M BENT
(24"x24") DOWELS SPACED NOT
MORE THAN 23 5/8" o.c.

18				9	-	-	-	The undersigned has reviewed and taken responsibility for this design and how the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17				8	-	-	-	
16				7	-	-	-	qualification information
15				6	RAISED 2nd. FL. CLG/WINDOWS PER CLIENT.	JULY 25/18	GW	Richard Vink 244
14				5	OVERALL LENGTH REDUCED 12". RE-ISSUED.	JAN. 03/18	GW	name signature 6
13				4	ISSUED FOR PERMIT.	NOV. 21/17	GW	registration information VAS Design Inc. 428
12				3	UPDATED. ISSUED FOR REVIEW.	OCT. 16/17	GW	
11				2	REVISED. ISSUED FOR CLIENT REVIEW.	OCT. 10/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
10				1	TRANSFER FROM FARTHINGALE TO SECOND	OCT. 03/17	GW	
9	description	date	by	no.	description	date	by	

**VA3
DESIGN**

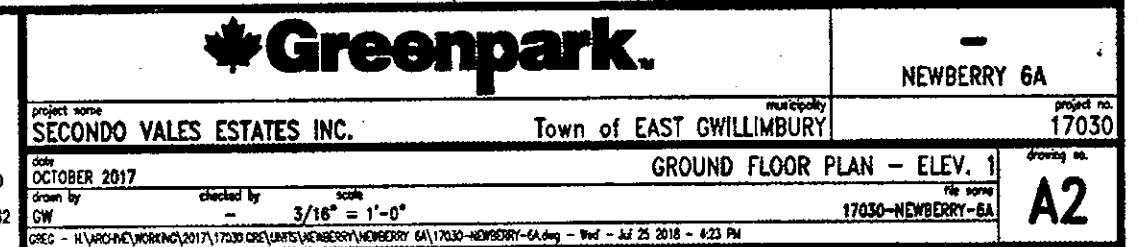
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
wa3design.com

All drawings, specifications, related documents and design are the copyright property of WJS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without WJS DESIGN's written permission.

Greenpark.

project name	project no.
SECONDO VALES ESTATES INC.	17030
Town of EAST GWILLIMBURY	
date	drawing no.
OCTOBER 2017	BASEMENT PLAN - ELEV. 3
drawn by	checked by
GW	3/16" = 1'-0"
17030-NEWBERRY-6A	
C:\CADD\WORKING\2017\17030-NEWBERRY-6A\17030-NEWBERRY-6A.dwg - Wed - Jul 26 2018 - 4:23 PM 17030-NEWBERRY-6A	

INDICATES REDUCED SIDE YARD CONDITION

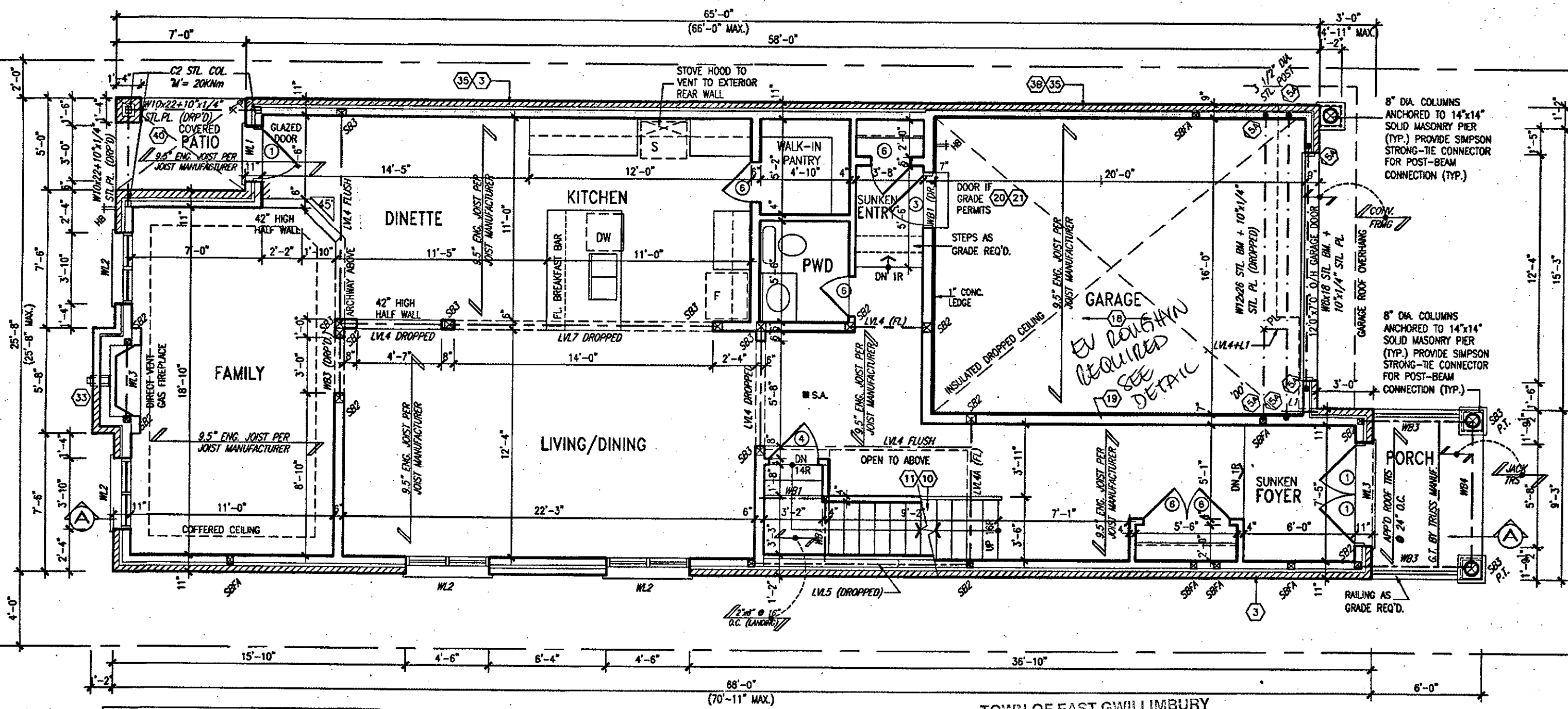


INDICATES REDUCED SIDE YARD CONDITION



2984 SF.

INDICATES REDUCED SIDE YARD CONDITION



C1 = 5"x5"x1/4" H.S.S. w/ 10"x10"x1/2" BEARING PLATE & 4 - 3/4" DIA. ANCHOR BOLTS
C2 = 4"x4"x1/4" H.S.S. w/ 10"x10"x1/2" BEARING PLATE & 2 - 3/4" DIA. ANCHOR BOLTS
C3 = 4"x4"x1/4" H.S.S. w/ 10"x10"x1/2" BEARING PLATE & 4 - 3/4" DIA. ANCHOR BOLTS
"M" - MOMENT CONNECTION BEAM/COLUMN = 20 kNm

GROUND FLOOR PLAN '3'

TOWN OF EAST GWILLIMBURY
Building Department

These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Department. All work must comply with the Ontario Building Code, as amended. These reviewed documents and the Building Permit must be kept on site at all times.
THESE DOCUMENTS WERE REVIEWED AND EXAMINED BY:

PORCH STEPS (TYP.)
POURED IN PLACE
CONCRETE STEPS WHERE
GRADE REQUIRES.

DATE: JUL 27 2018

NEWBERRY 6A
ENERGY STAR

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site control plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of East Gwillimbury.
ARCHITECTURAL REVIEW & APPROVAL
AUG 7 2018
John G. Williams Limited, Architect



18					
17					
16					
15					
14					
13					
12					
11					
10					
9					
8					
7					
6	RAISED 2nd FL CLG/WINDOWS PER CLIENT.	JULY 25/18	GW		
5	OVERALL LENGTH REDUCED 12". RE-ISSUED.	JAN. 03/18	GW		
4	ISSUED FOR PERMIT.	NOV. 21/17	GW		
3	UPDATED. ISSUED FOR REVIEW.	OCT. 16/17	GW		
2	REVISED. ISSUED FOR CLIENT REVIEW.	OCT. 10/17	GW		
1	TRANSFER FROM FORTHINGALE TO SECONDO	OCT. 03/17	GW		
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Richard Vink 24488
signature
V3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

V3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
v3design.com

Greenpark.

Project name: SECONDO VALES ESTATES INC. Municipality: Town of EAST GWILLIMBURY Project no.: 17030
Date: OCTOBER 2017
Drawn by: GW
Checked by: GW
Scale: 3/16" = 1'-0"
Ground Floor Plan - ELEV. 3
17030-NEWBERRY-6A
A2b

INDICATES REDUCED SIDE YARD CONDITION



Building Department

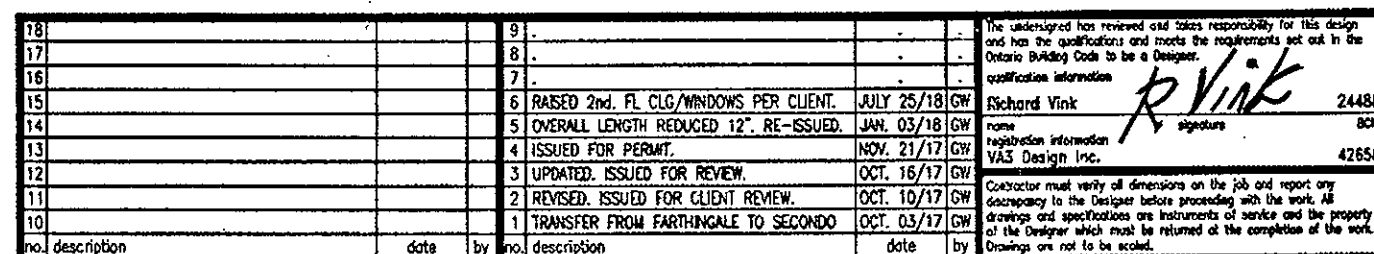
These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Department. All work must comply with the Ontario Building Code, as amended. These reviewed documents and the Building Permit must be kept on site at all times.

THESE DOCUMENTS WERE REVIEWED AND
EXAMINED BY: JR

DATE: _____

NEWBERRY 6A
ENERGY STAR

John G. Williams Limited, Architect



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4787
www.3design.com

Greenpark.

NEWBERRY 6A

project some
SECONDO VALES ESTATES INC.

Town of EAST GWILLIMBUR

17030

OCTOBER 2017

SECOND FLOOR PLAN - ELEV. 1

drawn

checked by _____

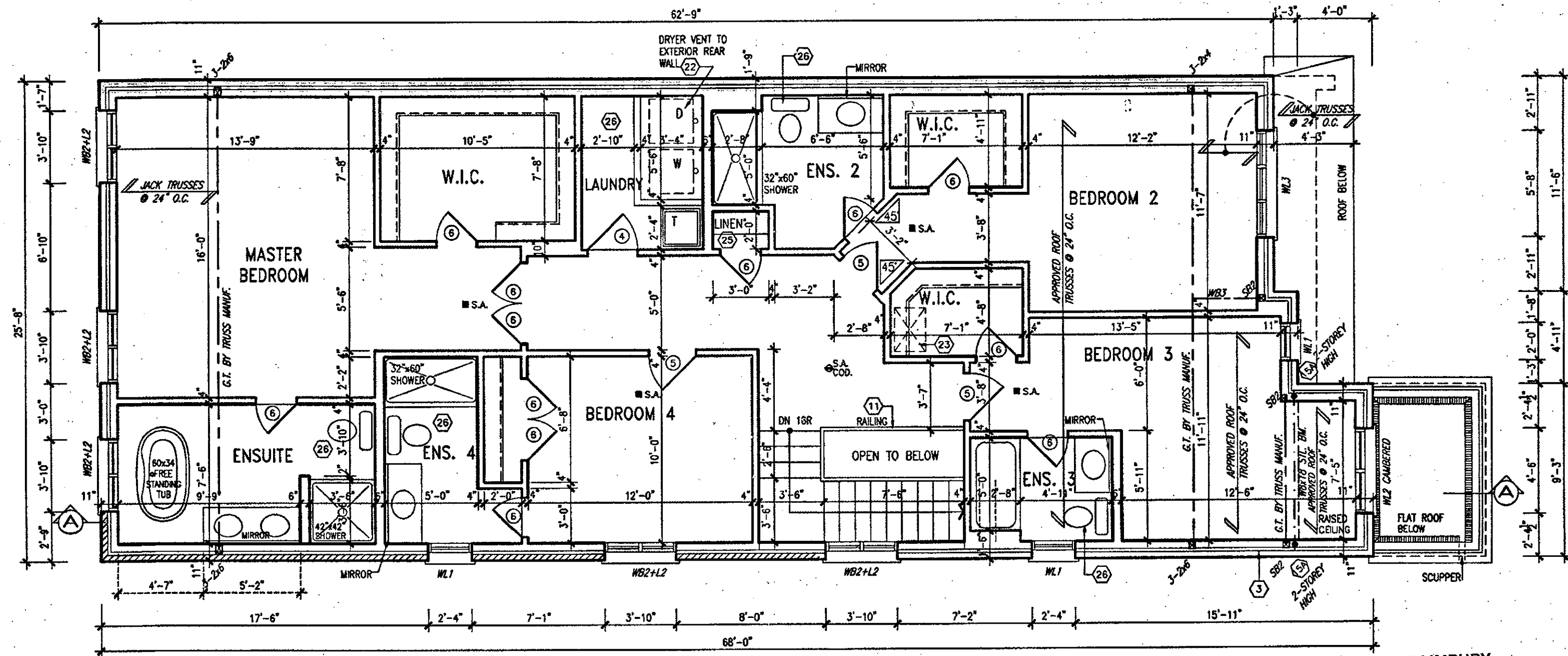
17030-NEWBERRY-BA

2 GW " 9/18 = 1-0

All drawings, specifications, related documents and design are the copyright property of V&S DESIGN. Reproduction of this property in whole or in part is strictly prohibited without V&S DESIGN's written permission.

2984 SF.

INDICATES REDUCED SIDE YARD CONDITION



SECOND FLOOR PLAN '2'

TOWN OF EAST GWILLIMBURY
Building Department

These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Department. All work must comply with the Ontario Building Code, as amended. These reviewed documents and the Building Permit must be kept on site at all times. THESE DOCUMENTS WERE REVIEWED AND EXAMINED BY: [Signature] DATE:

JUL 27 2018

NEWBERRY 6A
ENERGY STAR

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of East Gwillimbury.

ARCHITECTURAL REVIEW APPROVAL

AUG 7 2018

John G. Williams Limited, Architect



STRUDET INC.
FOR STRUCTURE ONLY

18		9			
17		8			
16		7			
15		6	RAISED 2nd. FL CLG/WINDOWS PER CLIENT.	JULY 25/18	GW
14		5	OVERALL LENGTH REDUCED 12". RE-ISSUED.	JAN. 03/18	GW
13		4	ISSUED FOR PERMIT.	NOV. 21/17	GW
12		3	UPDATED. ISSUED FOR REVIEW.	OCT. 16/17	GW
11		2	REVISED. ISSUED FOR CLIENT REVIEW.	OCT. 10/17	GW
10		1	TRANSFER FROM FARTHINGALE TO SECONDO	OCT. 03/17	GW
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Richard Vink 24488

signature

BCN

registration information

VAS Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VAS
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.		NEWBERRY 6A	
project name	SECONDO VALES ESTATES INC.	municipality	Town of EAST GWILLIMBURY
project no.	17030	drawing no.	A3a
date	OCTOBER 2017	checked by	scale 3/16" = 1'-0"
drawn by	GW	date	3-16-18
SECOND FLOOR PLAN - ELEV. 2			
17030-NEWBERRY-6A			
CSCC - 14 VINCEN WORKING 2017.17030.GRE/UNITS/NEWBERRY/NEWBERRY 6A/17030-NEWBERRY-6A.dwg - Jul 25 2018 - 4:23 PM			

All drawings specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

INDICATES REDUCED SIDE YARD CONDITION



DATE:

All drawings, specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

POCKET
NOT SHOWN

ASPHALT SHINGLES

RAISED CEILING

PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)

FACE BRICK (TYP.)

ASPHALT SHINGLES

8" DIA. COLUMN ANCHORED TO 14"x14" SOLID MASONRY PIER (TYP.) PROVIDE SIMPSON STRONG-TIE CONNECTOR FOR POST-BEAM CONNECTION (TYP.)

SUNKEN FOYER

POURED CONC. PORCH SLAB AND DOOR SILL

POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.)

POURED IN PLACE CONC. STEPS. SEE SITE PLAN.

FRONT ELEVATION 1

1'-0" 1'-4" 1'-0" 1'-4" 1'-0" 1'-4" 1'-0"

8:12 (ROOF BEHIND)

10:12

12:12

VALLEY FLASHING

BRICK SOLDIER ON BRICK ROWLOCK STACK

MID-POINT OF MAIN ROOF

RAISED CEILING

1"x6" ALUM. CLAD FRIEZE BD.

TOP OF PLATE

TOP OF WINDOW

BRICK SOLDIER ARCH ON BRICK STACK w/ KEYSTONE

CONTINUOUS PRECAST CONC. SILL ON BRICK ROWLOCK BAND

PRECAST CONC. SILL

PREFIN. MTL. FLASHING, w/ CAULKING TO MATCH (TYP.)

24'-0" [7.33M]

FIN. SECOND FLOOR

1"x6" ALUM. CLAD FRIEZE BD. BRICK SOLDIER w/ KEYSTONE

7'-10" U/S OF SOFFIT

PRECAST CONC. CAP

FIN. GROUND FLOOR

FIN. GRADE

12'0" x 7'0" O/H GARAGE DOOR GD-1B

12" HIGH TRANSOM FG

123

TOWN OF EAST GWILLIMBURY Building Department

These plans have been reviewed for conformance with the Building Code. No other changes may be made without written approval of the Building Department. All work must comply with the Building Code, as amended. These reviewed documents and the Building Permit must be kept on site at all times.

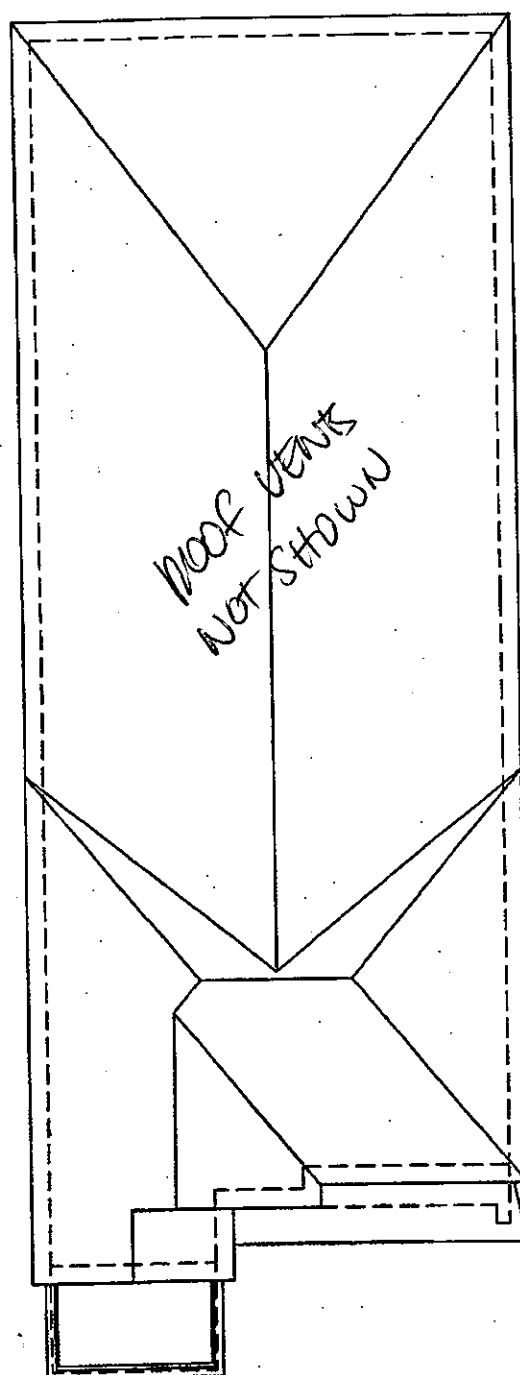
THESE DOCUMENTS WERE REVIEWED AND

STEPPED FOOTING (30)

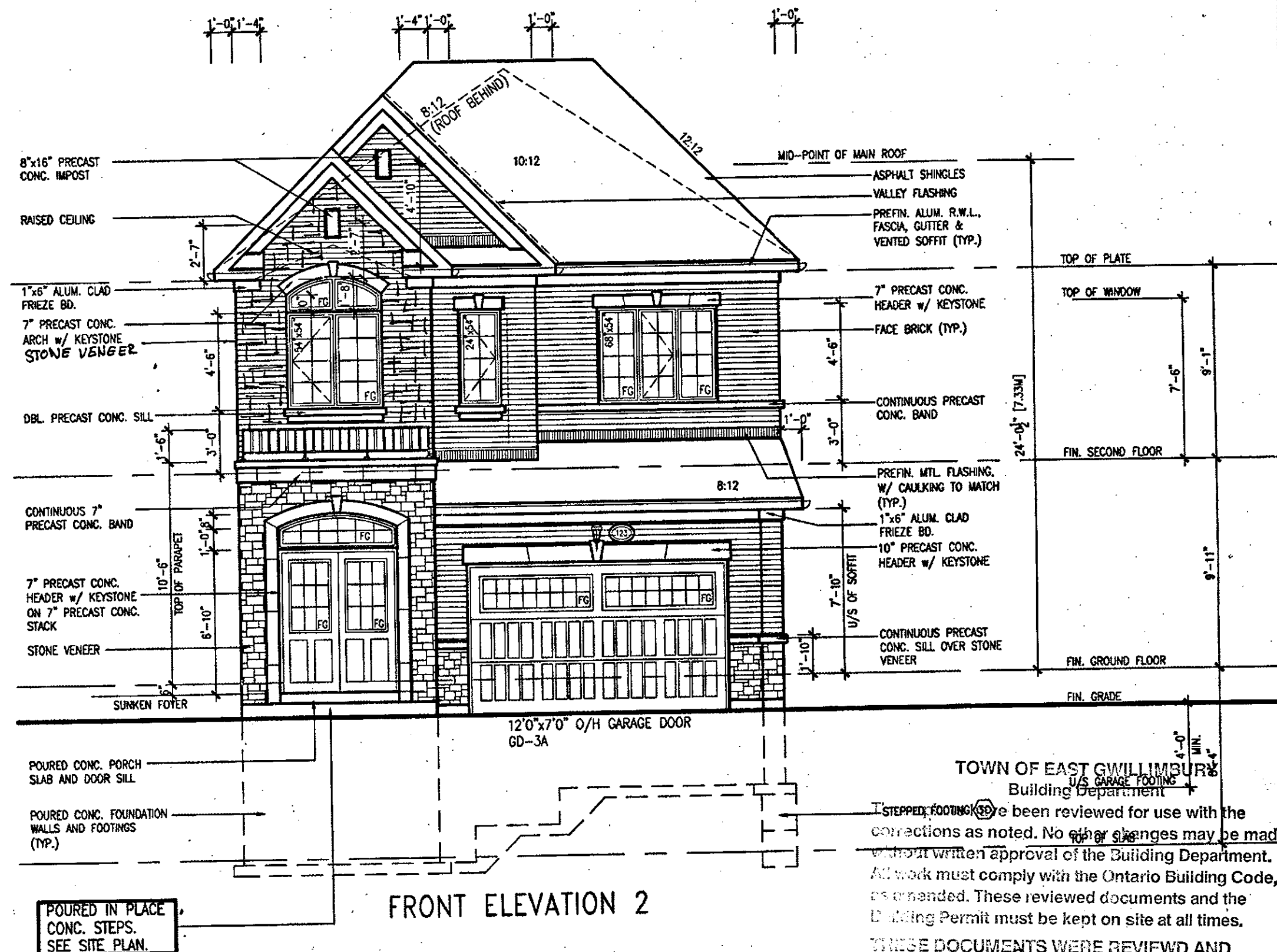
NEWBERRY 6A
ENERGY STAR

All other trademarks, trade names, or other marks are the property of their respective owners. Reproduction of this document in whole or in part is strictly prohibited without WJ D&A's written permission.

2984 SF.



ROOF PLAN-2



THESE DOCUMENTS WERE REVIEWED AND EXAMINED BY: LSA

(continued)

JUL 27 2018

NEWBERRY 6A
ENERGY STAR

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL

AUG 7/2028

John G. Williams Limited, Architects

PORCH STEPS (TYP.)
POURED IN PLACE
CONCRETE STEPS WHERE
GRADE REQUIRES.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

18				9			
17				8			
16				7			
15				6	RAISED 2nd. FL CLG/WINDOWS PER CLIENT.	JULY 25/18	GW
14				5	OVERALL LENGTH REDUCED 12". RE-ISSUED.	JAN. 03/18	GW
13				4	ISSUED FOR PERMIT.	NOV. 21/17	GW
12				3	UPDATED. ISSUED FOR REVIEW.	OCT. 16/17	GW
11				2	REVISED. ISSUED FOR CLIENT REVIEW.	OCT. 10/17	GW
10				1	TRANSFER FROM FARTHINGALE TO SECONDO	OCT. 03/17	GW
no	description	date	by	no	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualifications information Richard Vink 244 name signature registration information VAS Design Inc. 428	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.	

**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.476
va3design.com

		- NEWBERRY 6A	
project name	municipality		project
SECONDO VALES ESTATES INC.	Town of EAST GWILLIMBURY		1703
date	drawing no.		
OCTOBER 2017	FRONT ELEVATION - ELEV. 2		
drawn by	checked by	scale	file name
CW	-	3/16" = 1'-0"	17030-NEWBERRY-6A
CRED. - H:\ARCHIVE\WORKING\2017\17030.DWG (UNITS:NEWBERRY) NEWBERRY 6A\17030-NEWBERRY-6A.dwg - Mod - Jul 25 2018 - 4:23 PM THIS DRAWING IS THE PROPERTY OF HAZEN AND ZANDER ENGINEERS LTD. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED ON THIS DRAWING. ANY REUSE OR REPRODUCTION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF HAZEN AND ZANDER ENGINEERS LTD. IS STRICTLY PROHIBITED.			

All drawings, specifications, related documents and design are the copyright property of WJ DESIGN. Reproduction of this property in whole or in part is strictly prohibited without WJ DESIGN's written permission.

ROOF VENTS
NOT SHOWN.

ASPHALT SHINGLES

PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)

12" HIGH TRANSOM

7" PRECAST CONC. HEADER w/ KEYSTONE ON 7" PRECAST CONC. STACK

FACE BRICK (TYP.)

ASPHALT SHINGLES

8" DIA. COLUMNS ANCHORED TO 14"x14" SOLID MASONRY PIER (TYP.) PROVIDE SIMPSON STRONG-TIE CONNECTOR FOR POST-BEAM CONNECTION (TYP.)

SUNKEN FOYER

POURED CONC. PORCH SLAB AND DOOR SILL

POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.)

POURED IN PLACE CONC. STEPS. SEE SITE PLAN.

12'0"x7'0" O/H GARAGE DOOR GD-1A

FRONT ELEVATION 3

1'-0"

1'-0"

1'-0"

1'-0"

12:12

10:12

12:12

12:12

8:12 (ROOF BEHIND)

12:12

VALLEY FLASHING

VINYL WINDOW TRIM

SPLIT SHAKE VINYL SIDING & CAPE COD TRIM

1"x6" ALUM. CLAD FRIEZE BD.

7" PRECAST CONC. HEADER ON 7" PRECAST CONC. STACK

CONTINUOUS PRECAST CONC. SILL

PREFIN. MTL. FLASHING, W/ CAULKING TO MATCH (TYP.)

1"x6" ALUM. CLAD FRIEZE BD.

10" PRECAST CONC. HEADER W/ KEYSTONE

PRECAST CONC. CAP

24'-0" (7.33M)

7'-6"

9'-1"

4'-6"

3'-0"

1'-0"

7'-10" U/S OF SOFFIT

7'-10" U/S OF SOFFIT

3'-8"

1'-0"

6'-10"

7'-10"

FIN. SECOND FLOOR

FIN. GROUND FLOOR

FIN. GRADE

TOWN OF EAST GWILLIMBURY Building Department

These plans have been reviewed and approved with the exception of the noted corrections. No other changes may be made without written approval of the Building Department.

As work must comply with the Ontario Building Code, as amended. These reviewed documents and the Building Permit must be kept on site at all times.

THESE DOCUMENTS WERE REVIEWED AND

NEWBERRY 6A
ENERGY STAR

All drawings, specifications, printed documents and design are the copyright property of US DESIG. Reproduction of this property in whole or in part is strictly prohibited without US DESIG's written permission.

ALLOWABLE GLAZED OPENINGS

WALL AREA	=1405 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	=98.35 SQ. FT.
GLAZING PROVIDED	=85.68 SQ. FT. (GLASS AREA ONLY)

WITH OPTIONAL 30"x24" BASEMENT WINDOWS

GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS	=88.68 SQ. FT. (GLASS AREA ONLY)
---	----------------------------------

TOWN OF EAST Gwillimbury Building Department

These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Department.

All work must comply with the Ontario Building Code,

These plans have been reviewed for use with the
corrections as noted. No other changes may be made
without written approval of the Building Department.
All work must comply with the Ontario Building Code,
as amended. These reviewed documents and the
Building Permit must be kept on site at all times.

THESE DOCUMENTS WERE REVIEWED AND

EXAMINED BY: [Signature]

DATE: _____

NEWBERRY 6A
ENERGY STAR

John G. Williams Limited, Architect

18			9	.	-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17			8	.	-	-	qualification information
16			7	.	-	-	
15			6	RAISED 2nd FL CLG/WINDOWS PER CLIENT.	JULY 25/18	GW	Richard Vink 2448-001
14			5	OVERALL LENGTH REDUCED 12', RE-ISSUED.	JAN. 03/18	GW	R. Vink signature
13			4	ISSUED FOR PERMIT.	NOV. 21/17	GW	Registration Information VAS Design Inc. 4265-
12			3	UPDATED. ISSUED FOR REVIEW.	OCT. 16/17	GW	
11			2	REVISED. ISSUED FOR CLIENT REVIEW.	OCT. 10/17	GW	
10	no. description	date	by	no. description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.
				1 TRANSFER FROM FARTHINGALE TO SECONDO	OCT. 03/17	GW	

**VA3
DESIGN**

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vc3design.com

All dimensions, specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

 **Greenpark.**

NEWBERRY 6A

project name
SECONDO VALES ESTATES INC.

Town of EAST GWILLIMBURY

Object No.
7030

OCTOBER 2017

LEFT SIDE ELEVATION - ELEV. 1

drawn by

checked by _____

SECRET

$$3/16'' = 1'-0''$$

2 GW - $3/16" = 1'-0"$

FILE NO. 100-443887-100

A51

AJ

[illegible]

SEE PAGE 7a FOR Building Department
These Plans have been reviewed for use with the
corrections as noted. No other changes may be made
without written approval of the Building Department.
TOP OF SLAB
These Plans must comply with the Ontario Building Code,
as amended. These reviewed documents and the
Building Permit must be kept on site at all times.
THESE DOCUMENTS WERE REVIEWED AND
EXAMINED BY: 
DATE: _____

NEWBERRY 6A
ENERGY STAR

18				9			
17				8			
16				7			
15				6	RAISED 2nd. FL CLG/WINDOWS PER CLIENT.	JULY 25/18	G
14				5	OVERALL LENGTH REDUCED 12". RE-ISSUED.	JAN. 03/18	G
13				4	ISSUED FOR PERMIT.	NOV. 21/17	G
12				3	UPDATED. ISSUED FOR REVIEW.	OCT. 16/17	G
11				2	REVISED. ISSUED FOR CLIENT REVIEW.	OCT. 10/17	G
10				1	TRANSFER FROM FARTHINGALE TO SECONDO	OCT. 03/17	G
	no	description	date	hv	no	description	date

W	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
W	qualification information	
W	Richard Vink	244
W	name	8
W	registration information	
W	VAS Design Inc.	428
W	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.	

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

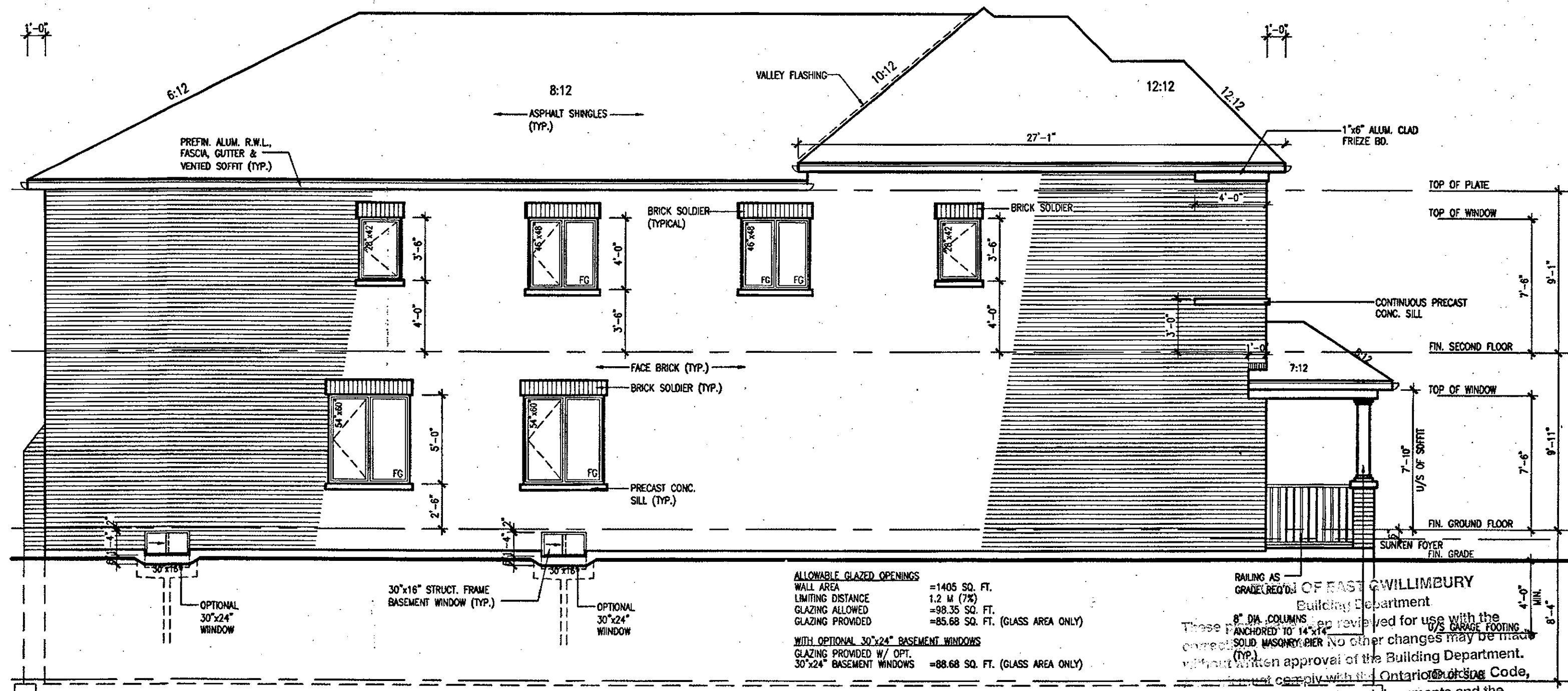
Greenpark.

NEWBERRY 6A

project name	project no.
SECONDO VALES ESTATES INC.	17030
Town of EAST GWILLIMBURY	
date	drawing no.
OCTOBER 2017	LEFT SIDE ELEVATION - ELEV. 2
drawn by	scale
CW	3/16" = 1'-0"
checked by	file name
-	17030-NEWBERRY-6A
GREG - H:\ARCHIVE\WORKING\2017\17030 GREY\UNITS\NEWBERRY\NEWBERRY 6A\17030-NEWBERRY-6A.dwg - Mod - Jul 25 2018 - 4:23 PM drawing on.	
A5a	

All drawings, specifications, related documents and design are the copyright property of WAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without WAS DESIGN's written permission.

2984 SF.



LEFT SIDE ELEVATION 3

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILMBURY.

ARCHITECTURAL REVIEW & APPROVAL

AUG

John G. Williams Limited, Architect

18				9	-	-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17				8	-	-	-	
16				7	-	-	-	qualification information
15				6	RAISED 2nd. FL CLG/WINDOWS PER CLIENT.	JULY 25/18	GW	Richard Vink <i>R Vink</i> 2448
14				5	OVERALL LENGTH REDUCED 12". RE-ISSUED.	JAN. 03/18	GW	name signature BC
13				4	ISSUED FOR PERMIT.	NOV. 21/17	GW	registration information VAS Design Inc. 4265
12				3	UPDATED. ISSUED FOR REVIEW.	OCT. 16/17	GW	
11				2	REVISED. ISSUED FOR CLIENT REVIEW.	OCT. 10/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.
10				1	TRANSFER FROM FARTHINGALE TO SECONDO	OCT. 03/17	GW	
no.	description	date	by	no.	description	date	by	

**VA3
DESIGN**

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

All drawings, specifications, related documents and design are the copyright property of USJ DESERT. Reproduction of this property in whole or in part is strictly prohibited without USJ DESERT's written permission.

JUL 27 2018

NEWBERRY 6A
ENERGY STAR

Greenpark.

NEWBERRY 6A

project name
SECONDO VALES ESTATES INC.

Town of EAST GWILLIMBURY^{municipality}

project no.
17030

date
OCTOBER 2017

LEFT SIDE ELEVATION - ELEV. 3

drawn by

checked by _____ score _____

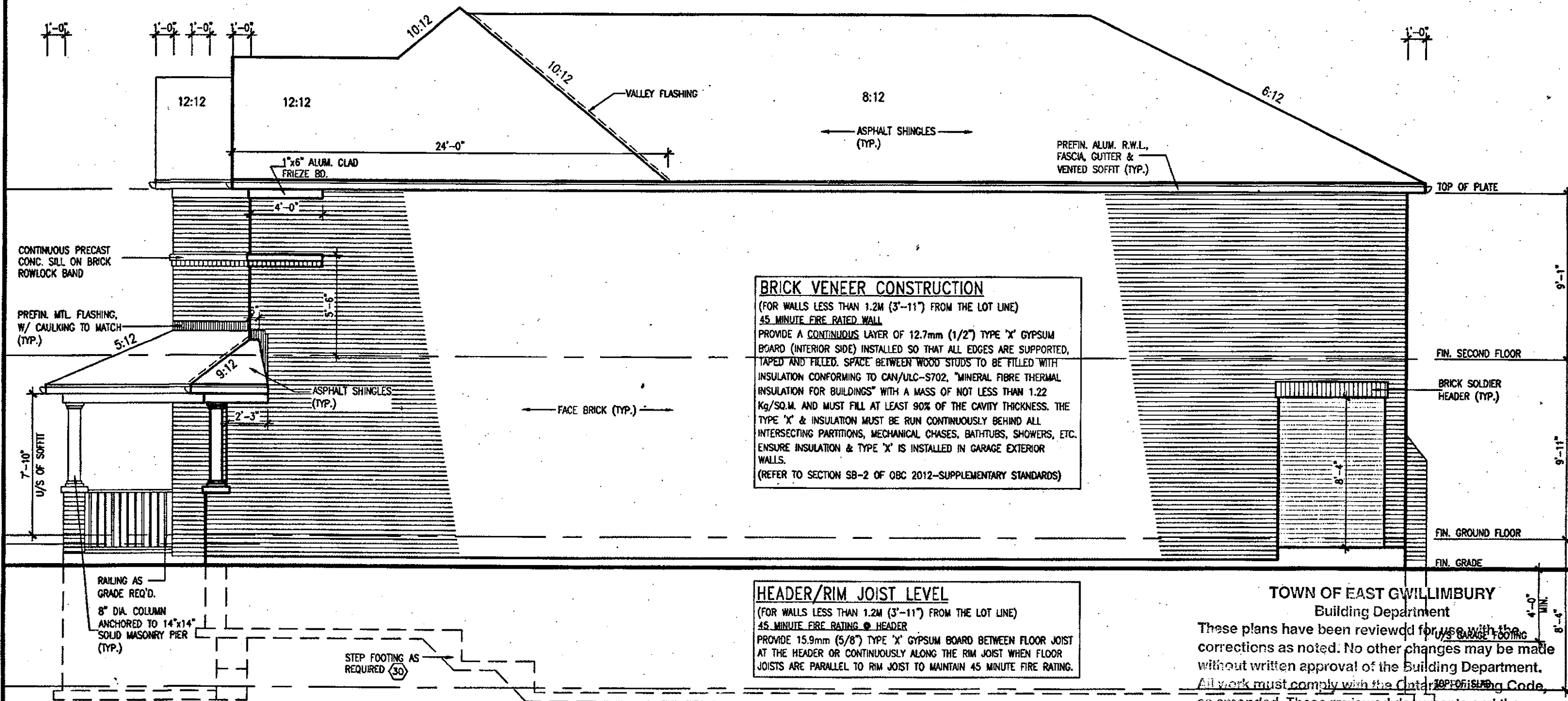
THEY ARE

2 GW - 3/16" = 1'-0"

A5b

ASD

2984 SF.



RIGHT SIDE ELEVATION 1

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL

AUG 7 2018

John G. Williams Limited, Architect

18				9			
17				8			
16				7			
15				6	RAISED 2nd FL CLG/WINDOWS PER CLIENT.	JULY 25/18	GW
14				5	OVERALL LENGTH REDUCED 12". RE-ISSUED.	JAN. 03/18	GW
13				4	ISSUED FOR PERMIT.	NOV. 21/17	GW
12				3	UPDATED. ISSUED FOR REVIEW.	OCT. 16/17	GW
11				2	REVISED. ISSUED FOR CLIENT REVIEW.	OCT. 10/17	GW
10				1	TRANSFER FROM FARTHINGALE TO SECONDO	OCT. 03/17	GW
no.	description		date	by	no.	description	date by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information	<i>R Vink</i>	244
Richard Vink	signature	
name		
registration information		
VAS Design Inc.		428

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the project. Drawings are not to be copied.



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

All drawings, specifications, related documents and design are the copyright property of V&J DESIGN. Reproduction of this property in whole or in part is strictly prohibited without V&J DESIGN's written permission.

JUL 27 2018

NEWBERRY 6A
ENERGY STAR

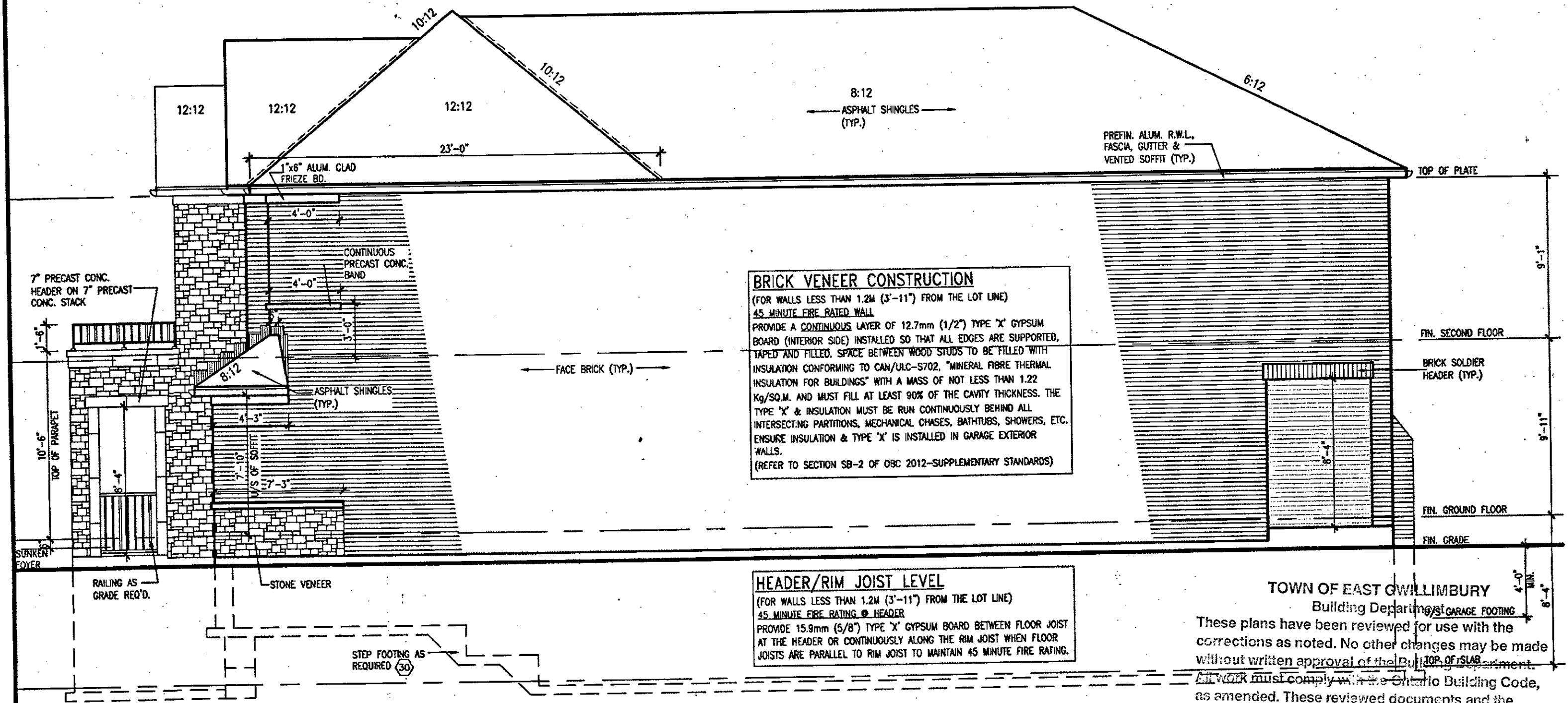
Greenpark.

NEWBERRY 6A

project name SECONDO VALES ESTATES INC.	township Town of EAST GWILLIMBURY	project no. 17030
date OCTOBER 2017	RIGHT SIDE ELEVATION - ELEV. 1	
drawn by GW	checked by -	scale 3/16" = 1'-0"
052 - H:\ARCHIVE\WORKING\2017\17030 SECONDO VALES ESTATES INC\NEWBERRY GA\17030-NEWBERRY-6A.dwg - 17030-NEWBERRY-6A - Wed - Jul 25, 2018 - 4:23 PM		drawing no. A6

A6

2984 SF.



RIGHT SIDE ELEVATION 2

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
AUG 7 2018
John G. Williams Limited, Architect

18				9	-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17				8	-	-	qualification information
16				7	-	-	signature
15				6	RAISED 2nd FL CLG/MWDOOS PER CLIENT.	JULY 25/18 GW	Richard Vink 2448- name registration information Vink Design Inc. 4265-
14				5	OVERALL LENGTH REDUCED 12". RE-ISSUED.	JAN. 03/18 GW	
13				4	ISSUED FOR PERMIT.	NOV. 21/17 GW	
12				3	UPDATED. ISSUED FOR REVIEW.	OCT. 16/17 GW	
11				2	REVISED. ISSUED FOR CLIENT REVIEW.	OCT. 10/17 GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
10				1	TRANSFER FROM FARTHINGALE TO SECONDO	OCT. 03/17 GW	
no.	description	date	by no.	description	date	by	

**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

 Greenpark.		NEWBERRY 6A	
project name SECONDO VALES ESTATES INC.	municipality Town of EAST GWILLIMBURY	project no. 17030	
date OCTOBER 2017	RIGHT SIDE ELEVATION - ELEV. 2		drawing no. A6a
drawn by GW	checked by -	scale 3/16" = 1'-0"	file name 17030-NEWBERRY-6A
GPEC - 14 MARCHE WORKING 2017, 17030 CREANTS NEWBERRY NEWBERRY 6A 17030-NEWBERRY-6A.dwg - Wed - Jul 25 2018 - 4:23 PM			

JUL 27 2018

NEWBERRY 6A
ENERGY STAR

THESE DOCUMENTS WERE REVIEWD AND
EXAMINED BY:
DATE:

All drawings, specifications, related documents and design are the copyright property of UNJ DESIGN. Reproduction of this property in whole or in part is strictly prohibited without UNJ DESIGN's written permission.

Architectural elevation drawing of a building facade. The drawing includes the following details and specifications:

- Roof:** Asphalt shingles. Pitch lines are labeled 10:12, 8:12, 6:12, and 12:12. Valley flashing is indicated at the roof valley.
- Exterior Materials:**
 - ASPHALT SHINGLES
 - PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)
 - BRICK SOLDIER HEADER (TYP.)
 - PRECAST CONC. SILL (TYP.)
 - BRICK SOLDIER HEADER (TYP.)
 - 12" HIGH TRANSOM
 - FACE BRICK (TYP.)
 - FACE BRICK CAP W/ FLASHING FULL DEPTH
- Windows:**
 - Three double-hung windows on the second floor, each labeled 46"x46" FG.
 - Two double-hung windows on the first floor, each labeled 46"x66" FG.
 - 30"x16" STRUCT. FRAME BASEMENT WINDOW (TYP.)
 - OPTIONAL 30"x24" WINDOW
- Door:** A single door on the first floor, labeled 46"x66" FG, with a 12" high transom.
- Other Details:**
 - PRECAST CONC. STEP (TYP.)
 - 33" square symbol with a circle inside.
- Dimensions and Levels:**
 - Vertical dimensions on the left: 4'-0", 3'-6", 1'-0", 6'-10", 2'-4".
 - Vertical dimensions on the right: 3'-6", 4'-0", 5'-6", 2'-4".
 - Horizontal dimensions at the top: 1'-0", 1'-0".
 - Level markers on the right: TOP OF PLATE, TOP OF WINDOW, FIN. SECOND FLOOR, TOP OF WINDOW, FIN. GROUND FLOOR, FIN. GRADE.
 - Level marker at the bottom: TOP OF SLAB.

TOWN OF EAST GUILFORD
Building Department
These plans have been reviewed for corrections as noted. No other changes without written approval of the Building Department.
All work must comply with the Town of East Guilford Building Ordinance.

All document contributions remain the property of the donor and are loaned to the Library of Congress. The Library of Congress is not responsible for the return of the original document.

2984 SF.



REAR ELEVATION 2

DATE: _____

'JUL 27 2018

NEWBERRY 6A
ENERGY STAR

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL

AUG 7 2018

John G. Williams Limited, Architect

18				9	.			The undersigned has reviewed and takes responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17				8	.			
16				7	.			qualification information
15				6	RAISED 2nd FL CLG/WINDOWS PER CLIENT.	JULY 25/18	GW	Richard Vink 2448- R Vink signature BC
14				5	OVERALL LENGTH REDUCED 12". RE-ISSUED.	JAN. 03/18	GW	name registration information 4265
13				4	ISSUED FOR PERMIT.	NOV. 21/17	GW	VAS Design Inc.
12				3	UPDATED. ISSUED FOR REVIEW.	OCT. 16/17	GW	
11				2	REVISED. ISSUED FOR CLIENT REVIEW.	OCT. 10/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.
10				1	TRANSFER FROM FORTHINGALE TO SECONDO	OCT. 03/17	GW	
no.	description	date	by no.	description	date	by		

The undersigned has reviewed and takes responsibility for the design and has the seal and license and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information		
Richard Vink	<i>R Vink</i>	2448
name	signature	BC
registration information		
VAS Design Inc.		4265

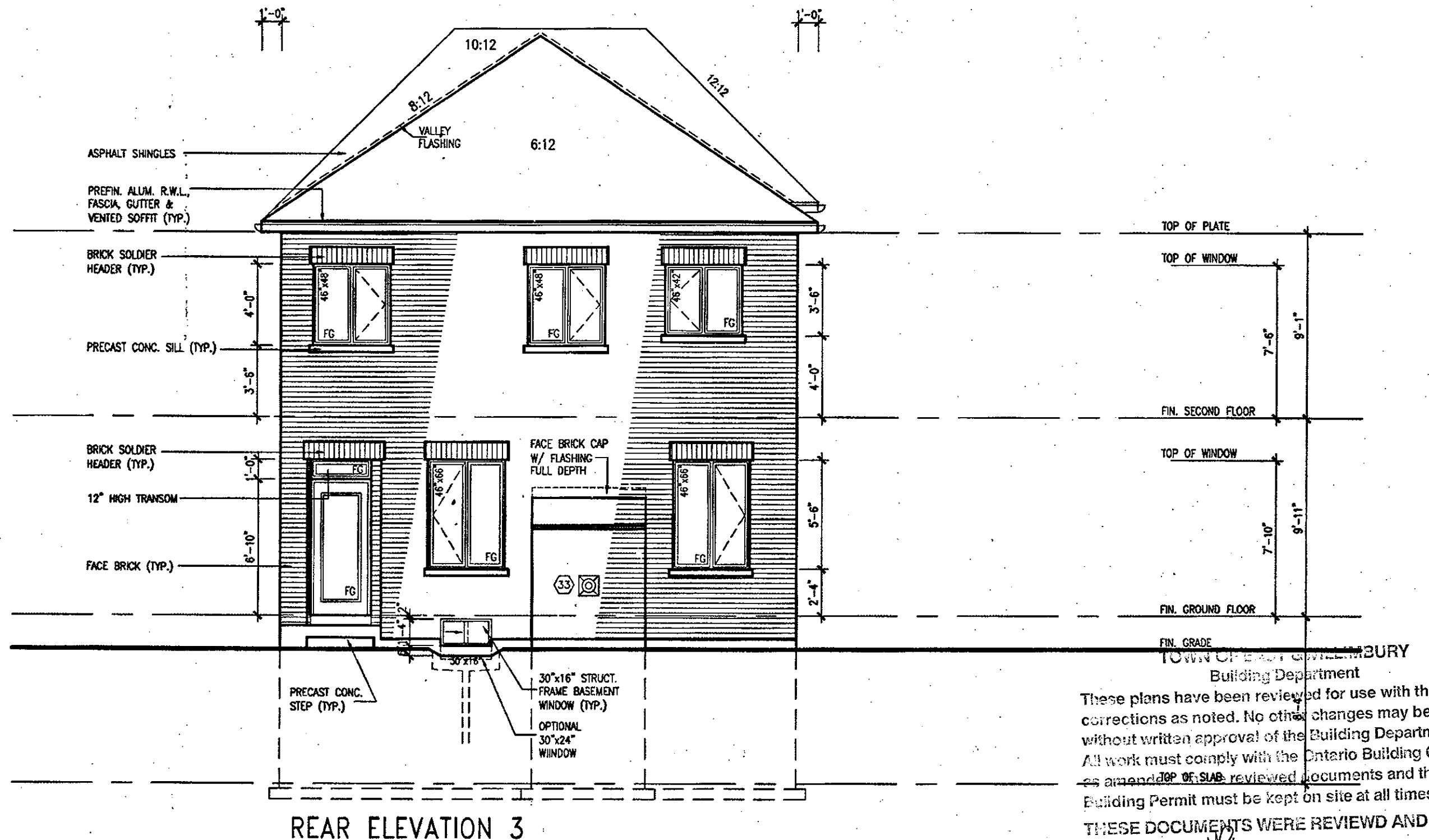
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer, which must be returned at the completion of the work. Drawings are not to be scaled.

VA3
DESIGN
255 Consumers Rd Suite 12
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.47
va3design.com

 Greenpark.		NEWBERRY 6A	
project name SECONDO VALES ESTATES INC.		municipality Town of EAST Gwillimbury	
date OCTOBER 2017		project no. 17030	
drawn by GW		drawing no. A7a	
checked by --		REAR ELEVATION -- ELEV. 2	
scale 3/16" = 1'-0"		file name 17030-NEWBERRY-6A	
CREG - 14 WARDEN WORKING 2017, 17030 CRE, LANTS NEWBERRY NEWBERRY 6A/17030-NEWBERRY-Bldg - Mod - Jul 25 2018 - 4:23 PM			

All drawings, specifications, related documents and design are the copyright property of V&S DESIGN. Reproduction of this property in whole or in part is strictly prohibited without V&S DESIGN's written permission.

2984 SF.



Building Department

These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Department. All work must comply with the Ontario Building Code, as amended. ~~OP OF SUB~~ reviewed documents and the Building Permit must be kept on site at all times.

THESE DOCUMENTS WERE REVIEWD AND
EXAMINED BY: HL

DATE: _____

JUL 27 2018

NEWBERRY 6A
ENERGY STAR

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL

AUG 7 2018

John G. Williams Limited, Architect

18				9	-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17				8	-	-	
16				7	-	-	
15				6	RAISED 2nd FL CLG/WINDOWS PER CLIENT.	JULY 25/18 GW	Richard Vink
14				5	OVERALL LENGTH REDUCED 12". RE-ISSUED.	JAN. 03/18 GW	R Vink 2448
13				4	ISSUED FOR PERMIT.	NOV. 21/17 GW	name signature BC
12				3	UPDATED. ISSUED FOR REVIEW.	OCT. 16/17 GW	registration information VA3 Design Inc. 4255
11				2	REVISED. ISSUED FOR CLIENT REVIEW.	OCT. 10/17 GW	
10				1	TRANSFER FROM FARTHINGALE TO SECONDO	OCT. 03/17 GW	
no.	description	date	by no.	description	date	bv	

The undersigned has reviewed and takes responsibility for this design and the calculations and meets the requirements set out in the Ontario Building Code to be a Designer.	
qualification information	<i>R Vink</i>
Richard Vink	2448
name	signature
registration information	BC
YAS Design Inc.	4265
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	

**VA3
DESIGN**

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

Greenpark.

project name	municipality	project no.
SECONDO VALES ESTATES INC.	Town of EAST GWILLIMBURY	17030
date	drawing no.	
OCTOBER 2017	REAR ELEVATION - ELEV. 3	
drawn by	checked by	scale
GW	-	3/16" = 1'-0"
file name		
17030-NEWBERRY-GA		
A7b		

All drawings, specifications, related documents and design are the copyright property of UAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without UAS DESIGN's written permission.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements, including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any building code or permit matter or that any

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.



All work must comply with the Ontario Building Code,
as amended. These reviewed documents and the
Building Permit must be kept on site at all times.
THESE DOCUMENTS WERE REVIEWED AND
EXAMINED BY: _____
DATE: _____

JUL 27 2018

NEWBERRY 6A
ENERGY STAR

18			9	-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
17			8	-	-		
16			7	-	-	qualification information	
15			6	RAISED 2nd FL CLG/WINDOWS PER CLIENT.	JULY 25/18 GW	Richard Vink 2448	
14			5	OVERALL LENGTH REDUCED 12". RE-ISSUED.	JAN. 03/18 GW	name 8C	
13			4	ISSUED FOR PERMIT.	NOV. 21/17 GTJ	registration information VAS Design Inc. 4262	
12			3	UPDATED. ISSUED FOR REVIEW.	OCT. 16/17 GNY		
11			2	REVISED. ISSUED FOR CLIENT REVIEW.	OCT. 10/17 GW		
10			1	TRANSFER FROM FARTHINGALE TO SECONDO	OCT. 03/17 GW		
no.	description	date	by	no.	description	date	by

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which may be retained at the completion of the work. Drawings are not to be copied.

**VA3
DESIGN**
255 Consumers Rd Suite 12
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.47
va3design.com

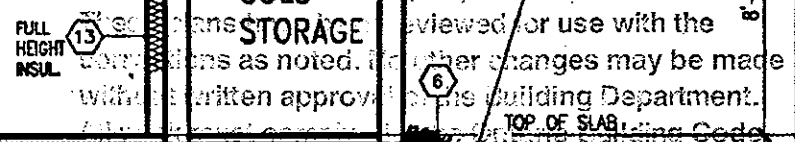
Greenpark.

NEWBERRY 6A

project name	project no.
SECONDO VALES ESTATES INC.	17030
Town of EAST GWILLIMBURY	
scale	SECTION A-A ELEV. 1
OCTOBER 2017	drawing no.
drawn by	A8
checked by	
scale	
3/16" = 1'-0"	
file name	
17030-NEWBERRY-SA	
C:\W - 17030\A-A\NEWBERRY\2017\17030-NEWBERRY-NEWBERRY-SA\17030-NEWBERRY-6A.dwg - Thu - Jul 25 2018 - 4:23 PM	

All designs, specifications, related documents and design are the copyright property of UAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without UAS DESIGN's written permission.

1'-0"	
-------	--



DATE: _____

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

NEWBERRY 6A
ENERGY STAR

NEWBERRY 6A

Town of EAST GWILLIMBURY

project no.
17030

SECTION A-A ELEV. 2

2017/17030.CRE/UNIT5/NEWBERG/NEWBERG

17030-NEWBERRY-6A

A8a

CHFC - H:\ARCHIVE\WORKING\2017\17030 CHFC\UNITS\NEWBERRY\NEWBERRY GA\17030-NEWBERRY-GA.doc - Wed - Jul 26 2018 - 4:23 PM

All drawings specifications, related documents and design are the copyright property of WJ3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without WJ3 DESIGN's written permission.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.

18				9	-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17				8	-	-	qualification information.
16				7	-	-	
15				6	RAISED 2nd FL CLG/WINDOWS PER CLIENT.	JULY 25/18 GW	Richard Vink 2448-  signature 8C
14				5	OVERALL LENGTH REDUCED 12". RE-ISSUED.	JAN. 03/18 GW	name 2455-
13				4	ISSUED FOR PERMIT.	NOV. 21/17 GW	registration information
12				3	UPDATED. ISSUED FOR REVIEW.	OCT. 16/17 GW	VAS Design Inc. 4265-
11				2	REVISED. ISSUED FOR CLIENT REVIEW.	OCT. 10/17 GW	
10				1	TRANSFER FROM FARTHINGALE TO SECONDO	OCT. 03/17 GW	
no.	description	date	by no.	description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be used for other projects without written permission.

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

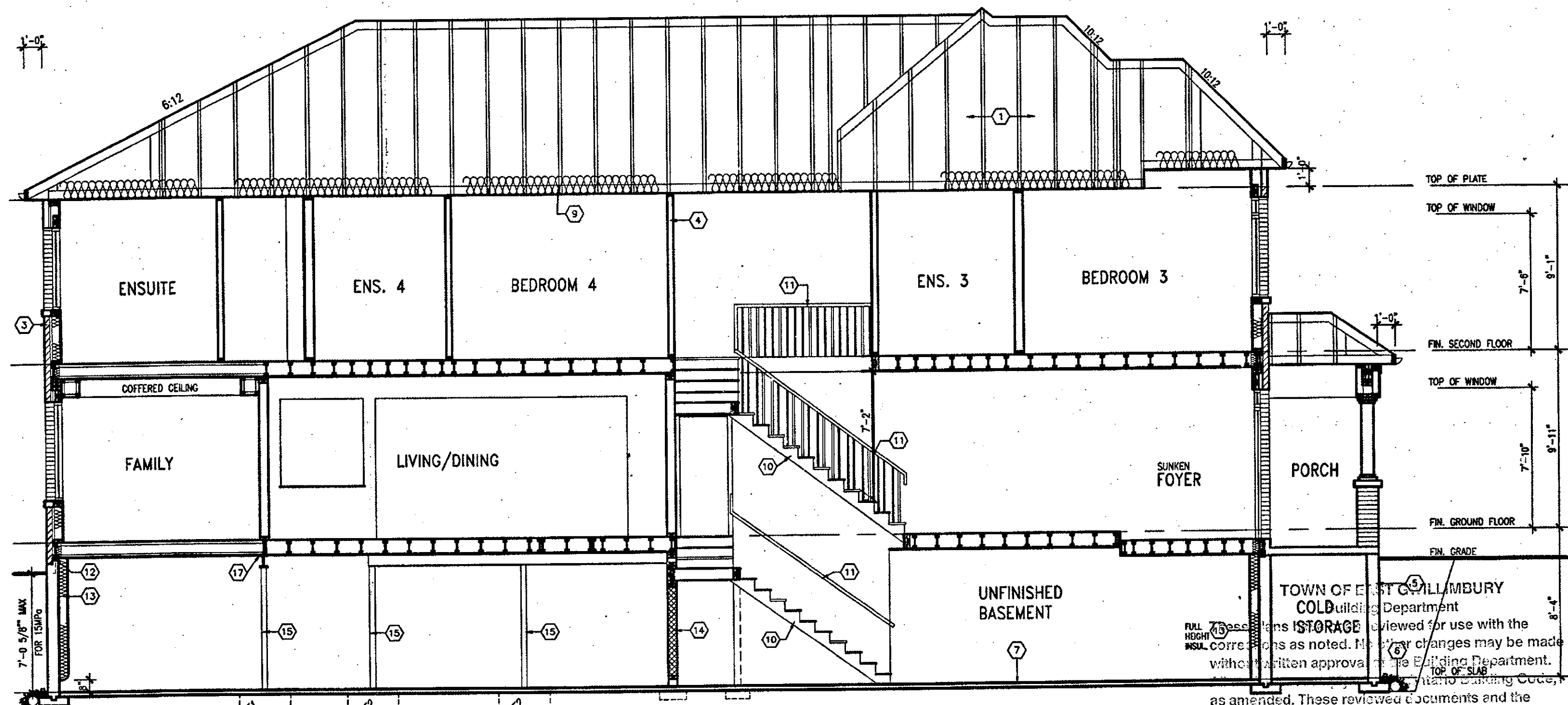
Richard Vink	2448
name	signature
registration information	BCO
VA3 Design Inc.	4265

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
vo3design.com

All drawings specifications, related documents and design are the copyright property of WJ3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without WJ3 DESIGN's written permission.

2984 SF.



SECTION A-A ELEVATION 3

STORAGE reviewed for use with the
corrections as noted. No other changes may be made
without written approval of the Building Department.
TOP OF SLAB
National Building Code.

as amended. These reviewed documents and the Building Permit must be kept on site at all times. THESE DOCUMENTS WERE REVIEWED AND EXAMINED BY: *flh*

DATE: _____

JUL 27 2018

NEWBERRY 6A
ENERGY STAR

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GUILDFORD.



							The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
18			9	-	-	-	qualification information
17			8	-	-	-	
16			7	-	-	-	
15			6	RAISED 2nd FL CLG/WINDOWS PER CLIENT.	JULY 25/18	GW	Richard Vink 2448B
14			5	OVERALL LENGTH REDUCED 12". RE-ISSUED.	JAN. 03/18	GW	name signature BCJ
13			4	ISSUED FOR PERMIT.	NOV. 21/17	GW	registration information VA3 Design Inc. 4265A
12			3	UPDATED. ISSUED FOR REVIEW.	OCT. 16/17	GW	
11			2	REVISED. ISSUED FOR CLIENT REVIEW.	OCT. 10/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
10			1	TRANSFER FROM FORTHINGALE TO SECONDCO	OCT. 03/17	GW	
no. description		date	by	no. description	date	by	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Richard Vink 2448

name signature BCR

registration information

VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

 Greenpark.		NEWBERRY 6A	
project name SECONDNO VALES ESTATES INC.		municipality Town of EAST GWILLIMBURY	
date OCTOBER 2017		section SECTION A-A ELEV. 3	
drawn by GW		file name 17030-NEWBERRY-6A	
checked by -		scale 3/16" = 1'-0"	
drawing no. A8b		drawing no. 1703	
DEC - H. WARDNE, WORKING 2017, 17030 GREENVALES, NEWBERRY NEWBERRY 6A, 17030-NEWBERRY-6A.dwg - Mod - Jul 25 2018 - 4:23 PM			

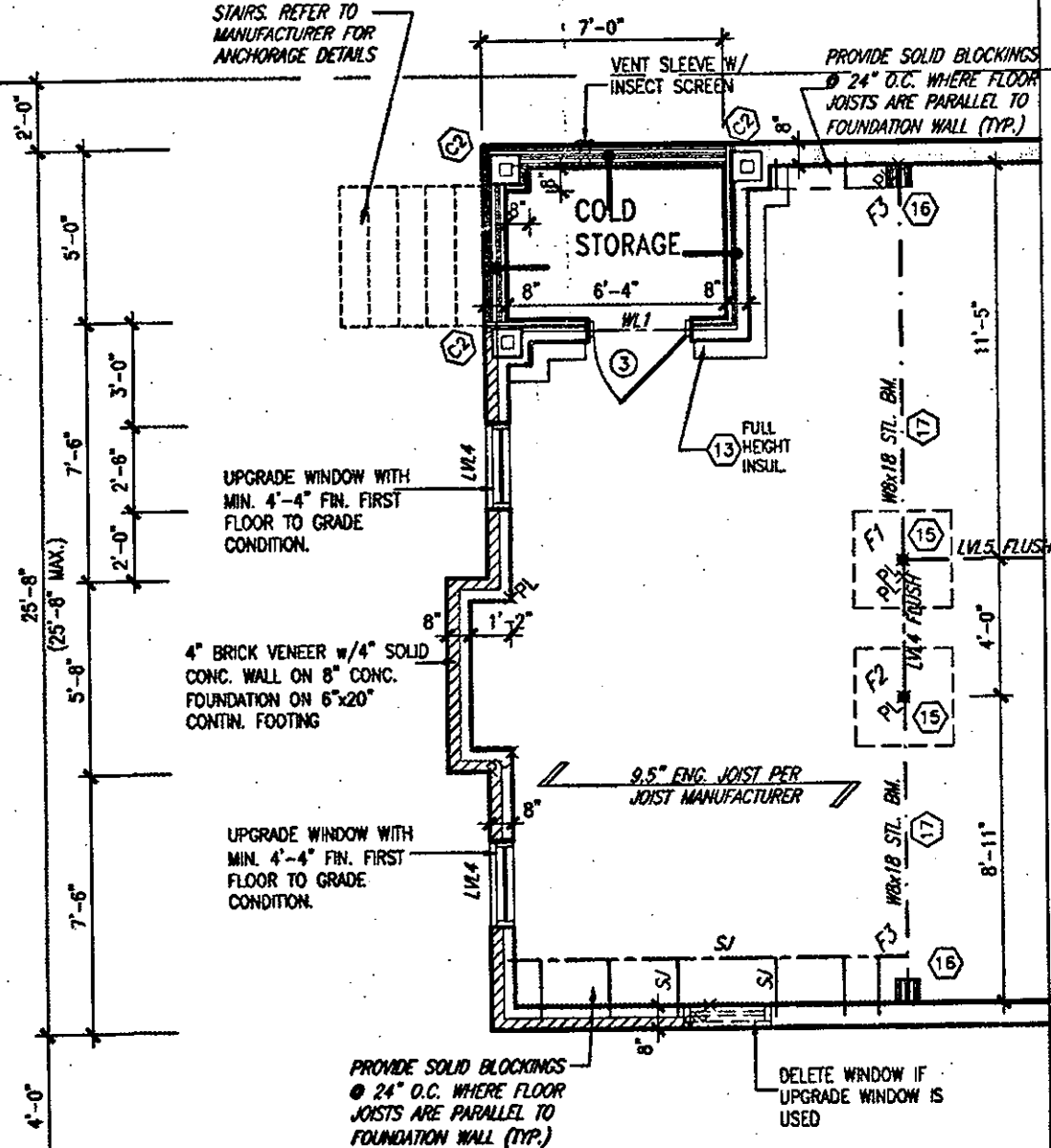
All drawings, specifications, related documents and designs are the copyright property of WJ3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without WJ3 DESIGN's written permission.

2984 SF.

INDICATES REDUCED SIDE YARD CONDITION

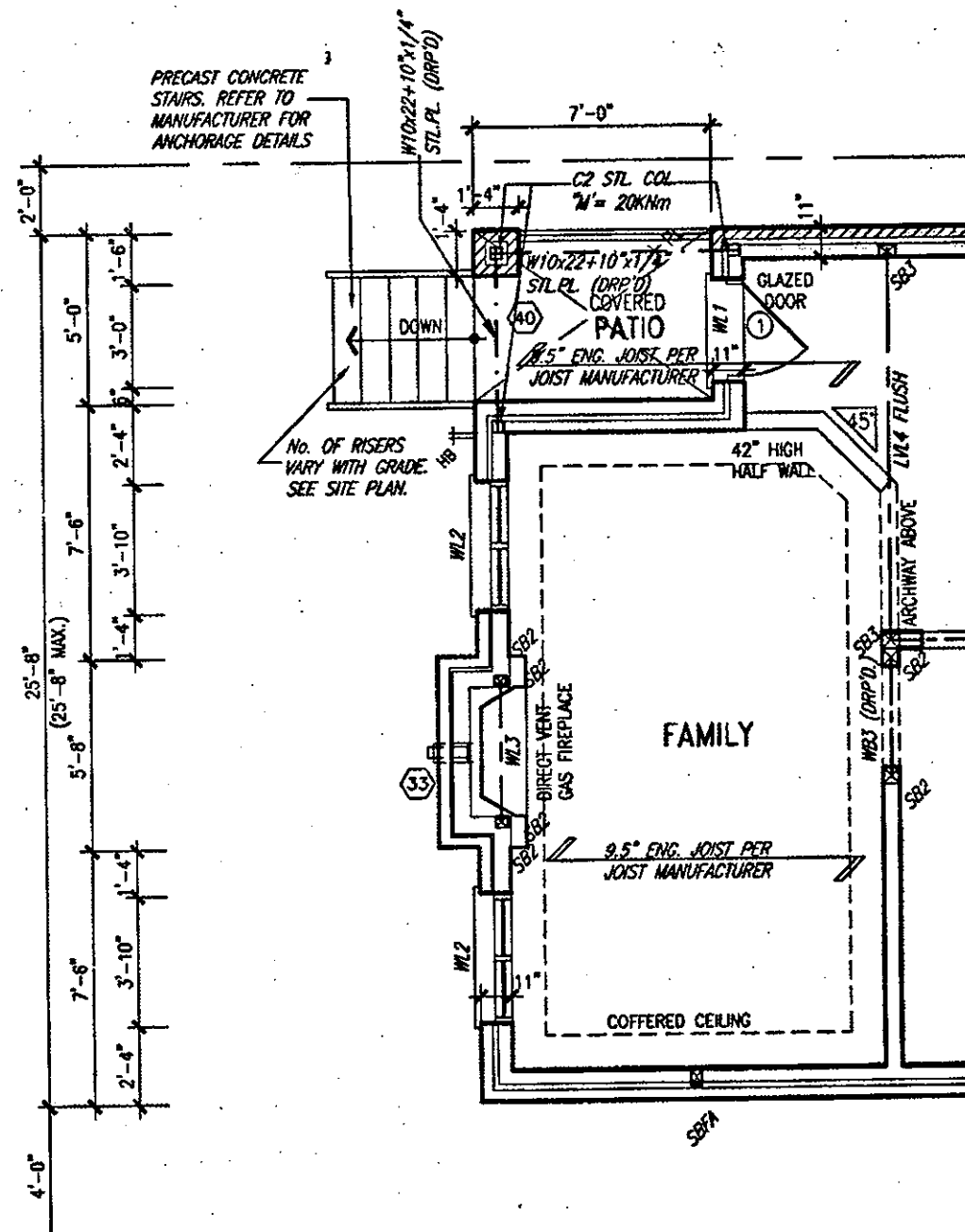
COLD STORAGE SLAB
5" REINFORCED CONCRETE SLAB
WITH 10M BARS @ 7'8" o.c.
EACH WAY WITH MIN. 1 1/4"
CONC. COVER AND 10M BENT
(24"x24") DOWELS SPACED NOT
MORE THAN 23 5/8" o.c.

PRECAST CONCRETE
STAIRS. REFER TO
MANUFACTURER FOR
ANCHORAGE DETAILS



PARTIAL BASEMENT PLAN
W.O.D. CONDITION

PRECAST CONCRETE
STAIRS. REFER TO
MANUFACTURER FOR
ANCHORAGE DETAILS



PARTIAL GROUND FLOOR PLAN
W.O.D. CONDITION

REFER TO STANDARD BASEMENT
PLAN FOR WINDOWS THAT MAY BE
ELIMINATED WITH UPGRADED REAR
WINDOWS OF DECK CONDITION.

NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION.

PLANS AND ELEVATION ILLUSTRATE DECK
CONDITIONS WHERE GRADE PERMITS. BASEMENT
WINDOWS APPLY TO CONDITIONS OF A MINIMUM
4'-4" FROM FINISHED FIRST FLOOR TO GRADE.

TOWN OF EAST GWILLIMBURY
Building Department

These plans have been reviewed for use with the
corrections as noted. No other changes may be made
without written approval of the Building Department.
All work must comply with the Ontario Building Code,
as amended. These reviewed documents and the
Building Permit must be kept on site at all times.

THESE DOCUMENTS WERE REVIEWED AND

EXAMINED BY: *[Signature]*

DATE: _____

- C1 = 5"x5"x1/4" H.S.S. w/ 10"x10"x1/2" BEARING
PLATE & 4 - 3/4" DIA. ANCHOR BOLTS;
- C2 = 4"x4"x1/4" H.S.S. w/ 10"x10"x1/2" BEARING
PLATE & 2 - 3/4" DIA. ANCHOR BOLTS
- C3 = 4"x4"x1/4" H.S.S. w/ 10"x10"x1/2" BEARING
PLATE & 4 - 3/4" DIA. ANCHOR BOLTS

"M" - MOMENT CONNECTION BEAM/COLUMN = 20 kNm



EXTERIOR WOOD DECK/STAIRS DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 5)
FOR ADDITIONAL EXTERIOR WOOD DECK/STAIRS
INFORMATION.

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
EAST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL

AUG 7 2018

John G. Williams Limited, Architect

18		9			
17		8			
16		7			
15		6	RAISED 2nd FL CLG/WINDOWS PER CLIENT.	JULY 25/18	GW
14		5	OVERALL LENGTH REDUCED 12". RE-ISSUED.	JAN. 03/18	GW
13		4	ISSUED FOR PERMIT.	NOV. 21/17	GW
12		3	UPDATED. ISSUED FOR REVIEW.	OCT. 16/17	GW
11		2	REVISED. ISSUED FOR CLIENT REVIEW.	OCT. 10/17	GW
10		1	TRANSFER FROM FORTHINGALE TO SECONDO	OCT. 03/17	GW
no. description	date	by	no. description	date	by

The undersigned has reviewed and takes responsibility for this design
and has the qualifications and meets the requirements set out in the
Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
name
registration information
V3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any
discrepancy to the Designer before proceeding with the work. All
drawings and specifications are instruments of service and the property
of the Designer which must be returned at the completion of the work.
Drawings are not to be scaled.

**V3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
v3design.com

Greenpark.

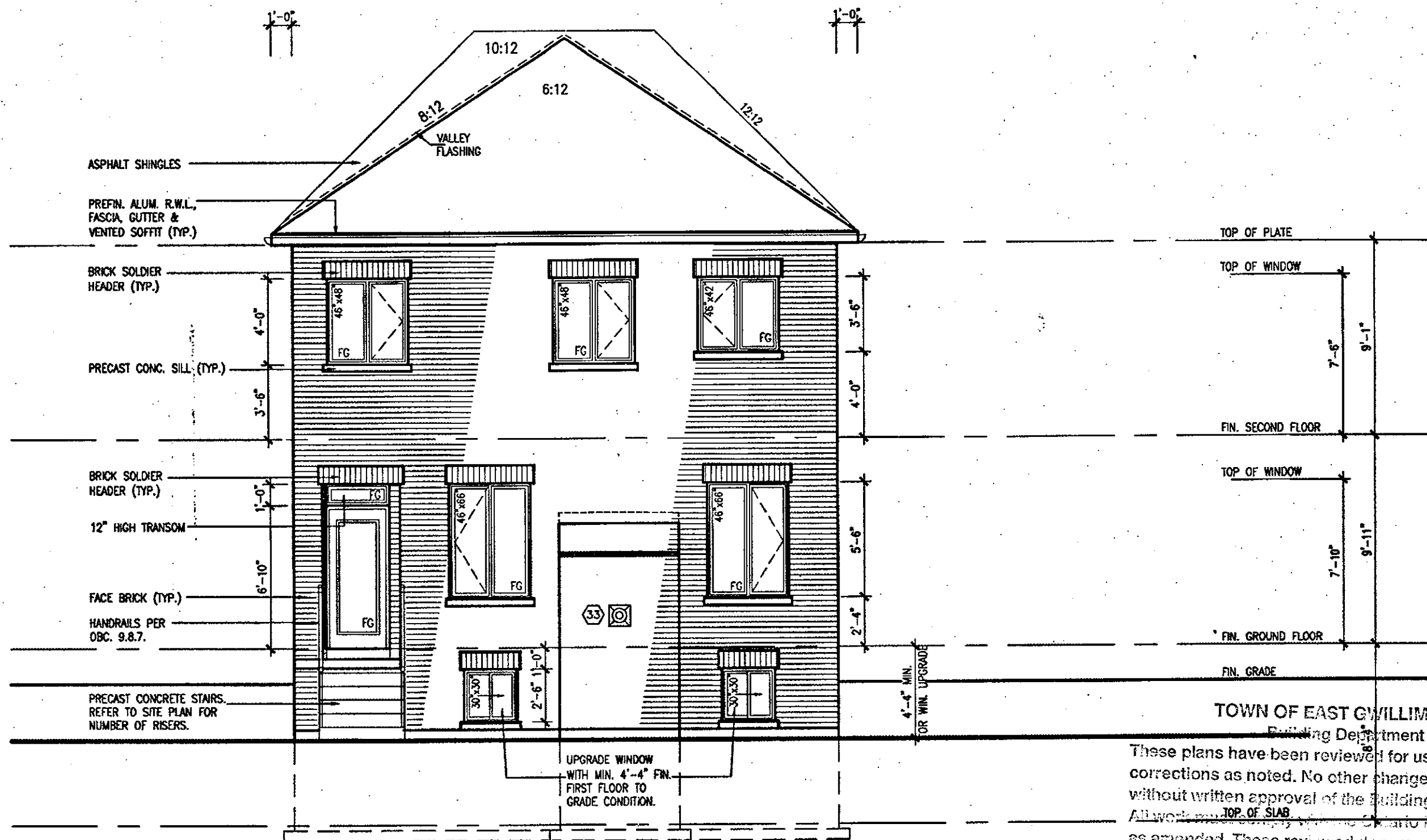
project name: **SECONDO VALES ESTATES INC.** municipality: **Town of EAST GWILLIMBURY** project no: **17030**

code: **OCTOBER 2017** checked by: **3/16" = 1'-0"** scale: **17030-NEWBERRY-6A** drawing no: **A9**

DATE: **17030-NEWBERRY-6A** DATE: **Jul 25 2018 - 4:23 PM**

ALL DRAWING SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF V3 DESIGN. REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT V3 DESIGN'S WRITTEN PERMISSION.

2984 SF.



REAR ELEVATION 1
DECK CONDITION

These plans have been reviewed for use with the
corrections as noted. No other changes may be made
without written approval of the Building Department.
~~All work must comply with the~~ ^{TOP OF SLAB} ~~Building Code,~~
as amended. These reviewed documents and the
Building Permit must be kept on site at all times.
THESE DOCUMENTS WERE REVIEWED AND
EXAMINED BY: JA
DATE: _____

JUL 27 2018

NEWBERRY 6A
ENERGY STAR

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL

AUG 7 2018

John G. Williams Limited, Architect

18				9			
17				8			
16				7			
15				6	RAISED 2nd. FL CLG/WINDOWS PER CLIENT.	JULY 25/18	GW
14				5	OVERALL LENGTH REDUCED 12". RE-ISSUED.	JAN. 03/18	GW
13				4	ISSUED FOR PERMIT.	NOV. 21/17	GW
12				3	UPDATED. ISSUED FOR REVIEW.	OCT. 16/17	GW
11				2	REVISED. ISSUED FOR CLIENT REVIEW.	OCT. 10/17	GW
10				1	TRANSFER FROM FARTHINGALE TO SECONDO	OCT. 03/17	GW
no.	description		date	by	no.	description	date by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information *R. Vink* 24688

Richard Vink

name signature BCP

registration information

VAS Design Inc. 42658

I am a member of the following association:

Contractor, I am responsible for the design and the work of all
drawings and specifications are instruments of service and the property
of the Designer which must be returned at the completion of the work.
Drawings are not to be scaled.

**VA3
DESIGN**
255 Consumers Rd Suite
Toronto ON M2J 1R4
t 416.630.2255 f 416.630
vo3design.com

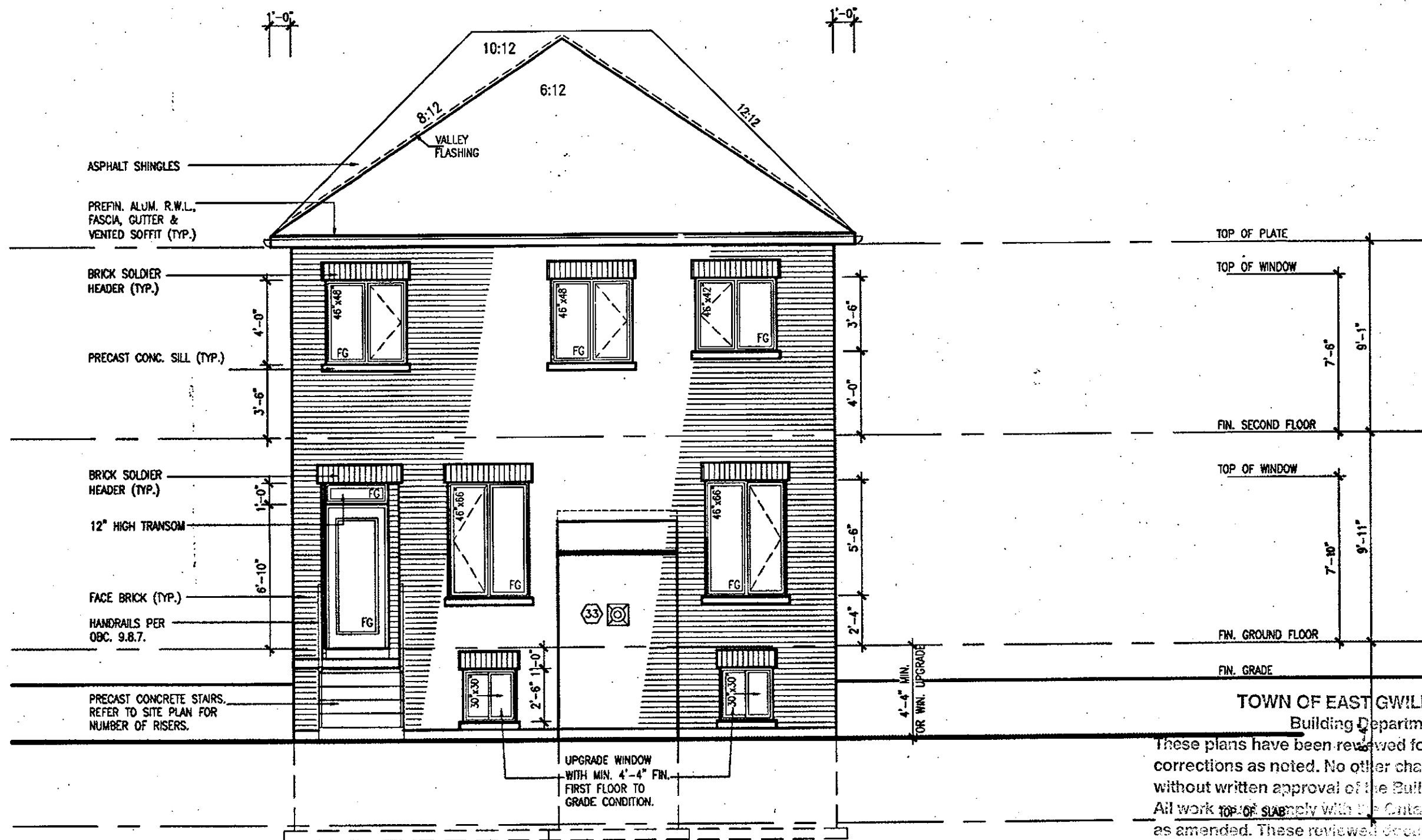
Greenpark.

NEWBERRY 6A

project name SECONDO VALES ESTATES INC.		Town of EAST GWILLIMBURY		project no 17030	
date OCTOBER 2017		REAR ELEVATION - ELEV. 1 DECK CONDITION			drawing no. A10
drawn by GW		checked by -		scale 3/16" = 1'-0"	
				file name 17030-NEWBERRY-6A	
DEC - H:\PROJECTS\WORKING\2017\17030.DWG UNITS: NEWBERRY NEWBERRY 6A\17030-NEWBERRY-6A.dwg - Mod - Jul 25 2018 - 4:23 PM					

All drawings, specifications, related documents and design are the copyright property of V&S DESIGN. Reproduction of this property in whole or in part is strictly prohibited without V&S DESIGN's written permission.

2984 SF.



REAR ELEVATION 2
DECK CONDITION

These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Department. All work ~~top of slab~~ comply with the Ontario Building Code, as amended. These reviewed documents and the Building Permit must be kept on site at all times.

THESE DOCUMENTS WERE REVIEWED AND

EXAMINED BY: *[Signature]*

DATE:

JUL 27 2018

NEWBERRY 6A
ENERGY STAR

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL

AUG 17 2012

John C. Williams Limited, Architect

18				9	-			The designer has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17				8	-			
16				7	-			qualification information
15				6	RAISED 2nd. FL CLG/WINDOWS PER CLIENT.	JULY 25/18	GW	Richard Vink 24488
14				5	OVERALL LENGTH REDUCED 12". RE-ISSUED.	JAN. 03/18	GW	none signature SCP
13				4	ISSUED FOR PERMIT.	NOV. 21/17	GW	Registration information YAS Design Inc. 42658
12				3	UPDATED. ISSUED FOR REVIEW.	OCT. 16/17	GW	
11				2	REVISED. ISSUED FOR CLIENT REVIEW.	OCT. 10/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
10				1	TRANSFER FROM FARTHINGALE TO SECONDO	OCT. 03/17	GW	
no.	description	date	by	no.	description	date	by	

VA3
DESIGN
255 Consumers Rd Suite
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.
va3design.com

 Greenpark.		- NEWBERRY 6A	
project name SECONDO VALES ESTATES INC.		municipality Town of EAST GWILLIMBURY	
date OCTOBER 2017		project no. 17030	
drawn by CW		drawing no. A10c	
checked by -		file name 17030-NEWBERRY-6A	
scale 3/16" = 1'-0"		title REAR ELEVATION - ELEV. 2 DECK CONDITION	
GRCG - 18 WARDEN WORKING 2017/17030.GRC (UNITS) (HEADQUARTERS NEWBERRY 6A) 17030-NEWBERRY-6A.dwg - Wed - Jul 26 2018 - 4:23 PM			

All drawings, specifications, related documents and design are the copyright property of WJ3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without WJ3 DESIGN's written permission.

1'-0"

10:12

8:12

6:12

12:12

1'-0"

ASPHALT SHINGLES

VALLEY FLASHING

PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)

BRICK SOLDIER HEADER (TYP.)

4'-0"

3'-6"

PRECAST CONC. SILL (TYP.)

46"x48" FG

46"x48" FG

46"x48" FG

3'-6"

4'-0"

5'-6"

2'-4"

4'-6" MIN. FOR WIN. UPGRADE

BRICK SOLDIER HEADER (TYP.)

12" HIGH TRANSOM

6'-10"

1'-0"

FACE BRICK (TYP.)

HANDRAILS PER OBC. 9.8.7.

46"x66" FG

46"x66" FG

30"x30" FG

30"x30" FG

33

UPGRADE WINDOW WITH MIN. 4'-4" FIN. FIRST FLOOR TO GRADE CONDITION.

TOP OF PLATE

TOP OF WINDOW

7'-5"

9'-1"

FIN. SECOND FLOOR

TOP OF WINDOW

7'-10"

9'-11"

FIN. GROUND FLOOR

FIN. GRADE

TOWN OF EAST GWILLIMETTE Building Department

These plans have been reviewed for corrections as noted. No other changes without written approval of the Building Department.

All work TOP OF SLAB only with the Ontario Building Code. These reviewed documents are for informational purposes only.

These plans have been reviewed for use with the
corrections as noted. No other changes may be made
without written approval of the Building Department.
All work TOP OF SLAB only with the Ontario Building Code,
as amended. These reviewed documents and the
Building Permit must be kept on site at all times.
THESE DOCUMENTS WERE REVIEWED AND
EXAMINED BY: JA

NEWBERRY 6A
ENERGY STAR

18				9	-	-	-
17				8	-	-	-
16				7	-	-	-
15				6	RAISED 2nd. FL CLG/WINDOWS PER CLIENT.	JULY 25/18	GW
14				5	OVERALL LENGTH REDUCED 12", RE-ISSUED.	JAN. 03/18	GW
13				4	ISSUED FOR PERMIT.	NOV. 21/17	GW
12				3	UPDATED. ISSUED FOR REVIEW.	OCT. 16/17	GW
11				2	REVISED. ISSUED FOR CLIENT REVIEW.	OCT. 10/17	GW
10				1	TRANSFER FROM FARTHINGALE TO SECONDO	OCT. 03/17	GW
no.	description	date	by	no.	description	date	by

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

project name SECONDO VALES ESTATES INC.	city Town of EAST GWILLIMBURY	project no. 17030
date OCTOBER 2017	description REAR ELEVATION - ELEV. 3 DECK CONDITION	drawing no. A101
drawn by CSG	checked by CSG	scale 3/16" = 1'-0"
file name 17030-NEWBERRY-BA		
CSG - H:\ARCHIVE\WORKING\2017\17030.DWG\17030-NEWBERRY\NEWBERRY BA\17030-NEWBERRY-BA.dwg - Wed Jul 26 2018 - 4:23 PM		

6. All drawings, specifications, related documents and design are the copyright property of VAG DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAG DESIGN's written permission.