

2289 SF.

STRIP FOOTINGS - FOR SINGLES & SEAMS UP TO 2 STOREYS
8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.
FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
FOOTINGS ON ENGINEERED FILL
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW PARTY WALLS.
(REFER TO ENGINEER FILL FOOTING DETAIL.)
ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY
ASSUMED 120 KPa (18 psi) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE.
PAD FOOTINGS
120 KPa. NATIVE SOIL **90 KPa. ENGINEERED FILL SOIL**
F1 = 42"x42"x16" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)
ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)
WL1 = 3-1/2" x 3-1/2" x 1/4" (90x90x8.0L) + 2-2"x8" SPR. No.2
WL2 = 4" x 3-1/2" x 5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6" x 3-1/2" x 3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6" x 4" x 3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2
WL8 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
WL9 = 6" x 4" x 3/8" (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)
WB1 = 2-2"x8" (2-38x184) SPR. No.2
WB2 = 3-2"x8" (3-38x184) SPR. No.2
WB3 = 2-2"x10" (2-38x235) SPR. No.2
WB4 = 3-2"x10" (3-38x235) SPR. No.2
WB5 = 2-2"x12" (2-38x286) SPR. No.2
WB6 = 3-2"x12" (3-38x286) SPR. No.2
WB7 = 5-2"x12" (5-38x286) SPR. No.2
WB11 = 4-2"x10" (4-38x235) SPR. No.2
WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS
LVL1A = 1-1 3/4"x7 1/4" (1-45x184)
LVL1 = 2-1 3/4"x7 1/4" (2-45x184)
LVL2 = 3-1 3/4"x7 1/4" (3-45x184)
LVL3 = 4-1 3/4"x7 1/4" (4-45x184)
LVL4A = 1-1 3/4"x9 1/2" (1-45x240)
LVL4 = 2-1 3/4"x9 1/2" (2-45x240)
LVL5 = 3-1 3/4"x9 1/2" (3-45x240)
LVL5A = 4-1 3/4"x9 1/2" (4-45x240)
LVL6A = 1-1 3/4"x11 7/8" (1-45x300)
LVL6 = 2-1 3/4"x11 7/8" (2-45x300)
LVL7 = 3-1 3/4"x11 7/8" (3-45x300)
LVL8 = 2-1 3/4"x14" (2-45x356)
LVL9 = 3-1 3/4"x14" (3-45x356)

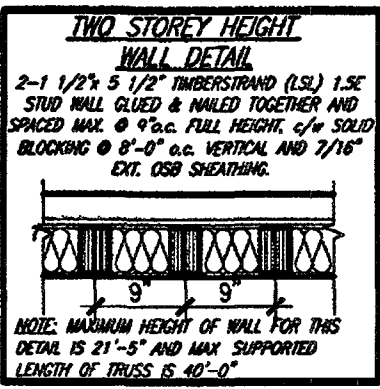
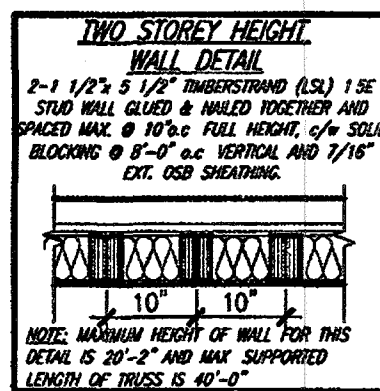
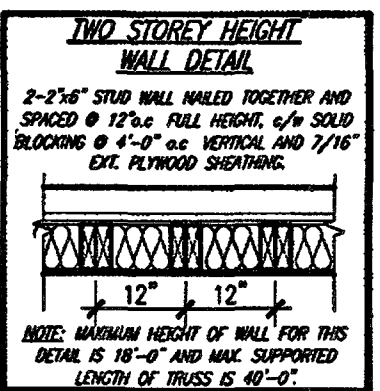
LOOSE STEEL LINTELS (L)
L1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L)
L2 = 4" x 3-1/2" x 5/16" (100x90x8.0L)
L3 = 5" x 3-1/2" x 5/16" (125x90x8.0L)
L4 = 6" x 3-1/2" x 3/8" (150x90x10.0L)
L5 = 6" x 4" x 3/8" (150x100x10.0L)
L6 = 7" x 4" x 3/8" (180x100x10.0L)

CERAMIC TILE FOR CONVENTIONAL LUMBER
(OBC 9.30.6)
SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0", 2 ROWS FOR SPANS GREATER THAN 7'0"

NOTE: ROOF FRAMING
REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING
REFER TO ENGINEERED FLOOR FLAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS UNLESS OTHERWISE NOTED



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of East Gwillimbury

TOWN OF EAST GWILLIMBURY
Building Department

These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Department. All work must comply with the Ontario Building Code as amended. These reviewed documents and the Building Permit must be kept on site at all times.

THESE DOCUMENTS WERE REVIEWED AND EXAMINED BY: DATE: JAN 28 2019

UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))			
NEWBERRY 2A AND ELEV. 1			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	489.11 S.F.	98.33 S.F.	20.10 %
LEFT SIDE	1126.89 S.F.	79.17 S.F.	7.03 %
RIGHT SIDE	1126.89 S.F.	40.00 S.F.	3.55 %
REAR	489.11 S.F.	115.69 S.F.	23.65 %
* OPENINGS OMITTED AS PER SB-12.3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
0.0 S.F.			
TOTAL SQ. FT.	3232.00 S.F.	333.19 S.F.	10.31 %
TOTAL SQ. M.	300.26 S.M.	30.85 S.M.	10.31 %

UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))			
NEWBERRY 2A AND ELEV. 2			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	497.36 S.F.	108.27 S.F.	21.77 %
LEFT SIDE	1144.67 S.F.	79.17 S.F.	6.92 %
RIGHT SIDE	1144.67 S.F.	40.00 S.F.	3.49 %
REAR	489.11 S.F.	115.69 S.F.	23.65 %
* OPENINGS OMITTED AS PER SB-12.3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
0.0 S.F.			
TOTAL SQ. FT.	3275.81 S.F.	343.13 S.F.	10.47 %
TOTAL SQ. M.	304.33 S.M.	31.88 S.M.	10.47 %

UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))			
NEWBERRY 2A AND ELEV. 3			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	518.04 S.F.	96.89 S.F.	18.70 %
LEFT SIDE	1144.67 S.F.	79.17 S.F.	6.92 %
RIGHT SIDE	1144.67 S.F.	40.00 S.F.	3.49 %
REAR	489.11 S.F.	115.69 S.F.	23.65 %
* OPENINGS OMITTED AS PER SB-12.3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
0.0 S.F.			
TOTAL SQ. FT.	3296.49 S.F.	331.75 S.F.	10.06 %
TOTAL SQ. M.	306.25 S.M.	30.82 S.M.	10.06 %

RECEIVED
JAN 14 2019
TOWN OF EAST GWILLIMBURY
BUILDING DEPARTMENT
ROLL #



AREA CALCULATIONS ELEV. '1'	
GROUND FLOOR AREA	1105 SF
SECOND FLOOR AREA	1161 SF
TOTAL FLOOR AREA	2266 SF (210.52 m2)
FIRST FLOOR OPEN AREA	XX SF
SECOND FLOOR OPEN AREA	23 SF
ADD TOTAL OPEN AREAS	+23 SF
ADD FINISHED BSMT AREA	+XX SF
GROSS FLOOR AREA	2289 SF (212.66 m2)
GROUND FLOOR COVERAGE	1112 SF
GARAGE COVERAGE/AREA	264 SF
PORCH COVERAGE/AREA	80 SF
COVERAGE W/ PORCH	1456 SF (135.27 m2)
COVERAGE W/O PORCH	1376 SF (127.83 m2)

AREA CALCULATIONS ELEV. '2'	
GROUND FLOOR AREA	1105 SF
SECOND FLOOR AREA	1161 SF
TOTAL FLOOR AREA	2266 SF (210.52 m2)
FIRST FLOOR OPEN AREA	XX SF
SECOND FLOOR OPEN AREA	23 SF
ADD TOTAL OPEN AREAS	+23 SF
ADD FINISHED BSMT AREA	+XX SF
GROSS FLOOR AREA	2311 SF (214.70 m2)
GROUND FLOOR COVERAGE	1112 SF
GARAGE COVERAGE/AREA	264 SF
PORCH COVERAGE/AREA	61 SF
COVERAGE W/ PORCH	1437 SF (133.50 m2)
COVERAGE W/O PORCH	1376 SF (127.83 m2)

AREA CALCULATIONS ELEV. '3'	
GROUND FLOOR AREA	1105 SF
SECOND FLOOR AREA	1161 SF
TOTAL FLOOR AREA	2266 SF (210.52 m2)
FIRST FLOOR OPEN AREA	XX SF
SECOND FLOOR OPEN AREA	23 SF
ADD TOTAL OPEN AREAS	+23 SF
ADD FINISHED BSMT AREA	+XX SF
GROSS FLOOR AREA	2311 SF (214.70 m2)
GROUND FLOOR COVERAGE	1112 SF
GARAGE COVERAGE/AREA	264 SF
PORCH COVERAGE/AREA	80 SF
COVERAGE W/ PORCH	1456 SF (135.27 m2)
COVERAGE W/O PORCH	1376 SF (127.83 m2)



no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5	RAISED 2nd FL. CLG/WINDOWS PER CLIENT.	JULY 25/18	GW
13				4	ISSUED FOR PERMIT.	NOV 17/17	GW
12				3	UPDATED ISSUED FOR REVIEW	OCT 18/17	GW
11				2	REVISED ISSUED FOR CLIENT REVIEW	OCT 10/17	GW
10				1	TRANSFER FROM FARMINGDALE TO SECONDO	OCT 03/17	GW

The undersigned has reviewed and takes responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer

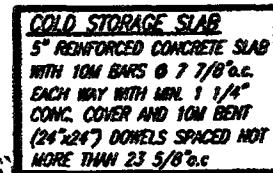
qualification information
Richard Vink 24488
signature
VA3 Design Inc. 42658
name
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.



Greenpark.		NEWBERRY 2A	
project name SECONDO VALES ESTATES INC.	township Town of East Gwillimbury	project no. 17030	drawing no. A0
date NOV. 2017	checked by 3/16" = 1'-0"	GENERAL NOTES & CHARTS	
drawn by GW	scale 3/16" = 1'-0"	17030-NEWBERRY-2A	
CSC - E:\ARCHIVE\HOB\2017\17030 SECONDO VALES ESTATES\NEWBERRY 2A\17030-NEWBERRY-2A.dwg - Mod - Jul 25 2018 - 4:18 PM			

 INDICATES REDUCED SIDE YARD CONDITION



TOWN OFF. ST. WILLIAMSBURG
Building Department

Building Department

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THESE DOCUMENTS WERE REVIEWED AND EXAMINED BY: _____

NEWBERRY 2A
ENERGY STAR

John G. Williams Limited, Architects

The undersigned has reviewed and takes responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer

qualification information

Richard Vink 2448

name signature

registration information

VAS Design Inc. 4262

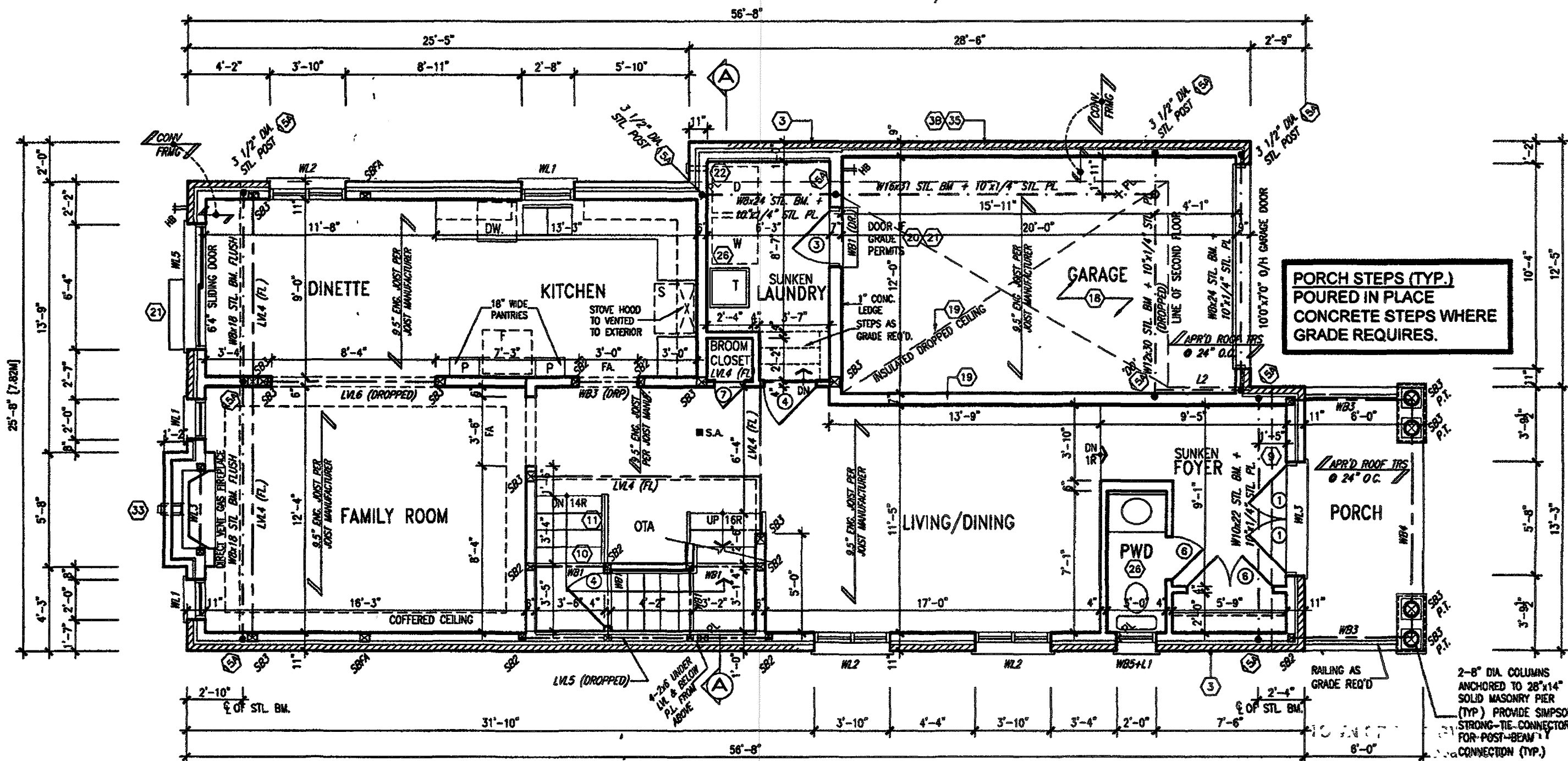
Contractor must verify all dimensions on the job and report any discrepancy to the Designer immediately. In the event any drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

 Greenpark.		NEWBERRY 2A
project name SECONDO VALES ESTATES INC.	municipality Town of EAST GWILLIMBURY	project no. 17030
date NOV. 2017	BASEMENT PLAN - ELEV. 1	
drawn by checked by scale 3/16" = 1'-0"	drawing no. A1	
CWH - 1A122425-000000-2017-17030-CARLTONS-NEWBERRY-NEWBERRY-2A17030-NEWBERRY-2A-dwg - Mod - Jul 25 2018 - 4:15 PM 17030-NEWBERRY-2A		

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INDICATES REDUCED SIDE YARD CONDITION

2289 SF.



GROUND FLOOR PLAN - ELEV. 1



STRUDET INC.
FOR STRUCTURE ONLY

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ARCHITECTURAL REVIEW & APPROVAL

AUG 02 2018

John G. Williams Limited Architect

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5	RAISED 2nd FL CLG/WINDOWS PER CLIENT	JULY 25/18	GW
13				4	ISSUED FOR PERMIT	NOV 17/17	GW
12				3	UPDATED ISSUED FOR REVIEW	OCT 16/17	GW
11				2	REVISED ISSUED FOR CLIENT REVIEW	OCT 10/17	GW
10				1	TRANSFER FROM FATHINGALE TO SECONDO	OCT 03/17	GW

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer

signature: *R. Vink* 24488
name: Richard Vink
registration information: BCR
VAS Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.		NEWBERRY 2A	
Project name: SECONDO VALES ESTATES INC.		Municipality: Town of EAST GWILLIMBURY	
date: NOV. 2017		project no.: 17030	
drawn by: GW		drawing no.: A2	
checked by: 3/16" = 1'-0"		scale: 3/16" = 1'-0"	
title: GROUND FLOOR PLAN - ELEV. 1			
drawing no.: 17030-NEWBERRY-2A			

JUL 27 2018

NEWBERRY 2A
ENERGY STAR

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A circular professional engineer seal for the Province of Ontario. The outer ring contains the text "REGISTERED PROFESSIONAL ENGINEER" at the top and "PROVINCE OF ONTARIO" at the bottom. In the center, the name "S. MARINKOVIC" is printed. The seal is crossed out with a large, handwritten "X" made of two intersecting lines.

STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3,
3.6.3.8(1)(c) & 3.6.3.11(1)(i).

NEWBERRY 2A
ENERGY STAR

18				9			
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11				2	REVISED ISSUED FOR CLIENT REVIEW	OCT 10/17	GN
10				1	TRANSFER FROM FARTHINGALE TO SECONDO	OCT 03/17	GN
no	description	date	by	no	description	date	by

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DESIGN
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vg3design.com

Greenpark.

project name	municipality	project no.
SECONDO VALES ESTATES INC.	Town of EAST GWILLIMBURY	17030
date NOV. 2017	SECOND FLOOR PLAN - ELEV. 1	
drawn by GW	checked by -	scale $\frac{3}{16}'' = 1'-0''$
file name 17030-NEWBERRY-2A		drawing no. A3

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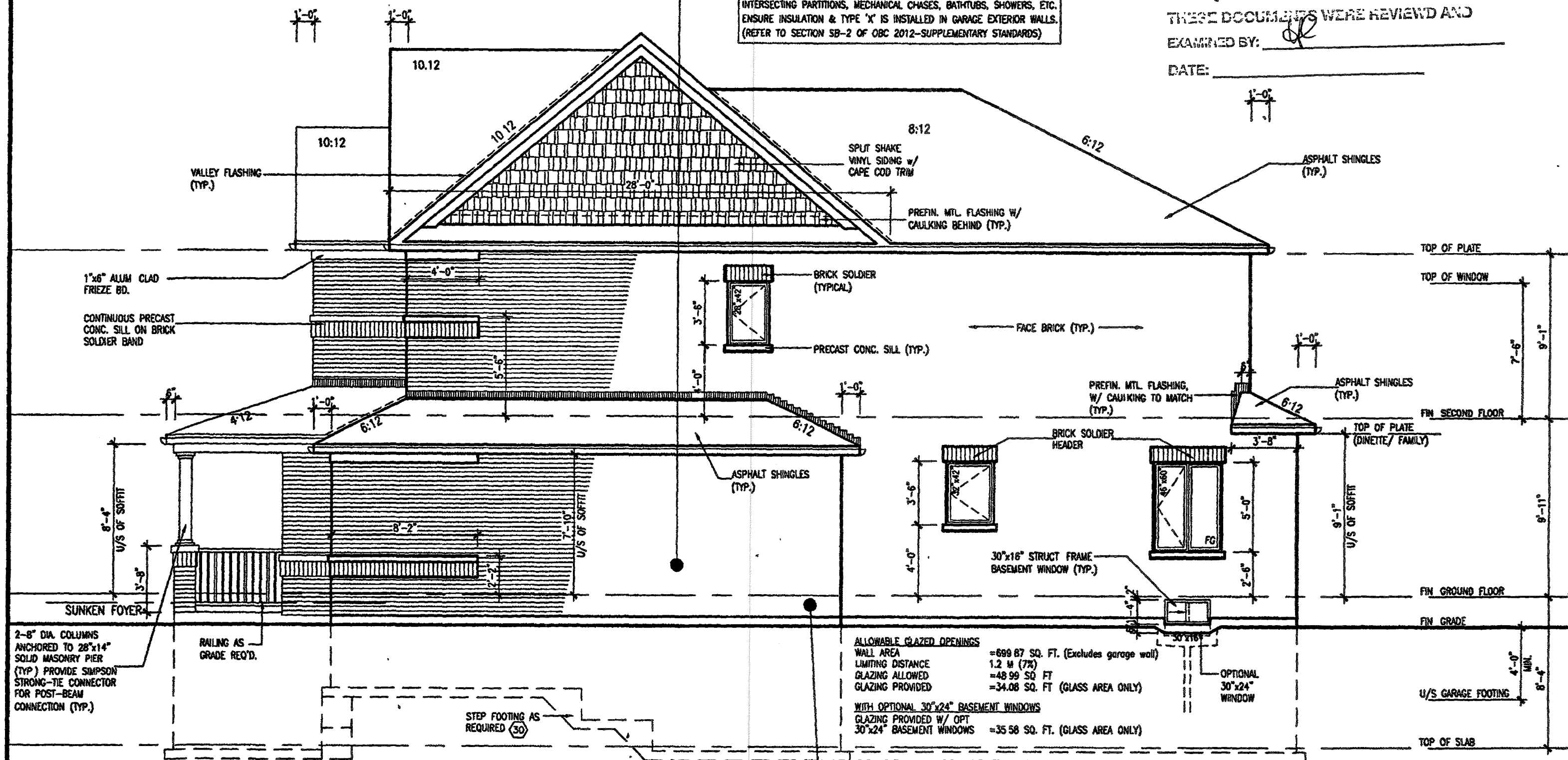
BRICK VENEER CONSTRUCTION
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS. (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

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EXAMINED BY: 

DATE: _____



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ARCHITECTURAL REVIEW & APPROVAL:

AUG 02 2012

John G. Williams Limited, Architects

RIGHT SIDE ELEVATION 1

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE) 45 MINUTE
FIRE RATING @ HEADER
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST
AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR
JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING

BASEMENT WINDOWS

LARGER WINDOW MAY REQUIRE WINDOW WELL
DEPENDING ON FINAL GRADE CONDITIONS.
DRAIN WELL TO FOOTING DRAIN.

JUL 27 2018

NEWBERRY 2A
ENERGY STAR

18				9				
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10				1	TRANSFER FROM FARTHINGALE TO SECONDO	OCT 03/17	GW	
no. description				date	by	no. description		

The undersigned has reviewed and takes responsibility for this design and layout. The undersigned meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Richard Vink 244

name signature E

registration information

VAS Design Inc. 426

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer and must be returned at the completion of the work. Drawings are not to be copied.

VA3
DESIGN

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Toronto ON M2J 1R4
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vo3design.com

Greenpark.

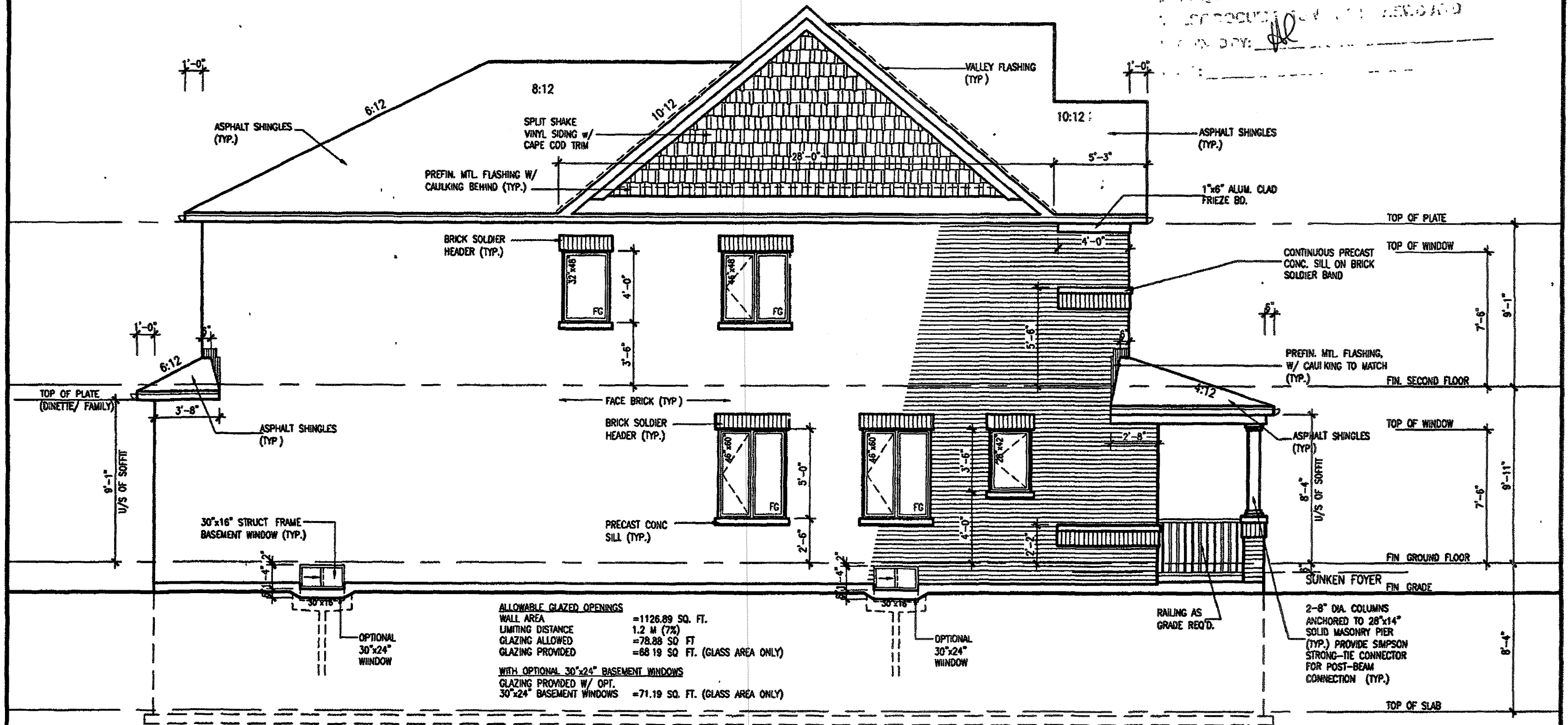
project name	township	project no.
SECONDO VALES ESTATES INC.	Town of EAST GWILLIMBURY	17030
date	RIGHT SIDE ELEVATION - ELEV. 1	drawing no.
NOV. 2017		
drawn by	checked by	scale
GW	-	3/16" = 1'-0"
file name		
17030-NEWBERRY-2A		

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2289 SF.

TOWN OF EAST GWILLIMBURY
Building Department

These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Department. All work must comply with the Ontario Building Code, as amended. These reviews are for information and the Building Department does not assume any liability for the accuracy of the information provided. *[Signature]*



LEFT SIDE ELEVATION 1

JUL 27 2018

NEWBERRY 2A
ENERGY STAR

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for carrying out or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of East Gwillimbury.

ARCHITECTURAL REVIEW & APPROVAL

AUG 02 2018

John G. Williams, Limited, Architect

BASEMENT WINDOWS
LARGER WINDOW MAY REQUIRE WINDOW WELL
DEPENDENT ON FINAL GRADE CONDITIONS
DRAIN WELL TO FOOTING DRAIN.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN

3'-6" HIGH RAILING IF PORCH SLAB
IS MORE THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN PORCH
SLAB IS LESS THAN 5'-11" ABOVE
FINISHED GRADE

18		3			
17		8			
16		7			
15		6			
14		5	RAISED 2nd FL CLG/WINDOWS PER CLIENT	JULY 25/18	GW
13		4	ISSUED FOR PERMIT	NOV. 17/17	GW
12		3	UPDATED ISSUED FOR REVIEW	OCT 16/17	GW
11		2	REVISED ISSUED FOR CLIENT REVIEW	OCT 16/17	GW
10		1	TRANSFER FROM PARTINGALE TO SECONDO	OCT 03/17	GW
9					
8					
7					
6					
5					
4					
3					
2					
1					
no	description	date	by	no	description

The undersigned has reviewed and takes responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24498
name
signature
VA3 Design Inc. 42658
reproduction information
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
va3design.com

Greenpark.		- NEWBERRY 2A	
project name	SECONDO VALES ESTATES INC.	location	Town of EAST GWILLIMBURY
date	NOV. 2017	project no.	17030
drawn by	GW	checked by	3/16" = 1'-0"
scale	3/16" = 1'-0"	drawing no.	A6
LEFT SIDE ELEVATION - ELEV. 1			
17030-NEWBERRY-2A			

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2289 SF.

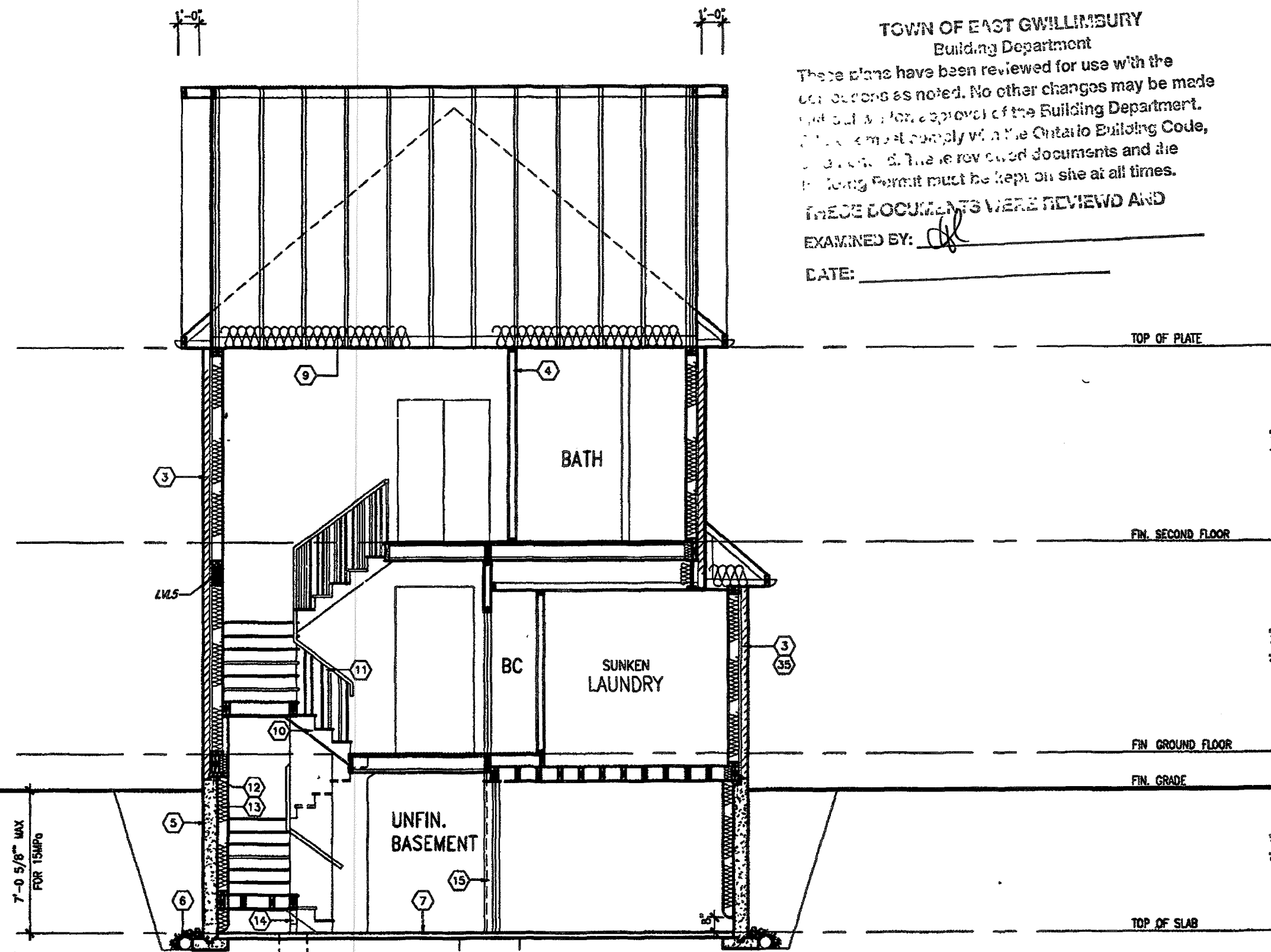
Building Department

These plans have been reviewed for use with the
use as shown as noted. No other changes may be made
without written approval of the Building Department.
The work must comply with the Ontario Building Code,
and all City of Toronto approved documents and the
Building Permit must be kept on site at all times.

THESE DOCUMENTS WERE REVIEWED AND

EXAMINED BY: [Signature]

DATE: _____



SECTION A-A ELEV. 1

JUL 27 2018

NEWBERRY 2A
ENERGY STAR

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GUILDFORD.

[illegible]

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2289 SF.



PLANS AND ELEVATION ILLUSTRATE DECK
CONDITIONS WHERE GRADE PERMITS. BASEMENT
WINDOWS APPLY TO CONDITIONS OF A MINIMUM
4'-4" FROM FINISHED FIRST FLOOR TO GRADE

JUL 27 2018

NEWBERRY 2A
ENERGY STAR

John G. Williams Limited, Architects



18				9			
17				8			
16				7			
15				6			
14				5	RAISED 2nd FL CLG/WINDOWS PER CLIENT	JULY 25/18	GH
13				4	ISSUED FOR PERMIT.	NOV. 17/17	GH
12				3	UPDATED, ISSUED FOR REVIEW	OCT 16/17	GH
11				2	REVISED, ISSUED FOR CLIENT REVIEW	OCT 10/17	GH
10				1	TRANSFER FROM FARTHINGALE TO SECONDO	OCT 03/17	GH
00	description	date	hw	no	description	date	hw

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer qualifications information	
Richard Vink name	24468 signature
reputation information VAS Design Inc.	42658 BCR
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Designer not to be held responsible for any errors or omissions.	

**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2295 f 416.630.4782
vo3design.com

 Greenpark.		- NEWBERRY 2A	
project name SECONDO VALES ESTATES INC.		municipality Town of EAST Gwillimbury	
date NOV 2017		project no. 17030	
drawn by CW		PART. PLANS - DECK CONDITION (file name) 17030-NEWBERRY-2A	
checked by -		drawing no. A9	
scale 3/16" = 1'-0"			
CREG - 16 VICTORIA WORKING 2017/17030 CRE VANTS NEWBERRY NEWBERRY 2A 17030-NEWBERRY-2A.dwg - Mod - Jul 25 2018 - 4:10 PM			

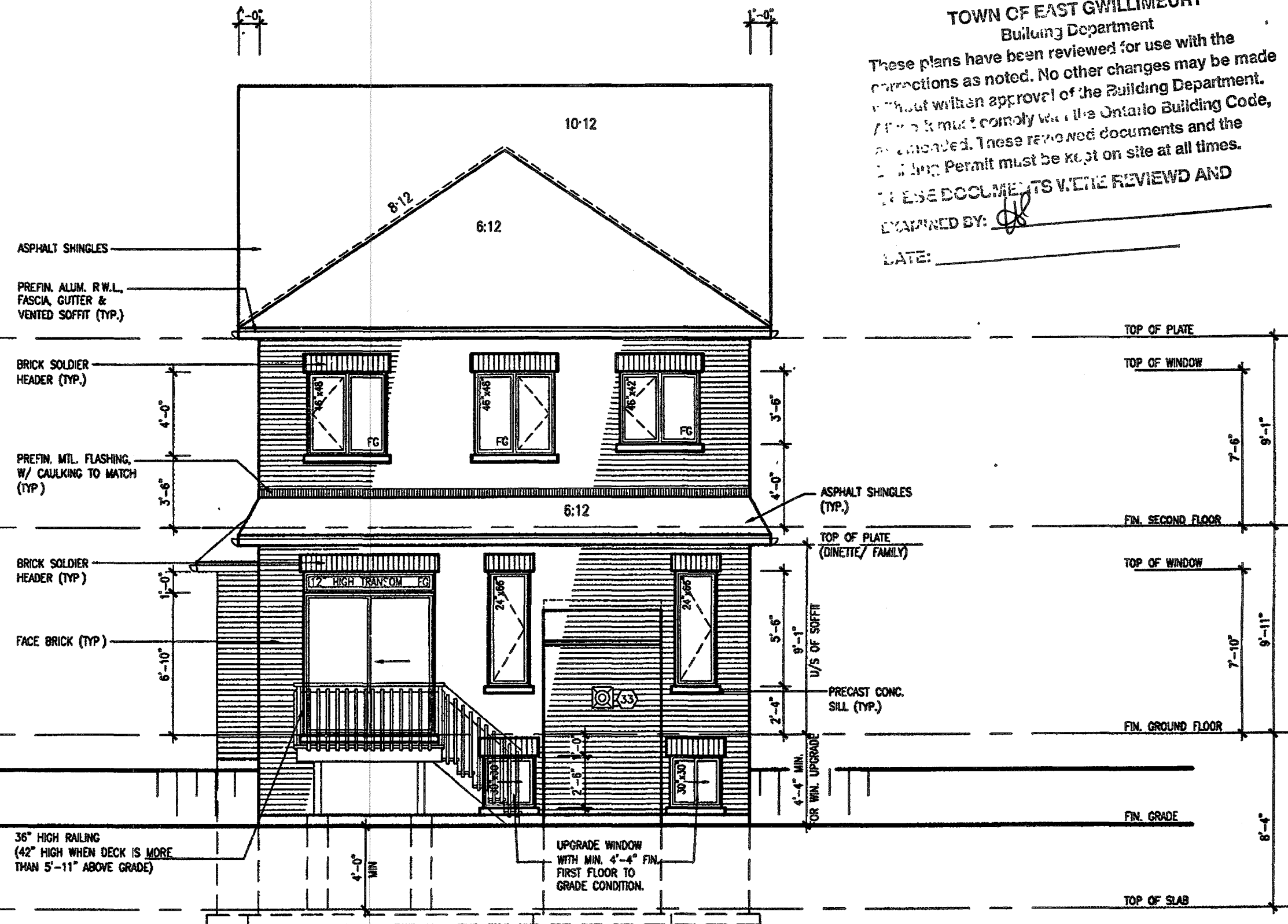
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TOWN OF EAST GWILLIMERY
Building Department

These plans have been reviewed for use with the
connections as noted. No other changes may be made
without written approval of the Building Department.
Plans must comply with the Ontario Building Code,
as amended. These removed documents and the
Building Permit must be kept on site at all times.

THESE DOCUMENTS WERE REVIEWED AND
EXAMINED BY: [Signature]

DATE: _____



JUL 27 2018

3'-6" HIGH RAILING IF PORCH SLAB
IS MORE THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN PORCH
SLAB IS LESS THAN 5'-11" ABOVE
FINISHED GRADE

NEWBERRY 2A
ENERGY STAR

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GUILDFORD

ARCHITECTURAL REVIEW / APPROVAL

AUG 02 2019

John G. Williams Limited, Architects

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

18				9	-	-	The undersigned has reviewed and takes responsibility for this design and for the qualifications and made the requirements set out in the Online Building Code to be a Designer
17				8	-	-	qualification information
16				7	-	-	Richard Vink
15				6	-	-	signature 2448
14				5	RAISED 2nd FL CLG/WINDOWS PER CLIENT	JULY 25/18 GW	name 80
13				4	ISSUED FOR PERMIT	NOV. 17/17 GW	registration information 4263
12				3	UPDATED ISSUED FOR REVIEW	OCT 16/17 GW	VAS Design Inc
11				2	REVISED ISSUED FOR CLIENT REVIEW	OCT 10/17 GW	
10				1	TRANSFER FROM FARTHINGALE TO SECONDO	OCT 03/17 GW	
no.	description	date	by	no.	description	date	by

**VA3
DESIGN**

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

NEWBERRY 2A

Project no
7030

REAR ELEVATION - ELEV. 1 DECK CONDITION

11 000

A10 |

Case - H:\CHIEF\WORKING\2017\17030227-NTS\NEWSPRINT\MEMPHIS 2A\170302-MEMPHIS-2A.doc - Wed - Jul 26 2018 - 4:18 PM

18 documents and pictures related documents and forms are the complete records of HHS OSC's. Completion of the records is complete as of 12/1/71 and is stored in the HHS OSC's records.