



**Electrical  
Safety  
Authority**

**Doing electrical work? A separate permit is required from the Electrical Safety Authority.**  
Hiring someone to do electrical work? They must be a Licensed Electrical Contractor.  
It's the law.

For more information go to

8589A16-CONCRETE DIM 17.1372/2305TS @ 12"  
O.C. BELOW ALL CERAMIC TILE AREAS.  
PROVIDE 1 ROW BRIDGING FOR SPANS OF  
5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR  
ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER  
TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS  
FOR ENGINEERED FRAMING LAYOUTS

2-2"x6" STUD WALL NAILED TOGETHER AND  
SPACED @ 12" O.C. FULL HT CM SOLID  
BLOCKING 4'-0" O.C. VERTICAL AND 7/16"  
EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL  
FOR THIS DETAIL IS 10'-0"

**TWO STORY HEIGHT WALL DETAIL**

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) L5E  
STUD WALL GLUED AND NAILED TOGETHER  
AND SPACED MAX @ 10" O.C. FULL HT CM  
SOLID BLOCKING MAX 8'-0" O.C. VERTICAL  
AND 7/16" EXT. OSB SHEATHING.



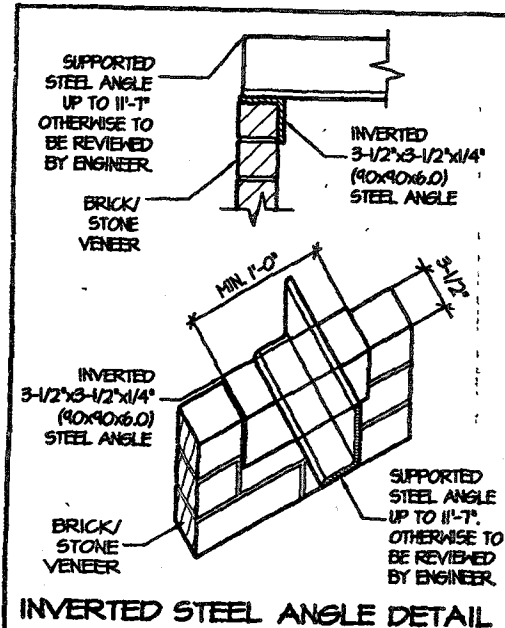
NOTE: MAXIMUM HEIGHT OF WALL FOR THIS  
DETAIL IS 20'-2" AND MAXIMUM WIDTH  
IS 4'-0"

**TWO STORY HEIGHT WALL DETAIL**

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT  
SHALL CONFORM TO THE FOLLOWING

### 2012 ENERGY STAR V-12.1

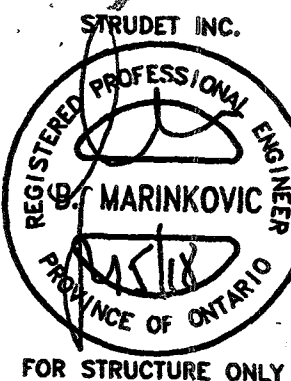
| COMPONENT                                                                | NOTE                                                                                                                                       |
|--------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------|
| CEILING WITH ATTIC SPACE<br>MINIMUM RSI (R) VALUE                        | 0.81<br>(R50)                                                                                                                              |
| CEILING WITHOUT ATTIC SPACE<br>MINIMUM RSI (R) VALUE                     | 5.46<br>(R31)                                                                                                                              |
| EXPOSED FLOOR<br>MINIMUM RSI (R) VALUE                                   | 5.46<br>(R31)                                                                                                                              |
| WALLS ABOVE GRADE<br>MINIMUM RSI (R) VALUE                               | 4.4<br>(R204RS)                                                                                                                            |
| BASEMENT WALLS<br>MINIMUM RSI (R) VALUE                                  | 3.52<br>(R20 BLANKET)                                                                                                                      |
| EDGE OF BELOW GRADE SLAB<br>≤ 600mm BELOW GRADE<br>MINIMUM RSI (R) VALUE | 1.76<br>(R10)                                                                                                                              |
| WINDOWS & SLIDING GLASS DOORS<br>MAXIMUM U-VALUE                         | ENERGY STAR @ ZONE 2 (ER 24WV 14)                                                                                                          |
| SPACE HEATING EQUIPMENT<br>MINIMUM AFUE                                  | 95% ENERGY STAR @ WITH ECM                                                                                                                 |
| GAS FIREPLACE                                                            | ELECTRONIC SPARK IGNITION                                                                                                                  |
| HRV<br>MINIMUM EFFICIENCY                                                | TIER 2 65% SRE ENERGY STAR @ HRV TO<br>BE INTERCONNECTED TO THE FURNACE FAN<br>MUST BE BALANCED INDICATING ON HIGH<br>SPEED FRESH-AIR FLOW |
| HOT WATER TANK                                                           | CONDENSING HOT WATER TANK 90% TE<br>ENVIRONMENT                                                                                            |
| DRAIN WATER HEAT RECOVERY                                                | ONE SHOWER > 42% STEADY R3-42 OR<br>TDS42                                                                                                  |
| AIR TIGHTNESS MUST MEET MINIMUM                                          | DETACHED LEVEL 1 (2.5 ACH/10 NLR)<br>ATTACHED LEVEL 1 (3.0 ACH/10 NLR)                                                                     |
| DUCT SEALING                                                             | ALL SUPPLY DUCTS 1 m (HORIZONTAL) OR<br>RETURN DUCTS                                                                                       |
| LIGHTS                                                                   | 75% CFLs OR LEDs                                                                                                                           |



**INVERTED STEEL ANGLE DETAIL**

**RE**

TOWN  
BUI  
ROLL #



FOR STRUCTURE ONLY

### ENERGY STAR

| ELEVATION    | WALL FT² (WALL M²)             | OPENING FT² (OPENING M²)     | PERCENTAGE     |
|--------------|--------------------------------|------------------------------|----------------|
| FRONT        | 114.300 (66.81)                | 101.600 (9.43)               | 11.1 %         |
| LEFT SIDE    | 1100.750 (102.26)              | 93.500 (8.64)                | 8.50 %         |
| RIGHT SIDE   | 1155.100 (107.36)              | 34.100 (3.17)                | 2.96 %         |
| REAR         | 628.500 (58.43)                | 135.100 (12.61)              | 21.54 %        |
| <b>TOTAL</b> | <b>3604.65 FT² (334.26 M²)</b> | <b>364.30 FT² (33.91 M²)</b> | <b>10.13 %</b> |

| ELEVATION    | WALL FT² (WALL M²)             | OPENING FT² (OPENING M²) | PERCENTAGE |
|--------------|--------------------------------|--------------------------|------------|
| FRONT        | 123.0100 (61.18)               | 83.4600 (7.75)           | 11.54 %    |
| LEFT SIDE    | 1101.100 (102.30)              | 93.500 (8.64)            | 8.50 %     |
| RIGHT SIDE   | 1135.2400 (105.43)             | 22.500 (2.09)            | 1.98 %     |
| REAR         | 628.500 (58.43)                | 135.100 (12.61)          | 21.54 %    |
| <b>TOTAL</b> | <b>3588.05 FT² (333.39 M²)</b> | <b>335.56 FT²</b>        |            |

| ELEVATION    | WALL FT² (WALL M²)             | OPENING FT²       |
|--------------|--------------------------------|-------------------|
| FRONT        | 114.300 (66.81)                | 91.600            |
| LEFT SIDE    | 1114.300 (104.00)              | 93.500            |
| RIGHT SIDE   | 1132.8500 (105.25)             | 22.500            |
| REAR         | 628.500 (58.43)                | 135.100           |
| <b>TOTAL</b> | <b>3592.05 FT² (333.71 M²)</b> | <b>344.75 FT²</b> |

| AREA CALCULATIONS              |        | ELEV. 1             |
|--------------------------------|--------|---------------------|
| GROUND FLOOR AREA              |        | 1298 Sq. Ft.        |
| SECOND FLOOR AREA              |        | 1626 Sq. Ft.        |
| <b>TOTAL FLOOR AREA</b>        |        | <b>2924 Sq. Ft.</b> |
| 1st FLOOR OPEN AREA            | = 0    | 0 Sq. Ft.           |
| 2nd FLOOR OPEN AREA            | = 12   | 12 Sq. Ft.          |
| <b>ADD TOTAL OPEN AREAS</b>    |        | <b>12 Sq. Ft.</b>   |
| ADD FIN. BASEMENT AREA         | = 0    | 0 Sq. Ft.           |
| <b>GROSS FLOOR AREA</b>        |        | <b>2936 Sq. Ft.</b> |
| GROUND FLOOR COVERAGE          | = 1298 | 1298 Sq. Ft.        |
| GARAGE COVERAGE / AREA         | = 408  | 408 Sq. Ft.         |
| PORCH COVERAGE / AREA          | = 75   | 75 Sq. Ft.          |
| <b>TOTAL COVERAGE W/ PORCH</b> |        | <b>1781 Sq. Ft.</b> |
| <b>TOTAL COVERAGE W/ PORCH</b> |        | <b>1781 Sq. Ft.</b> |
| <b>TOTAL COVERAGE W/ PORCH</b> |        | <b>1781 Sq. Ft.</b> |

| AREA CALCULATIONS              |        | ELEV. 2             |
|--------------------------------|--------|---------------------|
| GROUND FLOOR AREA              |        | 1298 Sq. Ft.        |
| SECOND FLOOR AREA              |        | 1626 Sq. Ft.        |
| <b>TOTAL FLOOR AREA</b>        |        | <b>2924 Sq. Ft.</b> |
| 1st FLOOR OPEN AREA            | = 0    | 0 Sq. Ft.           |
| 2nd FLOOR OPEN AREA            | = 12   | 12 Sq. Ft.          |
| <b>ADD TOTAL OPEN AREAS</b>    |        | <b>12 Sq. Ft.</b>   |
| ADD FIN. BASEMENT AREA         | = 0    | 0 Sq. Ft.           |
| <b>GROSS FLOOR AREA</b>        |        | <b>2936 Sq. Ft.</b> |
| GROUND FLOOR COVERAGE          | = 1298 | 1298 Sq. Ft.        |
| GARAGE COVERAGE / AREA         | = 408  | 408 Sq. Ft.         |
| PORCH COVERAGE / AREA          | = 75   | 75 Sq. Ft.          |
| <b>TOTAL COVERAGE W/ PORCH</b> |        | <b>1781 Sq. Ft.</b> |
| <b>TOTAL COVERAGE W/ PORCH</b> |        | <b>1781 Sq. Ft.</b> |
| <b>TOTAL COVERAGE W/ PORCH</b> |        | <b>1781 Sq. Ft.</b> |



**Town of  
East Gwillimbury**

18000 Leslie Street  
Sharon, Ontario  
L0G 1V0  
Phone No (905) 478-4282  
Fax No (905) 478-8545

**TOWN OF EAST GWILLIMBURY - BUILDING BRANCH**  
**MANDATORY INSPECTIONS**  
E-MAIL: [buildinginspections@eastgwillimbury.ca](mailto:buildinginspections@eastgwillimbury.ca)  
WEBSITE: [www.eastgwillimbury.ca](http://www.eastgwillimbury.ca)  
TELEPHONE: (905) 478-4282 EXT. 3827

- BUILDING**
- FORMS FOR THE FOOTINGS (BEFORE CONCRETE IS POURED)
  - FOUNDATION (PRIOR TO BACKFILL)
  - FRAMING (PRIOR TO INSULATION)
  - AIR BARRIER (PRIOR TO EXTERIOR FINISHES)
  - DUCTWORK AND PIPING FOR HEATING AND AIR-CONDITIONING SYSTEMS (PRIOR TO COVERING)
  - INSULATION & VAPOUR BARRIER (BEFORE DRYWALL IS APPLIED)
  - OCCUPANCY
  - FINAL INSPECTION
- PLUMBING**
- OUTSIDE DRAINS & WATER SERVICE
  - INSIDE DRAINS
  - ROUGH IN DRAINS, VENTS & WATER DISTRIBUTION
  - FINAL PLUMBING
- ON-SITE SEWAGE SYSTEM**
- BASE CUT
  - PIPE & STONE, TANKS (PRIOR TO BACKFILL)
  - ON-SITE SEWAGE SYSTEM FINAL (PRIOR TO USE OF THE SYSTEM)

A MINIMUM OF 48 HOURS NOTICE IS REQUIRED FOR INSPECTIONS AS SET OUT IN 1.3.5.1 OF THE ONTARIO BUILDING CODE, DIV. C PART 1. INSPECTIONS MAY BE REFUSED IF PERMIT DOCUMENTS ARE NOT AVAILABLE ON SITE OR THE WORKPLACE IS UNSAFE. PLEASE POST YOUR BUILDING PERMIT & HAVE PLANS ON SITE, PURSUANT TO SECTION 1.3.2.1 & 1.3.2.2 OF THE ONTARIO BUILDING CODE, DIV. C PART 1.

FOR INSPECTION REQUESTS PLEASE E-MAIL OR PHONE BETWEEN 8:30AM & 4:30PM. ALL INSPECTIONS ARE CARRIED OUT BETWEEN 1:00PM - 4:00PM MONDAY TO FRIDAY (EXCLUDING STAT HOLIDAYS).

|                         |        |              |
|-------------------------|--------|--------------|
| TOTAL COVERAGE W/ PORCH | = 1781 | 1781 Sq. Ft. |
| TOTAL COVERAGE W/ PORCH | = 1781 | 1781 Sq. Ft. |
| TOTAL COVERAGE W/ PORCH | = 1781 | 1781 Sq. Ft. |

Without written approval of the Building Department.  
All work must comply with the Ontario Building Code, as amended. These reviewed documents and the Building Permit must be kept on site at all times.  
THESE DOCUMENTS WERE REVIEWED AND  
EXAMINED BY: **ESCC MODEL**  
DATE: **JAN 9 2018**  
**PINEBROOK-1A**  
**ENERGY STAR**



PROJECT NAME  
**SECONDO VALES ESTATE INC.**

### STRIP FOOTINGS

#### FOR SINGLES & SEMIS UP TO 2 STOREY

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS  
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.  
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS  
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS

FOOTINGS ON ENGINEERED FILL  
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING  
BELOW EXTERIOR WALLS  
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING  
BELOW PARTY WALLS  
(REFER TO FOOTING DETAILS ON ENGINEERED FILL)

ASSUME THE LARGER FOOTING SIZE  
WHEN TWO CONDITIONS APPLY  
ASSUMED 120 KPa (18 P.S.I.) SOIL BEARING CAPACITY OR 90 KPa  
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

### PAD FOOTINGS

120 KPa NATIVE SOIL 90 KPa ENGINEERED FILL SOIL  
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD  
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD  
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD  
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD  
F5 = 18"x18"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD  
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

### BRICK VENEER LINTELS

HL1 = 3-1/2"x3-1/2"x1/4" (100x90x6.0) + 2-2"x8" SPR. No.2  
HL2 = 4"x3-1/2"x1/4" (100x90x6.0) + 2-2"x8" SPR. No.2  
HL3 = 5"x3-1/2"x1/4" (125x90x6.0) + 2-2"x10" SPR. No.2  
HL4 = 6"x3-1/2"x1/4" (150x90x6.0) + 2-2"x12" SPR. No.2  
HL5 = 6"x4"x3/8" (150x100x10.0) + 2-2"x12" SPR. No.2  
HL6 = 5"x3-1/2"x1/4" (125x90x6.0) + 2-2"x12" SPR. No.2  
HL7 = 5"x3-1/2"x1/4" (125x90x6.0) + 3-2"x10" SPR. No.2  
HL8 = 5"x3-1/2"x1/4" (125x90x6.0) + 3-2"x12" SPR. No.2  
HL9 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

### LINTELS AND BEAMS

HB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)  
HB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)  
HB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)  
HB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)  
HB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)  
HB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)  
HB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)  
HB8 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)  
HB9 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

### LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 1 1/4" (1-45x184)  
LVL1 = 2-1 3/4" x 1 1/4" (2-45x184)  
LVL2 = 3-1 3/4" x 1 1/4" (3-45x184)  
LVL3 = 4-1 3/4" x 1 1/4" (4-45x184)  
LVL4A = 1-1 3/4" x 1 1/2" (1-45x240)  
LVL4 = 2-1 3/4" x 1 1/2" (2-45x240)  
LVL5 = 3-1 3/4" x 1 1/2" (3-45x240)  
LVL5A = 4-1 3/4" x 1 1/2" (4-45x240)  
LVL6A = 1-1 3/4" x 1 7/8" (1-45x300)  
LVL6 = 2-1 3/4" x 1 7/8" (2-45x300)  
LVL7 = 3-1 3/4" x 1 7/8" (3-45x300)  
LVL7A = 4-1 3/4" x 1 7/8" (4-45x300)  
LVL8 = 2-1 3/4" x 1 7/8" (2-45x356)  
LVL9 = 3-1 3/4" x 1 7/8" (3-45x356)  
LVL10 = 4-1 3/4" x 1 7/8" (4-45x456)

LVL BEAMS SHALL BE VERSA-LAM 2.0E (Fb=2800psi MIN.) OR  
EQUIVALENT.

### LOOSE STEEL LINTELS

L1 = 3-1/2"x3-1/2"x1/4" (100x90x6.0)  
L2 = 4"x3-1/2"x1/4" (100x90x6.0)  
L3 = 5"x3-1/2"x1/4" (125x90x6.0)  
L4 = 6"x3-1/2"x1/4" (150x90x6.0)  
L5 = 6"x4"x3/8" (150x100x10.0)  
L6 = 7"x4"x3/8" (175x100x10.0)

### DOOR SCHEDULE

| NOS. | WIDTH  | HEIGHT  | HEIGHT      | TYPE                    |
|------|--------|---------|-------------|-------------------------|
|      |        | CEILING | 10' OR MORE |                         |
| 1    | 2'-10" | 6'-8"   | 8'-0"       | INSULATED ENTRANCE DOOR |
| 1a   | 2'-8"  | 6'-8"   | 8'-0"       | INSULATED FRONT DOORS   |
| 2    | 2'-8"  | 6'-8"   | 8'-0"       | WOOD & GLASS DOOR       |
| 3    | 2'-8"  | 6'-8"   | 8'-0"       | EXTERIOR SLAB DOOR      |
| 4    | 2'-8"  | 6'-8"   | 8'-0"       | INTERIOR SLAB DOOR      |
| 5    | 2'-8"  | 6'-8"   | 8'-0"       | INTERIOR SLAB DOOR      |
| 6    | 2'-2"  | 6'-8"   | 8'-0"       | INTERIOR SLAB DOOR      |
| 7    | 1'-6"  | 6'-8"   | 8'-0"       | INTERIOR SLAB DOOR      |

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJ 'AR 28770  
NAME SIGNATURE BCIN

REGION DESIGN INC  
8700 DUFFERIN ST  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

**REGION  
DESIGN  
INC.**

SHEET TITLE  
**AREA CHARTS**  
SCALE NA BY BK  
DATE SEP 2017 TYPE PROJECT  
05-15-04

CONTRACTOR SHALL CHECK ALL  
DIMENSIONS AND ELEVATIONS BEFORE  
COMMENCING WITH WORK AND REPORT  
ANY DISCREPANCIES TO THE DESIGNER  
PRINTS ARE NOT TO BE SCALED

AREA 2938 PAGE No.  
0

PROJECT NAME  
**SECONDO VALES ESTATE INC.**

These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Department. All work must comply with the Ontario Building Code as amended. These reviewed documents and the Building Permit must be kept on site at all times.

**THESE DOCUMENTS WERE REVIEWED AND EXAMINED BY:**

DATE:



Signed: \_\_\_\_\_  
Date: **JAN 30 2018**  
JOHN G. WILLIAMS LIMITED  
ARCHITECT

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR  
SIZES

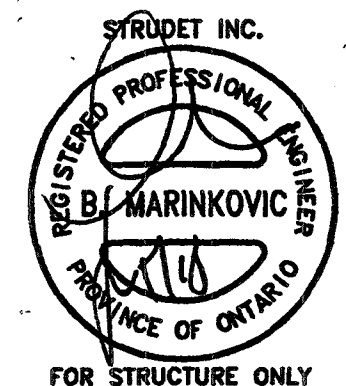
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW  
ALL CERAMIC TILE AREAS.  
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-1", 2 ROWS  
FOR SPANS GREATER THAN 1'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR  
ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED  
AND NAILED ON THIS FLOOR.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and covenants including zoning provisions and any restrictions in the subdivision agreement. The Control Authority is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building codes or permit matter or that any building can be properly built or located on its lot.

JAN 05 2018



# PINEBROOK-1A

## ENERGY STAR



PROJECT NAME  
**SECONDO VALES ESTATE INC.,**

|                         |  |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
|-------------------------|--|--|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 5                       |  |  | <p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p><b>QUALIFICATION INFORMATION</b></p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.</p> <p><b>VIKAS GAJJAR</b>  <b>28770</b></p> <p><b>NAME</b> <b>SIGNATURE</b> <b>BCIN</b></p> |
| 4                       |  |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| 3                       |  |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| 2                       |  |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| 1                       |  |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| <p><b>REVISIONS</b></p> |  |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |

**REGION DESIGN INC**  
**8700 DUFFERIN ST**  
**CONCORD, ONTARIO**  
**L4K 4S6**  
**P (416) 736-4096**  
**F (905) 660-0748**

# R D I REGION DESIGN INC.

SHEET TITLE  
**BASEMENT PLAN**  
ELEV. 1

SCALE  
3/16"=1'-0"

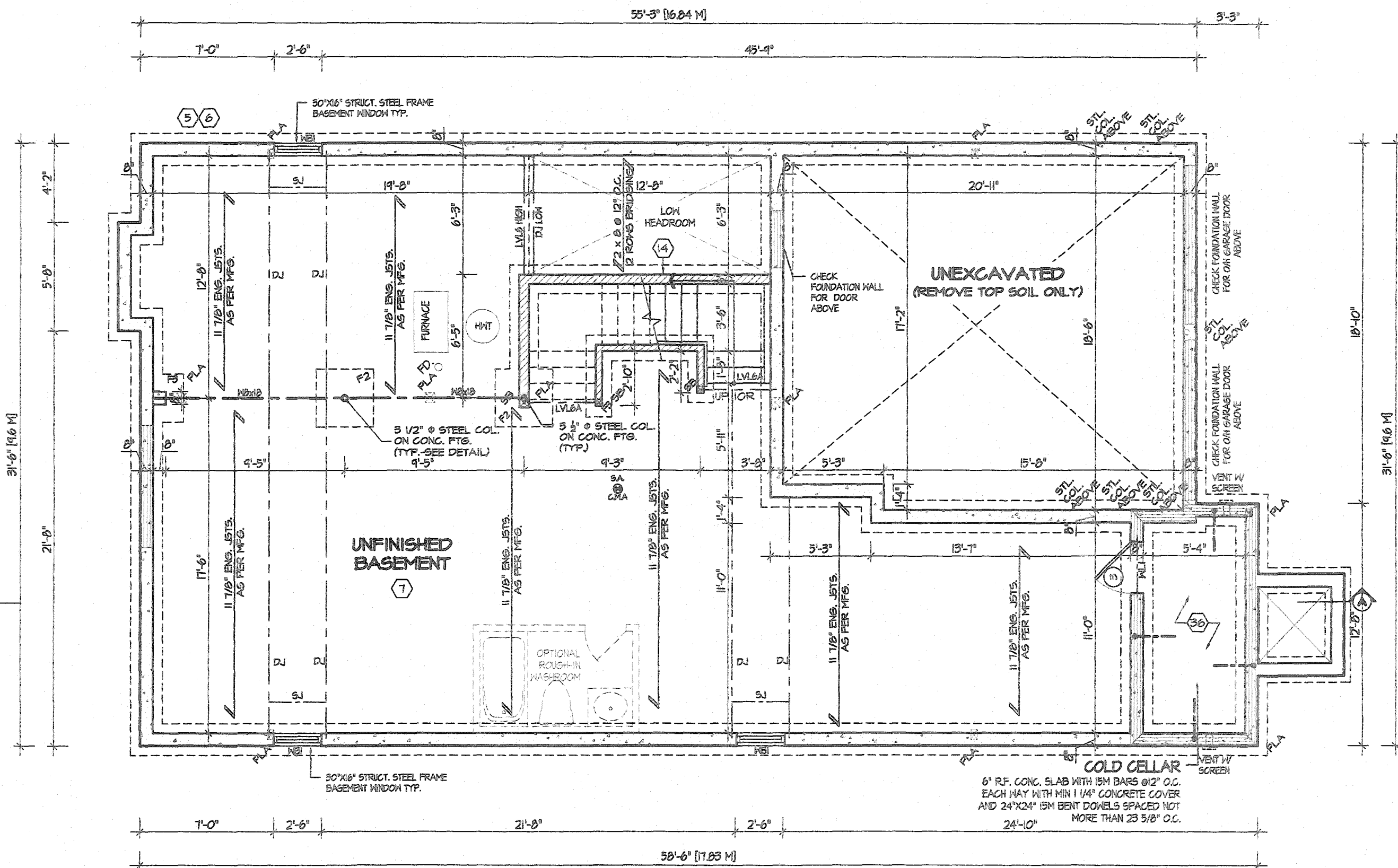
DATE  
SEP 2017

|      |    |
|------|----|
| BY   | BH |
| TYPE |    |

CONTRACTOR SHALL CHECK ALL  
DIMENSIONS AND ELEVATIONS BEFORE  
COMMENCING WITH WORK AND REPORT  
ANY DISCREPANCIES TO THE DESIGNER.  
PRINTS ARE NOT TO BE SCALED.

|         |         |
|---------|---------|
| AREA    | 2936    |
| PROJECT | 05-15-0 |

|  |            |
|--|------------|
|  | PAGE No. 1 |
|--|------------|



## BASEMENT PLAN I FOR LOT 22 ONLY

\*DRAWING FOR GARAGE RISERS ONLY

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12' O.C. BELOW ALL CERAMIC TILE AREAS.  
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7', 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

STRUDET INC.



FOR STRUCTURE ONLY

**PINEBROOK-1A**  
ENERGY STAR

JAN 31 2019

**Greenpark.**

PROJECT NAME  
SECONDO VALES ESTATE INC.,

|                                                                                                    |                                                                                                                                                                                                                                                                                                                                                                                                                            |                                                                                                                                                                   |                                                                                                                                                                                                                 |                                                                                                                                                                                                                                                                                   |                                                               |
|----------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------|
| <div>REVISIONS</div> <div> <div>5</div> <div>4</div> <div>3</div> <div>2</div> <div>1</div> </div> | <div>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</div> <div>QUALIFICATION INFORMATION</div> <div>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</div> <div>VIKAS GAJJAR</div> <div>NAME SIGNATURE</div> <div>28770</div> <div>BCIN</div> | <div>REGION DESIGN INC.</div> <div>8700 DUFFERIN ST.</div> <div>CONCORD, ONTARIO</div> <div>L4K 4S6</div> <div>P (416) 736-4036</div> <div>F (905) 660-0746</div> | <div>SHEET TITLE</div> <div>BASEMENT PLAN</div> <div>ELEV. 1 - LOT 22</div> <div>SCALE</div> <div>3/16"=1'-0"</div> <div>DATE</div> <div>SEP 2017</div> <div>BY</div> <div>BK</div> <div>TYPE</div> <div></div> | <div>CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.</div> <div>AREA</div> <div>2936</div> <div>PAGE No.</div> <div>1-22</div> <div>PROJECT</div> <div>05-15-04</div> | <div>PROJECT NAME</div> <div>SECONDO VALES ESTATE INC.,</div> |
|----------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------|



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24<sup>th</sup> O.C.  
EXAMINED BY

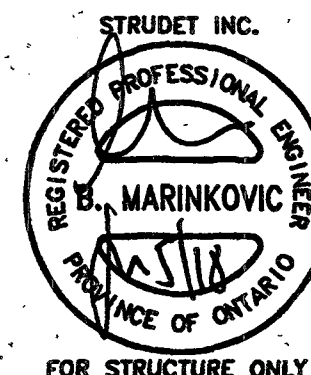
DATE: JAN 28 2019



JAN 05 2019

# PINEBROOK-1A

## ENERGY STAR

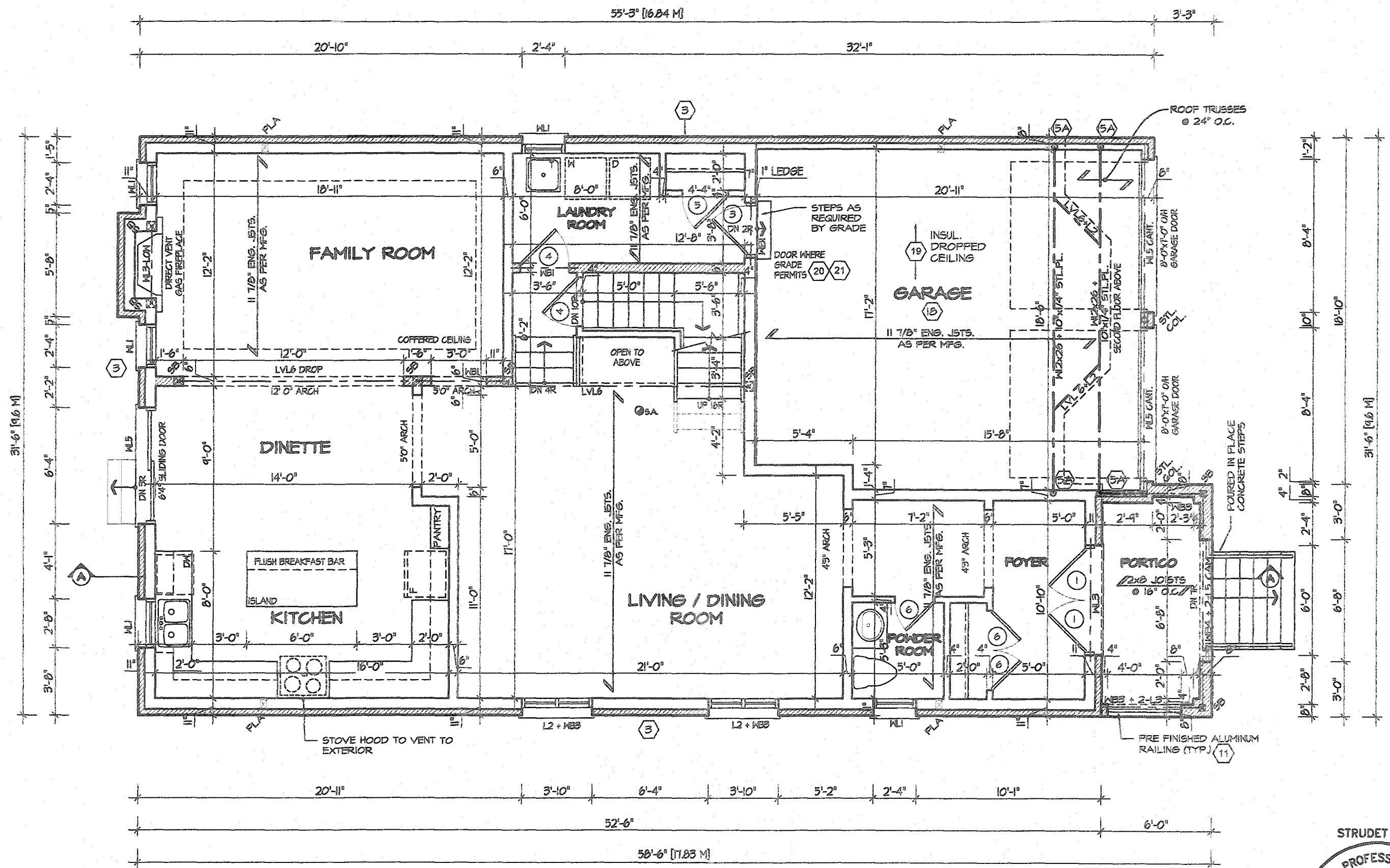


**FOR STRUCTURE ONLY**

# Greenpark.

PROJECT NAME  
**SECONDO VALES ESTATE INC..**

|                         |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                         |                                  |                                                                         |                            |                                                                                                                                                                   |                                 |                                                                                                                                                           |
|-------------------------|--|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------|----------------------------------|-------------------------------------------------------------------------|----------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------|
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| 4                       |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                         |                                  | <p>SCALE</p> <p><b>3/16"=1'-0"</b></p>                                  | <p>BY</p> <p><b>BK</b></p> | <p>AREA</p> <p><b>2936</b></p>                                                                                                                                    | <p>PAGE No.</p> <p><b>2</b></p> |                                                                                                                                                           |
| 3                       |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                         |                                  | <p>DATE</p> <p><b>SEP 2017</b></p>                                      | <p>TYPE</p>                | <p>PROJECT</p> <p><b>05-15-04</b></p>                                                                                                                             |                                 |                                                                                                                                                           |
| 2                       |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                         |                                  |                                                                         |                            |                                                                                                                                                                   |                                 |                                                                                                                                                           |
| 1                       |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                         |                                  |                                                                         |                            |                                                                                                                                                                   |                                 |                                                                                                                                                           |
| <p><b>REVISIONS</b></p> |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                         |                                  |                                                                         |                            |                                                                                                                                                                   |                                 |                                                                                                                                                           |



# FIRST FLOOR PLAN I FOR LOT 22 ONLY

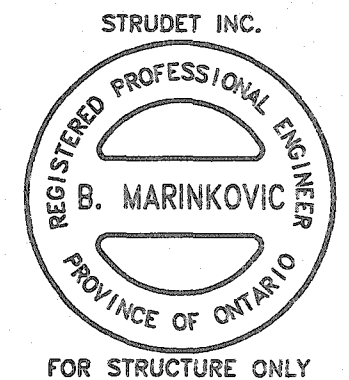
\*DRAWING FOR GARAGE RISERS ONLY

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS  
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7"; 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 5/8" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.



PINEBROOK-1A  
ENERGY STAR

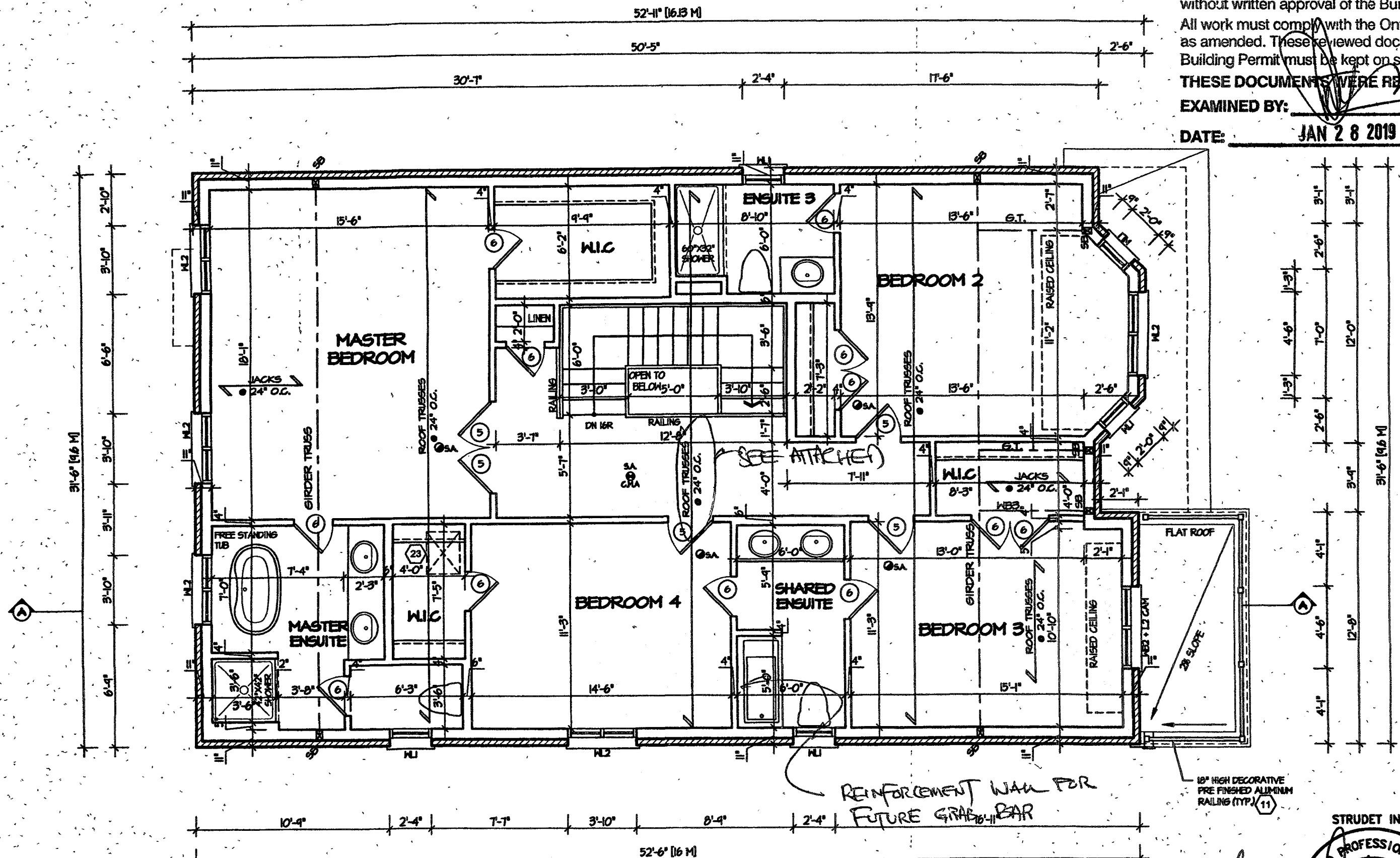
JAN 31 2019

|                                                                                                         |                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                                                   |                               |                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                              |                                                               |
|---------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------|
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|                                                                                                         |                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                                                   |                               |                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                              |                                                               |

**TOWN OF EAST GWILLIMBURY  
Building Department**

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**THESE DOCUMENTS WERE REVIEWED AND EXAMINED BY:**

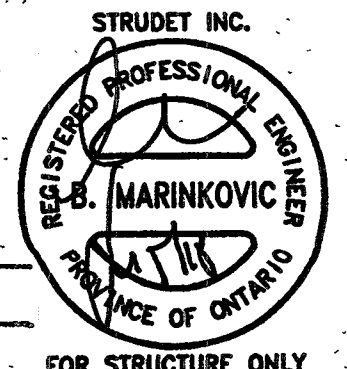
**DATE:** JAN 28 2019



**SECOND FLOOR PLAN I**

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ARCHITECTURAL REVIEW  
AND APPROVAL  
TOWN OF EAST GWILLIMBURY  
Signed: *[Signature]*  
Date: **JAN 30 2018**  
JOHN G. WILLIAMS LIMITED  
ARCHITECT



JAN 05 2018

**PINEBROOK-1A**  
ENERGY STAR



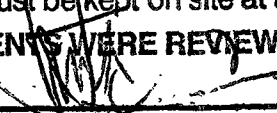
PROJECT NAME  
**SECONDO VALES ESTATE INC.,**

|           |  |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                          |                                  |                          |                                                                                                         |                                                                                                                                                             |          |
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| 4         |  |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                          |                                  | <b>SECOND FLOOR PLAN</b> |                                                                                                         | ELEV. 1                                                                                                                                                     |          |
| 3         |  |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                          |                                  | SCALE                    | BY                                                                                                      | AREA                                                                                                                                                        | PAGE No. |
| 2         |  |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                          |                                  | 3/16"=1'-0"              | BK                                                                                                      | 2936                                                                                                                                                        | 3        |
| 1         |  |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                          |                                  | DATE                     | TYPE                                                                                                    | PROJECT                                                                                                                                                     |          |
| REVISIONS |  |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | SEP 2017                                                                                                                                 |                                  | 05-15-04                 |  <b>Greenpark.</b> |                                                                                                                                                             |          |
|           |  |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                          |                                  |                          | PROJECT NAME                                                                                            |                                                                                                                                                             |          |
|           |  |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                          |                                  |                          | SECONDO VALES ESTATE INC.,                                                                              |                                                                                                                                                             |          |

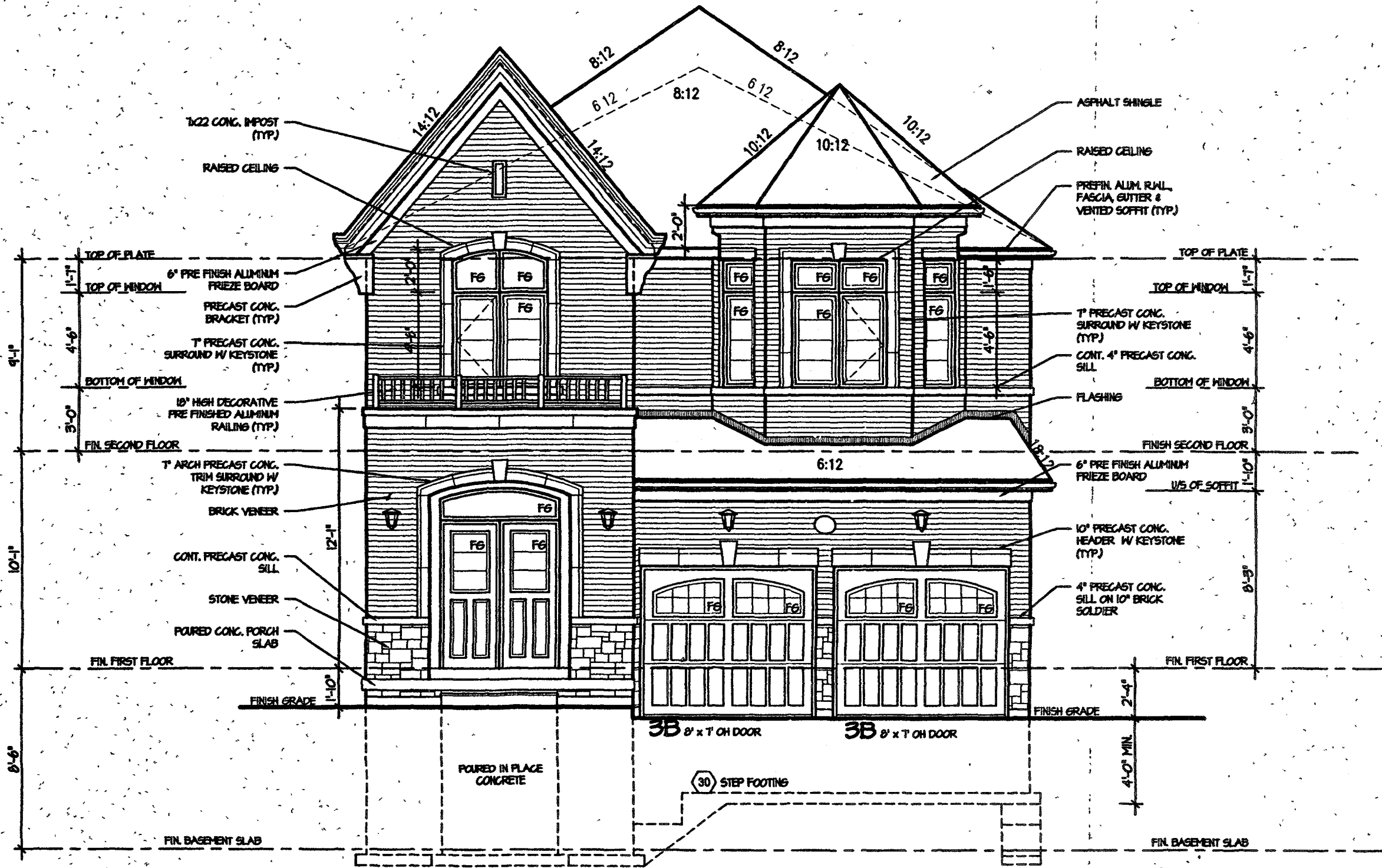
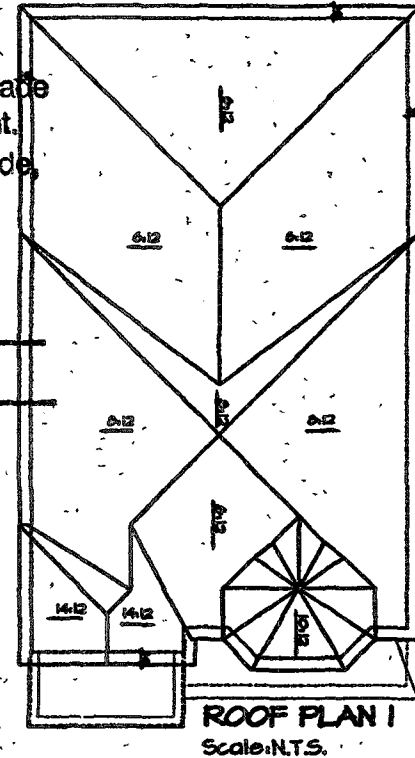


**TOWN OF EAST GWILLIMBURY**  
**Building Department**

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**THESE DOCUMENTS WERE REVIEWED AND EXAMINED BY:** 

**DATE:** JAN 28 2019



**FRONT ELEVATION I**

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**ARCHITECTURAL REVIEW AND APPROVAL**  
**TOWN OF EAST GWILLIMBURY**

Signed: JAN 30 2018  
**JOHN G. WILLIAMS LIMITED**  
**ARCHITECT**

JAN 05 2018

**PINEBROOK-1A**  
**ENERGY STAR**

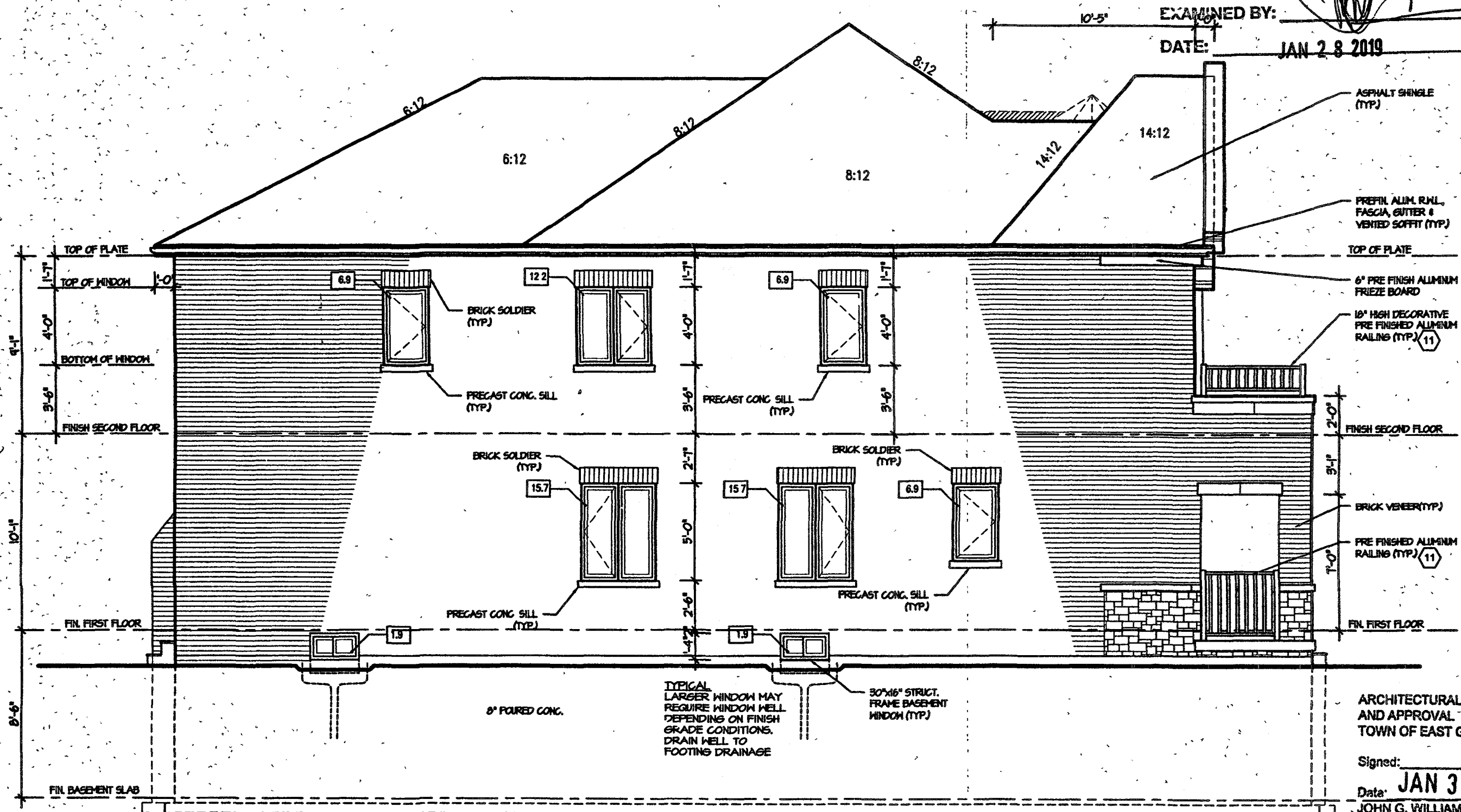
|           |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                 |                               |             |             |                 |    |         |          |                                                                                                                                                             |   |                                                                                                         |              |
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| 4         |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                 |                               | SCALE       | 3/16"=1'-0" | BY              | BK | AREA    | 2936     | PAGE No                                                                                                                                                     | 4 |                                                                                                         | PROJECT NAME |
| 3         |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                 |                               | DATE        | SEP 2017    | TYPE            |    | PROJECT | 05-15-04 |                                                                                                                                                             |   |                                                                                                         |              |
| 2         |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                 |                               |             |             |                 |    |         |          |                                                                                                                                                             |   |                                                                                                         |              |
| 1         |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                 |                               |             |             |                 |    |         |          |                                                                                                                                                             |   |                                                                                                         |              |
| REVISIONS |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                 |                               |             |             |                 |    |         |          |                                                                                                                                                             |   |                                                                                                         |              |

# TOWN OF EAST GWILLIMBURY Building Department

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EXAMINED BY:

DATE: JAN 28 2019



ARCHITECTURAL REVIEW  
AND APPROVAL  
TOWN OF EAST GWILLIMBURY

Signed:   
Date: JAN 30 2018  
JOHN G. WILLIAMS LIMITED  
ARCHITECT

| ALLOWABLE GLAZING                         |   |       |         |
|-------------------------------------------|---|-------|---------|
| WALL AREA                                 | = | 1100  | Sq. Ft. |
| ALLOWABLE GLAZED AREA @ 1% L2 M SIDE YARD | = | 11.00 | Sq. Ft. |
| ACTUAL GLAZED AREA                        | = | 60.3  | Sq. Ft. |

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LEFT SIDE ELEVATION I

JAN 05 2018

PINEBROOK-1A  
ENERGY STAR

**Greenpark.**

PROJECT NAME  
SECONDO VALES ESTATE INC.,

| REVISIONS |  |
|-----------|--|
| 5         |  |
| 4         |  |
| 3         |  |
| 2         |  |
| 1         |  |

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QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code  
VIKAS GAJJAR  
NAME  
28770  
BCIN  
SIGNATURE

REGION DESIGN INC  
8709 DUFFERIN ST  
CONCORD ONTARIO  
L4K 4S8  
P (416) 736-4098  
F (905) 680-0746

**REGION  
DESIGN  
INC.**

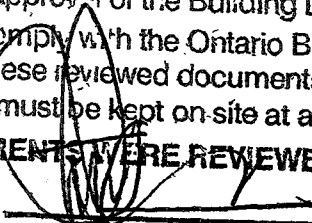
SHEET TITLE  
LEFT SIDE ELEVATION  
ELEV. 1  
SCALE 3/16"=1'-0"  
DATE SEP 2017  
BY BK  
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.  
AREA 2936  
PAGE No. 5  
PROJECT 05-15-04

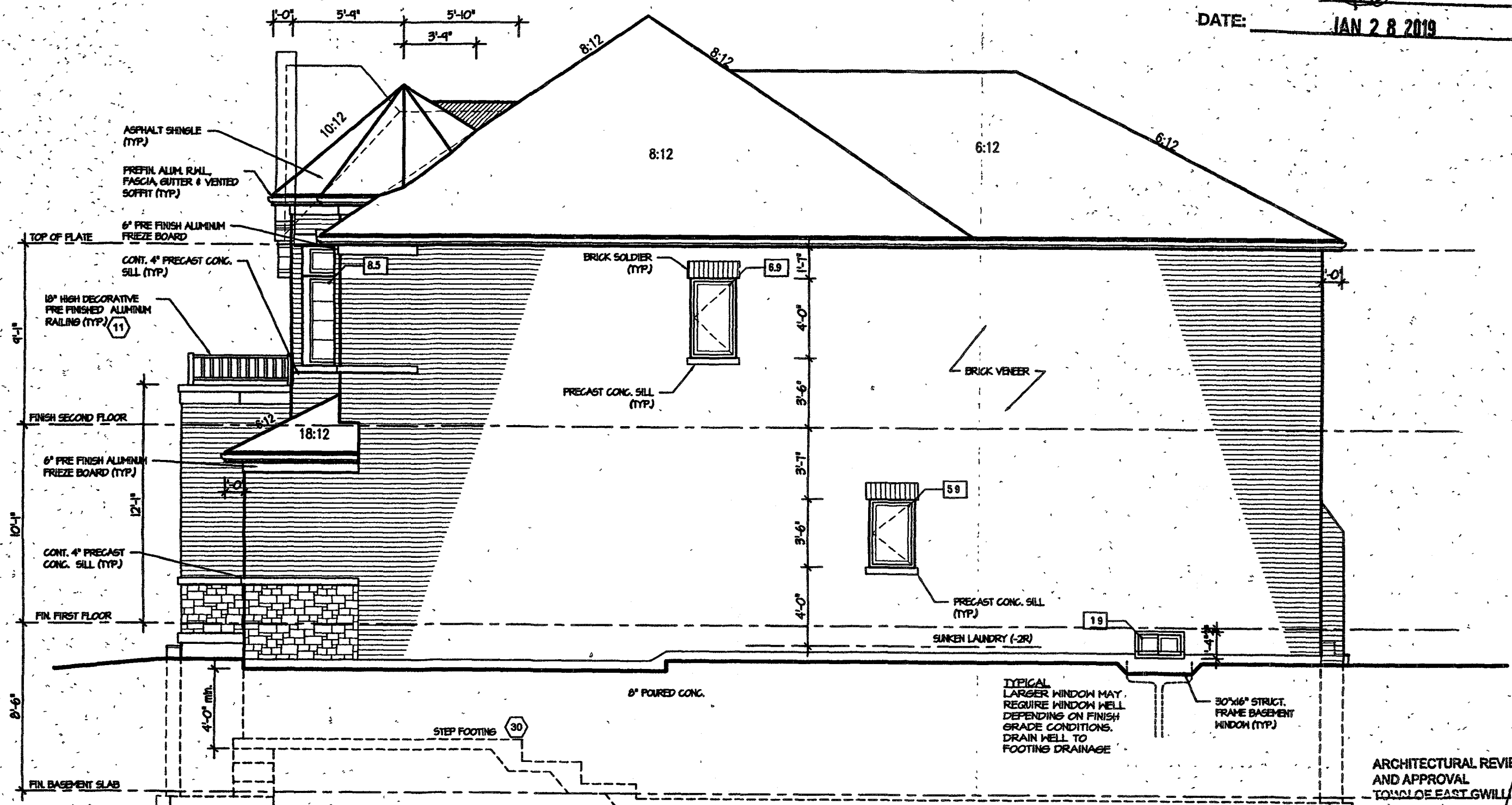


# TOWN OF EAST GWILLIMBURY Building Department

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THESE DOCUMENTS WERE REVIEWED AND EXAMINED BY: 

DATE: JAN 28 2019



## RIGHT SIDE ELEVATION I

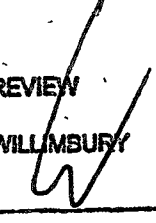
### ALLOWABLE GLAZING

|                                           |   |      |         |
|-------------------------------------------|---|------|---------|
| WALL AREA B                               | = | 155  | Sq. Ft. |
| ALLOWABLE GLAZED AREA @ 1% L2 M SIDE YARD | = | 2025 | Sq. Ft. |
| ACTUAL GLAZED AREA                        | = | 232  | Sq. Ft. |

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JAN 05 2018

ARCHITECTURAL REVIEW  
AND APPROVAL  
TOWN OF EAST GWILLIMBURY

Signed:   
Date: JAN 30 2018  
JOHN G. WILLIAMS LIMITED  
ARCHITECT

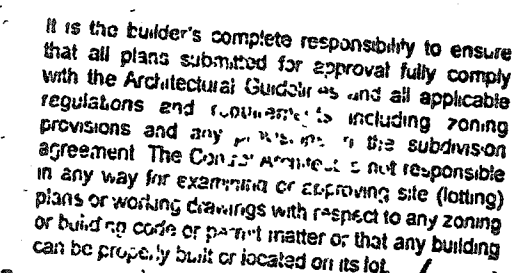
PINEBROOK-1A  
ENERGY STAR

|                                           |  |                                                                                                                                                                                                                                                                                                                                                                       |                                                                                                               |                           |                                                                                                                                                          |                                                                                                                                                                                                                                |
|-------------------------------------------|--|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------|---------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
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|-------------------------------------------|--|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------|---------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

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**THESE DOCUMENTS WERE REVIEWED AND EXAMINED BY:**

~~FAVORABLE~~



Signed: \_\_\_\_\_  
Date: **JAN 30 2018**  
JOHN G. WILLIAMS LIMITED  
ARCHITECT

# PINEBROOK-1A

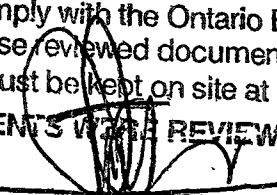
## ENERGY STAR

|           |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |                                                                                                                                                                  |                               |                |      |                                                                                                                                                             |          |                                                                                       |                                            |
|-----------|--|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------|----------------|------|-------------------------------------------------------------------------------------------------------------------------------------------------------------|----------|---------------------------------------------------------------------------------------|--------------------------------------------|
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| 4         |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |                                                                                                                                                                  |                               | REAR ELEVATION |      |                                                                                                                                                             |          |                                                                                       | PROJECT NAME<br>SECONDO VALES ESTATE INC., |
| 3         |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |                                                                                                                                                                  |                               | SCALE          | BY   | AREA                                                                                                                                                        | PAGE No. |                                                                                       |                                            |
| 2         |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |                                                                                                                                                                  |                               | 3/16"=1'-0"    | BK   | 2936                                                                                                                                                        | 7        |                                                                                       |                                            |
| 1         |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |                                                                                                                                                                  |                               | DATE           | TYPE | PROJECT                                                                                                                                                     |          |                                                                                       |                                            |
| REVISIONS |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |                                                                                                                                                                  |                               |                |      |                                                                                                                                                             |          |                                                                                       |                                            |

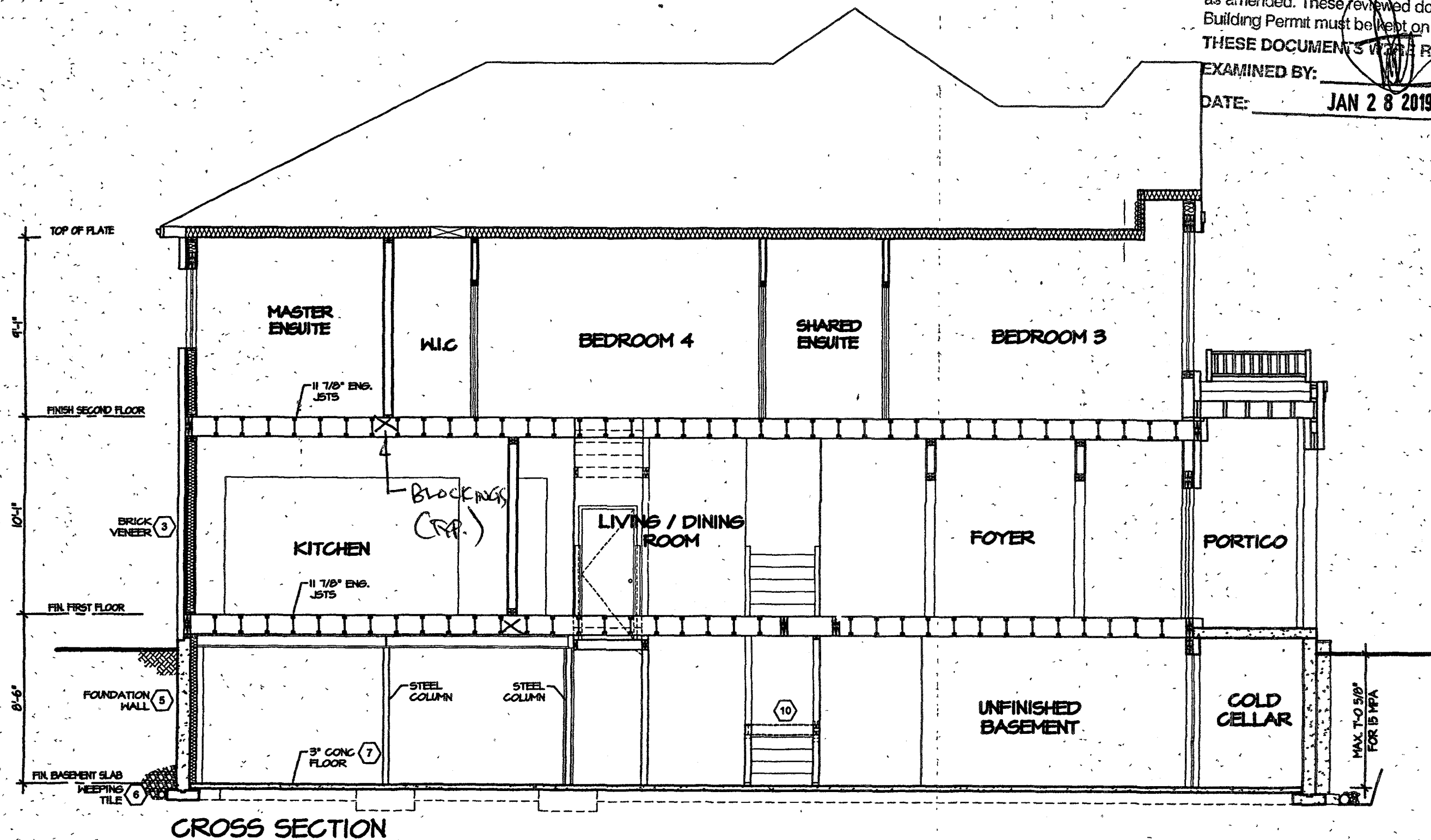
**TOWN OF EAST GWILLIMBURY**  
Building Department

These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Department. All work must comply with the Ontario Building Code, as amended. These reviewed documents and the Building Permit must be kept on site at all times.

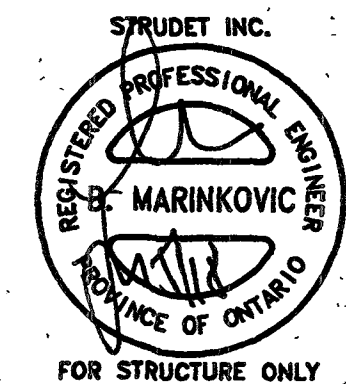
THESE DOCUMENTS HAVE BEEN REVIEWED AND

EXAMINED BY: 

DATE: JAN 28 2019

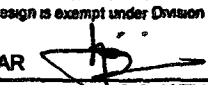


CROSS SECTION

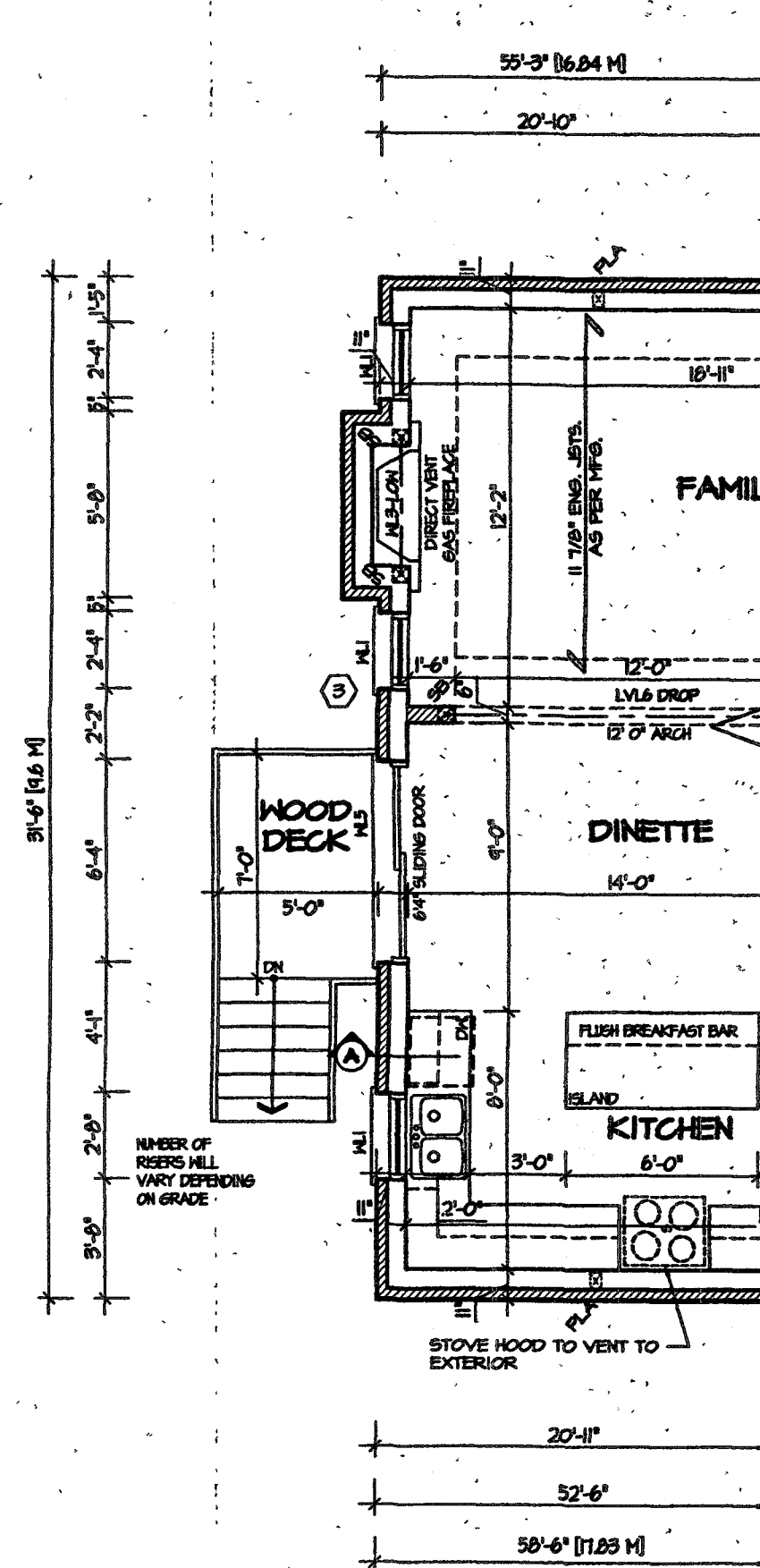
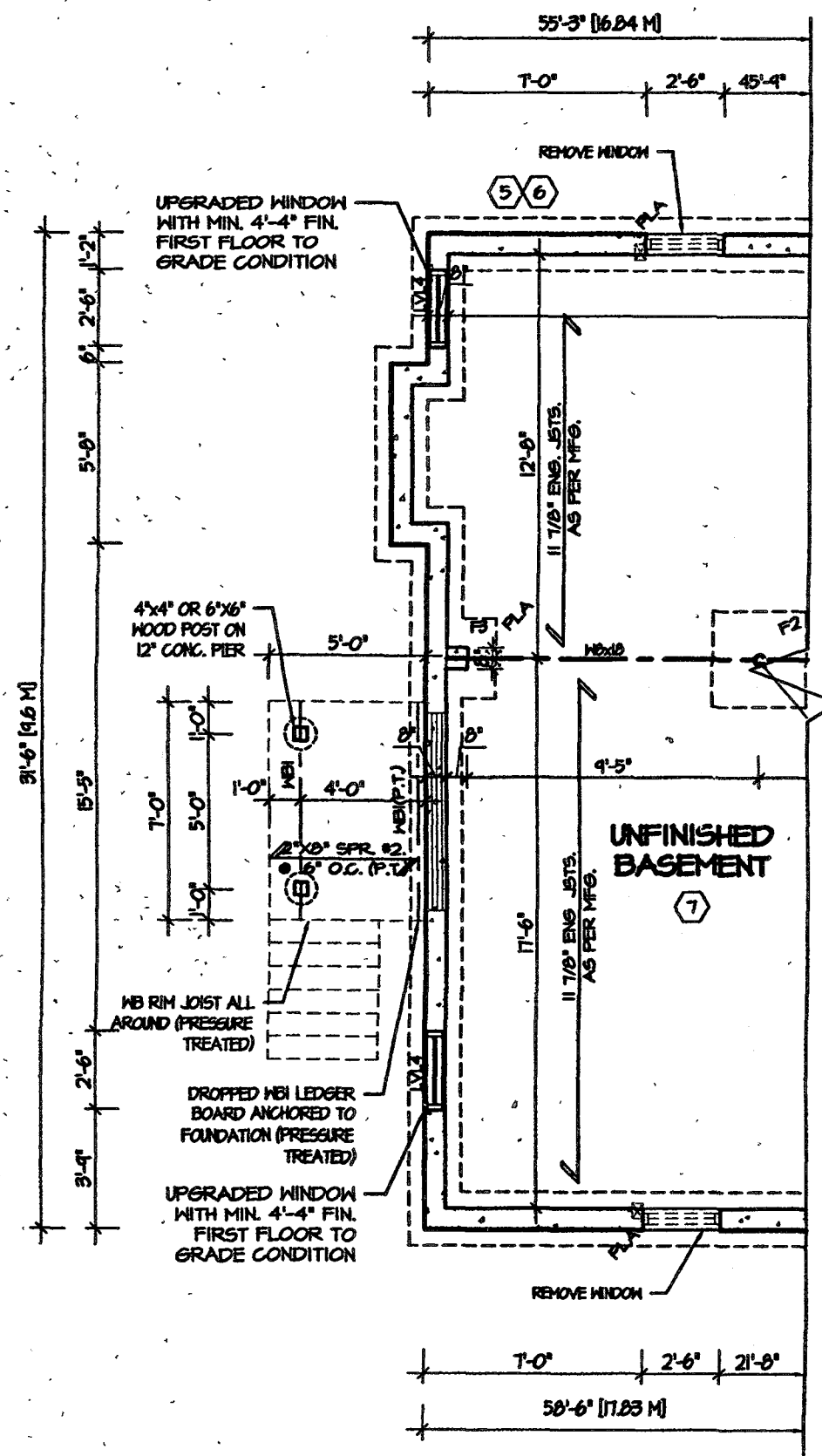


JAN 05 2018

**PINEBROOK-1A**  
ENERGY STAR

|           |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                                                                                                                                          |                                  |                      |          |                                                                                                                                                             |               |                                                                                       |                                                   |
|-----------|--|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------|----------------------|----------|-------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------|---------------------------------------------------------------------------------------|---------------------------------------------------|
| 5         |  | <p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p><b>QUALIFICATION INFORMATION</b></p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR  28770</p> <p>NAME SIGNATURE BCIN</p> | <p>REGION DESIGN INC.</p> <p>8700 DUFFERIN ST</p> <p>CONCORD, ONTARIO</p> <p>L4K 4S6</p> <p>P (416) 736-4096</p> <p>F (905) 660-0746</p> | <p><b>REGION DESIGN INC.</b></p> | SHEET TITLE          |          | CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. |               |  |                                                   |
| 4         |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                                                                                                                                          |                                  | CROSS SECTION        |          |                                                                                                                                                             |               |                                                                                       | PROJECT NAME<br><b>SECONDO VALES ESTATE INC.,</b> |
| 3         |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                                                                                                                                          |                                  | SCALE<br>3/16"=1'-0" | BY<br>BK | AREA<br>2936                                                                                                                                                | PAGE No.<br>8 |                                                                                       |                                                   |
| 2         |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                                                                                                                                          |                                  | DATE<br>SEP 2017     | TYPE     | PROJECT<br>05-15-04                                                                                                                                         |               |                                                                                       |                                                   |
| 1         |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                                                                                                                                          |                                  |                      |          |                                                                                                                                                             |               |                                                                                       |                                                   |
| REVISIONS |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                                                                                                                                          |                                  |                      |          |                                                                                                                                                             |               |                                                                                       |                                                   |

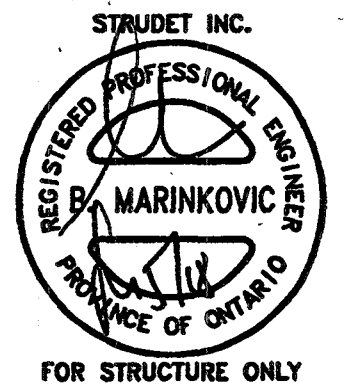




It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and city plans. It is the subdivision agreement. The builder is not responsible in any way for existing or upcoming site (lotting) plans or zoning changes with respect to any zoning or building code or permit matter or that any building can be properly built or located on its lot.

ARCHITECTURAL REVIEW  
AND APPROVAL  
TOWN OF EAST GWILLIMSBURY

Signed: \_\_\_\_\_  
Date: **JAN 30 2018**  
**JOHN G. WILLIAMS LIMITED**  
**ARCHITECT**

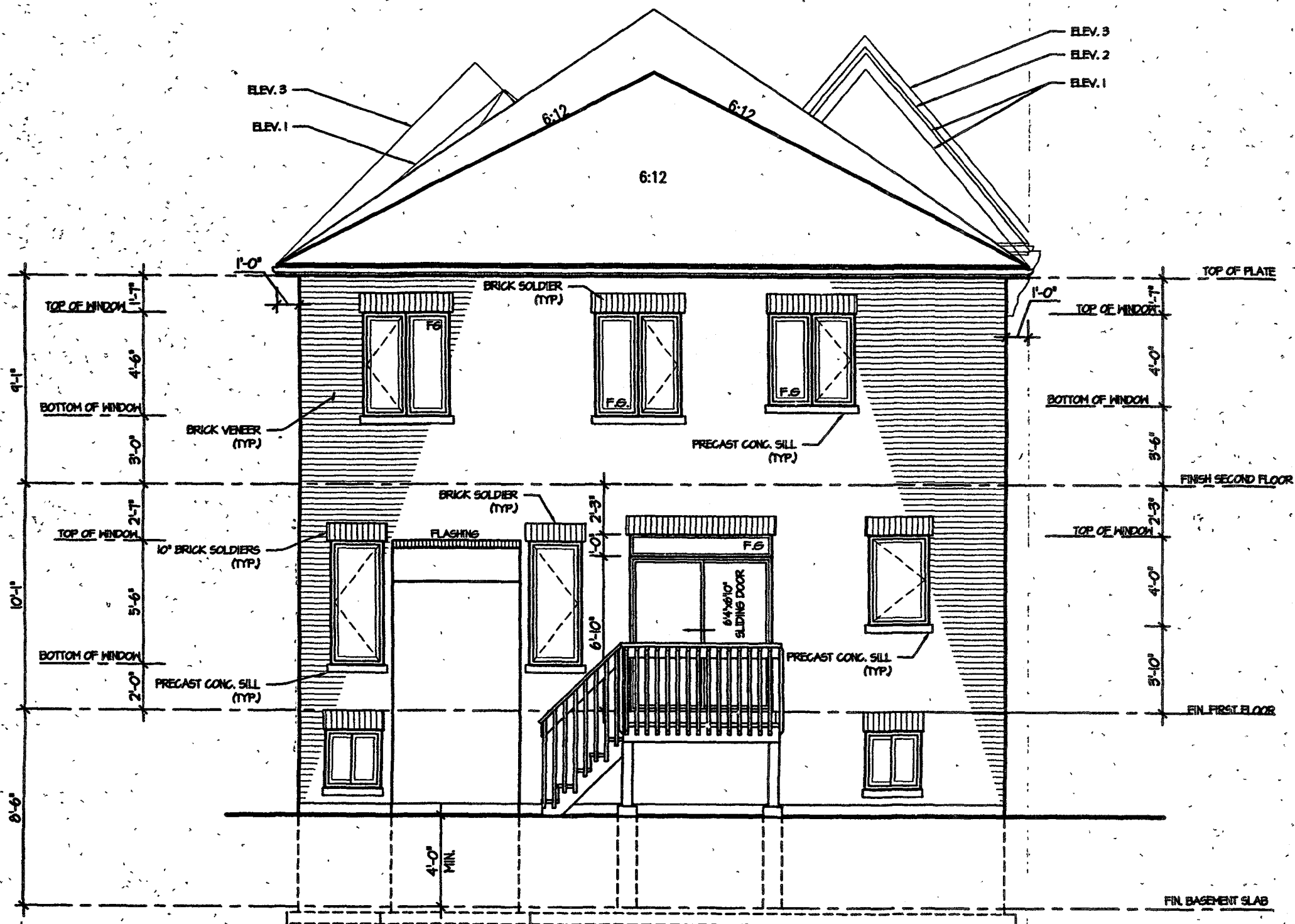


JAN 05 2018

# PINEBROOK-1A

## ENERGY STAR

|           |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                                                                                                              |                                   |                                                            |          |                                                                                                                                                             |              |                                                                                                                                            |
|-----------|--|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------|-----------------------------------|------------------------------------------------------------|----------|-------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------|--------------------------------------------------------------------------------------------------------------------------------------------|
| 5         |  | The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.<br><b>QUALIFICATION INFORMATION</b><br>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code<br><br>VIKAS GAJJAR  <b>28770</b><br>NAME SIGNATURE BCIN | REGION DESIGN INC<br>8700 DUFFERIN ST<br>CONCORD, ONTARIO<br>L4K 4S6<br>P (416) 736-4086<br>F (905) 660-0746 | <b>REGION<br/>DESIGN<br/>INC.</b> | SHEET TITLE<br><b>PARTIAL PLANS<br/>FOR DECK CONDITION</b> |          | CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. |              | <br>PROJECT NAME<br><b>SECONDO VALES ESTATE INC.,</b> |
| 4         |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                                                                                                              |                                   | SCALE<br>3/16"=1'-0"                                       | BY<br>BK | AREA<br>2935                                                                                                                                                | PAGE No<br>9 |                                                                                                                                            |
| 3         |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                                                                                                              |                                   | DATE<br>SEP 2017                                           | TYPE     | PROJECT<br>05-15-04                                                                                                                                         |              |                                                                                                                                            |
| 2         |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                                                                                                              |                                   |                                                            |          |                                                                                                                                                             |              |                                                                                                                                            |
| 1         |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                                                                                                              |                                   |                                                            |          |                                                                                                                                                             |              |                                                                                                                                            |
| REVISIONS |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                                                                                                              |                                   |                                                            |          |                                                                                                                                                             |              |                                                                                                                                            |



REAR ELEVATION 1, 2 & 3  
FOR DECK CONDITION

ARCHITECTURAL REVIEW  
AND APPROVAL  
TOWN OF EAST GUILMBURY

Signed: *[Signature]*  
Date: **JAN 30 2018**  
JOHN G. WILLIAMS LIMITED  
ARCHITECT

JAN 05 2018

**PINEBROOK-1A**  
ENERGY STAR

|           |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                 |                               |             |             |                                   |    |                                                                                                                                                             |          |          |     |
|-----------|--|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------|-------------|-------------|-----------------------------------|----|-------------------------------------------------------------------------------------------------------------------------------------------------------------|----------|----------|-----|
| 5         |  | <div>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</div> <div>QUALIFICATION INFORMATION</div> <div>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</div> <div><div>VIKAS GAJJAR</div><div><div></div><div>28770</div></div><div><div>NAME</div><div>SIGNATURE</div><div>BCIN</div></div></div> | <div>REGION DESIGN INC</div> <div>8700 DUFFERIN ST</div> <div>CONCORD, ONTARIO</div> <div>L4K 4S6</div> <div>P (416) 736-4096</div> <div>F (905) 660-0746</div> | <div>REGION DESIGN INC.</div> | SHEET TITLE |             | REAR ELEVATION FOR DECK CONDITION |    | CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. |          |          |     |
| 4         |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                 |                               | SCALE       | 3/16"=1'-0" | BY                                | BK | AREA                                                                                                                                                        | 2935     | PAGE No. | 9-2 |
| 3         |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                 |                               | DATE        | SEP 2017    | TYPE                              |    | PROJECT                                                                                                                                                     | 05-15-04 |          |     |
| 2         |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                 |                               |             |             |                                   |    |                                                                                                                                                             |          |          |     |
| 1         |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                 |                               |             |             |                                   |    |                                                                                                                                                             |          |          |     |
| REVISIONS |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                 |                               |             |             |                                   |    |                                                                                                                                                             |          |          |     |



PROJECT NAME

SECONDO VALES ESTATE INC.,