

STRIP FOOTINGS FOR SINGLES AND SEMIS UP TO 2 STOREY

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

ASSUME THE LARGER FOOTINGS SIZE WHEN TWO CONDITIONS APPLY
ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa
FOR ENGINEERED FILL IS USED, TO BE VERIFIED ON SITE.

FOUNDATION WALLS WITH ENGINEERING JOISTS OVER 16'-0" SPAN
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

ENGINEERED FILL FOOTINGS
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS. (REFER TO ENG. FILL FOOTING DETAIL)

PAD FOOTING

120 KPa NATIVE SOIL 90 KPa ENGINEERED FILL SOIL

F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD

F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD

F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD

F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD

F5 = 18"x18"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

NOTE:

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.

NOTE:

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa
WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS:

WL1 = 3'1 1/2" x 3'1 1/2" x 1 1/4" (90x90x6) + 2-2" x 8" SPR.
WL2 = 4' x 3'1 1/2" x 5/16" (100x90x6) + 2-2" x 8" SPR.
WL3 = 5' x 3'1 1/2" x 5/16" (125x90x6) + 2-2" x 10" SPR.
WL4 = 6' x 3'1 1/2" x 3/8" (150x90x10) + 2-2" x 12" SPR.
WL5 = 6' x 4' x 3/8" (150x100x10) + 2-2" x 12" SPR.
WL6 = 5' x 3'1 1/2" x 5/16" (125x90x6) + 2-2" x 12" SPR.
WL7 = 5' x 3'1 1/2" x 5/16" (125x90x6) + 3-2" x 10" SPR.
WL8 = 5' x 3'1 1/2" x 5/16" (125x90x6) + 3-2" x 12" SPR.
WL9 = 6' x 4' x 3/8" (150x100x10) + 3-2" x 12" SPR.

WOOD LINTELS:

WB1 = 2-2" x 8" SPRUCE BEAM WB6 = 3-2" x 12" SPRUCE BEAM
WB2 = 3-2" x 8" SPRUCE BEAM WB7 = 5-2" x 12" SPRUCE BEAM
WB3 = 2-2" x 10" SPRUCE BEAM WB10 = 4-2" x 8" SPRUCE BEAM
WB4 = 3-2" x 10" SPRUCE BEAM WB11 = 4-2" x 10" SPRUCE BEAM
WB5 = 2-2" x 12" SPRUCE BEAM

STEEL LINTELS:

L1 = 3'1 1/2" x 3'1 1/2" x 1 1/4" (90x90x6)
L2 = 4' x 3'1 1/2" x 5/16" (100x90x6)
L3 = 5' x 3'1 1/2" x 5/16" (125x90x6)
L4 = 6' x 3'1 1/2" x 3/8" (150x90x10)
L5 = 6' x 4' x 3/8" (150x100x10)
L6 = 7' x 4' x 3/8" (180x100x10)

LAMINATED VENEER LUMBER (LVL BEAMS)

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)

DOOR SCHEDULE:

1 = 2'-10" x 6'-8" INSULATED ENTRANCE DOOR
1A = 2'-8" x 6'-8" INSULATED ENTRANCE DOOR
2 = 2'-8" x 6'-8" EXTERIOR GLAZED DOOR
3 = 2'-8" x 6'-8" SLAB DOOR (1 3/4" EXTERIOR)
4 = 2'-8" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
5 = 2'-8" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
6 = 2'-2" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
7 = 1'-4" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
8 = 2'-8" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
9 = 3'-0" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
10 = 2'-2" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
11 = 2'-2" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
12 = 2'-6" x 6'-8" FRENCH DOOR (1 3/8" INTERIOR)

RECEIVED

NOV 06 2018

TOWN OF EAST GWILLIMBURY
BUILDING DEPARTMENT

ROLL #

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH
ENGINEER APPROVED ROOF TRUSS DRAWINGS BY
MANUFACTURER.

NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW
ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR
SPANS OF 5'-7', 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:

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ENGINEER APPROVED FLOOR TRUSS LAYOUT BY
MANUFACTURER.

NOTE:

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL
GRADING PLAN.

PINEBROOK 3 ELEV.-1 ENERGY EFFICIENCY- ENERGY STAR

ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	710.00	99.00	13.94 %
LEFT SIDE	1256.00	88.00	7.01 %
RIGHT SIDE	1256.00	39.00	3.11 %
REAR	695.00	138.00	19.86 %
TOTAL	3917.00	364.00	9.29 %

AREA CALCULATIONS EL-1

GROUND FLOOR AREA	=	1436 Sq. Ft.
SECOND FLOOR AREA	=	1721 Sq. Ft.
TOTAL FLOOR AREA	=	3157 Sq. Ft.
ADD OPEN AREAS	=	23 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	3180 Sq. Ft.
GROUND FLOOR COVERAGE	=	1436 Sq. Ft.
GARAGE COVERAGE / AREA	=	396 Sq. Ft.
PORCH COVERAGE / AREA	=	90 Sq. Ft.
COVERAGE W/ PORCH	=	1922 Sq. Ft.
	=	178.6 Sq. m.
COVERAGE W/O PORCH	=	1832 Sq. Ft.
	=	170.2 Sq. m.

PINEBROOK 3 ELEV.-2 ENERGY EFFICIENCY- ENERGY STAR

ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	714.00	166.00	23.25 %
LEFT SIDE	1281.00	88.00	6.87 %
RIGHT SIDE	1281.00	39.00	3.04 %
REAR	695.00	138.00	19.86 %
TOTAL	3971.00	431.00	10.85 %

AREA CALCULATIONS EL-2

GROUND FLOOR AREA	=	1436 Sq. Ft.
SECOND FLOOR AREA	=	1735 Sq. Ft.
TOTAL FLOOR AREA	=	3171 Sq. Ft.
ADD OPEN AREAS	=	23 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	3194 Sq. Ft.
GROUND FLOOR COVERAGE	=	1436 Sq. Ft.
GARAGE COVERAGE / AREA	=	396 Sq. Ft.
PORCH COVERAGE / AREA	=	90 Sq. Ft.
COVERAGE W/ PORCH	=	1922 Sq. Ft.
	=	178.6 Sq. m.
COVERAGE W/O PORCH	=	1832 Sq. Ft.
	=	170.2 Sq. m.

PINEBROOK 3 ELEV.-3 ENERGY EFFICIENCY- ENERGY STAR

ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	710.00	154.00	21.69 %
LEFT SIDE	1256.00	88.00	7.01 %
RIGHT SIDE	1256.00	39.00	3.11 %
REAR	695.00	138.00	19.86 %
TOTAL	3917.00	364.00	9.29 %

AREA CALCULATIONS EL-3

GROUND FLOOR AREA	=	1436 Sq. Ft.
SECOND FLOOR AREA	=	1717 Sq. Ft.
TOTAL FLOOR AREA	=	3153 Sq. Ft.
ADD OPEN AREAS	=	23 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	3176 Sq. Ft.
GROUND FLOOR COVERAGE	=	1436 Sq. Ft.
GARAGE COVERAGE / AREA	=	396 Sq. Ft.
PORCH COVERAGE / AREA	=	90 Sq. Ft.
COVERAGE W/ PORCH	=	1922 Sq. Ft.
	=	178.6 Sq. m.
COVERAGE W/O PORCH	=	1832 Sq. Ft.
	=	170.2 Sq. m.

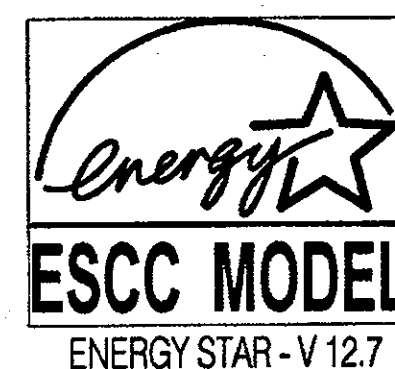
These plans have been reviewed for use with the
conditions as noted. No other changes may be made
without written approval of the Building Department.
All work must comply with the Ontario Building Code,
as amended. These reviewed documents and the
Building Permit must be kept on site at all times.

THESE DOCUMENTS WERE REVIEWED AND

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND
EQUIPMENT SHALL CONFORM TO THE FOLLOWING

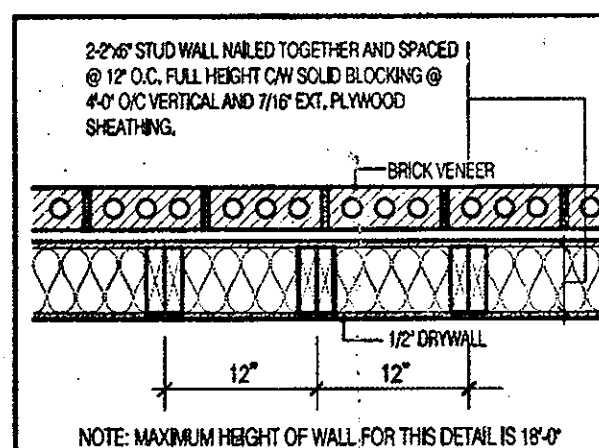
2012 ENERGY STAR V-12.7 NOV 23 2018

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	8.81 (R50)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSED FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	4.4 (R20 + RS)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE MINIMUM U-VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY STAR ® ZONE 2 (ER 28 JULY 14)
SPACE HEATING EQUIPMENT MINIMUM AFUE	90% ENERGY STAR ® WITH ECM
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HRV MINIMUM EFFICIENCY	TIER 2 85% SRE ENERGY STAR ® HRV TO BE INTERCONNECTED TO THE FURNACE FAN MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/AIR
HOT WATER TANK	CONDENSING HOT WATER TANK 90% TE EFFICIENCY
DRAIN WATER HEAT RECOVERY	ONE SHOWER > 42% STEADY RS-4E OR TDS42
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (2.5 ACH50/18 NL)R ATTACHED LEVEL 1 (3.0 ACH50/28 NL)R
DUCT SEALING	A/J SUPPLY DUCTS 1 m. (HORIZONTAL) OF RETURN DUCTS
LIGHTS	75% CFLs OR LEDs

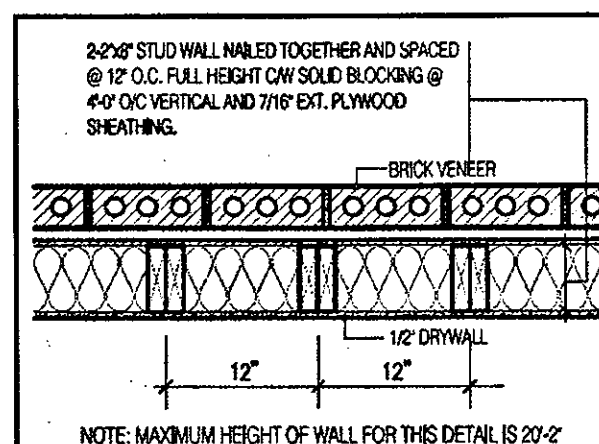


LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m)
(45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED
OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS



TWO STOREY HEIGHT WALL DETAIL
WITH BRICK VENEER N.T.S.



TWO STOREY HEIGHT WALL DETAIL
WITH BRICK VENEER N.T.S.

3180

12.48m LOTS

PINEBROOK 3

(GR)

ELEVATION 1,2 & 3

ENERGY STAR

O.REG. 332/12

STRUDET INC.



FOR STRUCTURE ONLY

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND
CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.
ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP
INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY
OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON
THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE
ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE
ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED INVENTS MUST BE VERIFIED PRIOR TO POURING
FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT
GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY
FOR THE FAILURE OF THE CONSTRUCTION OR SUB CONTRACTOR TO
CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT
DOCUMENTS.
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THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT
TO BE SCALED.

7		
6		
5		
4		
3	NOV. 1, 2018	REVISED TO ENERGY STAR REISSUED FOR BUILDING PERMIT
2	NOV. 30, 2017	ISSUED FOR BUILDING PERMIT
1	OCT. 9, 2017	ISSUED FOR ROOF AND FLOOR TRUSSES

No. DATE WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.3 of the building code

Walter Boffler 21031
NAME SIGNATURE BCIN

Required unless design is exempt under Division C, Subsection
3.2.4 of the building code

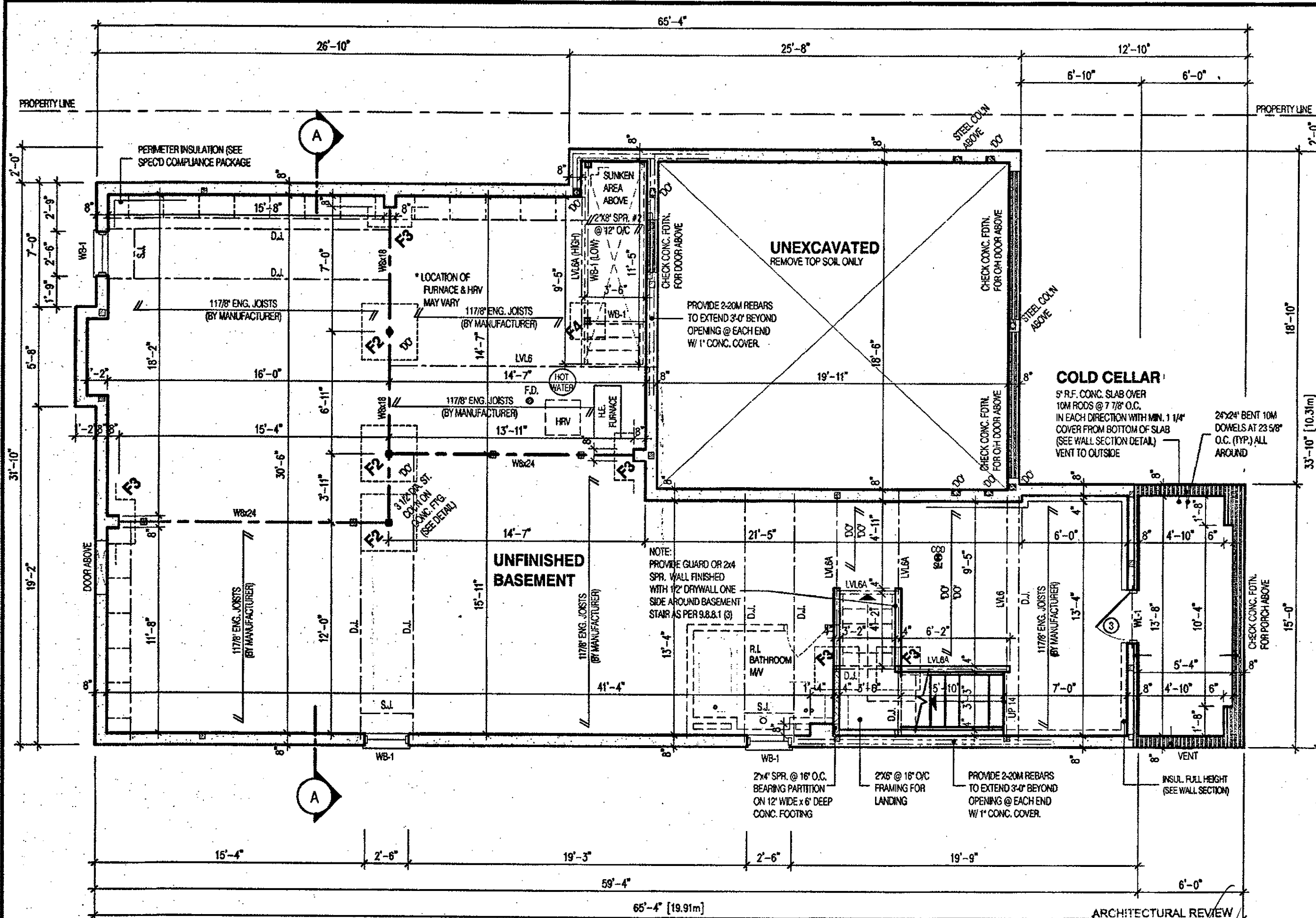
jardin design group inc. 27763
FIRM NAME BCIN

TITLE SHEET

SECONDO VALES ESTATES
EAST GWILLIMBURY

TYPE	AREA
T	
SCALE:	3/16" = 1'-0"
PROJ. No.	DWG. No.
17-41	0

BILD



TOWN OF EAST GWILLIMBURY
 Building Department

These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Department. All work must comply with the Ontario Building Code, as amended. These reviewed documents and the Building Permit must be kept on site at all times.

THESE DOCUMENTS WERE REVIEWD AND EXAMINED BY: 

DATE: _____

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

ARCHITECTURAL REVIEW AND APPROVAL
TOWN OF EAST GWILLIMBURY

Signed: _____

Date: NOV 05 2018
JOHN G. WILLIAMS LIMITED
 ARCHITECT

NOV 05 2018

NOTE: REFER TO SHEET NO. 0-1 FOR UNTEL, BEAMS AND DOOR SIZE	NOTE: SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL	LEGEND: BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D) INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE STL. PLATE FOR STEEL COLN ABOVE LVL LAMINATED VENEER LUMBER S.J. SINGLE JOIST D.J. DOUBLE JOIST T.J. TRIPLE JOIST REPEAT NOTE SHOWER WEEPERS
NOTE: SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'		
NOTE: THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.		

3180

12.20m LOTS

PINEBROOK 3 (GR)

ELEVATION 1

ENERGY STAR

O.REG. 332/12

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER

B. MARINKOVIC

PROVINCE OF ONTARIO

FOR STRUCTURE ONLY

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

7		
6		
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4		
3	NOV. 1, 2018	REVISED TO ENERGY STAR REISSUED FOR BUILDING PERMIT
2	NOV. 30, 2017	ISSUED FOR BUILDING PERMIT
1	OCT. 19, 2017	ISSUED FOR ROOF AND FLOOR TRUSSES

No: _____ DATE: _____ WORK DESCRIPTION: _____

jardin

DESIGN GROUP INC

64 JARDIN DR. SUITE 3A

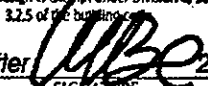
VAUGHAN ONT. L4K 3P3

TEL: 905 660-3377 FAX: 905 660-3713

EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code

Walter Botter  21031
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

Jardin design group inc. 27763
 FIRM NAME BCIN

BASEMENT PLAN EL-1
SECONDO VALES ESTATES
EAST GWILLIMBURY

	TYPE	AREA
	T	
	SCALE: 3/16"=1'-0"	
PROJ. No.	DWG. No.	
17-41	1	

3180

12.20m LOTS

PINEBROOK 3

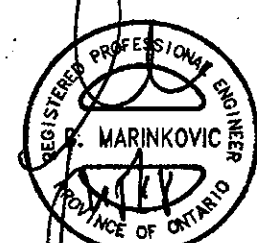
(GR)

ELEVATION 2

ENERGY STAR

O.REG. 332/12

STRUDET INC.



FOR STRUCTURE ONLY

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VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

Walter Botter *Walter Botter* 21037
NAME SIGNATURE BCIN

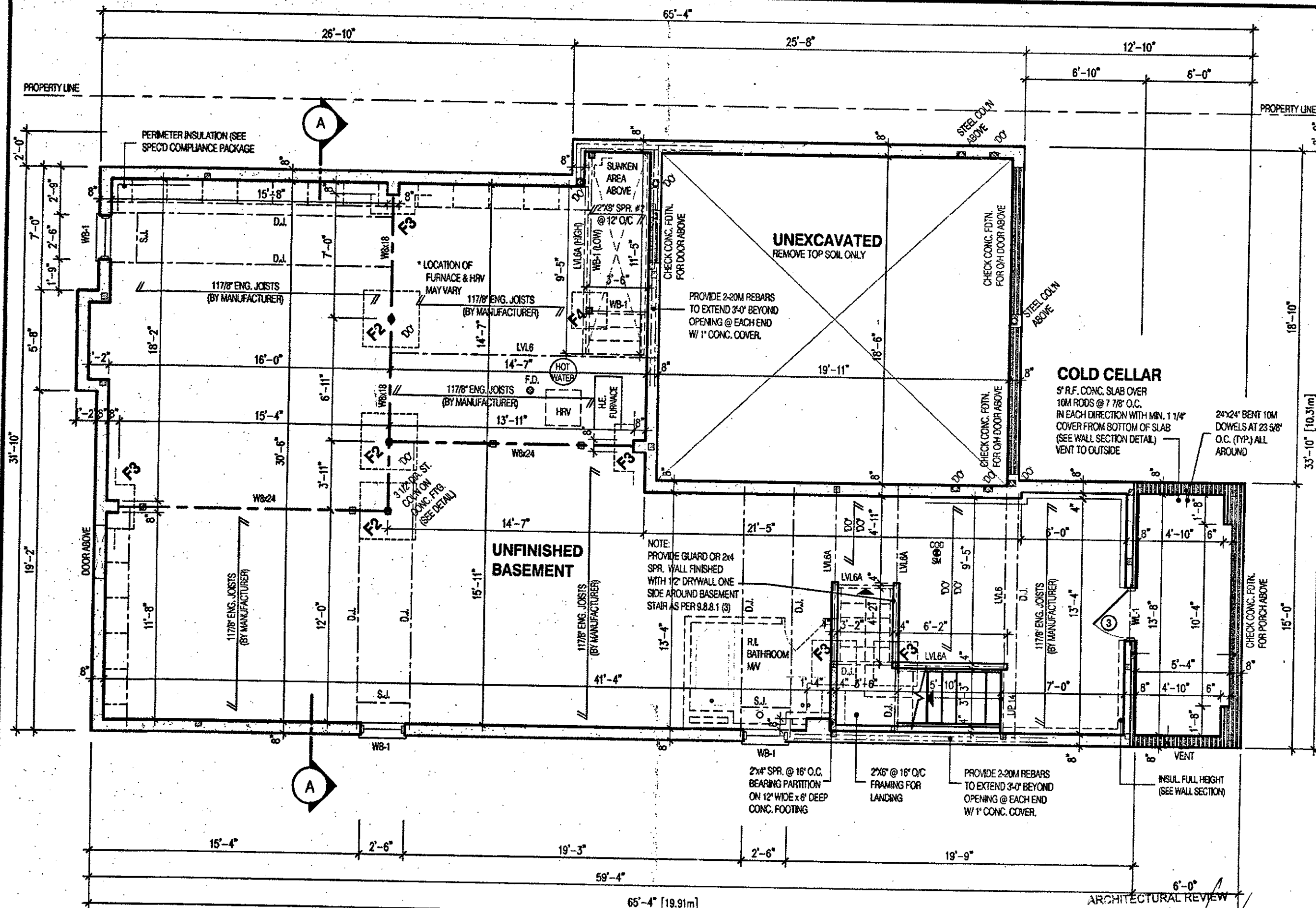
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

Jardin design group inc. 27763
FIRM NAME BCIN

BASEMENT PLAN EL-2
SECONDO VALES ESTATES
EAST GWILLIMBURY

TYPE	T	AREA
SCALE	3/16" = 1'-0"	
PROJ. No.	17-41	DWG. No.
		1A

BILD



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ARCHITECTURAL REVIEW
AND APPROVAL
TOWN OF EAST GWILLIMBURY

Signed:

Date: NOV 0 5 2018
JOHN G. WILLIAMS LIMITED
ARCHITECT

NOV 0 2 2018

TOWN OF EAST GWILLIMBURY
Building Department

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THESE DOCUMENTS WERE REVIEWD AND
EXAMINED BY: *[Signature]*

DATE:

NOTE:

REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7"; 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:

SUBFLOOR TO BE
3/4" PLYWOOD ON
THIS LEVEL

ALL FLOORS TO BE
NAILED AND GLUED
ON THIS LEVEL

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COL'N ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

3180

12.20m LOTS

PINEBROOK 3

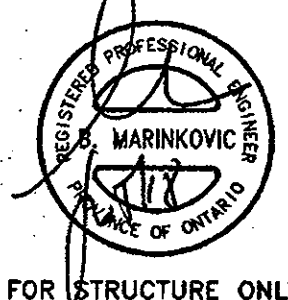
(GR)

ELEVATION 3

ENERGY STAR

O.REG. 332/12

STRODET INC.



THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

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AS CONSTRUCTED INVENTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

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3	NOV. 1, 2018 REVISED TO ENERGY STAR
2	NOV. 30, 2017 ISSUED FOR BUILDING PERMIT
1	OCT. 18, 2017 ISSUED FOR ROOF AND FLOOR TRUSSES

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter *WLB* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

BASEMENT PLAN EL-3

SECONDO VALES ESTATES

EAST GWILLIMBURY

TYPE	AREA
T	

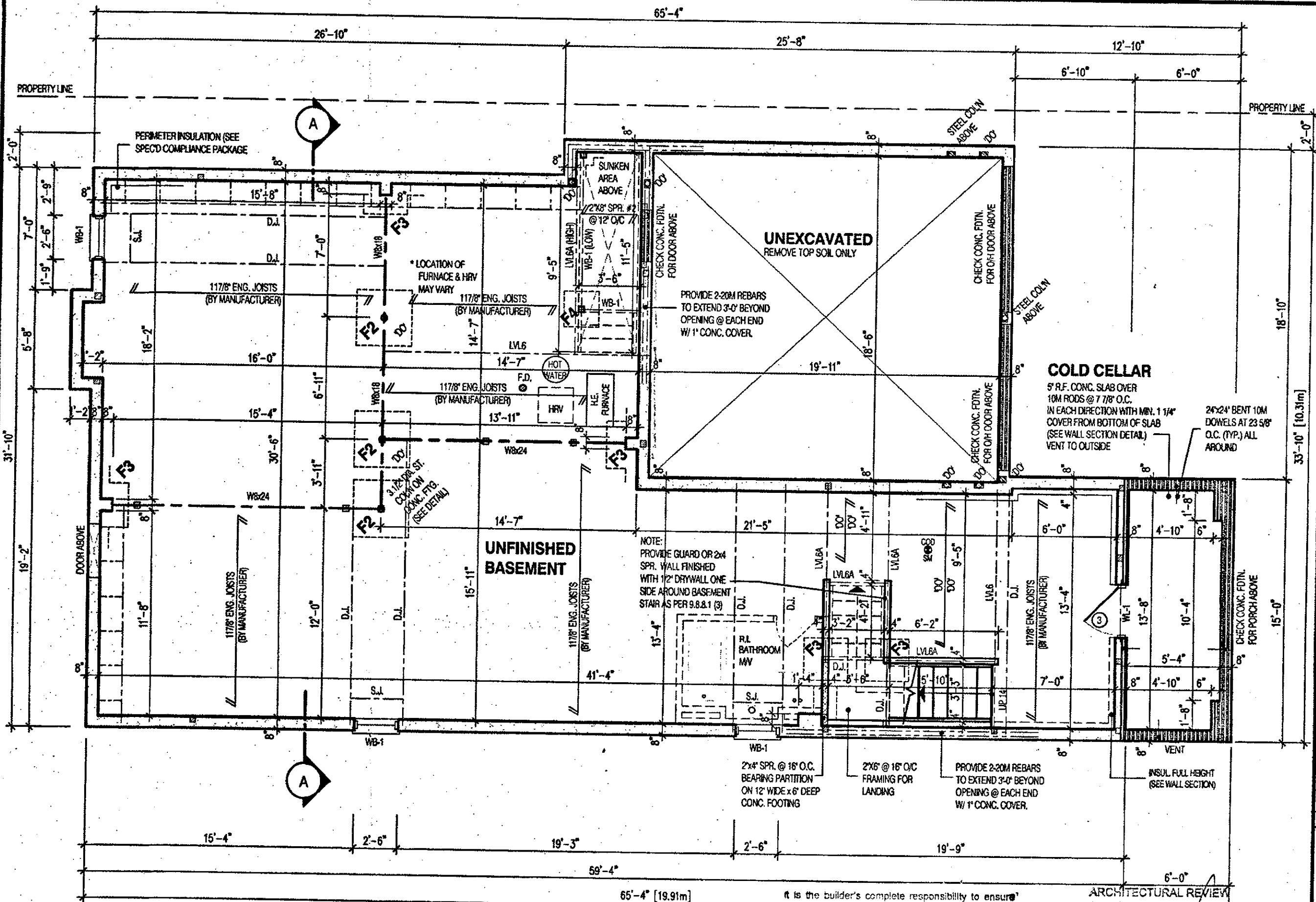
SCALE	DWG. No.
3/16"=1'-0"	1B

PROJ. No.	DWG. No.
17-41	1B

PROJ. No.	DWG. No.
17-41	1B

PROJ. No.	DWG. No.
17-41	1B

PROJ. No.	DWG. No.
17-41	1B



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ARCHITECTURAL REVIEW
AND APPROVAL
TOWN OF EAST GWILLIMBURY

Signed: _____

DATE: NOV 05 2018

JOHN C. WILLIAMS LIMITED

ARCHITECT

NOV 02 2018

TOWN OF EAST GWILLIMBURY
Building Department

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THESE DOCUMENTS WERE REVIEWD AND

EXAMINED BY: _____

DATE: _____

NOTE:

REFER TO SHEET NO. 0-1 FOR UNTEL, BEAMS AND DOOR SIZE

NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7', 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

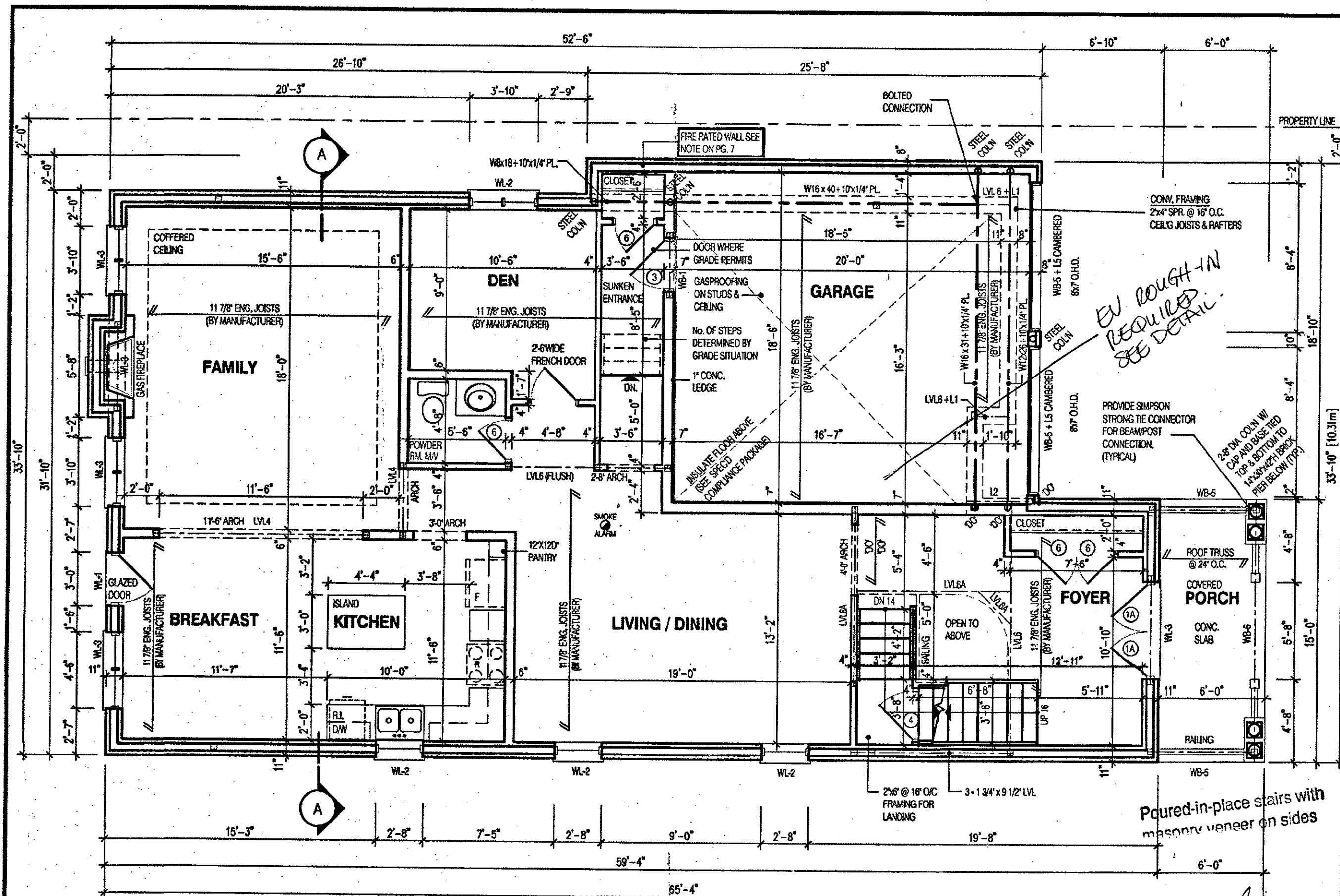
NOTE:

SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL

ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

LEGEND:

- BUILDING FACE < THAN 4'0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS



3180
12.20m LOTS
PINEBROOK 3
(GR)
ELEVATION 1
ENERGY STAR
O.REG. 332/12

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

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7		
6		
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4		
3	NOV. 1, 2018	REVISED TO ENERGY STAR REISSUED FOR BUILDING PERMIT
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No. DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR, SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter *WBe* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

FIRST FLOOR PLAN EL-1

SECONDO VALES ESTATES
EAST GWILLIMBURY

BILD	TYPE	AREA
	SCALE:	3/16" = 1'-0"
	PROJ. No.	DWG. No.
	17-41	2

TOWN OF EAST GWILLIMBURY
Building Department

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THESE DOCUMENTS WERE REVIEWD AND

EXAMINED BY: *[Signature]*

DATE: _____

NOTE:
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ARCHITECTURAL REVIEW
AND APPROVAL
TOWN OF EAST GWILLIMBURY

Signed: _____
Date: NOV 0 5 2018
JOHN G. WILLIAMS LIMITED
ARCHITECT

NOV 0 2 2018

NOTE:
REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

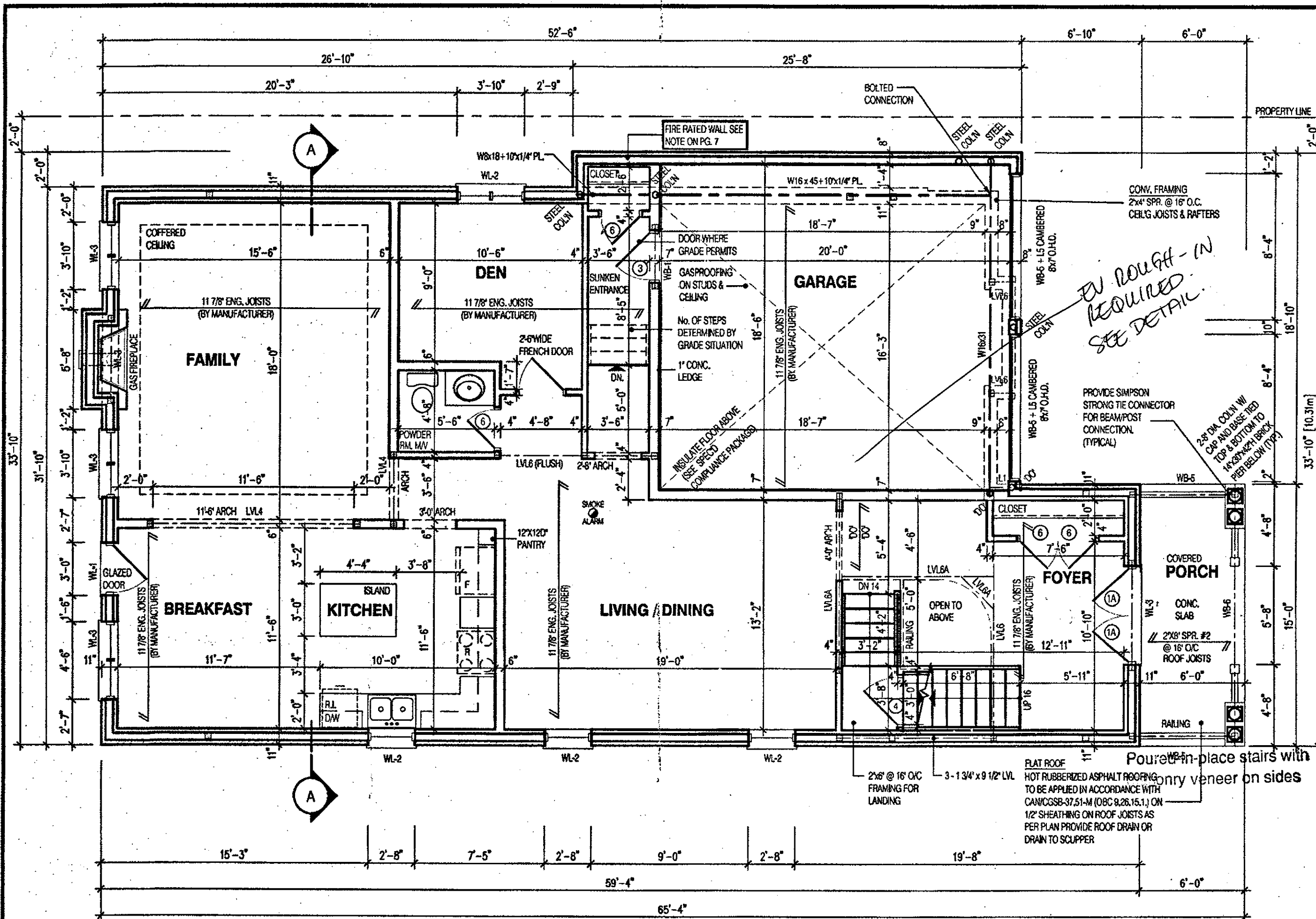
NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:

SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m) (AS MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLUMN ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS



TOWN OF EAST GWILLIMBURY
Building Department

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THESE DOCUMENTS WERE REVIEWD AND EXAMINED BY: [Signature]

DATE: NOV 02 2018

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ARCHITECTURAL REVIEW
AND APPROVAL
TOWN OF EAST GWILLIMBURY

Signed: [Signature]
Date: NOV 05 2018
JOHN G. WILLIAMS LIMITED
ARCHITECT

NOV 02 2018

NOTE:
REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:
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- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

3180
12.20m LOTS
PINEBROOK 3 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12

STRODET INC.

FOR STRUCTURE ONLY

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3	NOV. 1, 2018	REVISED TO ENERGY STAR REISSUED FOR BUILDING PERMIT
2	NOV. 30, 2017	ISSUED FOR BUILDING PERMIT
1	OCT. 19, 2017	ISSUED FOR ROOF AND FLOOR TRUSSES

No: _____ DATE: _____ WORK DESCRIPTION: _____

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

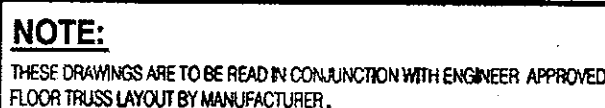
Walter Botter [Signature] 21031
NAME SIGNATURE BCIN

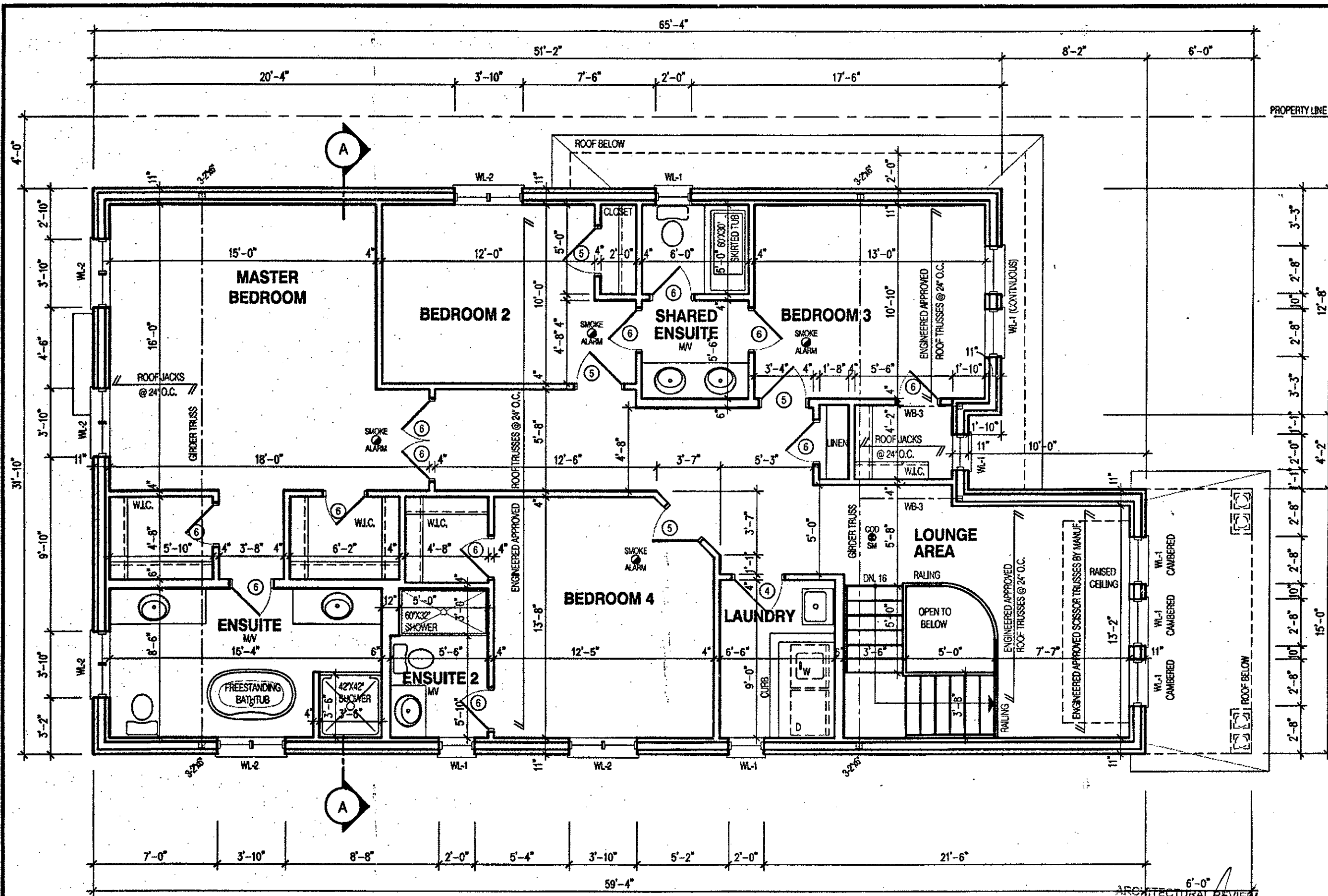
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

FIRST FLOOR PLAN EL-2
SECONDO VALES ESTATES
EAST GWILLIMBURY

	TYPE	AREA
	T	
SCALE	3/16" = 1'-0"	
PROJ. No.	17-41	DWG. No.
		2A





3180

12.20m LOTS

PINEBROOK 3 (GR)

ELEVATION 1

ENERGY STAR

O.REG. 332/12

STRUDET INC.

FOR STRUCTURE ONLY

7		
6		
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No. _____ DATE: _____ WORK DESCRIPTION: _____

jardin

DESIGN GROUP INC

64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
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jardin design group inc. 27763
FIRM NAME BCIN

SECOND FL. PLAN EL-1

SECONDO VALES ESTATES

EAST GWILLIMBURY

TYPE T	AREA
SCALE: 3/16" = 1'-0"	
PROJ. No. 17-41	DWG. No. 3

TOWN OF EAST GWILLIMBURY
Building Department

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THESE DOCUMENTS WERE REVIEWD AND EXAMINED BY:

DATE: _____

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ARCHITECTURAL REVIEW
AND APPROVAL
TOWN OF EAST GWILLIMBURY

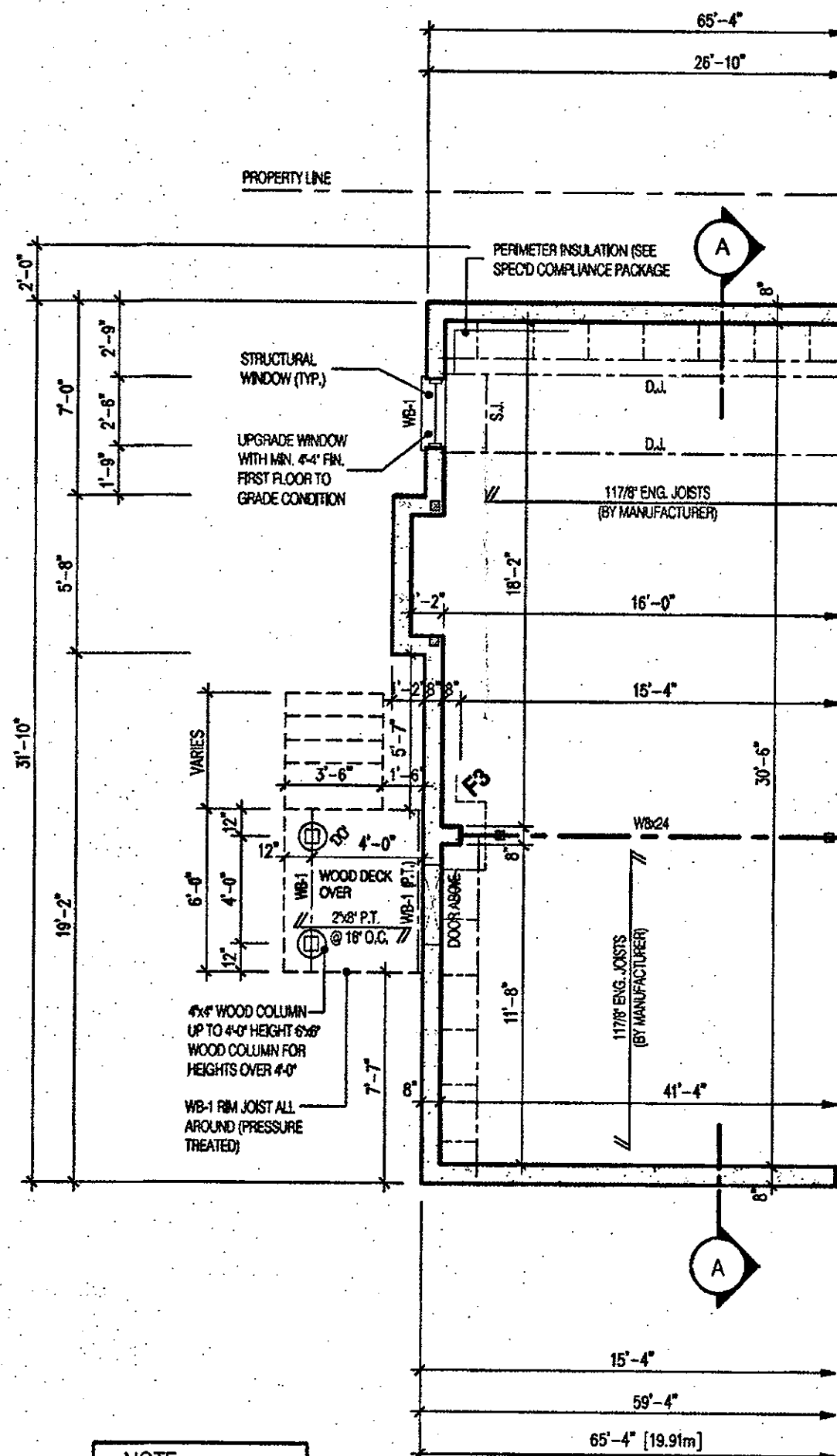
Signed:

Date: NOV 05 2018
JOHN G. WILLIAMS LIMITED
ARCHITECT

NOV 02 2018

- LEGEND:**
- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
 - INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
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 - D.J. DOUBLE JOIST
 - T.J. TRIPLE JOIST
 - REPEAT NOTE
 - SHOWER WEEPERS

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.



NOTE:
SUBFLOOR TO BE
3/4\"/>

**PARTIAL BASEMENT LAYOUT
FOR DECK CONDITION EL-1**

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NOTE:
SUBFLOOR TO BE
5/8\"/>

**PARTIAL FIRST FLOOR LAYOUT
FOR DECK CONDITION EL-1**

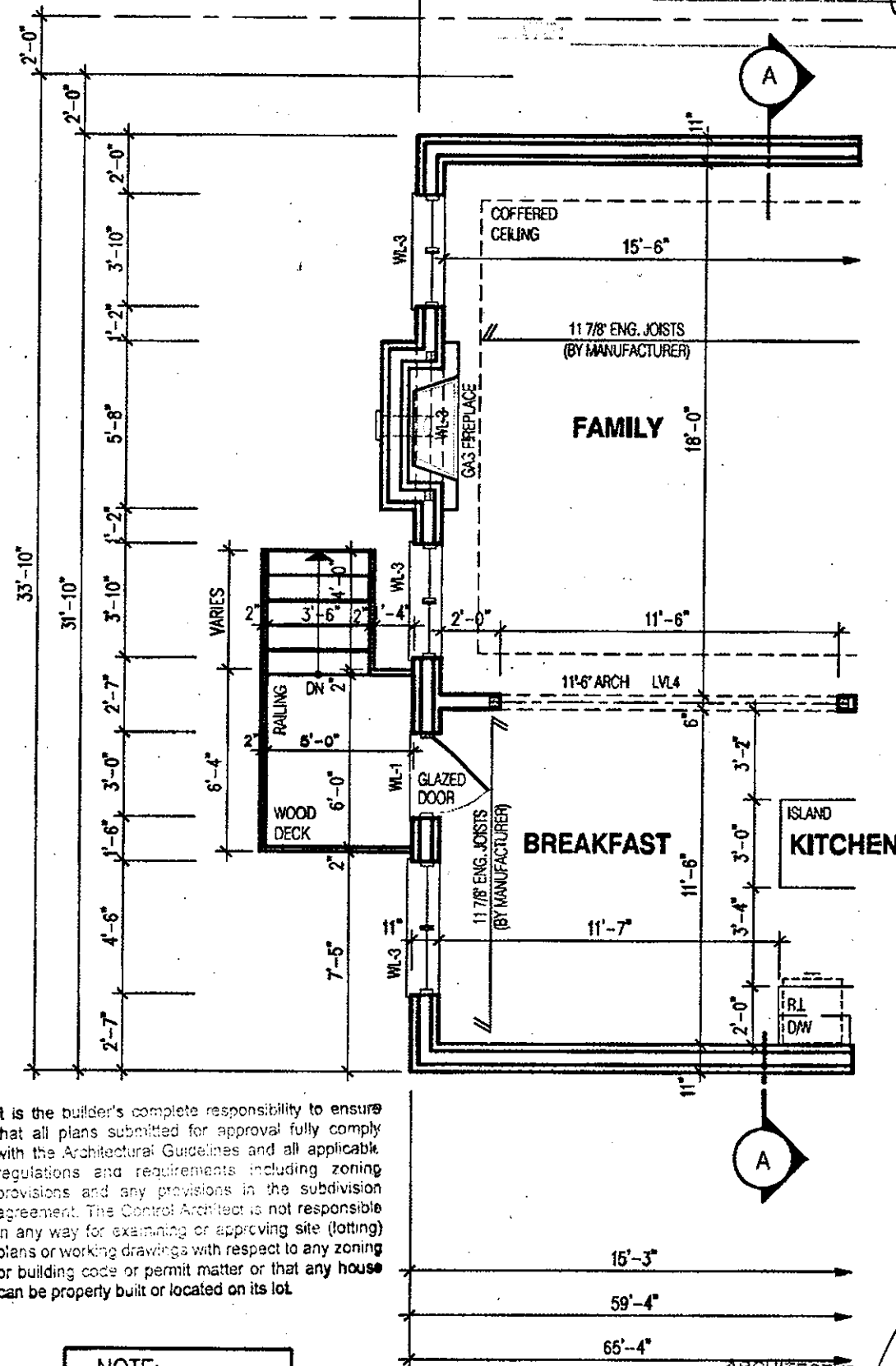
**TOWN OF EAST GWILLIMBURY
Building Department**

These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Department.

Recommended. The drawings must be reviewed documents and the drawings must be kept on site at all times.

THESE DOCUMENTS HAVE BEEN REVIEWED AND

APPROVED BY:



ARCHITECTURAL REVIEW
AND APPROVAL
TOWN OF EAST GWILLIMBURY

Signat:

Date: **NOV 05 2018**
JOHN G. WILLIAMS LIMITED
ARCHITECT

3180

12.48m LOTS

**PINEBROOK 3
(GR)
ELEVATION 1**

ENERGY STAR

O.REG. 332/12

STRUDET INC.



FOR STRUCTURE ONLY

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1	OCT. 18, 2017	ISSUED FOR ROOF AND FLOOR TRUSSES

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR, SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Waiter Botter *WBotter* 21037
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

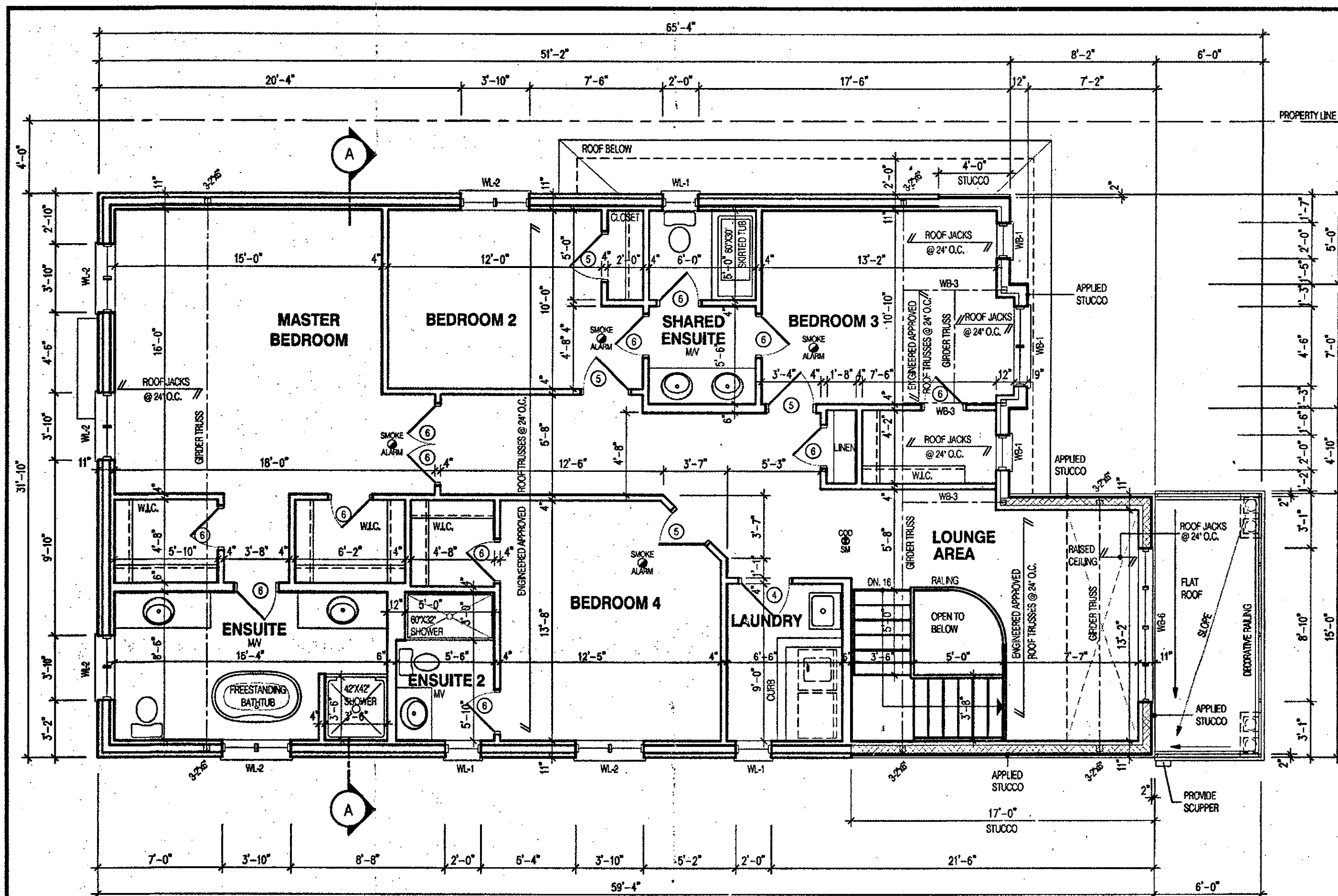
jardin design group inc. 27763
FIRM NAME BCIN

DECK CONDITION EL-1

**SECONDO VALES ESTATES
EAST GWILLIMBURY**

	TYPE	AREA
	T	
	SCALE:	3/16" = 1'-0"
	PROJ. No.	DWG. No.
	17-41	3-1

NOV 02 2018



TOWN OF EAST GWILLIMBURY
Building Department

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ARCHITECTURAL REVIEW
AND APPROVAL
TOWN OF EAST GWILLIMBURY

Signed: _____

Date: **NOV 05 2018**
JOHN G. WILLIAMS LIMITED
ARCHITECT

NOV 02 2018

LEGEND:

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- LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

NOTE:

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3180

12.20m LOTS

PINEBROOK 3

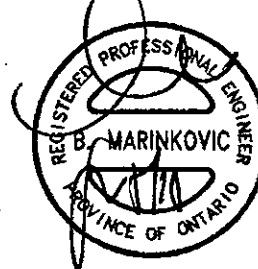
(GR)

ELEVATION 2

ENERGY STAR

O.REG. 332/12

STRUDET INC.



FOR STRUCTURE ONLY

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2	NOV. 30, 2017
1	OCT. 18, 2017

No. DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC

64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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Walter Botter 21031
NAME SIGNATURE BCIN

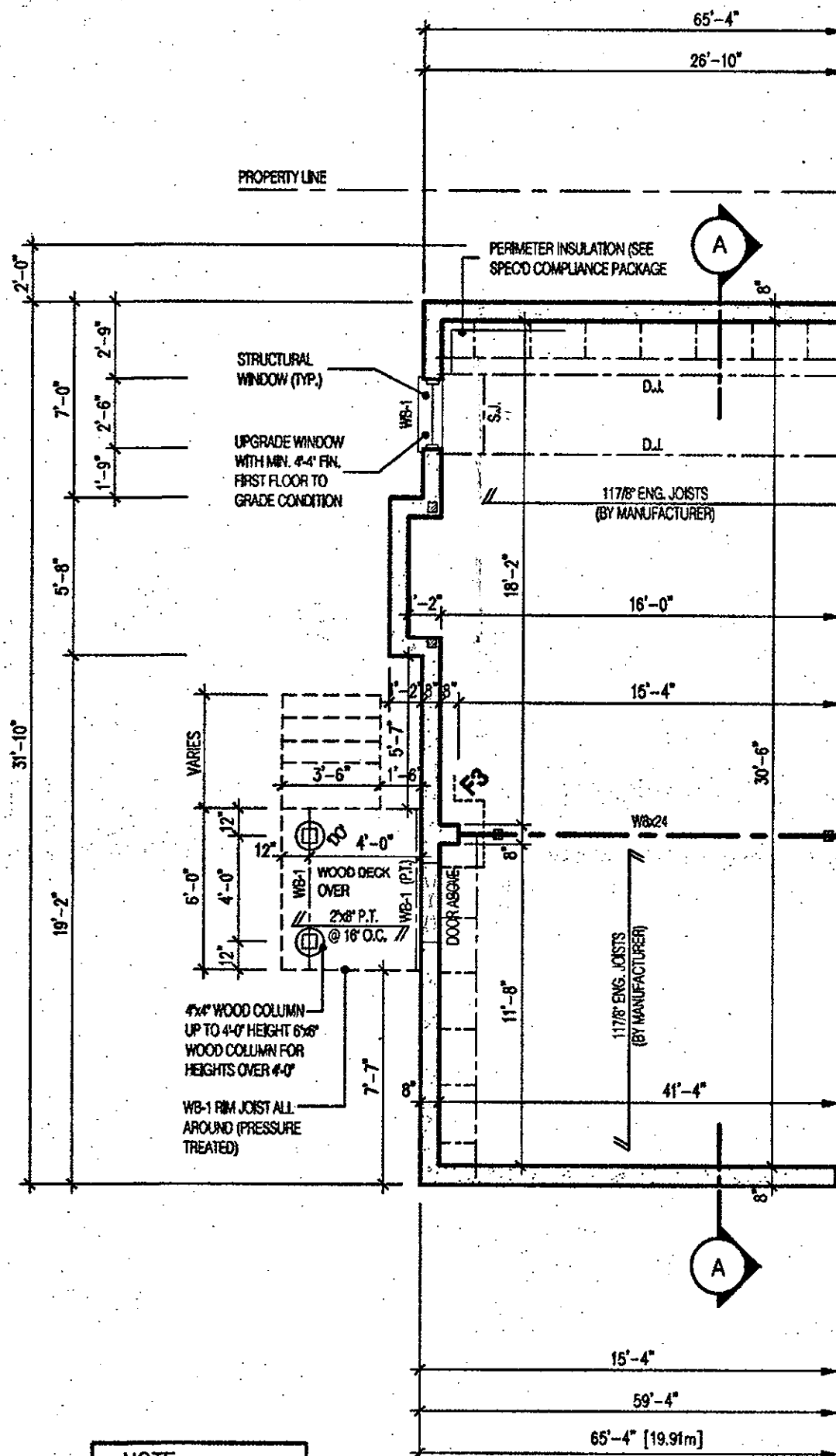
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

SECOND FL. PLAN EL-2
SECONDO VALES ESTATES
EAST GWILLIMBURY

TYPE T APEA
SCALE: 3/16" = 1'-0"
PROJ. No. 17-41 DWG. No. 3A





NOTE:
SUBFLOOR TO BE
3/4\"/>

**PARTIAL BASEMENT LAYOUT
FOR DECK CONDITION EL-2**

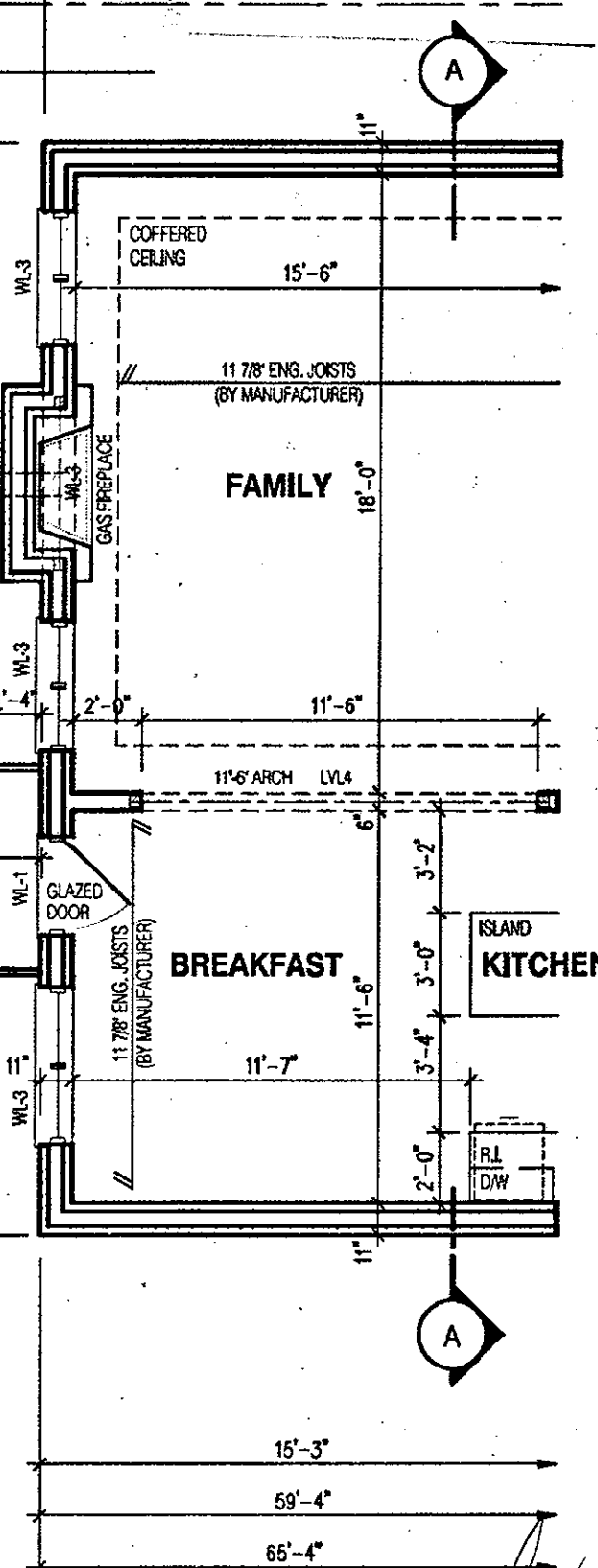
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NOTE:
SUBFLOOR TO BE
5/8\"/>

**PARTIAL FIRST FLOOR LAYOUT
FOR DECK CONDITION EL-2**
NOV 0 5 2018
JOHN G. WILLIAMS LIMITED
ARCHITECT

**TOWN OF EAST GWILLIMBURY
Building Department**

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**ARCHITECTURAL REVIEW
AND APPROVAL
TOWN OF EAST GWILLIMBURY**

NOV 0 2 2018

3180

12.48m LOTS

**PINEBROOK 3
(GR)
ELEVATION 2**

ENERGY STAR

O.REG. 332/12

STRUDET INC.



FOR STRUCTURE ONLY

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED INVENTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
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3	NOV. 1, 2018	REVISED TO ENERGY STAR REISSUED FOR BUILDING PERMIT
2	NOV. 30, 2017	ISSUED FOR BUILDING PERMIT
1	OCT. 19, 2017	ISSUED FOR ROOF AND FLOOR TRUSSES

No. DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR, SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
Qualification Information
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

Walter Botter 21037
NAME SIGNATURE BCIN

Registration Information
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

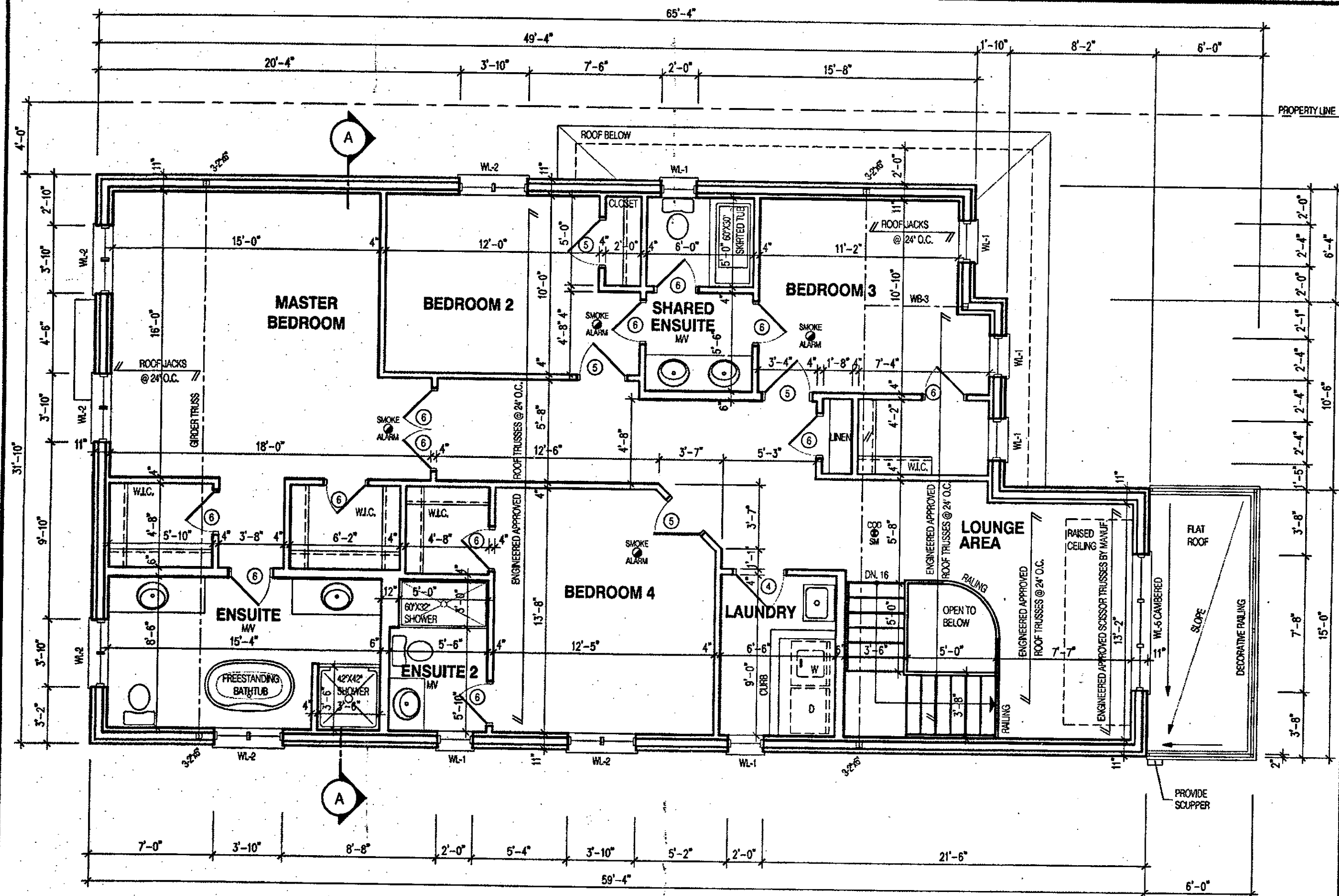
jardin design group inc. 27763
FIRM NAME BCIN

DECK CONDITION EL-2

**SECONDO VALES ESTATES
EAST GWILLIMBURY**

TYPE	AREA
T	
SCALE:	3/16" = 1'-0"
PROJ. No.	DWG. No.
17-41	3A-1





3180

12.20m LOTS

PINEBROOK 3 (GR)

ELEVATION 3

ENERGY STAR

O.REG. 332/12

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Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

SECOND FL. PLAN EL-3

SECONDO VALES ESTATES

EAST GWILLIMBURY

BILD

PROJ. No. 17-41

DWG. No. 3B

TYPE T

SCALE: 3/16" = 1'-0"

TOWN OF EAST GWILLIMBURY
Building Department

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THESE DOCUMENTS WERE REVIEWD AND EXAMINED BY: *[Signature]*

DATE: _____

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ARCHITECTURAL REVIEW
AND APPROVAL
TOWN OF EAST GWILLIMBURY

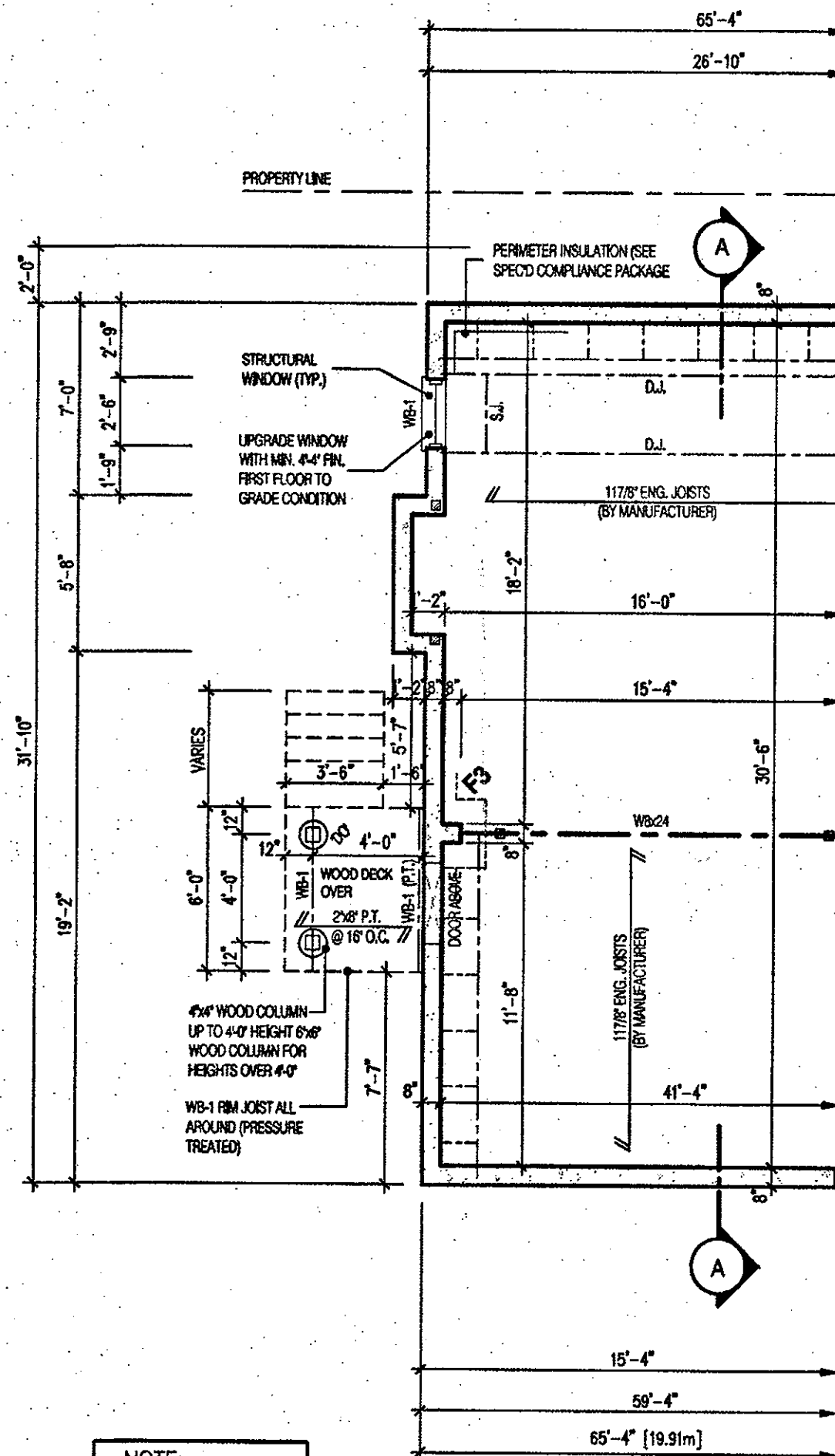
Signed: NOV 0 5 2018

Date: _____
JOHN G. WILLIAMS LIMITED
ARCHITECT

NOV 0 2 2018

- LEGEND:**
- BUILDING FACE < 4'0" (1.2m)
(45 MIN. FIRE RATING REQ'D)
 - INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
 - STL. PLATE FOR STEEL COL'N ABOVE
 - LVL LAMINATED VENEER LUMBER
 - S.J. SINGLE JOIST
 - D.J. DOUBLE JOIST
 - T.J. TRIPLE JOIST
 - REPEAT NOTE
 - SHOWER WEEPERS

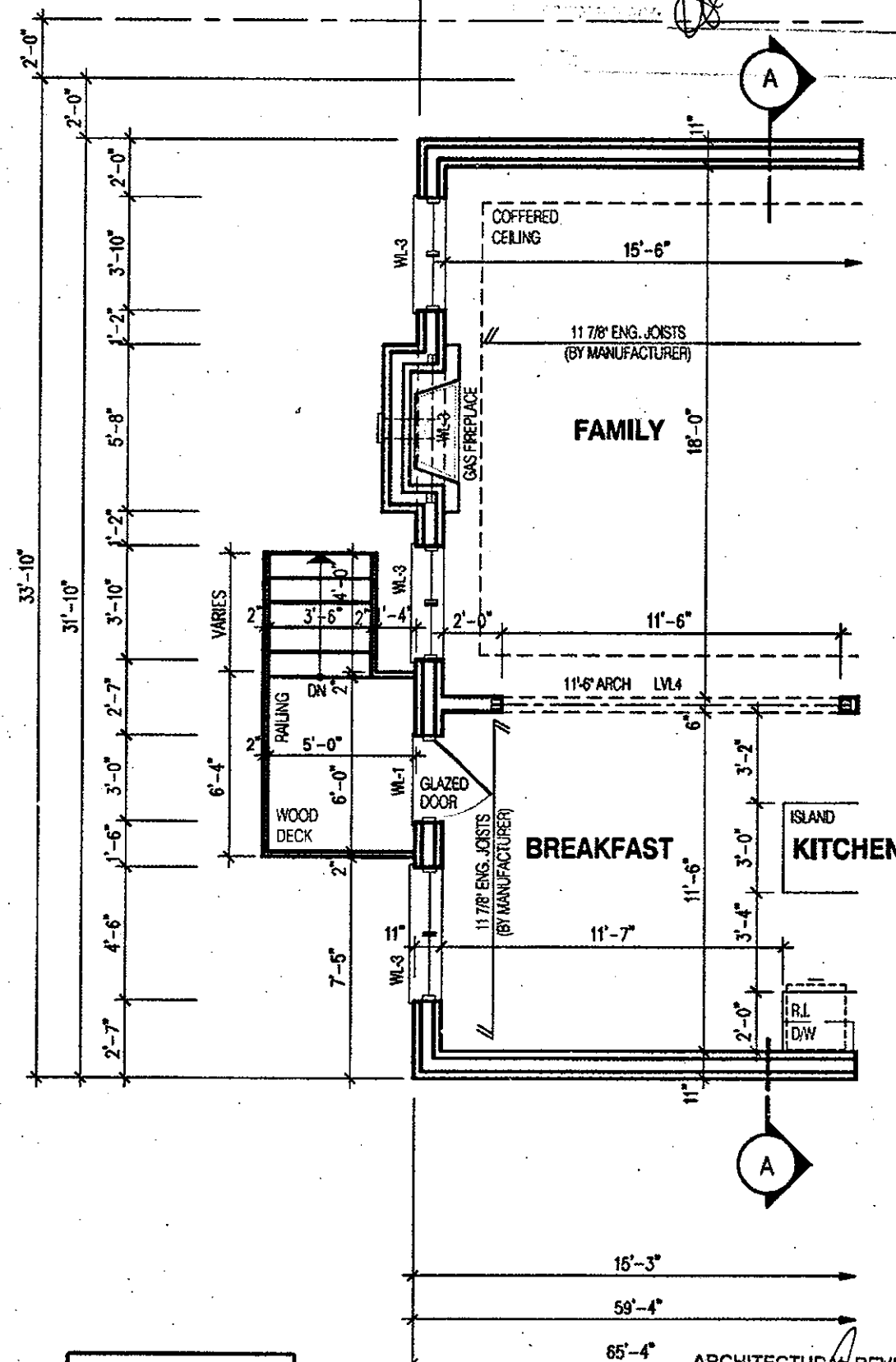
NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.



NOTE:
SUBFLOOR TO BE 3/4\"/>

**PARTIAL BASEMENT LAYOUT
FOR DECK CONDITION EL-3**

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NOTE:
SUBFLOOR TO BE 5/8\"/>

**PARTIAL FIRST FLOOR LAYOUT
FOR DECK CONDITION EL-3**

**TOWN OF EAST GWILLIMBURY
Building Department**

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ARCHITECTURAL REVIEW
AND APPROVAL
TOWN OF EAST GWILLIMBURY
Signed: **NOV 05 2018**
JOHN G. WILLIAMS LIMITED
ARCHITECT

**3180
12.48m LOTS
PINEBROOK 3
(GR)
ELEVATION 3
ENERGY STAR
O.REG. 332/12**



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No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR, SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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Walter Botter **21031**
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.
jardin design group inc. **27763**
FIRM NAME BCIN

DECK CONDITION EL-3
SECONDO VALES ESTATES
EAST GWILLIMBURY

BILD
TYPE AREA
T
SCALE: 3/16\"/>

NOV 02 2018

TOWN OF EAST GWILLIMBURY
Building Department

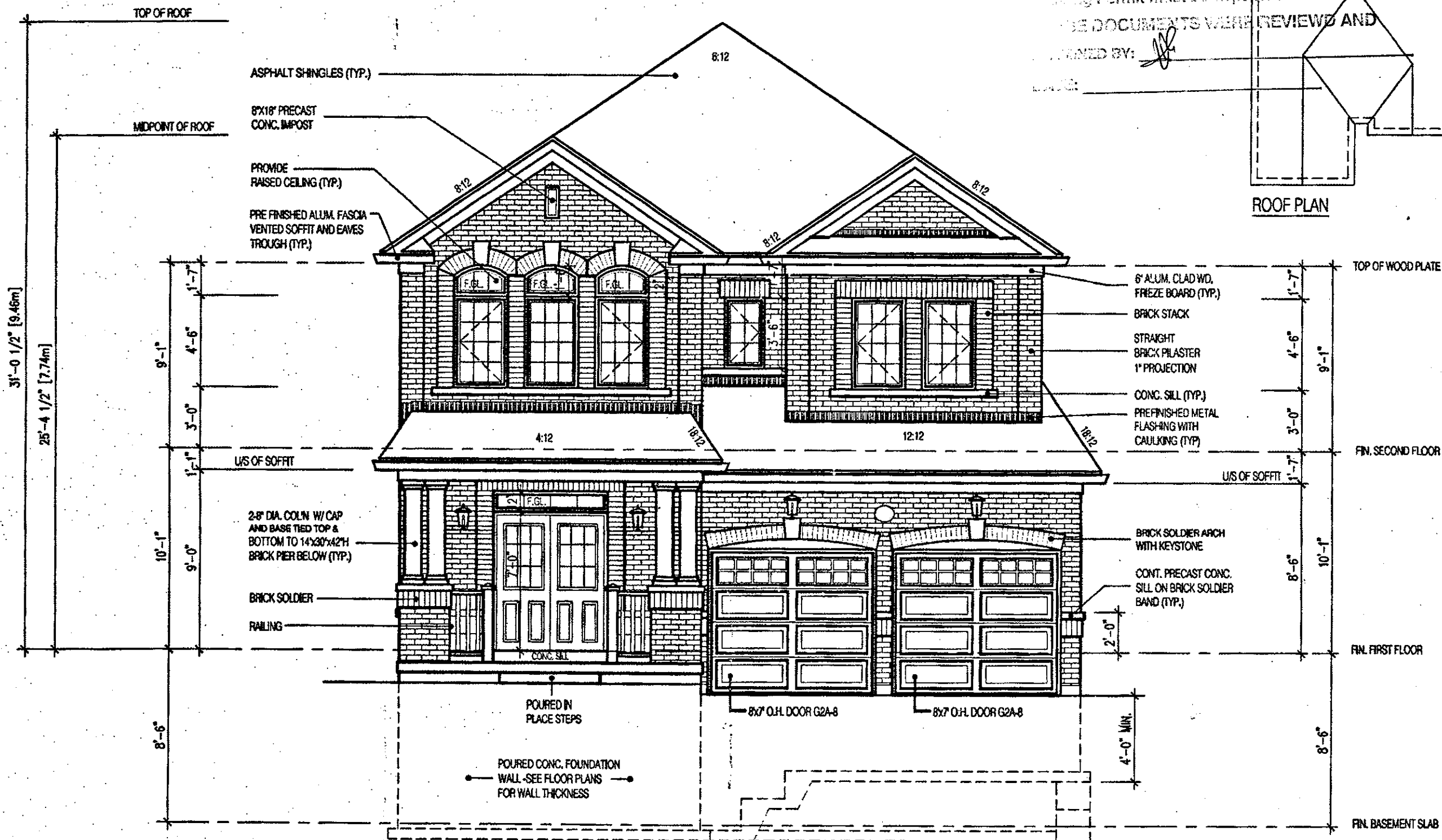
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THESE DOCUMENTS WERE REVIEWED AND

APPROVED BY: *[Signature]*

DATE: *[Signature]*

ROOF PLAN



PINEBROOK 3 FRONT ELEVATION 1

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ARCHITECTURAL REVIEW
AND APPROVAL
TOWN OF EAST GWILLIMBURY

Signed: *[Signature]*

Date: NOV 0 5 2018

JOHN D. WILLIAMS LIMITED
ARCHITECT

NOV 0 2 2018

3180

12.20m LOTS

PINEBROOK 3

(GR)

ELEVATION 1

ENERGY STAR

O.REG. 332/12

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No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR, SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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Walter Botter *[Signature]* 21037
NAME SIGNATURE BCIN

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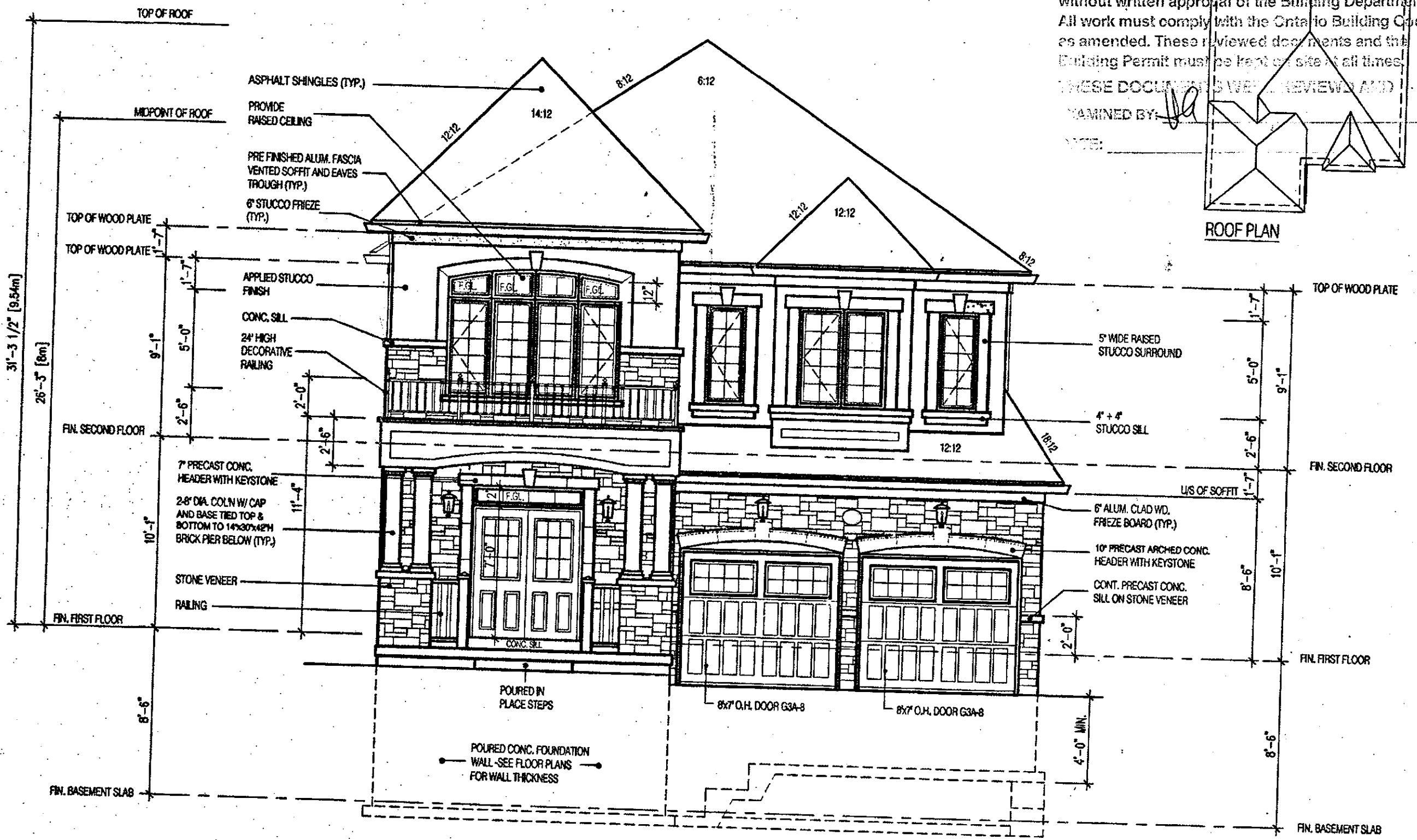
jardin design group inc. 27763
FIRM NAME BCIN

FRONT ELEVATION 1

SECONDO VALES ESTATES
EAST GWILLIMBURY

TYPE	AREA
T	
SCALE:	3/16"=1'-0"
PROJ. No.	DWG. No.
17-41	4



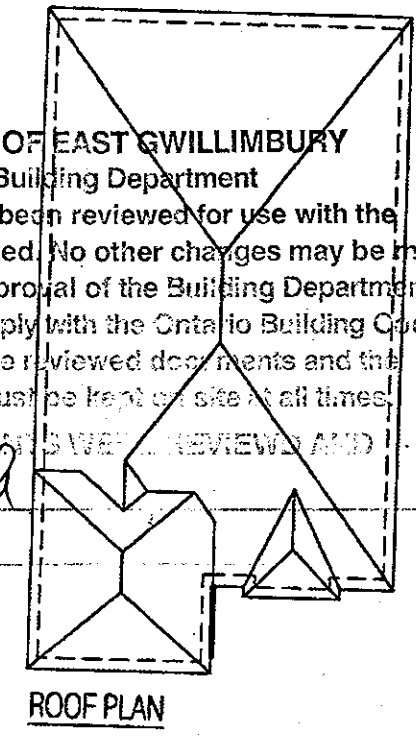


TOWN OF EAST GWILLIMBURY
Building Department

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DATE: _____



**PINEBROOK 3
FRONT ELEVATION 2**

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ARCHITECTURAL REVIEW
AND APPROVAL
TOWN OF EAST GWILLIMBURY

Signed: _____

DATE: **NOV 0 5 2018**
JOHN G. WILLIAMS LIMITED

3180

12.20m LOTS

PINEBROOK 3
(GR)
ELEVATION 2

ENERGY STAR

O.REG. 332/12

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3	NOV. 1, 2018
2	NOV. 30, 2017
1	OCT. 19, 2017

DATE:	WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR, SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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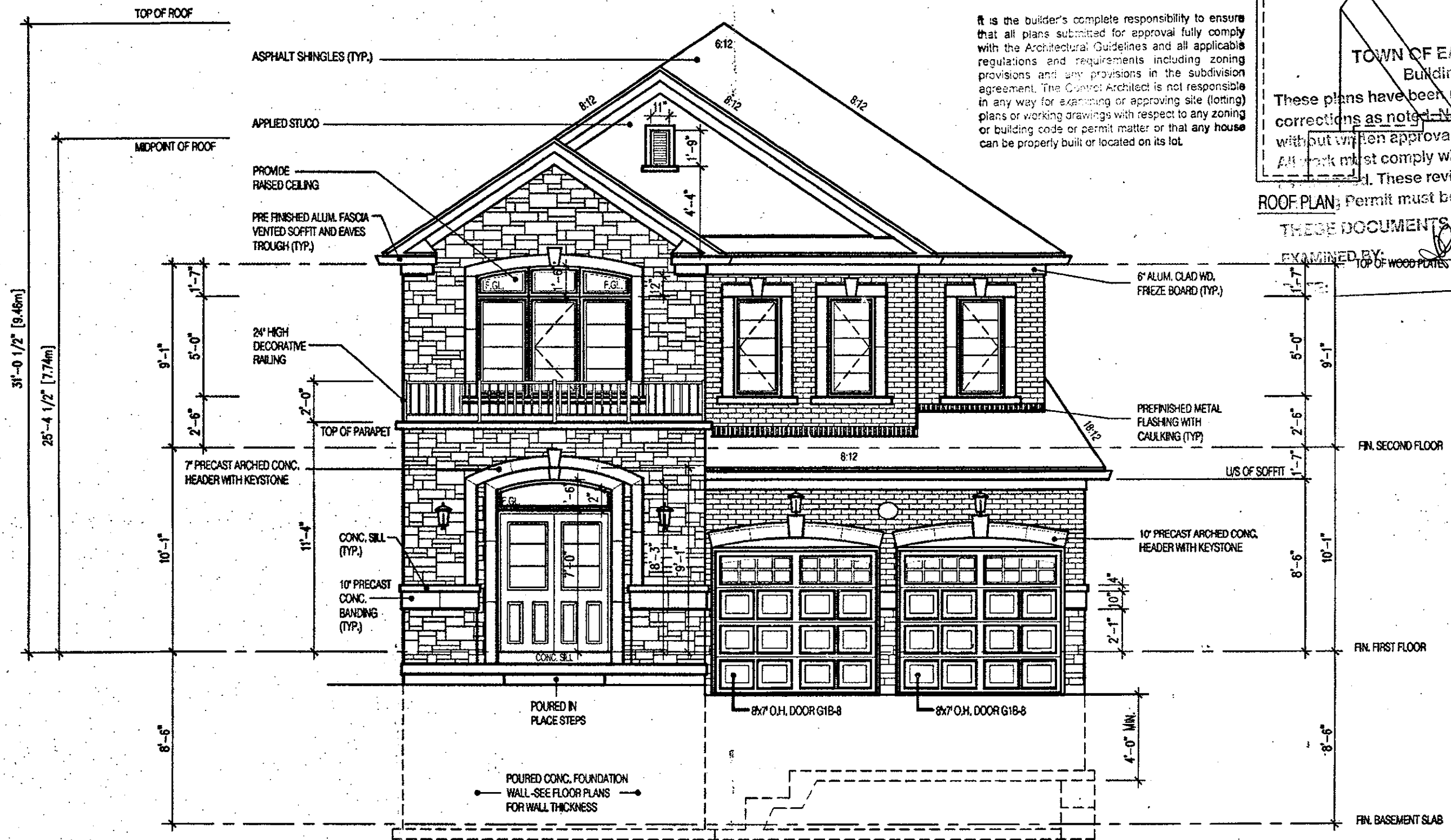
Walter Botter 21037
NAME SIGNATURE BCIN

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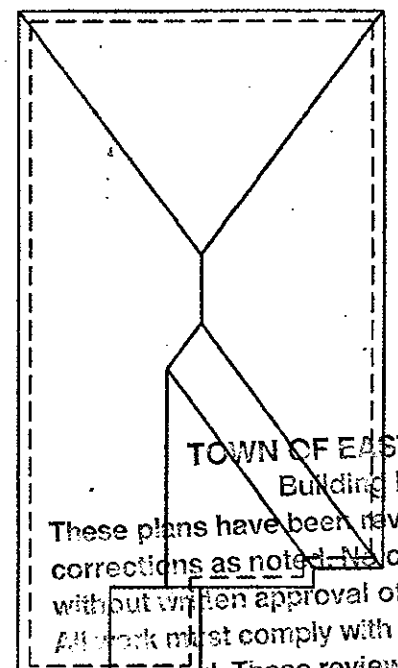
jardin design group inc. 27763
FIRM NAME BCIN

FRONT ELEVATION 2
SECONDO VALES ESTATES
EAST GWILLIMBURY

TYPE	AREA
T	
SCALE:	3/16" = 1'-0"
PROJ. No.	DWG. No.
17-41	4A



**PINEBROOK 3
FRONT ELEVATION 3**



These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Department. All work must comply with the Ontario Building Code, and these reviewed documents and the ROOF PLAN. Permit must be kept on site at all times. THESE DOCUMENTS WERE REVIEWED AND EXAMINED BY: [Signature]

3180	
12.20m LOTS	
PINEBROOK 3 (GR)	
ELEVATION 3	
ENERGY STAR	
O.REG. 332/12	

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No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR, SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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Walter Botter [Signature] 21031
NAME SIGNATURE BCIN

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jardin design group inc. 27763
FIRM NAME BCIN

FRONT ELEVATION 3
SECONDO VALES ESTATES
EAST GWILLIMBURY

BILD	TYPE	AREA
	SCALE:	3/16" = 1'-0"
	PROJ. No.	DWG. No.
	17-41	4B

ARCHITECTURAL REVIEW
AND APPROVAL
TOWN OF EAST GWILLIMBURY

Signed: _____

Date: NOV 05 2018
JOHN G. WILLIAMS LIMITED
ARCHITECT

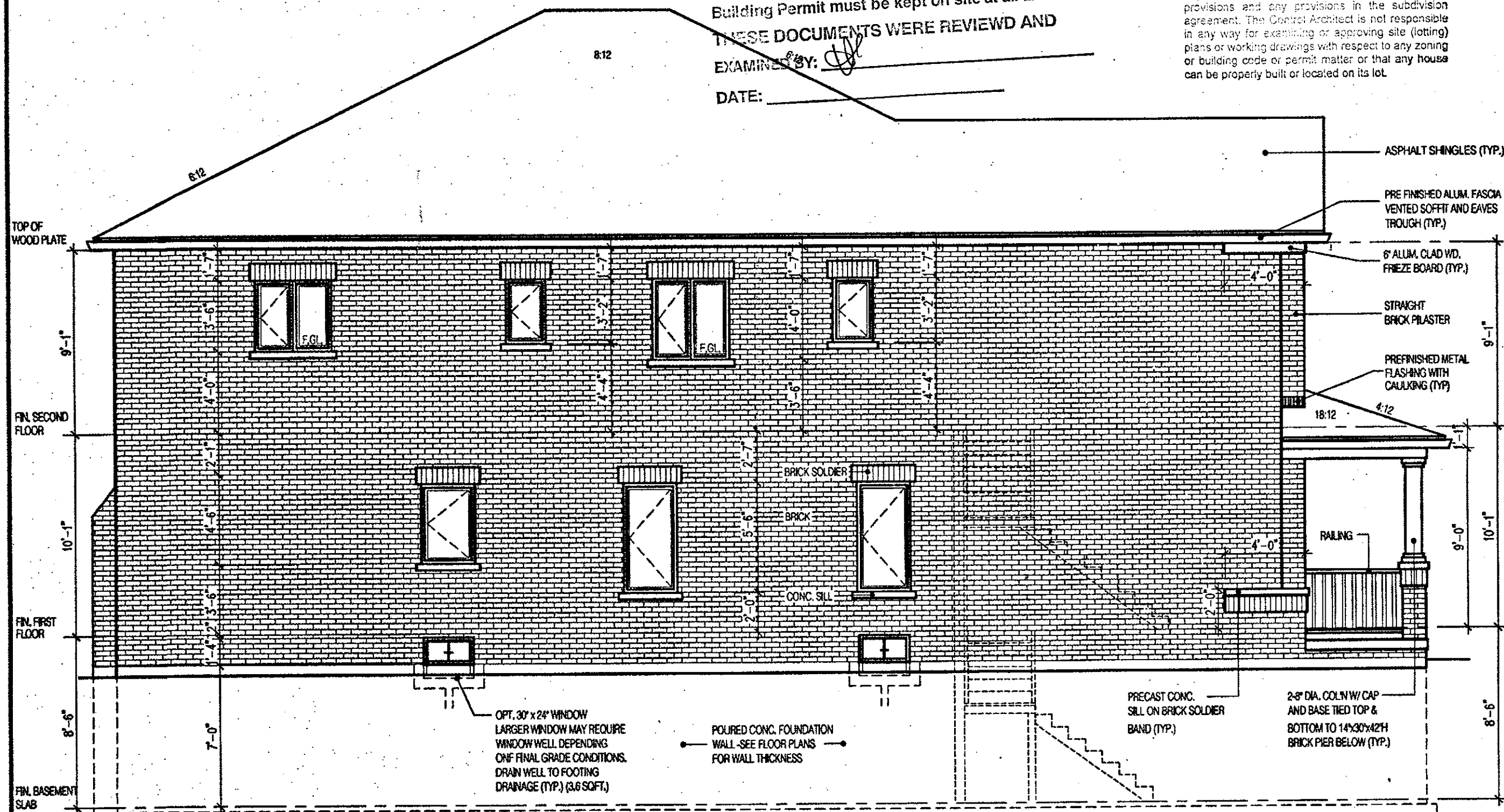
NOV 02 2018

TOWN OF EAST GWILLIMBURY
Building Department

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EXAMINED BY: *[Signature]*
DATE: _____

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**PINEBROOK 3
SIDE ELEVATION 1**

UNPROTECTED OPENINGS

WALL AREA	1258	⌘
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDEYARD)	88.0	⌘
ACTUAL GLASS AREA	70.4	⌘

ARCHITECTURAL REVIEW
AND APPROVAL
TOWN OF EAST GWILLIMBURY

Signed: _____
Date: **NOV 05 2018**
JOHN G. WILLIAMS LIMITED
ARCHITECT

NOV 02 2018

3180

12.48m LOTS

**PINEBROOK 3
(GR)
ELEVATION 1**

ENERGY STAR

O.REG. 332/12

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Walter Botter *[Signature]* 21031
NAME SIGNATURE BCIN

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jardin design group inc. 27763
FIRM NAME BCIN

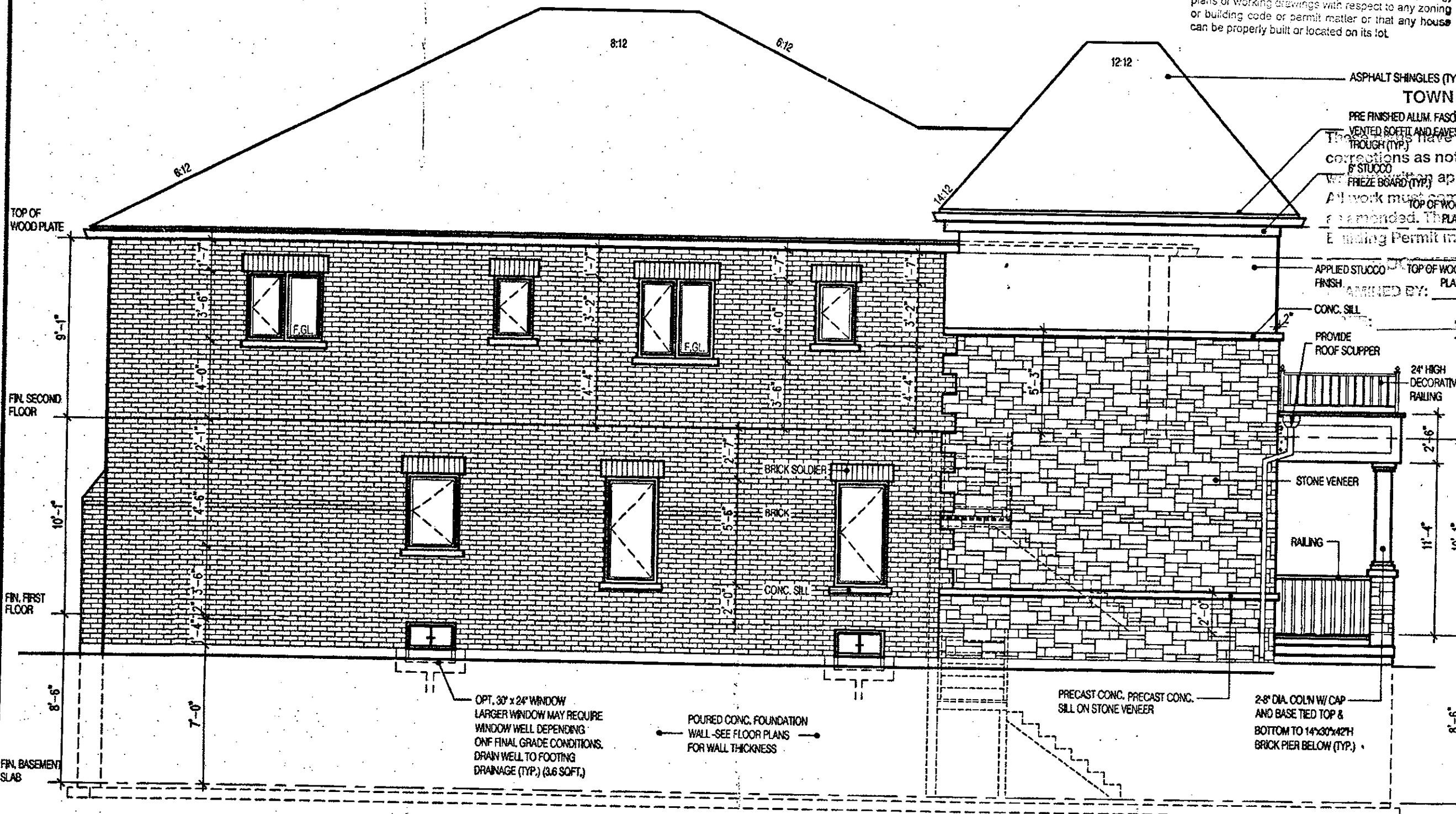
SIDE ELEVATION 1

**SECONDO VALES ESTATES
EAST GWILLIMBURY**

TYPE	AREA
T	
SCALE:	3/16" = 1'-0"
PROJ. No.	DWG. No.
17-41	5



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**PINEBROOK 3
SIDE ELEVATION 2**

UNPROTECTED OPENINGS

WALL AREA 1282 #
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDEYARD) 90.0 #
ACTUAL GLASS AREA 70.4 #

NOV 02 2018

STONE TO BRICK TRANSITION DETAIL
N.T.S.

ARCHITECTURAL REVIEW AND APPROVAL TOWN OF EAST GWILLIMBURY

Signed: NOV 02 2018

Date: JOHN G. WILLIAMS LIMITED

ARCHITECT

1282 #

90.0 #

70.4 #

NOV 02 2018

STONE TO BRICK TRANSITION DETAIL

N.T.S.

ARCHITECTURAL REVIEW AND APPROVAL TOWN OF EAST GWILLIMBURY

Signed: NOV 02 2018

Date: JOHN G. WILLIAMS LIMITED

ARCHITECT

1282 #

90.0 #

70.4 #

NOV 02 2018

STONE TO BRICK TRANSITION DETAIL

N.T.S.

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Date: JOHN G. WILLIAMS LIMITED

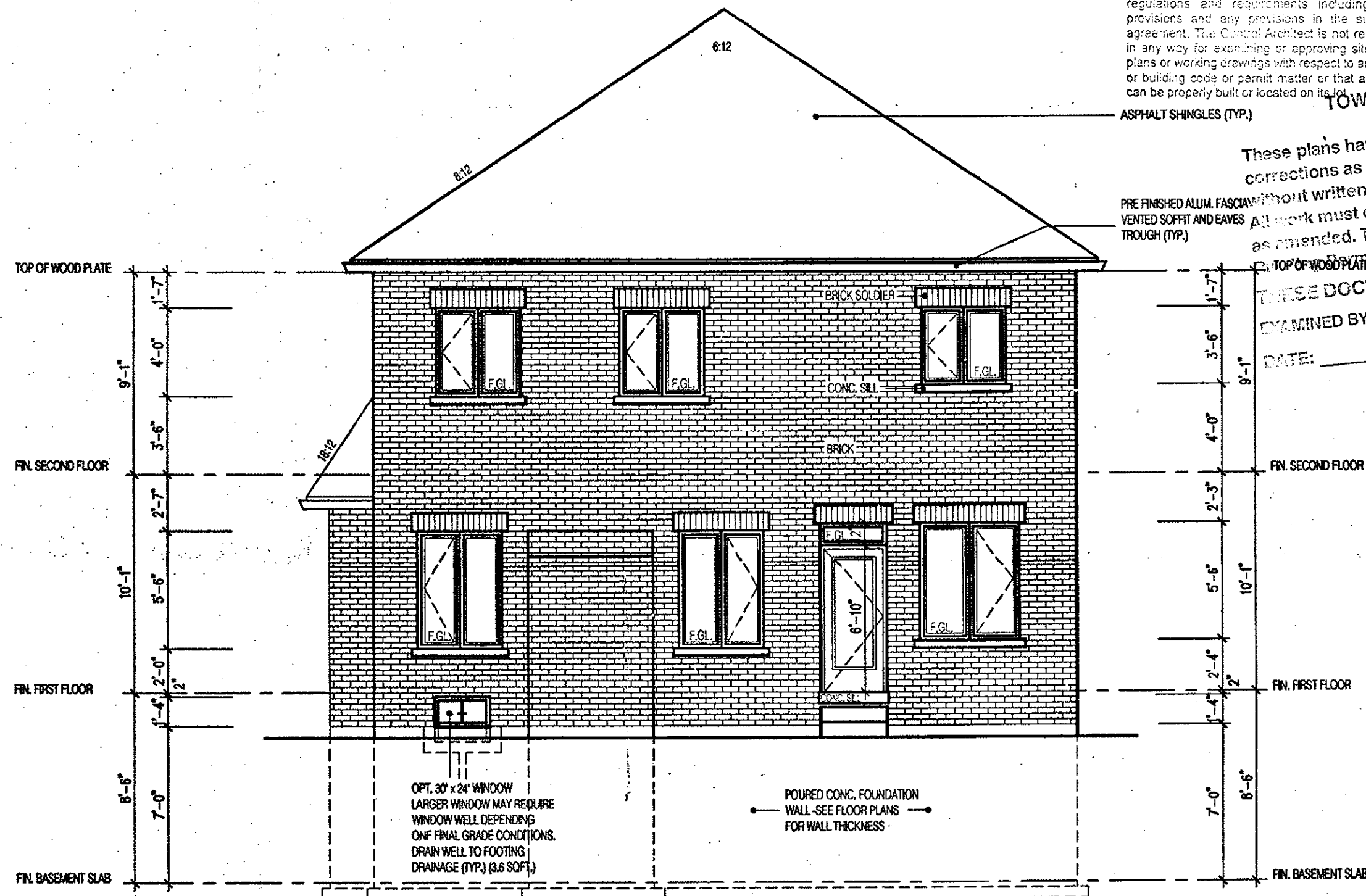
ARCHITECT

1282 #

90.0 #

70.4 #

O.REG. 332/12



**PINEBROOK 3
REAR ELEVATION 1**

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ASPHALT SHINGLES (TYP.)

PRE FINISHED ALUM. FASCIA
VENTED SOFFIT AND EAVES
TROUGH (TYP.)

TOWN OF EAST GWILLIMBURY
Building Department

These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Department. All work must comply with the Ontario Building Code, as amended. These reviewed documents and the permit must be kept on site at all times.

THESE DOCUMENTS WERE REVIEWED AND
EXAMINED BY: *[Signature]*
DATE: _____

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED INVENTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

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3	NOV. 1, 2018 REVISED TO ENERGY STAR
2	NOV. 30, 2017 ISSUED FOR BUILDING PERMIT
1	OCT. 19, 2017 ISSUED FOR ROOF AND FLOOR TRUSSES

No: _____ DATE: _____ WORK DESCRIPTION: _____

jardin
DESIGN GROUP INC
64 JARDIN DR, SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter *[Signature]* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

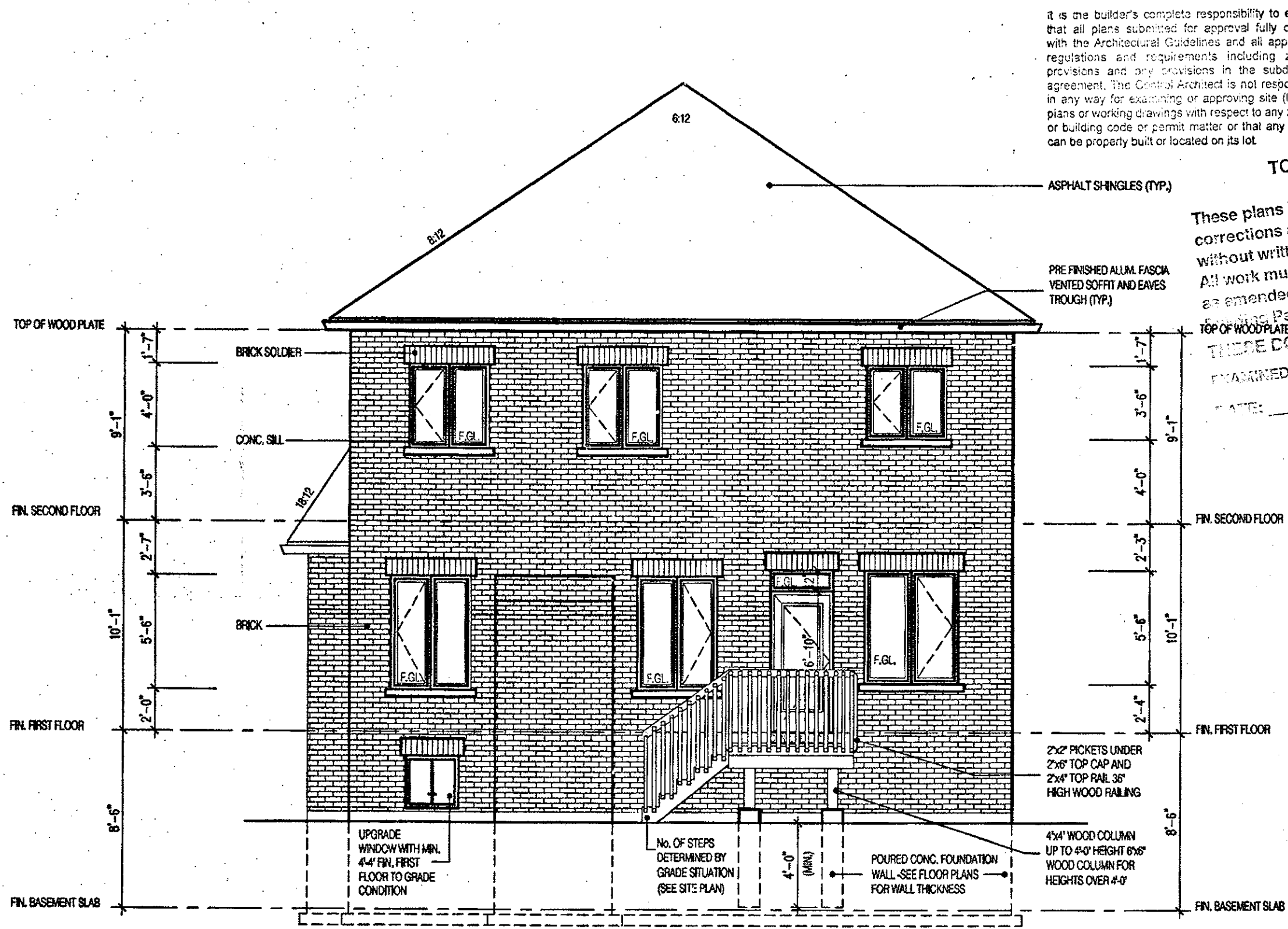
jardin design group inc. 27763
FIRM NAME BCIN

REAR ELEVATION 1
SECONDO VALES ESTATES
EAST GWILLIMBURY

TYPE	T	AREA
SCALE	3/16" = 1'-0"	
PROJ. No.	17-41	DWG. No.
		6

ARCHITECTURAL REVIEW
AND APPROVAL
TOWN OF EAST GWILLIMBURY
Signed: _____
Date: NOV 05 2018
JOHN G. WILLIAMS LIMITED
ARCHITECT

NOV 02 2018



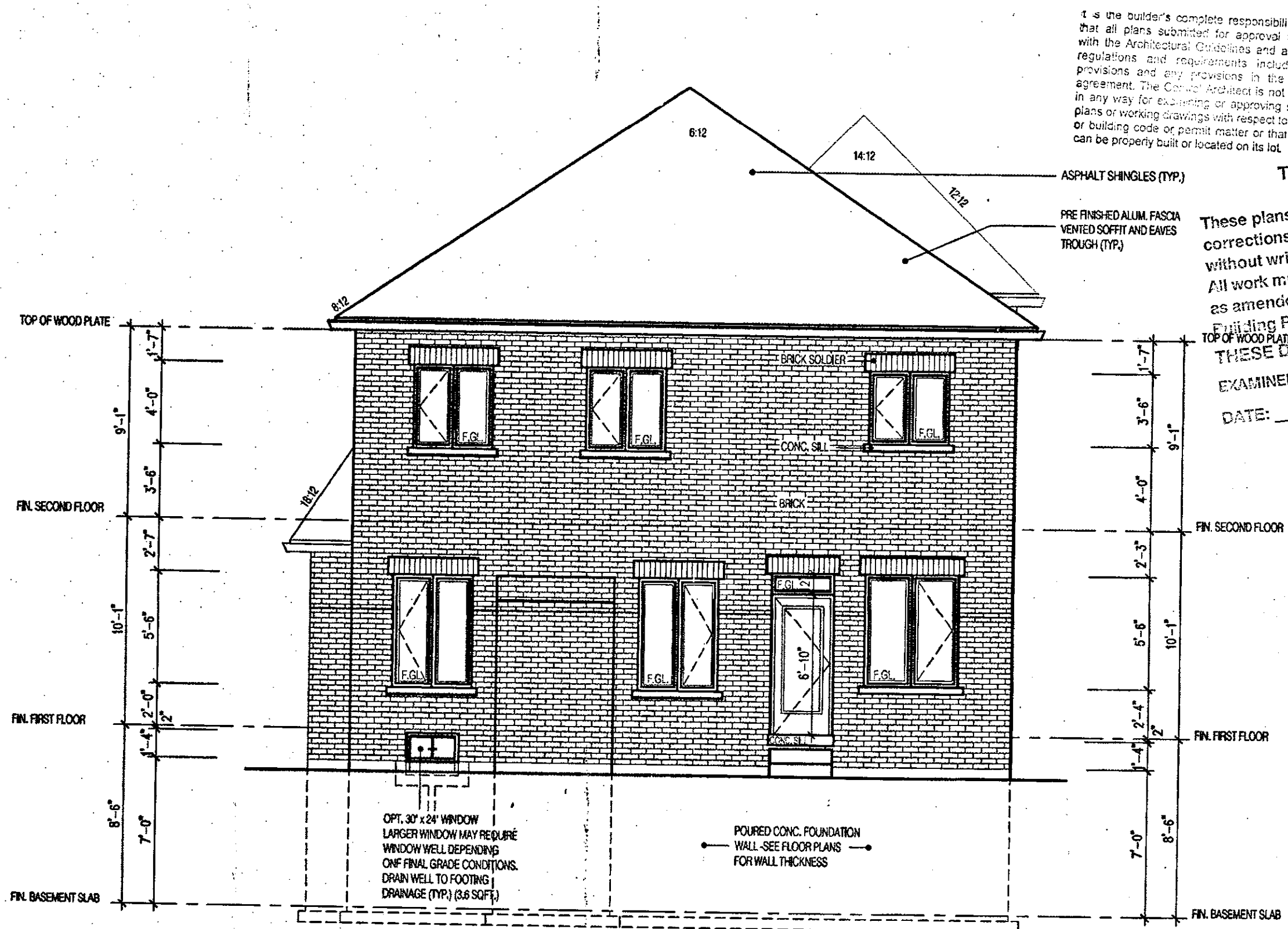
**PINEBROOK 3
REAR ELEVATION 1
DECK CONDITON**

ARCHITECTURAL REVIEW
AND APPROVAL
TOWN OF EAST GWILLIMBURY

Signed: _____
Date: **NOV 0 5 2018**
JOHN G. WILLIAMS LIMITED
ARCHITECT

NOV 0 2 2018

3180	
12.48m LOTS	
PINEBROOK 3 (GR) ELEVATION 1	
ENERGY STAR	
O.REG. 332/12	
TOWN OF EAST GWILLIMBURY Building Department	
These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Department. All work must comply with the Ontario Building Code, as amended. These reviewed documents and the Building Permit must be kept on site at all times.	
EXAMINED BY: <i>[Signature]</i> DATE: _____	
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2	NOV. 30, 2017 ISSUED FOR BUILDING PERMIT
1	OCT. 18, 2017 ISSUED FOR ROOF AND FLOOR TRUSSES
No.	DATE: WORK DESCRIPTION:
jardin DESIGN GROUP INC 64 JARDIN DR, SUITE 3A VAUGHAN ONT, L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer	
QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code	
Walter Botter	21031
NAME	SIGNATURE BCIN
REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code	
jardin design group inc.	27763
FIRM NAME	BCIN
DECK CONDITION EL-1	
SECONDO VALES ESTATES EAST GWILLIMBURY	
TYPE AREA	
SCALE: 3/16" = 1'-0"	
PROJ. No.	DWG. No.
17-41	6-1



**PINEBROOK 3
REAR ELEVATION 2**

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TOWN OF EAST GWILLIMBURY
Building Department

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THESE DOCUMENTS WERE REVIEWED AND EXAMINED BY: *[Signature]*
DATE: _____

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2	NOV. 30, 2017	ISSUED FOR BUILDING PERMIT
1	OCT. 18, 2017	ISSUED FOR ROOF AND FLOOR TRUSSES

No. DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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QUALIFICATION INFORMATION
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Walter Botter *[Signature]* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

REAR ELEVATION 2
SECONDO VALES ESTATES
EAST GWILLIMBURY

TYPE	AREA
SCALE: 3/16" = 1'-0"	
PROJ. No. 17-41	DWG. No. 6A

ARCHITECTURAL REVIEW
AND APPROVAL
TOWN OF EAST GWILLIMBURY

Signed: _____
Date: NOV 0 5 2018
JOHN G. WILLIAMS LIMITED
ARCHITECT

NOV 0 2 2018

O.REG. 332/12

CA
ES

TOWN OF EAS
Building Department

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WATERLOO

THESE DOCUMENTS WERE REVIEWED AND

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Walter Botter *WBE* 21031
NAME SIGNATURE RCIN

REGISTRATION INFORMATION
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3.2.4 of the building code

jardin design group inc.	27763
FIRM NAME	BCIN

DECK CONDITION EL-2

SECONDO VALES ESTATES
EAST GWILLIMBURY

	TYPE	AREA
	T	



BILD

SCALE: 3/16" = 1'-0"

PROJ. No.	DWG. No.
17-11	CA-1

17-41	6A-1
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PRE FINISHED ALUM. FASCIA
VENTED SOFFIT AND EAVES
TROUGH (TYP.)

ARCHITECTURAL REVIEW
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TOWN OF EAST GWILLIMBURY

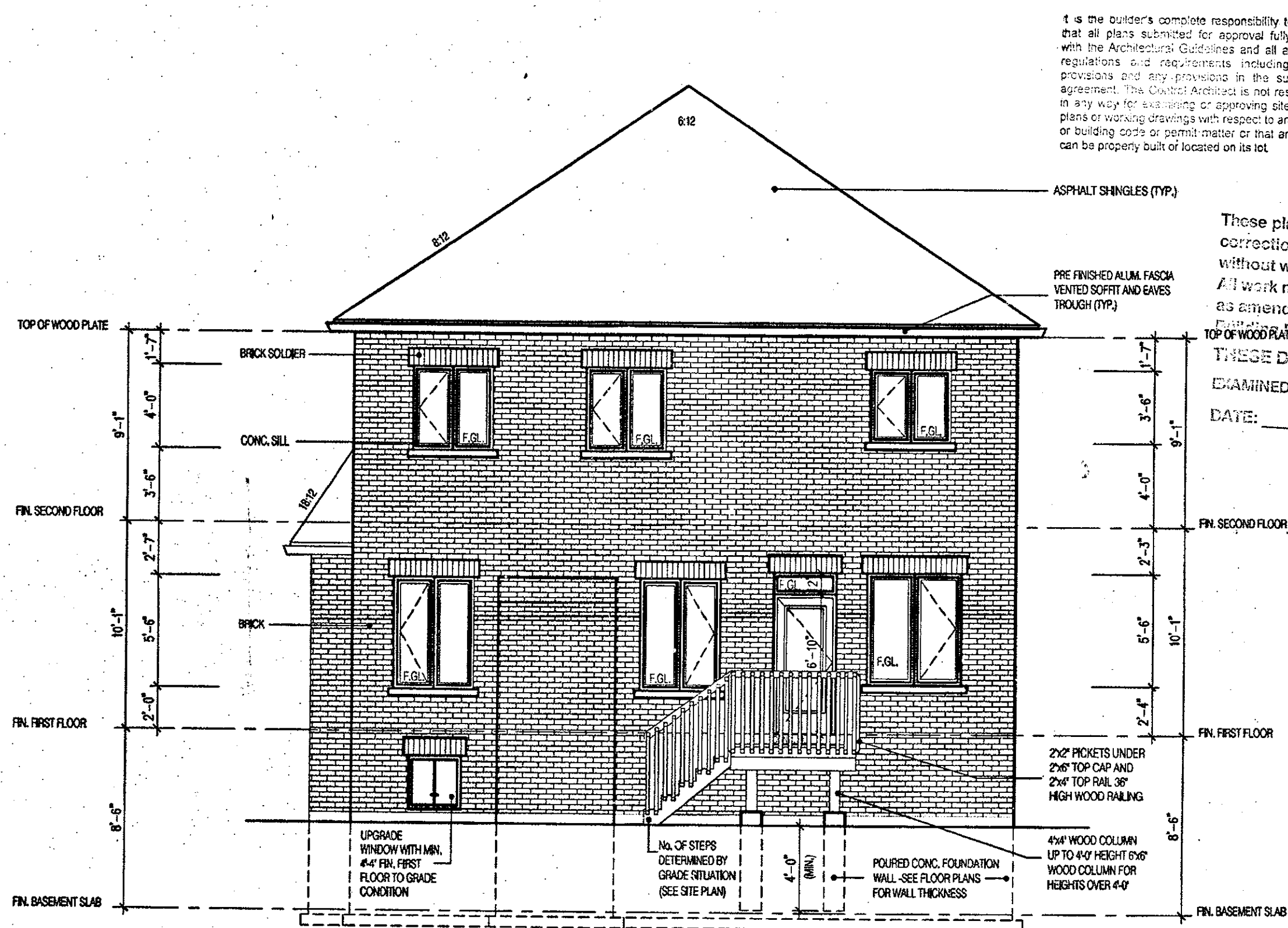
Signed: _____

Date: NOV 05 2018
JOHN G. WILLIAMS LIMITED
ARCHITECT

NOV 02 2018

**PINEBROOK 3
REAR ELEVATION 2
DECK CONDITON**

DRAWN BY:	DRAWING NAME:
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DATE: *[Signature]*

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No. DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR, SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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Walter Boffer *[Signature]* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
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Jardin design group inc. 27763
FIRM NAME BCIN

DECK CONDITION EL-3

SECONDO VALLES ESTATES
EAST GWILLIMBURY

BILD	TYPE	AREA
	SCALE	3/16"=1'-0"
	PROJ. No.	DWG. No.
	17-41	6B-1

**PINEBROOK 3
REAR ELEVATION 3
DECK CONDITON**

ARCHITECTURAL REVIEW
AND APPROVAL
TOWN OF EAST GWILLIMBURY
Signed: *[Signature]*
Date: NOV 0 5 2018
JOHN G. WILLIAMS LIMITED
ARCHITECT

NOV 0 2 2018

3180
12.48m LOTS
PINEBROOK 3 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12

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TOWN OF EAST GWILLIMBURY
Building Department

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PLANS WERE REVIEWED AND

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No. DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

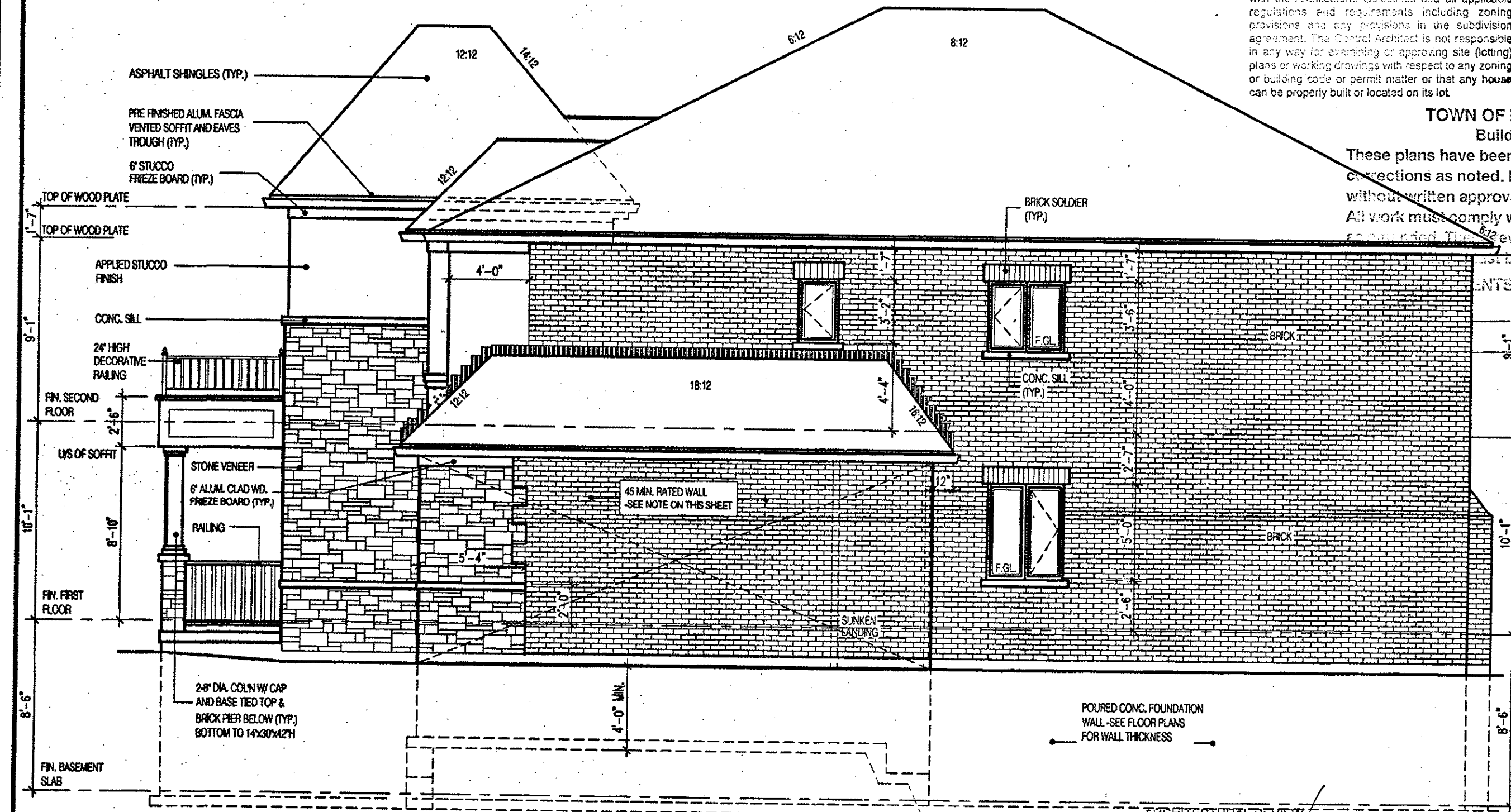
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QUALIFICATION INFORMATION
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Walter Botter 21037
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code
jardin design group inc. 27763
FIRM NAME BCIN

SIDE ELEVATION 2
SECONDO VALES ESTATES
EAST GWILLIMBURY

BILD	TYPE	AREA
	SCALE:	3/16" = 1'-0"
	PROJ. No.	DWG. No.
	17-41	7A

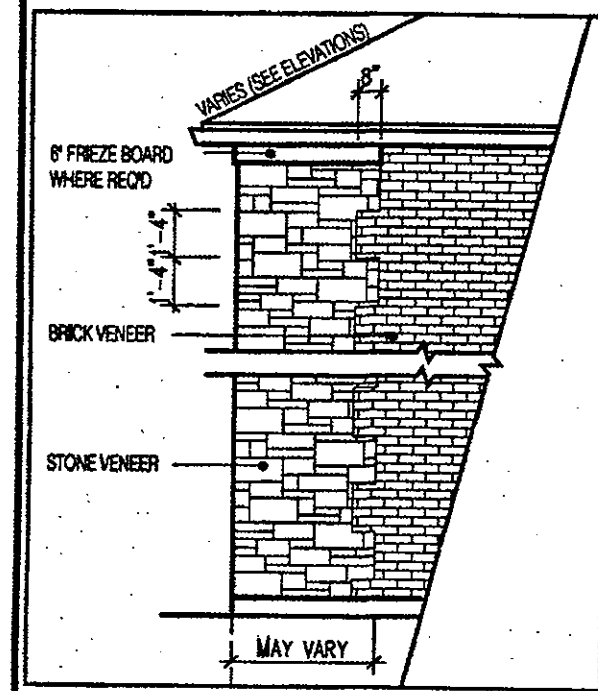


PINEBROOK 3 SIDE ELEVATION 2

UNPROTECTED OPENINGS

WALL AREA 1282 #
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDEYARD) 90.0 #
ACTUAL GLASS AREA 32.0 #

STONE TO BRICK TRANSITION DETAIL
N.T.S.



HEADER/RIM JOIST LEVEL
(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)
45 MINUTE FIRE RATED AT HEADER

PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

(REFER TO SUPPLEMENTARY STANDARD SB-2 2.3.

BRICK VENEER CONSTRUCTION
(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)
45 MINUTE FIRE RATED WALL

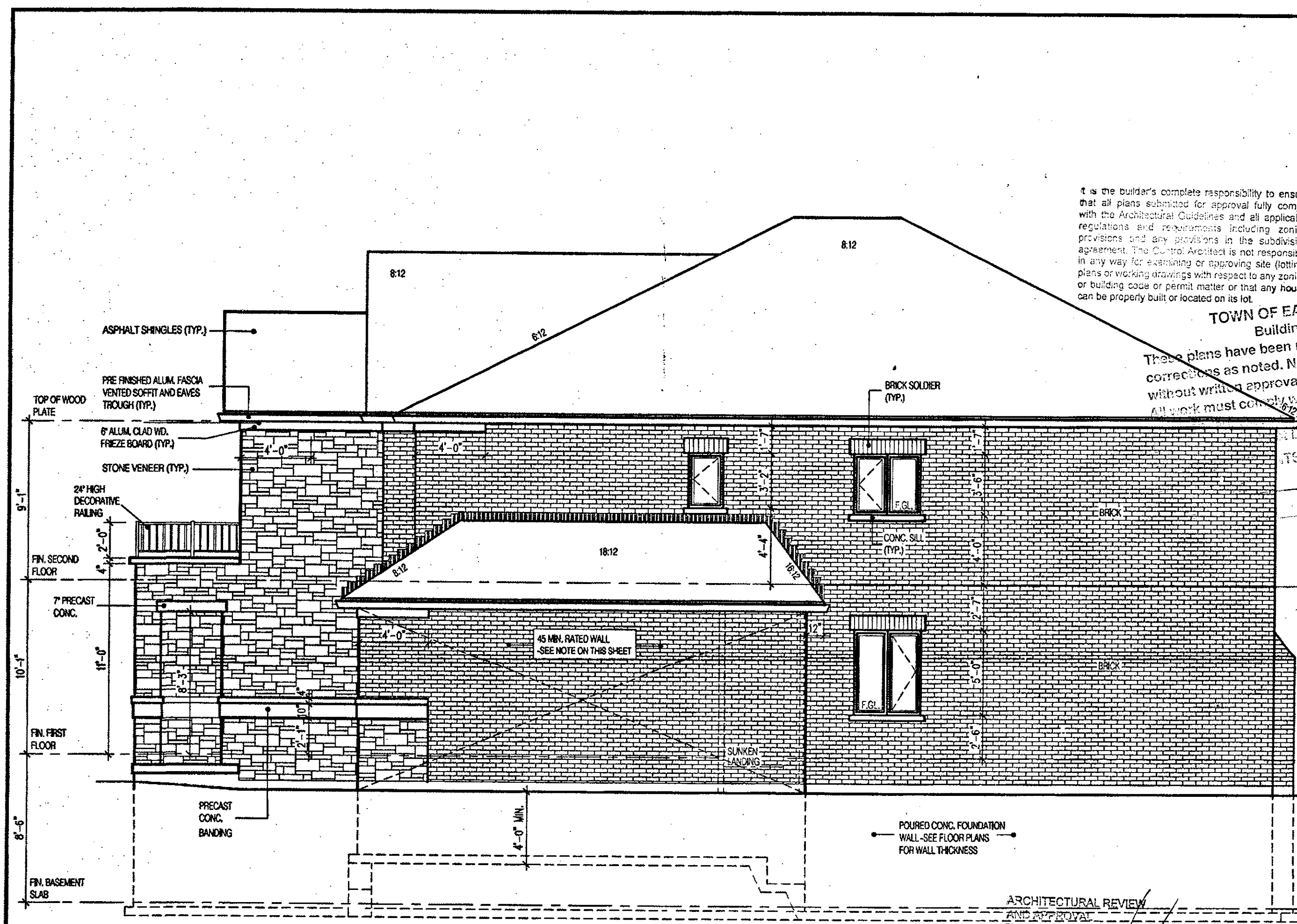
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS

(REFER TO SUPPLEMENTARY STANDARD SB-2 2.3.5.(2)

ARCHITECTURAL REVIEW
AND APPROVAL
TOWN OF EAST GWILLIMBURY
Signed: _____

Date: NOV 02 2018
JOHN G. WILLYS LIMITED
ARCHITECT

DRAWN BY: _____ DRAWING NAME: _____



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

TOWN OF EAST GWILLIMBURY
Building Department
These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Department. All work must comply with the Ontario Building Code, approved documents and the on site at all times.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUT LUGAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
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3	NOV. 1, 2018 REVISED TO ENERGY STAR
2	NOV. 30, 2017 ISSUED FOR BUILDING PERMIT
1	OCT. 19, 2017 ISSUED FOR ROOF AND FLOOR TRUSSES

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR, SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter 21031
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code
jardin design group inc. 27763
FIRM NAME BCIN

SIDE ELEVATION 3
SECONDO VALES ESTATES
EAST GWILLIMBURY
TYPE T
SCALE 3/16" = 1'-0"
PROJ. No. 17-41 DWG. No. 7B

PINEBROOK 3 SIDE ELEVATION 3

ARCHITECTURAL REVIEW
AND APPROVAL
TOWN OF EAST GWILLIMBURY

Signed:
Date: NOV 0 5 2018
JOHN G. WILLIAMS LIMITED
ARCHITECT
NOV 0 2 2018

UNPROTECTED OPENINGS

WALL AREA 1258 #
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDEYARD) 88.0 #
ACTUAL GLASS AREA 32.0 #

HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED AT HEADER

PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

(REFER TO SUPPLEMENTARY STANDARD SB-2 2.3.

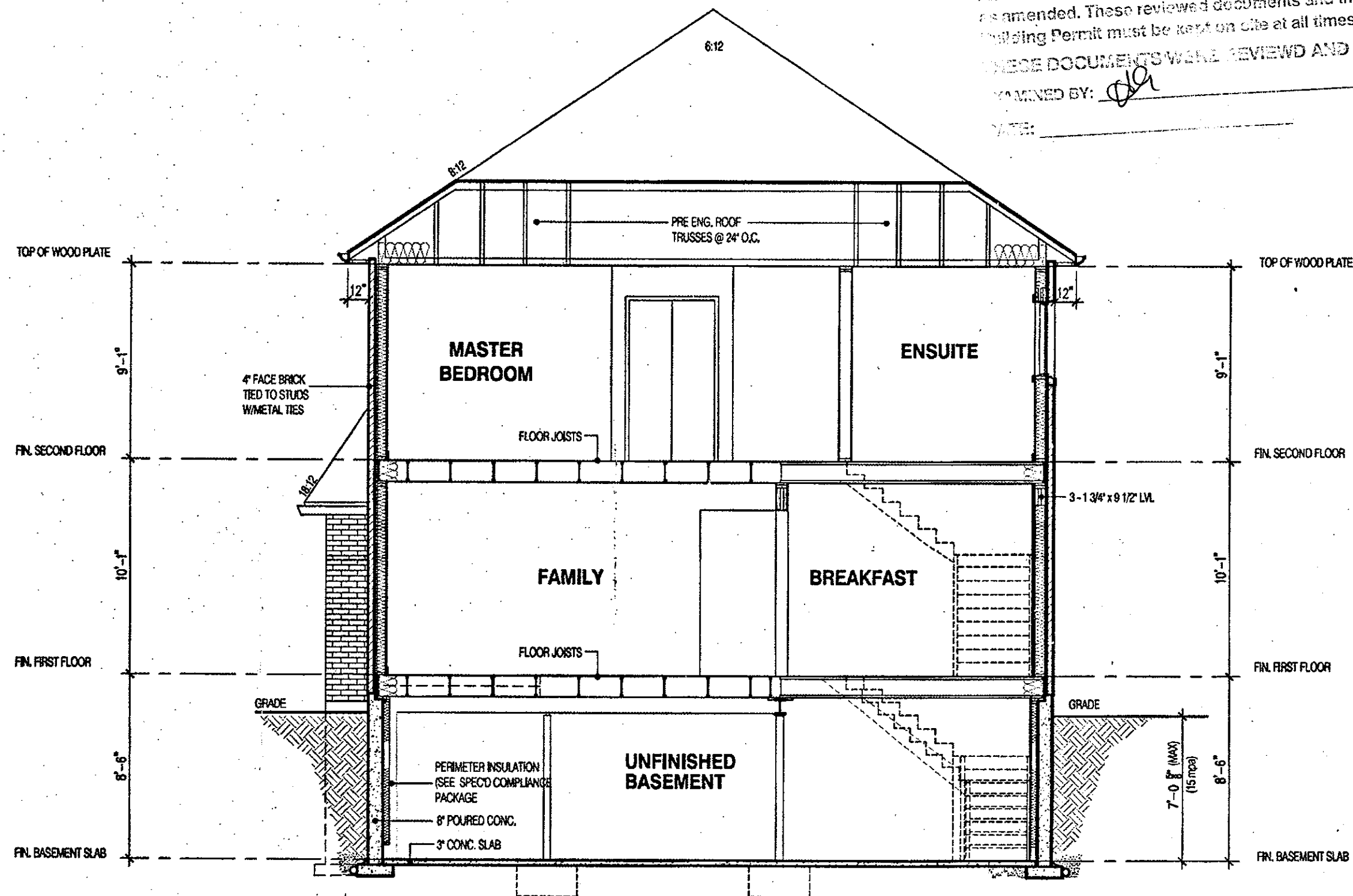
BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS

(REFER TO SUPPLEMENTARY STANDARD SB-2 2.3.5.(2)



SECTION A-A
ELEVATION 1

TOWN OF EAST GWILLIMBURY
Building Department
These plans have been reviewed for use with the
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All work must comply with the Ontario Building Code,
as amended. These reviewed documents and the
Building Permit must be kept on site at all times.
THESE DOCUMENTS WERE REVIEWED AND
EXAMINED BY: *[Signature]*
DATE: _____

3180

12.48m LOTS

PINEBROOK 3

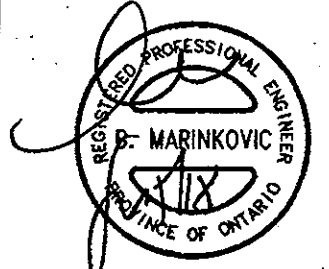
(GR)

ELEVATION 1

ENERGY STAR

O.REG. 332/12

STRUDET INC.



FOR STRUCTURE ONLY

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CONVENTIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.
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1	OCT. 19, 2017	ISSUED FOR ROOF AND FLOOR TRUSSES

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.5 of the building code.

Walter Boffe *[Signature]* 21037
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
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3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

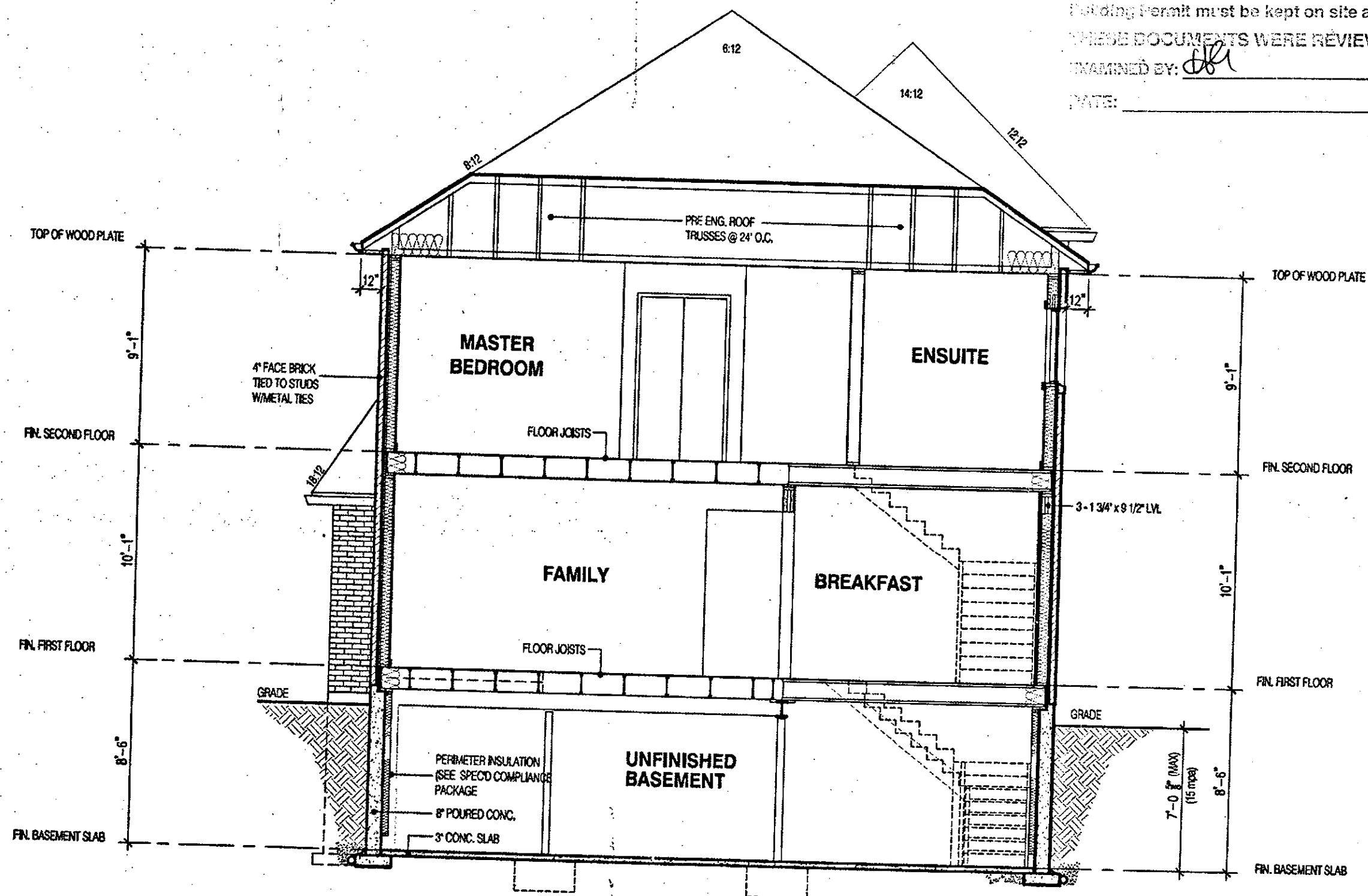
SECTION EL.-1

SECONDO VALES ESTATES
EAST GWILLIMBURY

TYPE	AREA
T	
SCALE:	3/16" = 1'-0"
PROJ. No.	DWG. No.
17-41	8



NOV 02 2018



SECTION A-A
ELEVATION 2

TOWN OF EAST GWILLIMBURY
Building Department

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THESE DOCUMENTS WERE REVIEWED AND

EXAMINED BY: *[Signature]*

DATE: _____

3180

12.48m LOTS

PINEBROOK 3

(GR)

ELEVATION 2

ENERGY STAR

O.REG. 332/12

STRUDET INC.



FOR STRUCTURE ONLY

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No. DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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Walter Botter *[Signature]* 21031
NAME SIGNATURE BCIN

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jardin design group inc. 27763
FIRM NAME BCIN

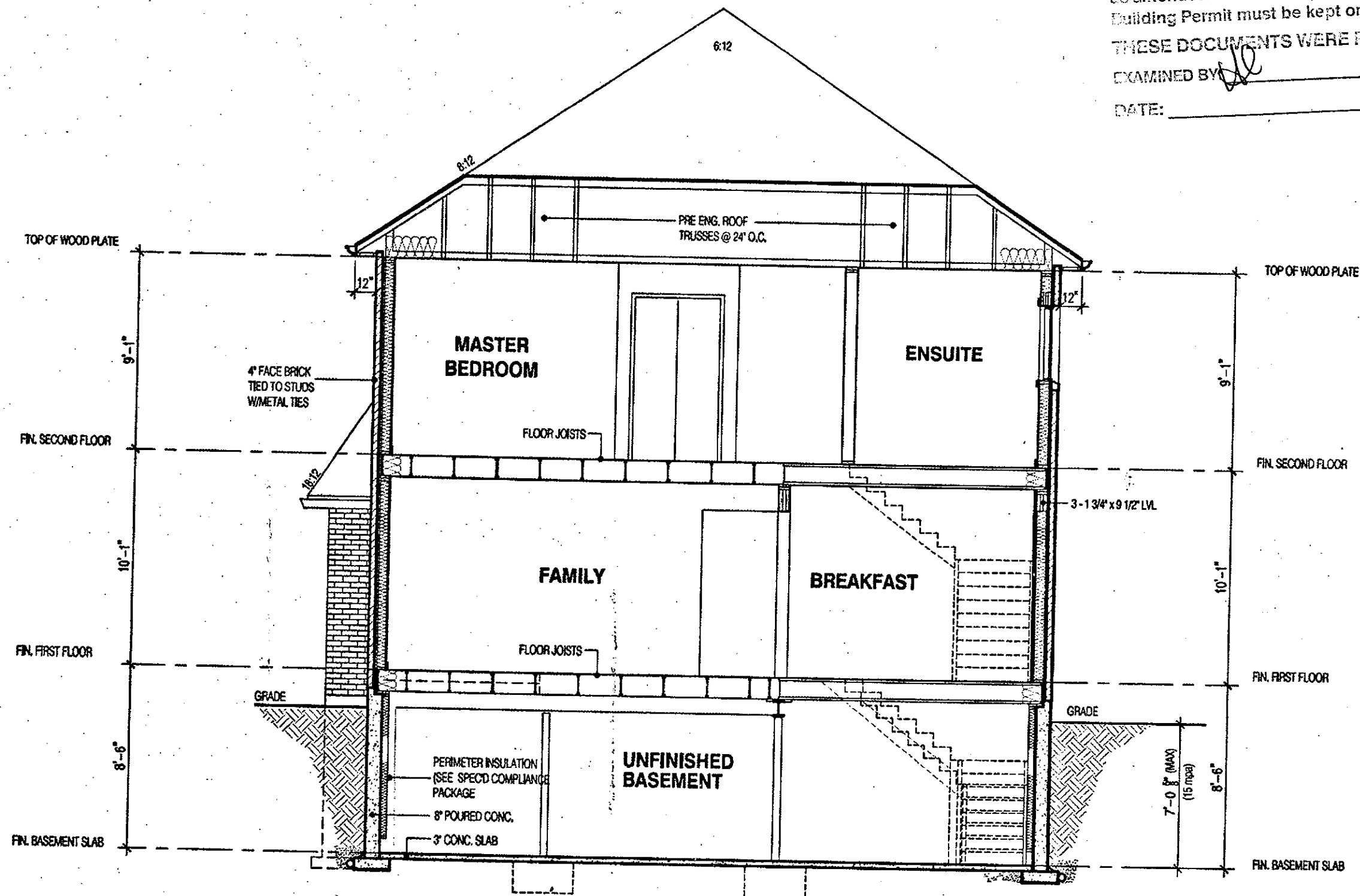
SECTION EL-2

SECONDO VALES ESTATES
EAST GWILLIMBURY

BILD	TYPE	AREA
	SCALE	3/16"=1'-0"
	PROJ. No.	DWG. No.
	17-41	8A

NOV 02 2018

DRAWN BY: DRAWING NAME:



**SECTION A-A
ELEVATION 3**

TOWN OF EAST GWILLIMBURY
Building Department
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EXAMINED BY *[Signature]*
DATE: _____

3180
12.48m LOTS
PINEBROOK 3
(GR)
ELEVATION 3
ENERGY STAR
O.REG. 332/12



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No. DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
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Walter Botter *[Signature]* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
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3.2.4 of the building code.
jardin design group inc. 27763
FIRM NAME BCIN

SECTION EL.-3
SECONDO VALES ESTATES
EAST GWILLIMBURY

TYPE	AREA
T	
SCALE:	3/16" = 1'-0"
PROJ. No.	DWG. No.
17-41	8B

NOV 02 2018