

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS
 8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
 20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
 24"x6" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.
 FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
 24"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
 FOOTINGS ON ENGINEERED FILL
 24"x6" CONCRETE STRIP FOOTINGS WITH REINFORCING
 BELOW EXTERIOR WALLS.
 30"x6" CONCRETE STRIP FOOTINGS WITH REINFORCING
 BELOW PARTY WALLS.
 (REFER TO ENGINEER FILL FOOTING DETAIL)
ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY
 ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa
 FOR ENGINEERED FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS
120 KPa NATIVE SOIL 90 KPa ENGINEERED FILL SOIL
 F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
 F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
 F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
 F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
 F5 = 18"x18"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
 (REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT
 WHEN VENEER CUT IS GREATER THAN 26", A 10"
 POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)
 ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
 FLAT WORK) TO BE 32 MPa, WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)
 WL1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L) + 2-2"x8" SPR. No.2
 WL2 = 4" x 3-1/2" x 5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2
 WL3 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
 WL4 = 6" x 3-1/2" x 3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2
 WL5 = 8" x 4" x 3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
 WL6 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
 WL7 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2
 WL8 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
 WL9 = 6" x 4" x 3/8" (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)
 WB1 = 2-2"x8" (2-38x184) SPR. No.2
 WB2 = 3-2"x8" (3-38x184) SPR. No.2
 WB3 = 2-2"x10" (2-38x235) SPR. No.2
 WB4 = 3-2"x10" (3-38x235) SPR. No.2
 WB5 = 2-2"x12" (2-38x286) SPR. No.2
 WB6 = 3-2"x12" (3-38x286) SPR. No.2
 WB7 = 5-2"x12" (5-38x286) SPR. No.2
 WB8 = 4-2"x10" (4-38x235) SPR. No.2
 WB9 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS
 LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
 LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
 LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
 LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
 LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
 LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
 LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
 LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
 LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
 LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
 LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
 LVL8 = 2-1 3/4" x 14" (2-45x356)
 LVL9 = 3-1 3/4" x 14" (3-45x356)

LOOSE STEEL LINTELS (L)
 L1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L)
 L2 = 4" x 3-1/2" x 5/16" (100x90x8.0L)
 L3 = 5" x 3-1/2" x 5/16" (125x90x8.0L)
 L4 = 6" x 3-1/2" x 3/8" (150x90x10.0L)
 L5 = 8" x 4" x 3/8" (150x100x10.0L)
 L6 = 7" x 4" x 3/8" (180x100x10.0L)

NOS.	WIDTH	HEIGHT 8'-9" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER
 (OBC 9.30.6)
 SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C.
 BELOW ALL CERAMIC TILE AREAS.
 PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-0" - 7'-0".
 2 ROWS FOR SPANS GREATER THAN 7'-0".

NOTE: ROOF FRAMING
 REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL
 ROOF FRAMING INFORMATION UNLESS OTHERWISE
 NOTED.

PLANS NOT DRAWN TO ACTUAL GRADE REFER TO
 FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING
 REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL
 ENGINEERED FLOOR FRAMING INFORMATION AND
 DETAILS. UNLESS OTHERWISE NOTED.



UNINSULATED OPENINGS (PER OBC SB-12.3.1.1(7))			
HEMLOCK 3 ELEV. 1 (4 BED)			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	481.31 S.F.	128.23 S.F.	26.64 %
LEFT SIDE	944.10 S.F.	57.55 S.F.	6.10 %
RIGHT SIDE	944.10 S.F.	23.50 S.F.	2.49 %
REAR	481.31 S.F.	76.42 S.F.	15.88 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	2850.82 S.F.	265.70 S.F.	10.02 %
TOTAL SQ. M.	264.85 S.M.	26.54 S.M.	10.02 %

UNINSULATED OPENINGS (PER OBC SB-12.3.1.1(7))			
HEMLOCK 3 ELEV. 2 (4 BED)			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	481.31 S.F.	128.23 S.F.	26.64 %
LEFT SIDE	944.10 S.F.	57.55 S.F.	6.10 %
RIGHT SIDE	944.10 S.F.	23.50 S.F.	2.49 %
REAR	481.31 S.F.	76.42 S.F.	15.88 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	2850.82 S.F.	265.70 S.F.	10.02 %
TOTAL SQ. M.	264.85 S.M.	26.54 S.M.	10.02 %

UNINSULATED OPENINGS (PER OBC SB-12.3.1.1(7))			
HEMLOCK 3 ELEV. 1 (3 BED)			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	481.31 S.F.	128.23 S.F.	26.64 %
LEFT SIDE	944.10 S.F.	57.55 S.F.	6.10 %
RIGHT SIDE	944.10 S.F.	23.50 S.F.	2.49 %
REAR	481.31 S.F.	76.42 S.F.	15.88 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	2850.82 S.F.	265.70 S.F.	10.02 %
TOTAL SQ. M.	264.85 S.M.	26.54 S.M.	10.02 %

UNINSULATED OPENINGS (PER OBC SB-12.3.1.1(7))			
HEMLOCK 3 ELEV. 2 (3 BED)			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	481.31 S.F.	128.23 S.F.	26.64 %
LEFT SIDE	944.10 S.F.	57.55 S.F.	6.10 %
RIGHT SIDE	944.10 S.F.	23.50 S.F.	2.49 %
REAR	481.31 S.F.	76.42 S.F.	15.88 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	2850.82 S.F.	265.70 S.F.	10.02 %
TOTAL SQ. M.	264.85 S.M.	26.54 S.M.	10.02 %

AREA CALCULATIONS		ELEV. '1'
GROUND FLOOR AREA	952 SF	
SECOND FLOOR AREA	943 SF	
TOTAL FLOOR AREA	1895 SF	
	(176.05 m2)	
FIRST FLOOR OPEN AREA	XX SF	
SECOND FLOOR OPEN AREA	4 SF	
ADD TOTAL OPEN AREAS	+4 SF	
ADD FINISHED BSMT AREA	+XX SF	
GROSS FLOOR AREA	1899 SF	
	(176.42 m2)	
GROUND FLOOR COVERAGE	952 SF	
GARAGE COVERAGE/AREA	214 SF	
PORCH COVERAGE/AREA	46 SF	
COVERAGE W/ PORCH	1212 SF	
	(112.60 m2)	
COVERAGE W/O PORCH	1166 SF	
	(108.32 m2)	

AREA CALCULATIONS		ELEV. '2'
GROUND FLOOR AREA	959 SF	
SECOND FLOOR AREA	959 SF	
TOTAL FLOOR AREA	1928 SF	
	(179.12 m2)	
FIRST FLOOR OPEN AREA	XX SF	
SECOND FLOOR OPEN AREA	4 SF	
ADD TOTAL OPEN AREAS	+4 SF	
ADD FINISHED BSMT AREA	+XX SF	
GROSS FLOOR AREA	1932 SF	
	(179.49 m2)	
GROUND FLOOR COVERAGE	969 SF	
GARAGE COVERAGE/AREA	214 SF	
PORCH COVERAGE/AREA	88 SF	
COVERAGE W/ PORCH	1271 SF	
	(118.08 m2)	
COVERAGE W/O PORCH	1183 SF	
	(109.30 m2)	

1. POST PERMIT CARD IN A CONSPICUOUS PLACE 7 FEET ABOVE GRADE AT BUILDING SITE.
2. APPROVED DRAWINGS MUST BE KEPT ON SITE AT ALL TIMES.
3. IT IS MANDATORY THAT YOU CALL FOR REQUIRED INSPECTIONS 24 HRS. IN ADVANCE.
4. FAILURE TO COMPLY WITH SENTENCE 1 TO 3 WILL RESULT IN STOP WORK ORDERS BEING POSTED.

ALL ELECTRICAL INSTALLATIONS MUST BE
 INSPECTED BY THE ELECTRICAL SAFETY
 AUTHORITY. SEPARATE INSPECTION
 APPLICATIONS MUST BE FILED.

FOR MORE INFORMATION PLEASE CALL
ELECTRICAL SAFETY AUTHORITY
CUSTOMER SERVICE CENTRE
 PHONE: (877) 372-7233 FAX: (800) 667-4278

Engineered floor joists shall be installed
 in accordance with the supplier's layout and
 specifications forming part of the permit drawings.

It is the builder's complete responsibility to
 ensure that all plans submitted for approval
 fully comply with the Architectural Guidelines
 and all applicable regulations and requirements
 including zoning provisions and any provisions
 in the subdivision agreement. The Council
 Architect is not responsible in any way for
 examining or approving site (lotting) plans or
 working drawings with respect to any zoning
 or building codes or permit matters or that any
 house can be properly built or located on its lot.

This is to certify that these plans comply
 with the applicable Architectural Design
 Guidelines approved by the City of
 BRAMPTON.

For conventional wood framing
 framing shall conform to OBC.9.23

All work shall conform to the Ontario
 Building Code O. Reg. 332/12 as amended

CITY OF BRAMPTON
 BUILDING DIVISION
 REVIEWED
 FEB 07 2019
 BY
 MARY FRENTE

ENGINEERED FILL ON LOT(5)

12 R
 PROVIDE COPIES OF SOIL ENGINEER'S
 REPORT(S) TO THE INSPECTOR
 BEFORE FOOTING CONSTRUCTION

W Architect Inc.
DESIGN CONTROL REVIEW

OCT 17 2018

FINAL

BY: *W. Arch*

This stamp is only for the purpose of design
 control and carries no other professional obligations.

HEMLOCK 3
COMPLIANCE PACKAGE 'A1'



STRUDET INC.
 OR STRUCTURE ONLY

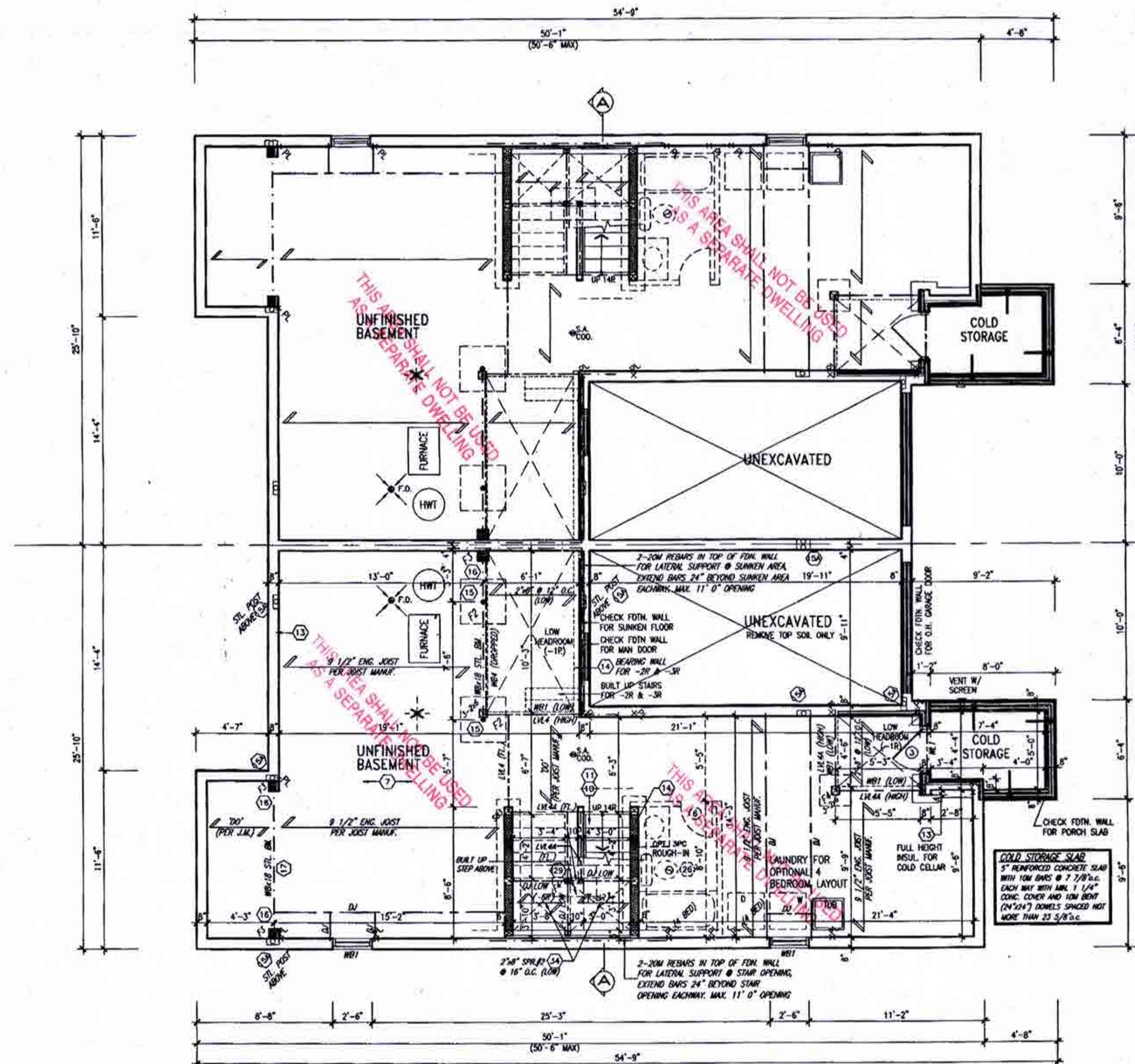
NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	AUG 23/18	ON
2	REVISED PER CLIENT/ ENGINEER COMMENTS	AUG 19/18	ON
3	REVISED PER PLAN & TRUSS CO-ORD.	JUNE 26/18	ON
4	REVISED PER CLIENT COMMENTS	JUN 13/18	ON
5	ISSUED FOR CLIENT REVIEW/ COMMENT	MAY 24/18	ON

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	AUG 23/18	ON
2	REVISED PER CLIENT/ ENGINEER COMMENTS	AUG 19/18	ON
3	REVISED PER PLAN & TRUSS CO-ORD.	JUNE 26/18	ON
4	REVISED PER CLIENT COMMENTS	JUN 13/18	ON
5	ISSUED FOR CLIENT REVIEW/ COMMENT	MAY 24/18	ON

VAS
DESIGN
 255 Consumers Rd Suite 120
 Toronto ON M2J 1R4
 1-416-630-2255 / 416-630-4782
 vasdesign.com

Greenpark
 PROJECT NAME: MINNISALE HOMES CORP.
 MUNICIPALITY: BRAMPTON
 DATE: MAY 2018
 DRAWN BY: 5/18" = 1'-0"

HEMLOCK 3
 9.15m Semi
 PROJECT NO: 18012
 GENERAL NOTES & CHARTS
 18012-HEMLOCK-3
 A0



BASEMENT PLAN '1'

ELEV. '1'-REV.
ELEV. '1'

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
FEB 07 2019
BY
MARY FRENETTE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (existing) plans or working drawings with respect to any zoning or building code or general matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

ALL PLUMBING SHALL CONFORM TO THE ONTARIO BUILDING CODE, O. REG. 332/12, AS AMENDED, DIVISION B, PART 7.

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
MAR 28 2019
PLUMBING BY
KOFI MORIEL

W Architect Inc.
DESIGN CONTROL REVIEW
OCT 17 2018
FINAL BY: JUL 27 2018
This stamp is only for the purposes of design control and carries no other professional obligations.

HEMLOCK 3
COMPLIANCE PACKAGE A1



VENUE CUT
WHEN VENUE CUT IS GREATER THAN 26" A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

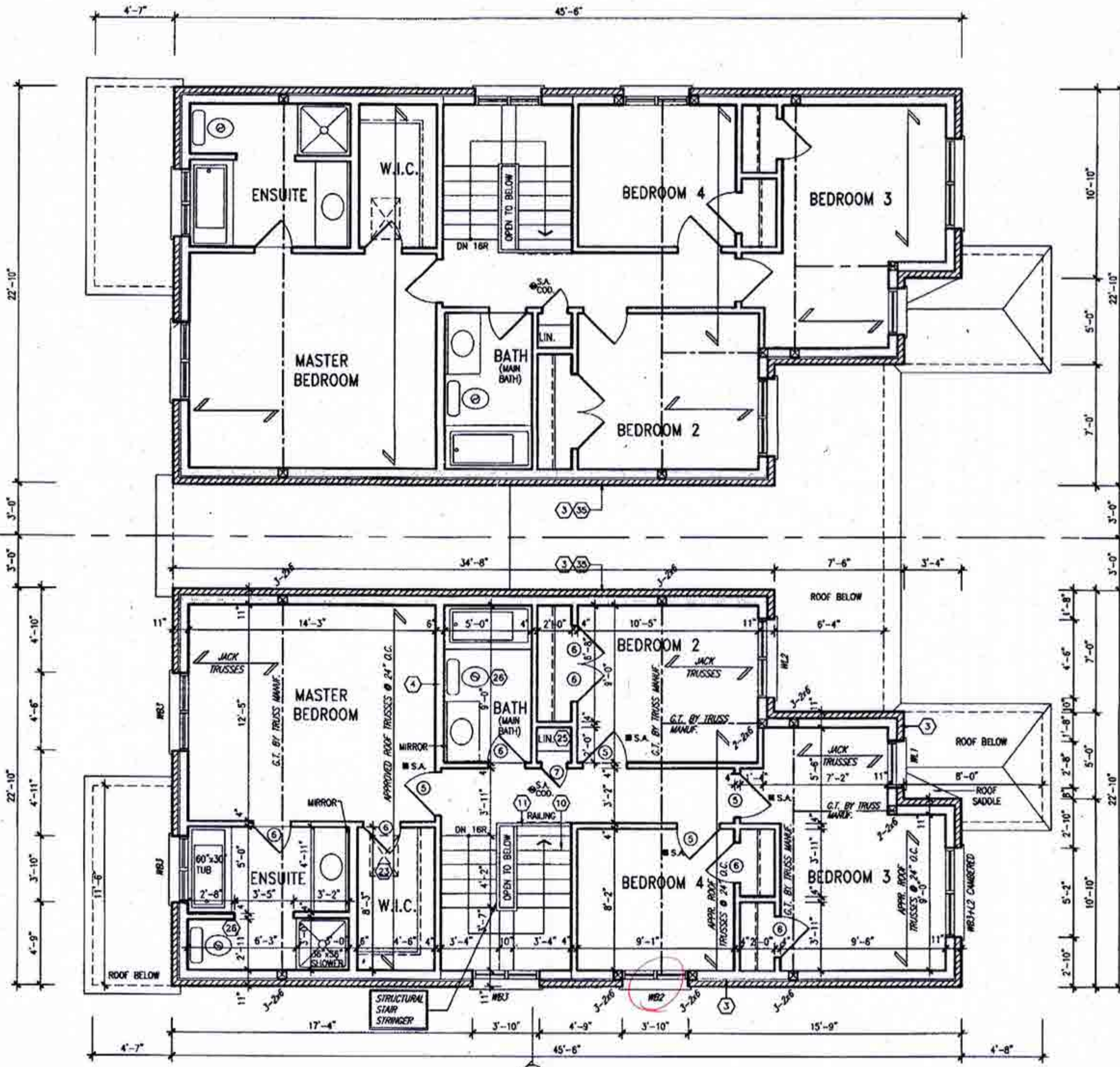
no.	description	date	by	no.	description	date	by
10				9			
11				8			
12				7			
13				6			
14				5	ISSUED FOR PERMIT	JULY 23/18	OW
15				4	REVISED PER CLIENT/ ENGINEER COMMENTS	JULY 19/18	OW
16				3	REVISED PER CLIENT/ ENGINEER COMMENTS	JUNE 28/18	OW
17				2	REVISED PER CLIENT COMMENTS	JULY 13/18	OW
18				1	ISSUED FOR CLIENT REVIEW AND COMMENTS	MAY 24/18	OW

VA3
DESIGN
235 Consumers Rd. Suite 120
Toronto, ON M2J 1R4
416.630.2255 F 416.630.4782
va3design.com

Greenpark.
MINNISALE HOMES CORP.
BRAMPTON
BASEMENT PLAN - ELEV. '1'
A1

HEMLOCK 3
9.15m Semi
18012

THIS NOTE INDICATES 45 MIN. FIRE WALL CONDITION IF LESS THAN 1.2m TO PROPERTY LINE



OPTIONAL SECOND FLOOR PLAN '1'
(4 BEDROOM)

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
FEB 07 2018
BY
MARY PHENETTE

ELEV. '1'-REV.
ELEV. '1'

CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEWED
FEB 01 2018
BY
TODD PAYNE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving site posting plans or working drawings with respect to any zoning or building code or permit matter or that any House can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.



ALL PLUMBING SHALL CONFORM TO THE ONTARIO BUILDING CODE, O.B.C. 332/12, AS AMENDED, DIVISION B, PART 7.

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
MAR 28 2018
PLUMBING BY
KOFI MORIEL

W Architect Inc.
DESIGN CONTROL REVIEW
OCT 17 2018
FINAL BY: *Ctee*
This stamp is only for the design control and carries no other professional obligations.

HEMLOCK 3
COMPLIANCE PACKAGE A1

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC 9.5.2.3, 3.8.3.8.(1)(4) & 3.8.3.15.(1)(V).

NO.	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY
18						
17						
16						
15						
14						
13						
12						
11						
10						
9						
8						
7						
6						
5						
4						
3						
2						
1						

For undersigned has examined and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Signature: *Richard Vink*
Name: Richard Vink
Firm: V3 Design Inc.
Address: 255 Consumers Rd Suite 120, Toronto, ON M2J 1R4
Phone: 416.630.2255 / 416.630.4782
Email: info@v3design.com
V3 Design Inc.

V3 DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
416.630.2255 / 416.630.4782
info@v3design.com

Greenpark.
MINNISALE HOMES CORP.
BRAMPTON
OPT. SECOND FLOOR PLAN - ELEV. '1'
DATE: MAY 2018
CHECKED BY: *3/16" = 1'-0"*
18017-HEMLOCK-3
A4

HEMLOCK 3
9.15m Semi
Project No. 18012

Architectural elevation drawing of a two-story house. The drawing includes detailed dimensions for roof pitches, window heights, and wall materials. A red stamp in the top right corner reads "TOWN OF HAMPTON 311 DIAL DIVISION DESIGN REVIEWED FEB 01 2019 BY TPOD PAYNE".

Roof and Gables:

- Roof pitches: 8:12, 6.5:12, 8:12.
- Gable pitches: 12:12.
- Roofing: ASPHALT SHINGLES.
- Valley: VALLEY FLASHING.
- Eaves: PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.).

Exterior Walls:

- FACE BRICK (TYP.).
- BRICK SOLDIER ARCH + KEYSTONE.
- PRECAST CONC. SILL ON BRICK SOLDIER.
- PREFIN. MTL. FLASHING, W/ CAULKING TO MATCH (TYP.).
- BRICK SOLDIER w/ KEYSTONE.
- PRECAST CONC. SILL ON BRICK ROWLOCK BAND (TYP.).
- POURED CONC. DOOR SILL & PORCH SLAB.
- POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.).

Windows:

- Second Floor: 36" x 48" windows with 12" x 12" panes.
- First Floor: 36" x 48" windows with 12" x 12" panes.
- Window heights: 4'-0", 4'-5", 5'-0", 5'-6".

Doors and Entryways:

- Central Garage: 8'-0" x 7'-0" GARAGE DOOR G18-B.
- Side Entrances: 36" x 48" doors with 12" x 12" panes.
- Entryways: 8" x 8" COLUMNS ANCHORED TO CONCRETE SLAB (TYP.). PROVIDE SIMPSON STRONG-TIE CONNECTOR FOR POST-BEAM CONNECTION (TYP.).
- BRICK ROWLOCK/SOLDIER HEADER W/ KEYSTONE.
- SUNKEN FOYER.

Dimensions and Levels:

- Overall height: 22'-5" (8.83M).
- Roof height: 4'-5".
- Second floor height: 8'-10".
- First floor height: 8'-11".
- Ground floor height: 8'-4".
- Levels: TOP OF PLATE, TOP OF WINDOW, FIN. SECOND FLOOR, FIN. GROUND FLOOR, FIN. GRADE, TOP OF SLAB.

FRONT ELEVATION - ELEV. 1-REV.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any houses can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

[illegible]

MAY 2018 FRONT ELEVATION 1

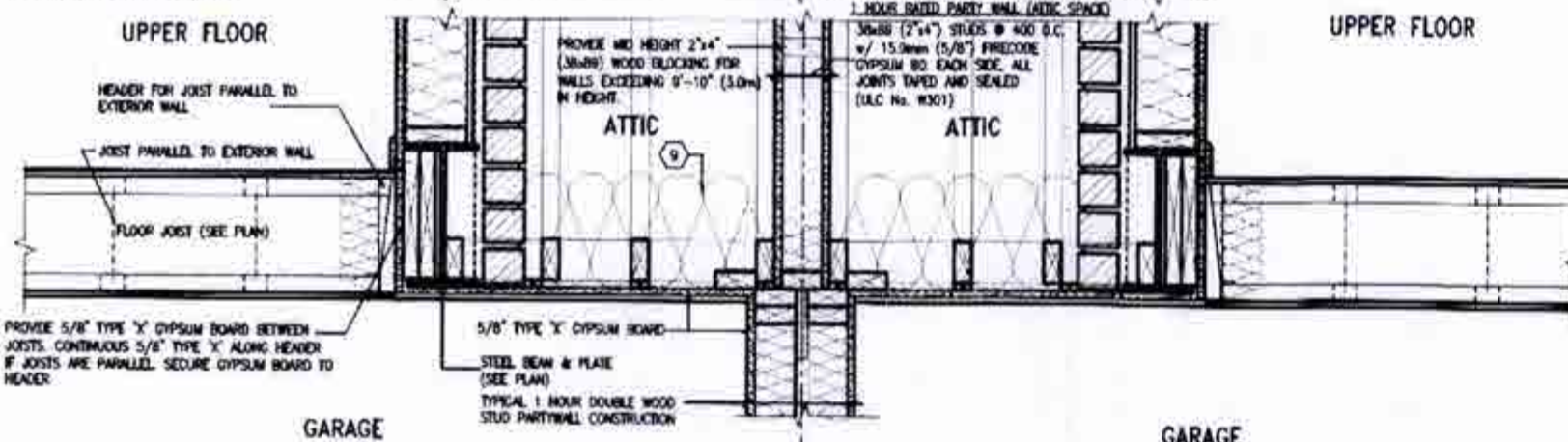
drawn by	checked by	DATE	BY NAME
-	-	3/16" = 1'-0"	18012-HEM.OCK-3

A5

DWG = H:\WORKING\WORKSP\2018\12\01\1-dwg\1.1.dwg Save=HEM.OCK.18012-HEM.OCK-3.dwg - Rev = Jul 25 2016 - 10:02 AM

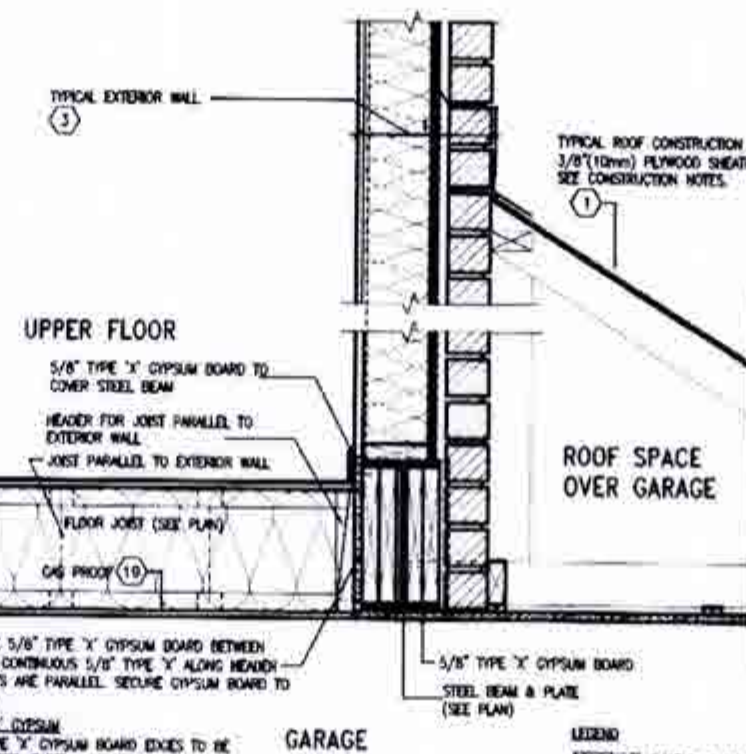
45MIN. F.R.R. BRICK VENEER CONSTRUCTION

PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE "X" OYSPUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CANULC-5702. "MINIMUM PERME. INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 kg/50mm AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE "X" & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE "X" IS INSTALLED IN GARAGE EXTERIOR WALLS.
(REFER TO SECTION SB-2 OF CBC 2012-SUPPLEMENTARY STANDARDS)



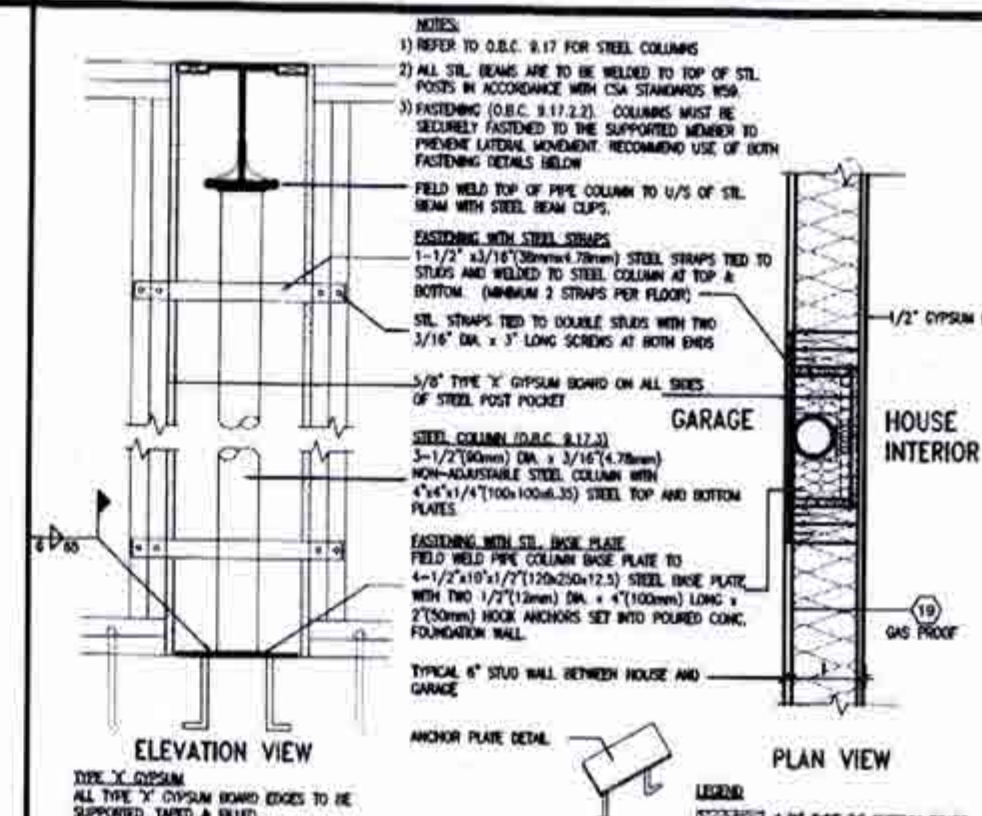
TYPE "X" OYSPUM
ALL TYPE "X" OYSPUM BOARD EDGES TO BE SUPPORTED, TAPED & FILLED.
LEGEND:
5/8" TYPE "X" OYSPUM BOARD

1 SECTION THRU FIRE RATED WALL
8 FLUSH CEILING/ RAISED STL. BM. SCALE: N.T.S.



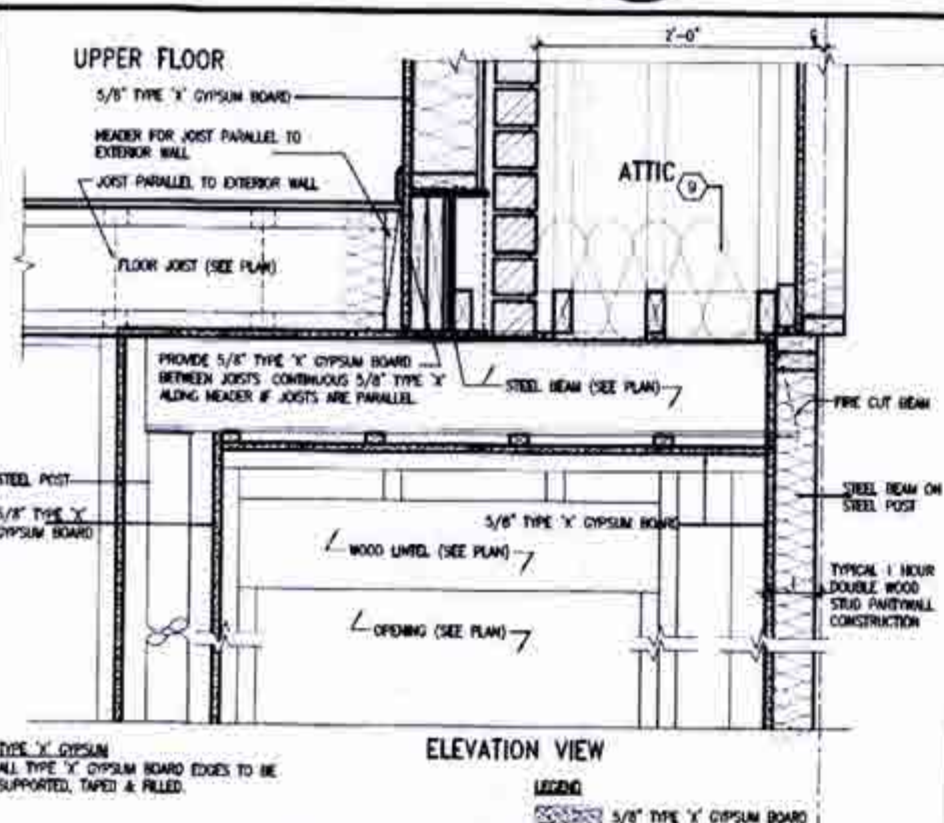
TYPE "X" OYSPUM
ALL TYPE "X" OYSPUM BOARD EDGES TO BE SUPPORTED, TAPED & FILLED.
LEGEND:
5/8" TYPE "X" OYSPUM BOARD

2 RATED STEEL BEAM OVER GARAGE
8 FLUSH CEILING/ RAISED STL. BM. SCALE: N.T.S.



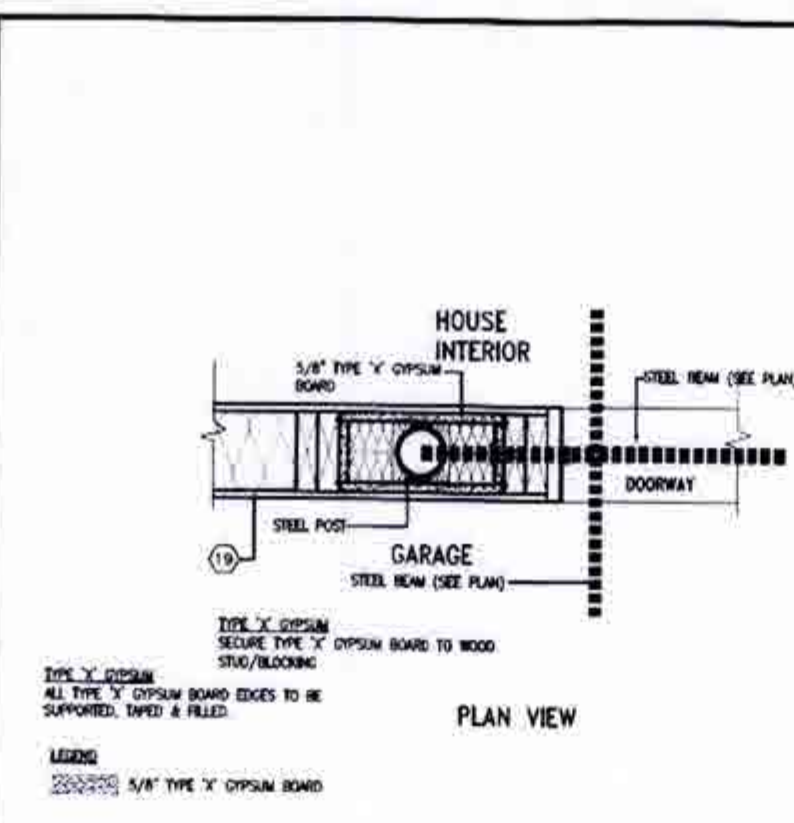
TYPE "X" OYSPUM
ALL TYPE "X" OYSPUM BOARD EDGES TO BE SUPPORTED, TAPED & FILLED.
LEGEND:
5/8" TYPE "X" OYSPUM BOARD

3 RATED STEEL POST POCKET
8 SCALE: N.T.S.



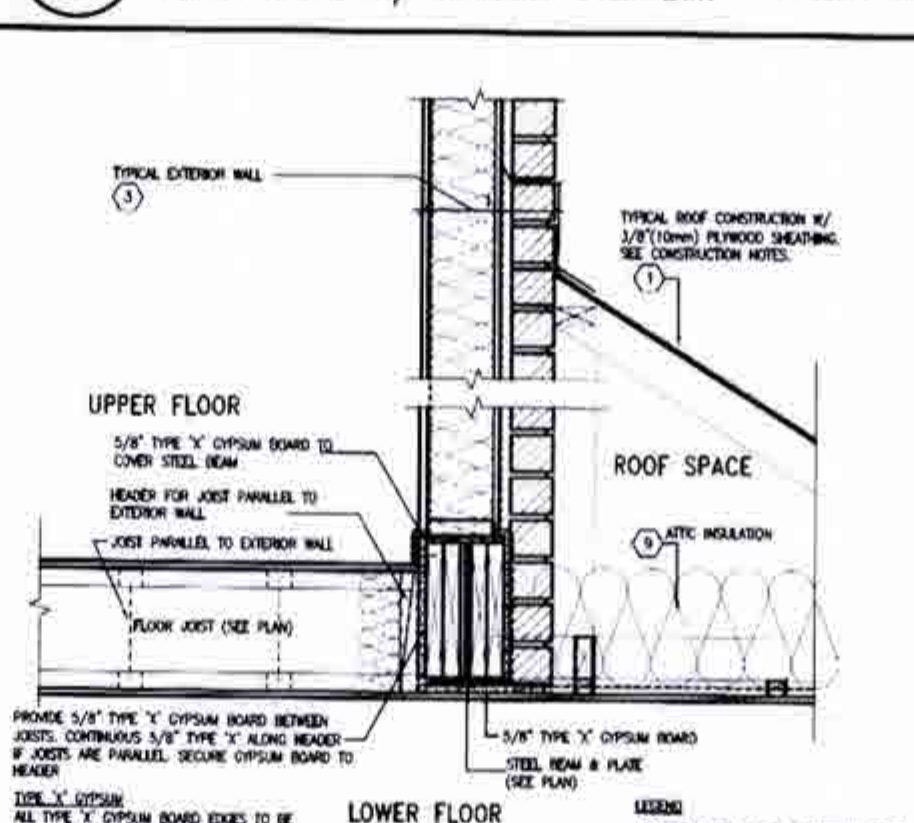
TYPE "X" OYSPUM
ALL TYPE "X" OYSPUM BOARD EDGES TO BE SUPPORTED, TAPED & FILLED.
LEGEND:
5/8" TYPE "X" OYSPUM BOARD

4 SECTION THRU FIRE RATED WALL
8 FLUSH CEILING/ RAISED STL. BM. SCALE: N.T.S.



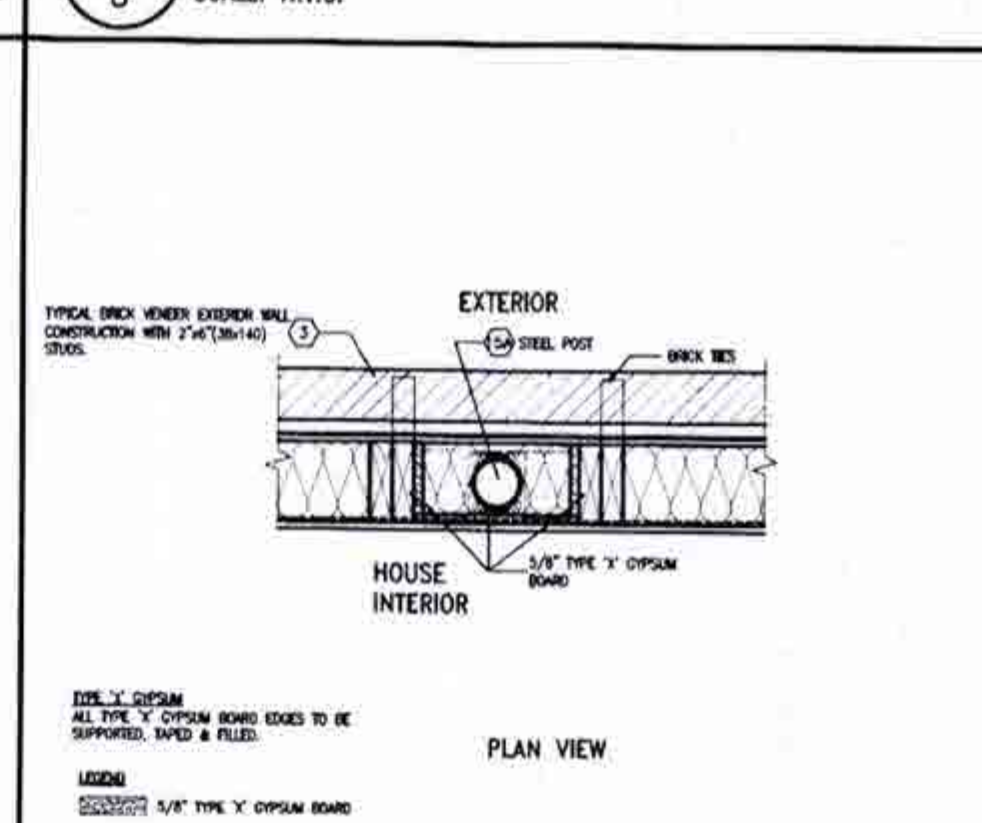
TYPE "X" OYSPUM
ALL TYPE "X" OYSPUM BOARD EDGES TO BE SUPPORTED, TAPED & FILLED.
LEGEND:
5/8" TYPE "X" OYSPUM BOARD

5 RATED STEEL POST POCKET
8 SCALE: N.T.S.



TYPE "X" OYSPUM
ALL TYPE "X" OYSPUM BOARD EDGES TO BE SUPPORTED, TAPED & FILLED.
LEGEND:
5/8" TYPE "X" OYSPUM BOARD

6 RATED STEEL BEAM OVER LIVING SPACE
8 FLUSH CEILING/ RAISED STEEL BM. SCALE: N.T.S.



TYPE "X" OYSPUM
ALL TYPE "X" OYSPUM BOARD EDGES TO BE SUPPORTED, TAPED & FILLED.
LEGEND:
5/8" TYPE "X" OYSPUM BOARD

7 RATED STEEL POST POCKET @ EXT. WALL
8 SCALE: N.T.S.



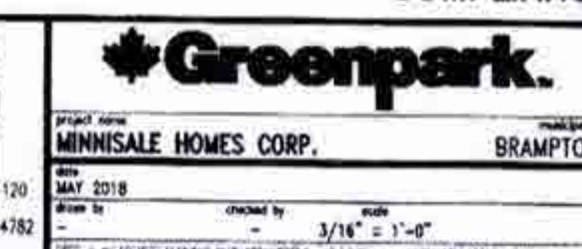
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for overlooking or overlooking any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

JAN 08 2019

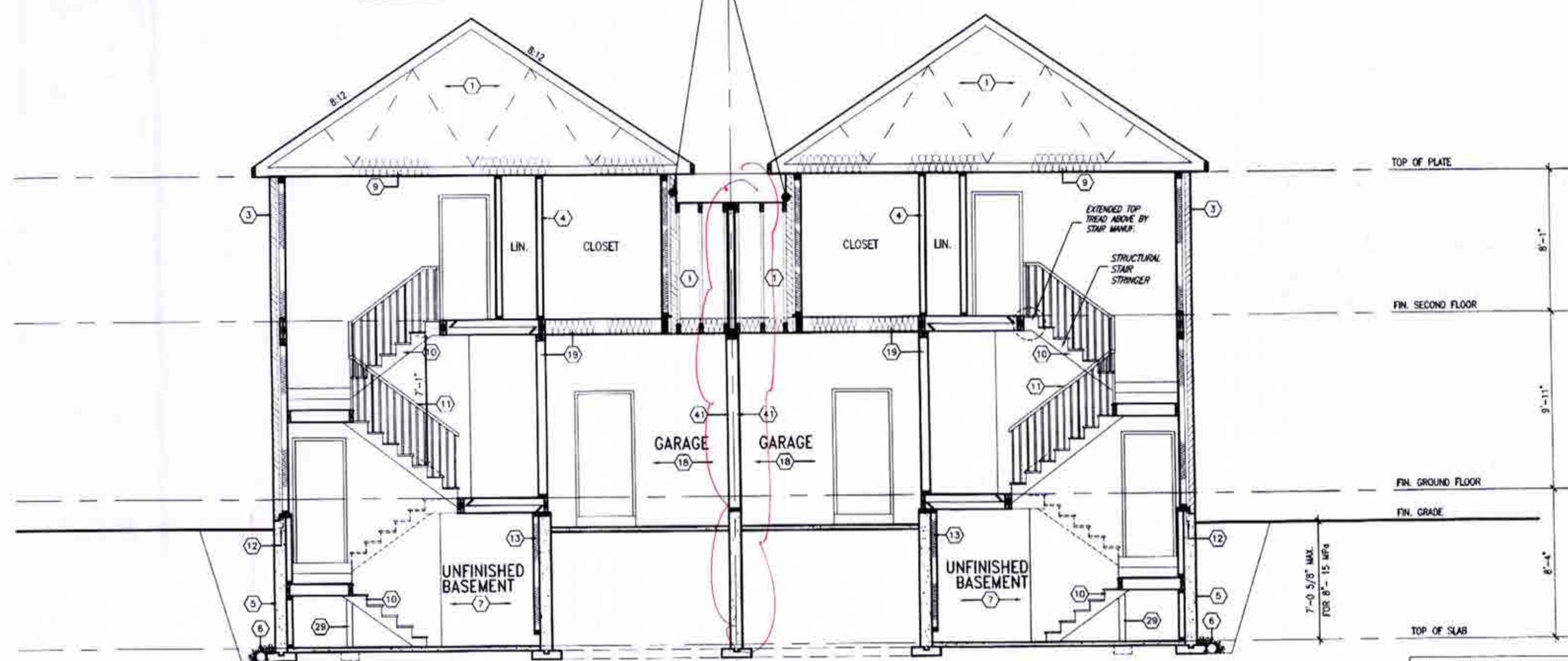
HEMLOCK 3
COMPLIANCE PACKAGE A1

No.	Description	Date	By	Check	By
1	ISSUED FOR PERMIT	JULY 23/18	OW		
2	REVISED PER CLIENT/ ENGINEER COMMENTS	JULY 19/18	OW		
3	REVISED PER FLIP & TRUSS CO-ORD.	JUNE 26/18	OW		
4	REVISED PER CLIENT COMMENTS	JUNE 13/18	OW		
5	ISSUED FOR CLIENT REVIEW AND COMMENTS	MAY 24/18	OW		



HEMLOCK 3
9.15m Semi
18012
A8

BRICK VENEER CONSTRUCTION
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE-RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-5702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)



SECTION A-A
ELEVATION '1'

SECTION A-A
ELEVATION '1'-REV

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements, including zoning provisions and any provisions in the subdivision agreement. The Contract Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that an house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.



CITY OF BOSTON
BUILDING DEPARTMENT
RECEIVED
FEB 07 2011
BY
MAYOR FORDNEY

JAN 08 2019

HEMLOCK 3
COMPLIANCE PACKAGE A1

Greenpark.

HEMLOCK 3
9.15m Semi

VA3
DESIGN

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

project name MINNISALE HOMES CORP.	location BRAMPTON	project no. 180
date MAY 2018		
drawing no. A9		
description CROSS SECTION A-A ELEV. '1'		
drawn by —	checked by —	scale 3/16" = 1'-0"
file name 18012-HEMLOCK-3		
path \\c:\p\projects\18012-HEMLOCK-3\18012-HEMLOCK-3.dwg		
date May 7, 2018		
time 14:33		

18			9		
17			8		
16			7		
15			6		
14			5	ISSUED FOR PERMIT	JULY 23/16
13			4	REVISED PER CLIENT / ENGINEER COMMENTS	JULY 19/16
12			3	REVISED PER FLR & TRUSS CO-ORD.	JUNE 28/16
11			2	REVISED PER CLIENT COMMENTS	JUN. 13/16
10			1	ISSUED FOR CLIENT REVIEW AND COMMENTS	MAY 24/16

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer	
qualification information.	
Richard Vink	24488
name	signature
registration designation	9381
VAS Design Inc.	42658
Contractor must verify all dimensions on the plan and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.	

ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE



VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26°, A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

FINAL BY: GTE
JUL 27 2018
This stamp is only for the purposes of design control and carries no other professional obligation.

HEMLOCK 3
9.15m Semi

[illegible]

REAR ELEVATION ELEV. '1'
W.O.D. CONDITION

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

18		9				The undersigned has examined each sheet individually for this stamp and has the qualifications and meets the requirements set out in the Ontario Building Code as an Ontario	 VAB DESIGN 255 Commercial Row Suite 120 Toronto, ON M5G 1R4 T 416.530.2725 F 416.630.4782 www.vabdesign.com	 Greenpark. project name MINNISALE HOMES CORP. municipality BRAMPTON	HEMLOCK 3 9.15m Semi project no. 18012
17		8			certification information				
16		7			Richard Vink 24488 signature				
15		6			name signature 24488 42854				
14		5		ISSUED FOR PERMIT	JULY 23/18 ON	same	Contractor must verify all dimensions on the job and report any discrepancy to the Engineer immediately, providing with the facts. All drawings and specifications are instruments of service and the property of the Engineer must not be retained at the completion of the job. Drawings are not to be used.	REAR ELEVATION W.O.D. CONDITION date MAY 2018 drawn by checked by 3/16" = 1'-0" 18012-HEMLOCK-3 (PWS = HEMLOCK3-HEMLOCK3-18012-3) (HWS = HWS-HEMLOCK3-18012-3) (SWS = SWS-HEMLOCK3-18012-3) (SWS = SWS-HEMLOCK3-18012-3) (SWS = SWS-HEMLOCK3-18012-3)	A11
13		4		REVISED PER CLIENT / ENGINEER COMMENTS	JULY 19/18 ON	VAB Design Inc.			
12		3		REVISED PER PLR & TRUSS CO-ORD	JUNE 28/18 ON				
11		2		REVISED PER CLIENT COMMENTS	JUNE 13/18 ON				
10		1		ISSUED FOR CLIENT REVIEW AND COMMENTS	MAY 24/18 ON				
9									
8									
7									
6									
5									
4									
3									
2									
1									
0									
description		date	by	description	date	by			