

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

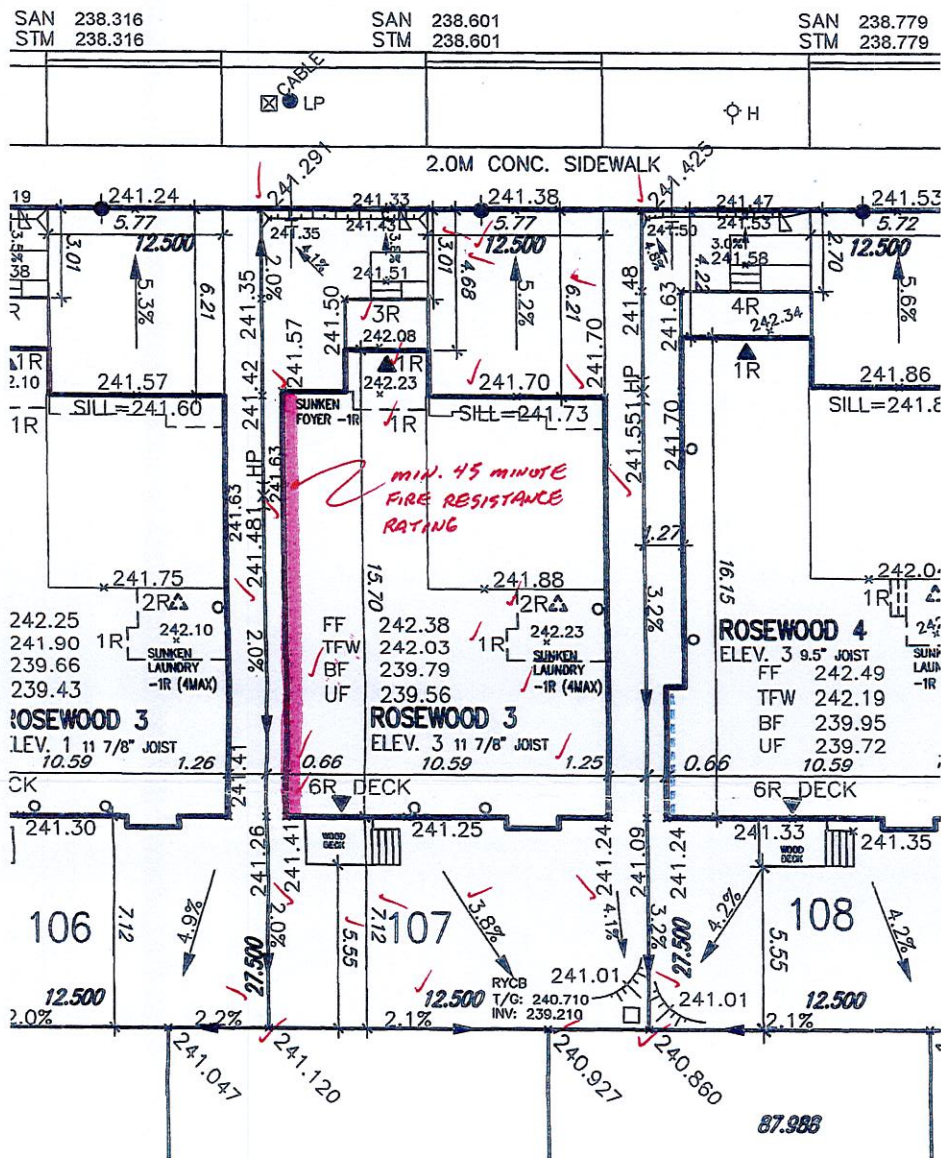
ARCHITECTURAL REVIEW & APPROVAL

FEB 11 2019

John G. Williams Limited, Architect

241.066 241.141_x *241.183 241.288_x *241.342 241.417_x
*241.166 *241.300

SKINNER ROAD



CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
FEB 22 2019
REC. BY _____ DATE _____
REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division

Permit No. 19-107857-00-29

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL DATE

THIS LOT GRADING PLAN HAS BEEN REVIEWED BY METROPOLITAN CONSULTING INC. FOR CONFORMANCE WITH THE APPROVED SUBDIVISION GRADING DESIGN. THE PROPOSED GRADES ON THIS PLAN ARE IN GENERAL CONFORMITY WITH THE APPROVED GRADING PLAN AS IT RELATES TO THIS LOT AND ADJACENT LOTS. WHERE THE BASEMENT FLOOR OR OTHER FOUNDATION ELEVATIONS ARE PROPOSED AT A DIFFERENT ELEVATION THAN THAT SHOWN ON THE APPROVED SUBDIVISION PLANS THE SEWER LATERALS HAVE BEEN REVIEWED AND WE ARE SATISFIED THAT THE MINIMUM GRADES FOR THESE LATERALS CAN BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE O.B.C. AND CITY DESIGN CRITERIA. NOTE: THIS CERTIFICATION DOES NOT REPLACE THE BUILDER'S RESPONSIBILITY TO EXPOSE THE SEWER LATERALS AND CONFIRM ELEVATIONS PRIOR TO EXCAVATING FOR THE FOUNDATION. BY USE OF THIS PLAN THE BUILDER AGREES THAT THEY SHALL BE RESPONSIBLE FOR DISCREPANCY OR VARIATION BETWEEN THE LATERAL INFORMATION AND GRADES DEPICTED ON THIS PLAN AND THE CONDITIONS FOUND IN THE FIELD.



LOT 107		
LOT No.	LOT WIDTH (M)	LOT AREA (M ²)
107	12.50	344

Grading Notes:

It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

VA3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to VA3 Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

These drawings are to be read in conjunction with municipal approved site engineering drawings prepared by Metropolitan Consulting Inc.

NOTE: REFER TO LANDSCAPE DRAWINGS FOR ALL FENCING TYPES, HEIGHTS AND LOCATIONS. CONTRACTOR TO VERIFY PRIOR TO INSTALLATION.

PROPOSED VALVE LP LIGHT POLE HYDRANT TRANSFORMER WATER SERVICE DOUBLE STM/SAN. CONNECTION SINGLE STM/SAN. CONNECTION CATCH BASIN CABLE TELEVISION PEDESTAL BELL PEDESTAL	No. OF RISERS FF FINISHED FLOOR ELEVATION UF UNDERSIDE FOOTING ELEVATION BF FIN. BASEMENT FLOOR SLAB TOP OF FOUNDATION WALL UFR UNDERSIDE FOOTING AT REAR UFF UNDERSIDE FOOTING AT FRONT UFS UNDERSIDE FOOTING AT SIDE W.O.D. WALK OUT DECK W.O.B. WALK OUT BASEMENT REV REVERSE PLAN	STREET SIGN SUPER MAIL BOX RETAINING WALL CHAIN LINK FENCE ACOUSTICAL FENCE (SEE LANDSCAPE PLAN) WOOD SCREEN FENCE (SEE LANDSCAPE PLAN) HYDRO SERVICE LATERAL SWALE DIRECTION EMBANKMENT (3:1 SLOPE unless otherwise noted)	PROMOTE 3/4" DIA. CLEAR STONE IN THIS AREA THIS LOT CONTAINS ENGINEERED FILL AIR CONDITIONER REQUIRED RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD) SIDE WINDOW LOCATION EXTERIOR DOOR LOCATION REDUCE SIDE YARD
---	---	---	---

9.					
8.					
7.					
6.					
5.					
4.					
3.					
2.	ISSUED FOR PERMIT.	JAN 17/19	GW		
1.	ISSUED FOR REVIEW.	JAN 14/19	GW		
no.	description	date	by		

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark
project name
RUSSELL GARDENS PHASE 2
date
JANUARY 2019
drawn by
GW
checked by
-
scale
1:250
file name
16036-RG2-SP
GREG - H:\ARCHIVE\WORKING\2016\16036.GRE\SITE\16036-RG2-SP.dwg - Thu - Jan 17 2019 - 9:24 AM

lot/block no.
107
registered plan no.
16036
project no.
16036
drawing no.
1