

--- STORM CONNECTION

--- SANITARY CONNECTION

W WATER CONNECTION

IT HYDRO CONNECTION

□ DOUBLE CATCH BASIN

□ CATCH BASIN

○ HYDRANT

⊗ VALVE AND CHAMBER

△ ENTRANCE DOOR LOCATION

▲ GARAGE DOOR LOCATION

* ENGINEERED FILL LOT

● SANITARY MANHOLE

○ STORM MANHOLE

⊞ COMMUNITY MAIL BOX

○ DOWNSPOUT LOCATION

→ SWALE DIRECTION

● STREET LIGHT

⊞ TRANSFORMER

⊞ CABLE TV PEDESTAL

⊞ BELL PEDESTAL

⊞ HYDRO METER

⊞ GAS METER

⊞ AIR-CONDITIONING UNIT

⊞ SUMP PUMP

F.F.R. FINISHED FLOOR ELEVATION

T.WALL TOP OF FOUNDATION WALL

F.SLAB FIN. BASEMENT FLOOR SLAB

L.F.T.G. UNDERSIDE FOOTING ELEVATION

PROPOSED 3:1 SLOPE

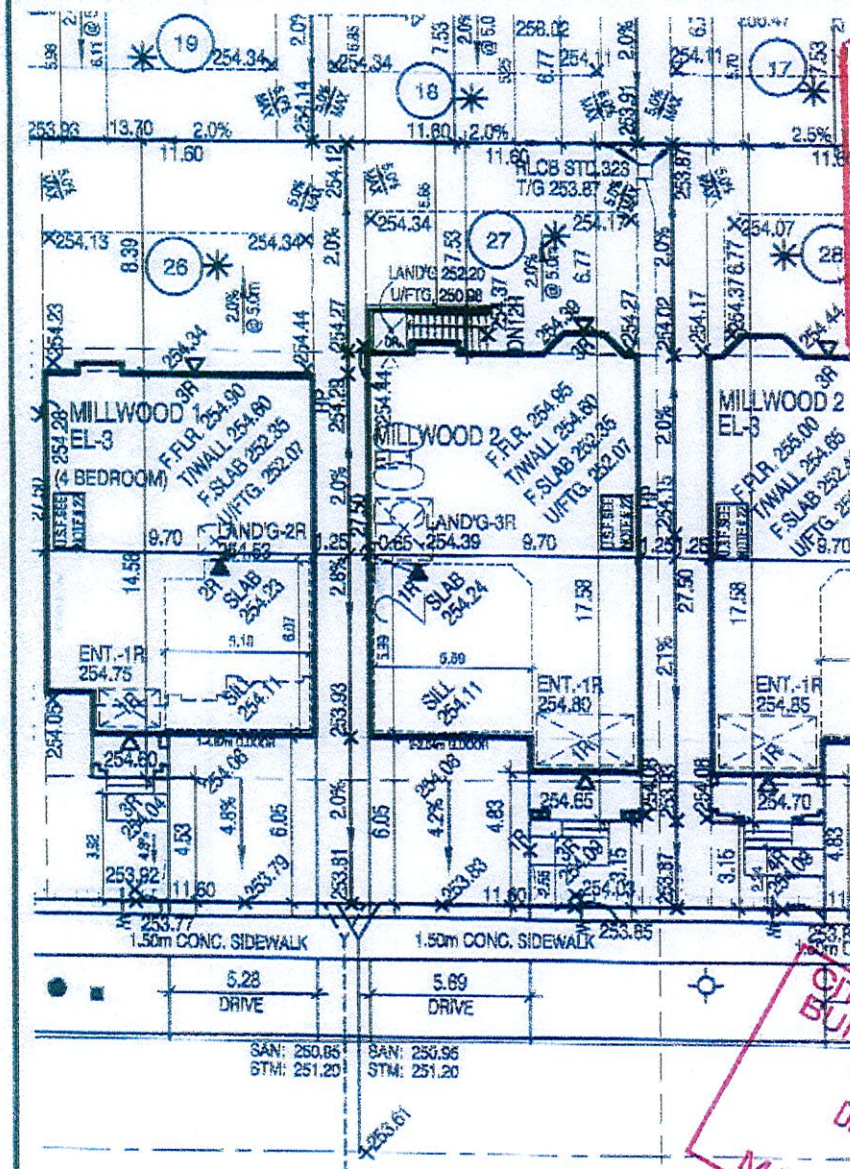
100.00 PROPOSED GRADE

(100.00) EXISTING GRADE

SW PROPOSED SWALE GRADE

x100.00

NORTH



ENGINEERED FILL ON LOT(S)

PROVIDE COPIES OF SOIL ENGINEER'S REPORT(S) TO THE INSPECTOR BEFORE FOOTING CONSTRUCTION

W Architect Inc.

DESIGN CONTROL REVIEW

OCT 17 2018

FINAL BY: *GGE*

This stamp is only for the purposes of design control and carries no other professional obligations.

GRADING CERTIFICATION

- THE PROPOSED LOT GRADING AND DRAINAGE IS APPROVED AS BEING IN CONFORMITY WITH THE OVERALL APPROVED GRADING PLANS FOR THE SUBDIVISION.
- THE BUILDING IS RESPONSIBLE FOR RELOCATION OF ALL THE UTILITIES ON SITE.
- THE BUILDING MUST TOPSOIL AND SOIL ALL OUTLETS.
- DOWNSPOUTS SHALL DISCHARGE TO THE GROUND SURFACE VIA SPLASH PANS.
- BRICKLINE TO BE 150mm TO 200mm ABOVE FINAL GRADE AT ROOF.

SCHAEFER & ASSOCIATES LIMITED

SIGNATURE OF ENGINEER: *[Signature]*

DATE: **OCT 20 2018**

BUILDING HEIGHT (FROM ESTABLISHED GRADE)		
LOT No.	ESTABLISHED GRADE	BUILDING HEIGHT (10.6 MAX)
27	254.22	8.41m

45 MINUTE RATED WALL WITH SIDE YARD < 1.2m

GRADING AND DRAINAGE NOTES

- THESE STANDARDS ARE FOR URBAN LOTS AND ARE GENERAL IN NATURE. OTHER LOTS MAY REQUIRE CHANGES.
- LAWS AND SLOPES SHALL HAVE A MINIMUM SLOPE OF 2% AND A MAXIMUM SLOPE OF 8%.
- WHERE GRADES IN EXCESS OF 8% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1 IN ANY CASE. GRADE CHANGES IN EXCESS OF 1m ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.9m SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE. TOWER WALL WILL NOT BE PERMITTED.
- THE MAXIMUM DEPTH OF REAR YARD SWALES SHALL BE 0.3m. THE MAXIMUM FLOW ALLOWED IN A REAR YARD SWALE SHALL BE THAT FROM 5 REAR YARDS. SWALE LENGTHS SHALL NOT BE GREATER THAN 3 LOT WIDTHS.
- THE MAXIMUM DEPTH OF SIDE YARD SWALES SHALL BE 0.2m. THE GRADE ADJACENT TO THE HOUSE SHALL FOLLOW THE GRADE OF THE SWALE. THE MAXIMUM SLOPE IN A SIDE SWALE IS THAT FROM 4 REAR YARDS.
- AT LEAST ONE SIDE YARD OF ALL UNITS SHALL HAVE A SIDE APRON (2% SLOPE) OF 0.8m MINIMUM.
- A REAR APRON (2% SLOPE) OF 0.8m MINIMUM SHALL BE PROVIDED FOR ALL DETACHED UNITS.
- A REAR LOT CATCHBASIN GRATES TO BE 75mm BELOW FINISHED GRADE.
- DOWNSPOUTS TO DISCHARGE ONTO GROUND ON SPLASH PANS. DOWN SPOUTS SHALL NOT DISCHARGE ACROSS WALKWAYS.
- WEEDING TILE DRAINAGE TO BE ACCORDANCE WITH THE CITY OF BRAMPTON SUBDIVISION DESIGN STANDARDS.
- 150mm OF TOPSOIL SHALL BE APPLIED TO EACH LOT PRIOR TO SOODING.
- DRIVEWAY GRADINGS SHALL NOT BE LESS THAN 2% AND NOT GREATER THAN 8%.
- THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF A DRIVEWAY AND A UTILITY STRUCTURE IS 1.0m.
- HOUSE STYLES ARE TO BE USED TO SUIT THE LOT GRADING.
- SOIL-DETACHED AND TOWNHOUSE UNITS TO EMPLOY SPLIT BRACKETS.
- PATIO STONES MUST BE INSTALLED ALONG THE SIDE ENTRANCE.
- THIS IS MEANT TO BE READ IN CONJUNCTION WITH THE CITY OF BRAMPTON SUBDIVISION DESIGN CRITERIA.
- 0.15m CLEARANCE MUST BE PROVIDED BETWEEN THE BRICKLINE AND THE FINAL GROUND ELEVATION AT THE HOUSE.
- 0.20m CLEARANCE MUST BE PROVIDED BETWEEN THE ROOF AND THE FINAL GROUND ELEVATION AT THE HOUSE.
- ALL DRIVEWAY WIDTHS AND DRIVEWAY PAVING SHALL BE AS PER CITY OF BRAMPTON STANDARDS.
- BUILDER TO PROVIDE LAYOUT FOR THE LOCATION OF CURB REPRESSIONS WHEN REQUESTED BY THE ENGINEER.
- FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER MUNICIPAL SERVICES SHALL BE INSTALLED BELOW THE LEAD PIPE LOCATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND AND SOIL CONSULTANTS VERIFICATION REQUIRED.
- SOIL CONSULTANT TO BE NOTIFIED PRIOR TO DIGGING INTO ENGINEERED FILL LOTS.
- SOIL CONSULTANT VERIFICATION IS REQUIRED FOR FOOTING CONSTRUCTION ON ENGINEERED FILL LOTS.
- LASTING NOT TO BE USED AS BEDDING FOR KEEPING TILE AND ENLIGHTEN SLAB IF PROVIDED.

REVISIONS:

5	All work shall conform to the Ontario Building Code O. Reg. 332/12 as amended
4	
3	
2	OCT. 11, 2018 ISSUED FOR PERMIT
1	SEPT. 17, 2018 ISSUED FOR ENGINEERS GRADING REVIEW.

Greenpark.

MINNISALE HOMES CORP.

PROJ. No. 18-24

LOT No. 27

SCALE 1:250

5m 0m 5m 10m

MUNICIPAL ADDRESS

4377-2060

PLAN OF SUBDIVISION OF PART OF LOT 17 CONCESSION 4, EAST OF HUROTARIO STREET

CITY OF BRAMPTON REGISTERED PLAN 43M

BILD

Walter Schaefer

NAME

21037

SIGNATURE

BCIN

IN REGISTRATION INFORMATION, Requested unless design is exempt under Division C, Subsection 3.2.4 of the Building Code.

jardin design group inc.

27763

TRM NAME

BCIN

jardin

DESIGN GROUP INC.

64 JARDIN DR, SUITE 3A

VAUGHAN ONT. L4K 3P3

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