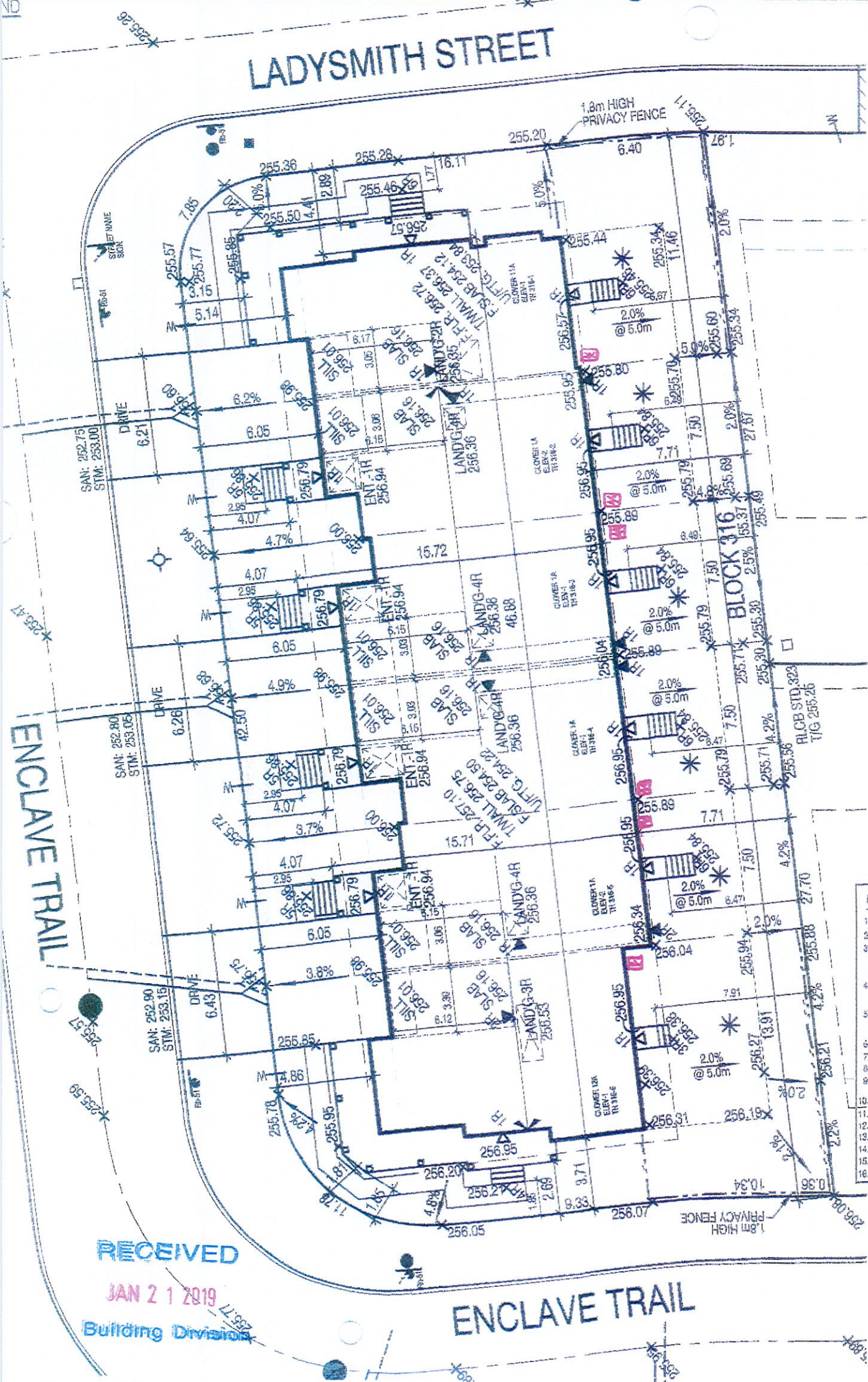


CATCH BASIN
HYDRANT
VALVE AND CHAMBER
COMMUNITY MAILBOX
DOWNSPOUT LOCATION
SWALE DIRECTION
GAS METER
AIR-CONDITIONING UNIT
TELECOM. JUNCTION BOX
100.00
(100.00)
SW
X100.00
PROPOSED GRADE
EXISTING GRADE
PROPOSED SWALE GRADE



W Architect Inc.
DESIGN CONTROL REVIEW
OCT 26 2018
FINAL BY: *[Signature]*
This stamp is only for the purposes of design control and carries no other professional obligations

- GRADING CERTIFICATION**
- 1) THE PROPOSED LOT GRADING AND DRAINAGE IS APPROVED AS BEING IN CONFORMITY WITH THE OVERALL APPROVED GRADING PLANS FOR THE SUBDIVISION.
 - 2) THE BUILDER IS RESPONSIBLE FOR RELOCATION OF ALL THE UTILITIES ON SITE.
 - 3) THE BUILDER MUST TOPSOIL AND SOD ALL BOULEVARDS.
 - 4) DOWNSPOUTS SHALL DISCHARGE TO THE GROUND SURFACE VIA SPLASH PADS.
 - 5) BRICKLINE TO BE 150mm TO 200mm ABOVE FINAL GRADE AT HOUSE
- SCHAEFFER & ASSOCIATES LIMITED

- DATE: **14 2018**
17. THIS IS MEANT TO BE READ IN CONJUNCTION WITH THE CITY OF BRAMPTON SUBDIVISION DESIGN CRITERIA.
18. 0.15m CLEARANCE MUST BE PROVIDED BETWEEN THE BRICKLINE AND THE FINAL GROUND ELEVATION AT THE HOUSE.
19. 0.20m CLEARANCE MUST BE PROVIDED BETWEEN THE SIDE AND THE FINAL GROUND ELEVATION AT THE HOUSE.
20. ALL DRIVEWAY WIDTHS AND DRIVEWAY PAVING SHALL BE AS PER CITY OF BRAMPTON STANDARDS.
21. BUILDER TO PROVIDE LAYOUT FOR THE LOCATION OF CURB DEPRESSIONS WHEN REQUESTED BY THE ENGINEER.
22. FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER MUNICIPAL SERVICES SHALL BE INSTALLED BELOW THE LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND AND SOIL CONSULTANTS VERIFICATION REQUIRED.
23. SOIL CONSULTANT TO BE NOTIFIED PRIOR TO DIGGING INTO ENGINEERED FILL LOTS.
24. SOIL CONSULTANT VERIFICATION IS REQUIRED FOR FOOTING CONSTRUCTION ON ENGINEERED FILL LOTS.
25. LIMESTONE NOT TO BE USED AS BEDDING FOR WEAVING TILE AND BASEMENT SLAB IF FOC PROVIDED.

- GRADING AND DRAINAGE NOTES**
1. THESE STANDARDS ARE FOR URBAN LOTS AND ARE GENERAL IN NATURE. CERTAIN LOTS MAY REQUIRE CHANGES.
 2. LAWNS AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2% AND A MAXIMUM SLOPE OF 6%.
 3. WHERE GRADES IN EXCESS OF 8% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1 IN ANY CASE. GRADE CHANGES IN EXCESS OF 1m ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.6m SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE. TIMBER WALL WILL NOT BE PERMITTED.
 4. THE MAXIMUM DEPTH OF REAR YARD SWALES SHALL BE 0.6m. THE MAXIMUM FLOW ALLOWED IN A REAR YARD SWALE SHALL BE THAT FROM 6 REAR YARDS. SWALE LENGTHS SHALL NOT BE GREATER THAN 3 LOT WIDTHS.
 5. THE MAXIMUM DEPTH OF SIDE YARD SWALES SHALL BE 0.2m. THE GRADE ADJACENT TO THE HOUSE SHALL FOLLOW THE GRADE OF THE SWALE. THE MAXIMUM SLOPE IN A SIDE SWALE IN THAT FROM 4 REAR YARDS.
 6. AT LEAST ONE SIDE YARD OF ALL UNITS SHALL HAVE A SIDE APRON (2% SLOPE) OF 0.6m MINIMUM.
 7. A REAR APRON (2% SLOPE) OF 5m MINIMUM SHALL BE PROVIDED FOR ALL DETACHED UNITS.
 8. A REAR LOT CATCHBASIN GRATES TO BE 75mm BELOW FINISHED GRADE.
 9. DOWNSPOUTS TO DISCHARGE ONTO GROUND ON SPLASH PADS. DOWN SPOUTS SHALL NOT DISCHARGE ACROSS WALKWAYS.
 10. WEAVING TILE DRAINAGE TO BE ACCORDANCE WITH THE CITY OF BRAMPTON SUBDIVISION DESIGN STANDARDS.
 11. 150mm OF TOPSOIL SHALL BE APPLIED TO EACH LOT PRIOR TO SODDING.
 12. DRIVEWAY GRADES SHALL NOT BE LESS THAN 2% AND NOT GREATER THAN 8%.
 13. THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF A DRIVEWAY AND A UTILITY STRUCTURE IS 1.2m.
 14. HOUSE STYLES ARE TO BE USED TO SUIT THE LOT GRADING.
 15. SEMI-DETACHED AND TOWNHOUSE UNITS TO EMPLOY SPLIT DRAINAGE.
 16. PATIO STONES MUST BE INSTALLED ALONG THE SIDE ENTRANCE.

BUILDING HEIGHT (FROM ESTABLISHED GRADE)		
LOT No.	ESTABLISHED GRADE	BUILD'G HEIGHT (10.6 MAX)
BLK. 316	255.90	8.40m

45 MINUTE RATED WALL WITH SIDE YARD < 1.2m

5		
4		
3		
2	OCT. 11, 2018	ISSUED FOR PERMIT
1	SEPT. 18, 2018	ISSUED FOR ENGINEERS GRADING REVIEW.

REVISIONS:

Air conditioning is mandatory.
Exterior windows must meet a minimum rating of STC 26.
Reviewed for acoustics matters only. No responsibility is assumed for other aspects.
VALCOUSTICS CANADA LTD

CITY OF BRAMPTON BUILDING DIVISION REVIEWED
JAN 21 2019
BY MARK DERKSEN

Greenpark
SCALE 1:250
5m 0m 5m 10m

NISALE HOMES CORP.
No. 18-24 MUNICIPAL ADDRESS
o. BLK 316

BILD

PLAN OF SUBDIVISION OF PART OF LOT 17 CONCESSION 4, EAST OF HURONTARIO STREET (GEOGRAPHIC TOWNSHIP OF CHINGACOLUS) REGIONAL MUNICIPALITY OF PEEBLES CITY OF BRAMPTON REGISTERED PLAN 43M.

jardin DESIGN GROUP INC.
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Waiter Boller 27037
NAME SIGNATURE BCIN

jardindesign group Inc. 27763
FIRM NAME BCIN

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

AS CONSULTANT, I HAVE REVIEWED THE DESIGN AND HAVE FOUND IT TO BE IN ACCORDANCE WITH THE CITY OF BRAMPTON SUBDIVISION DESIGN CRITERIA. I HAVE NOT REVIEWED THE DESIGN FOR CONFORMANCE WITH THE ONTARIO BUILDING CODE. I HAVE NOT REVIEWED THE DESIGN FOR CONFORMANCE WITH THE CITY OF BRAMPTON SUBDIVISION DESIGN CRITERIA. I HAVE NOT REVIEWED THE DESIGN FOR CONFORMANCE WITH THE ONTARIO BUILDING CODE.