

1960 SF.

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.
FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW PARTY WALLS.
(REFER TO ENGINEER FILL FOOTING DETAIL)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 psi) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa
FOR ENGINEERED FILL. TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa, UNDESIGNED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10"
POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
FLAT WORK) TO BE 32 MPa, WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

WL1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4" x 3-1/2" x 5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6" x 3-1/2" x 3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6" x 4" x 3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2
WL8 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
WL9 = 6" x 4" x 3/8" (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 = 2-2"x8" (2-38x184) SPR. No.2
WB2 = 3-2"x8" (3-38x184) SPR. No.2
WB3 = 2-2"x10" (2-38x235) SPR. No.2
WB4 = 3-2"x10" (3-38x235) SPR. No.2
WB5 = 2-2"x12" (2-38x286) SPR. No.2
WB6 = 3-2"x12" (3-38x286) SPR. No.2
WB7 = 5-2"x12" (5-38x286) SPR. No.2
WB11 = 4-2"x10" (4-38x235) SPR. No.2
WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1 = 1-1 3/4" x 7 1/4" (1-45x184)
LVL2 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL3 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL4 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL5 = 1-1 3/4" x 9 1/2" (1-45x240)
LVL6 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL7 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL8 = 4-1 3/4" x 9 1/2" (4-45x240)
LVL9 = 1-1 3/4" x 11 7/8" (1-45x300)
LVL10 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL11 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL12 = 2-1 3/4" x 14" (2-45x356)
LVL13 = 3-1 3/4" x 14" (3-45x356)

LOOSE STEEL LINTELS (L)

L1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L)
L2 = 4" x 3-1/2" x 5/16" (100x90x8.0L)
L3 = 5" x 3-1/2" x 5/16" (125x90x8.0L)
L4 = 6" x 3-1/2" x 3/8" (150x90x10.0L)
L5 = 6" x 4" x 3/8" (150x100x10.0L)
L6 = 7" x 4" x 3/8" (180x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-0" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER

(OBC 9.30.6)
SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C.
BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-0" - 7'-0",
2 ROWS FOR SPANS GREATER THAN 7'-0".

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL
ROOF FRAMING INFORMATION UNLESS OTHERWISE
NOTED.

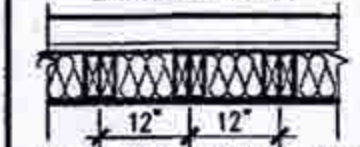
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO
FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING

REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL
ENGINEERED FLOOR FRAMING INFORMATION AND
DETAILS. UNLESS OTHERWISE NOTED.

TWO STOREY HEIGHT**WALL DETAIL**

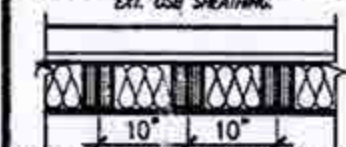
2-2"x8" STUD WALL NAIL TOGETHER AND
SPACED @ 12" O.C. FULL HEIGHT, 1/4" SOLID
BLOTTING @ 4'-0" O.C. VERTICAL AND 7/16"
EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 18'-0" AND MAX. SUPPORTED
LENGTH OF TRUSS IS 40'-0".

TWO STOREY HEIGHT**WALL DETAIL**

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E
STUD WALL: GLUED & NAIL TOGETHER AND
SPACED MAX. @ 10" O.C. FULL HEIGHT, 1/4" SOLID
BLOTTING @ 4'-0" O.C. VERTICAL AND 7/16"
EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 20'-2" AND MAX. SUPPORTED
LENGTH OF TRUSS IS 40'-0".

THE MINIMAL THERMAL PERFORMANCE OF BUILDING
ENVELOPE AND EQUIPMENT SHALL CONFORM TO
THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS
PER OBC SUPPLEMENTARY STANDARD SB-12,
SECTION 3.1.1.1:

USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56 (R60)	R20 at inner face of exterior walls
Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Ceiling without Attic Space	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Exposed Floor	3.87 (R22)	6" R22 BATT
Minimum RSI (R) value	3.52 (R20ci)	OPTION TO USE R12+R10ci
Basement Walls	3.52 (R20ci)	OPTION TO USE R12+R10ci
Minimum RSI (R) value	1.76 (R10)	RIGID INSUL
Edge of Below Grade Slab	1.76 (R10)	RIGID INSUL
Minimum RSI (R) value	0.28	
Windows & Sliding glass Doors	0.28	
Maximum U-value	0.49	
Skylights	0.49	
Maximum U-value	96% Min.	NATURAL GAS
Space Heating Equipment	96% Min.	NATURAL GAS
Minimum AFUE	0.8	NATURAL GAS
Hot Water Heater	75%	
Minimum Efficiency	75%	
HRV	75%	
Minimum Efficiency	Minimum 1.06 Minimum 2 Required.	
Drain Water Heat Recovery Unit (DWHR)	Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information.	

ci- Denotes Continuous Insulation without framing interruption.

UNINSULATED OPENINGS (PER OBC SB-12.3.1.1(7))			
HEMLOCK 4, ELEVATION "1"	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
ELEVATION	485.44 S.F.	131.75 S.F.	27.14 %
FRONT	989.89 S.F.	84.15 S.F.	8.48 %
LEFT SIDE	989.89 S.F.	0.00 S.F.	0.00 %
RIGHT SIDE	989.89 S.F.	0.00 S.F.	0.00 %
REAR	485.44 S.F.	118.53 S.F.	24.42 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
		0.0 S.F.	
TOTAL SQ. FT.	2950.66 S.F.	314.43 S.F.	10.66 %
TOTAL SQ. M.	274.12 S.M.	29.21 S.M.	10.66 %

UNINSULATED OPENINGS (PER OBC SB-12.3.1.1(7))			
HEMLOCK 4, ELEVATION "2"	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
ELEVATION	495.00 S.F.	134.53 S.F.	27.18 %
FRONT	989.89 S.F.	84.15 S.F.	8.48 %
LEFT SIDE	989.89 S.F.	0.00 S.F.	0.00 %
RIGHT SIDE	989.89 S.F.	0.00 S.F.	0.00 %
REAR	485.44 S.F.	118.53 S.F.	24.42 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
		0.0 S.F.	
TOTAL SQ. FT.	2960.22 S.F.	317.21 S.F.	10.72 %
TOTAL SQ. M.	275.01 S.M.	29.47 S.M.	10.72 %

1. POST PERMIT CARD IN A CONSPICUOUS PLACE 7 FEET ABOVE GRADE AT BUILDING SITE.
2. APPROVED DRAWINGS MUST BE KEPT ON SITE AT ALL TIMES.
3. IT IS MANDATORY THAT YOU CALL FOR REQUIRED INSPECTIONS 24 HRS. IN ADVANCE.
4. FAILURE TO COMPLY WITH SENTENCE 1 TO 3 WILL RESULT IN STOP WORK ORDERS BEING POSTED.

ALL ELECTRICAL AND MECHANICAL WORK MUST BE
INSPECTED BY THE MUNICIPAL SAFETY
AUTHORITY SEPARATE INSPECTION
APPLICATION AND BE PAID FOR.
FOR MORE INFORMATION PLEASE CALL
ELECTRICAL SAFETY AND MECHANICAL
CUSTOMER SERVICE UNIT
PHONE: 519-747-1212 FAX: 519-747-1774

All work shall conform to the Ontario
Building Code O. Reg. 332/12 as amended.

For conventional wood framing
framing shall conform to OBC 9.23

Engineered floor joists shall be installed
in accordance with the supplier's layout and
specifications forming part of the permit drawings.

ENGINEERED FILL ON LOT(S)

35-L
PROVIDE COPIES OF SOIL ENGINEER'S
REPORT(S) TO THE INSPECTOR
BEFORE FOOTING CONSTRUCTION

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 07 2019
BY MARY FRETTE

LOT 35-L
CUSTOM. M2060
6 Lady Smith Street
18-413520-000-CO-RR

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the submission agreement. The Council
Architect is not responsible in any way for
examining or approving the (submitting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the City of
Brampton.

W Architect Inc.**DESIGN CONTROL REVIEW**

OCT 17 2018

FINAL BY: *UGS*

This stamp is only for the purposes of design
control and compliance with professional obligations.

HEMLOCK 4
COMPLIANCE PACKAGE 'A1'



STRUDET INC.
FOR STRUCTURE ONLY

NO.	DESCRIPTION	DATE	BY	NO.	DESCRIPTION	DATE	BY
18				19			
17				18			
16				17			
15				16			
14				15			
13				14			
12				13			
11				12			
10				11			
9				10			
8				9			
7				8			
6				7			
5				6			
4				5			
3				4			
2				3			
1				2			



256 Concession Rd. S. Unit 120
Toronto, ON M2H 1R4
416.630.2235 / 416.630.4782
va3design.com

Greenpark.
Project name: MINNISALE HOMES CORP.
Location: BRAMPTON
General Notes & Charts
Drawing No: 18012
Scale: 1/8" = 1'-0"
Date: MAY 2018
Sheet: 18012-HEMLOCK-4
A0

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 10 2019
PLUMBING BY
KOFI MORIEL

ALL PLUMBING SHALL CONFORM TO
THE ONTARIO BUILDING CODE, O.R.G.
332/12, AS AMENDED, DIVISION B, PART 7.

ELEV. '1'-REV.
ELEV. '1'

CITY OF LOS ANGELES
BUREAU OF THE COMMISSIONER
RECEIVED
JAN 11 1964
FOR
MAYOR'S OFFICE

CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEWED
DEC 13 2018
BY
ALANA NIELSEN

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements, including zoning provisions and any provisions in the subdivision agreement. The County Architect is not responsible in any way for examining or approving site (lotting) plans, zoning drawings with respect to any zoning building code or permit matter or that a house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

This stamp is only for the purposes of design control and carries no other professional obligations.

HEMLOCK 4
COMPLIANCE PACKAGE 'A1'

BASEMENT PLAN
ELEV. '1'



COMPLIANCE PACKAGE AT											
18			3	-	-	-	The undersigned has reviewed and taken responsibility for this design and has the qualifications and expertise to prepare the same and to be the Design Building Code to be a Designer.	 V3 DESIGN 265 Consumers Rd. Suite 120 Toronto, ON M2J 1K4 416.833.2222 / 416.833.4782 info@v3design.com	 Greenpark. MINNISALE HOMES CORP.	HEMLOCK 4 9.15m Semi	sheet 180 drawing 180
17			4	-	-	-	publication information				
16			5	-	-	-	name				
15			6	-	-	-	signature information				
14			7	-	-	-	V3 Design Inc.				
13			8	-	-	-	contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the job.	265 Consumers Rd. Suite 120 Toronto, ON M2J 1K4 416.833.2222 / 416.833.4782 info@v3design.com	 Greenpark. MINNISALE HOMES CORP.	HEMLOCK 4 9.15m Semi	sheet 180 drawing 180
12			9	-	-	-	name				
11			10	-	-	-	signature information				
10			11	-	-	-	V3 Design Inc.				
9			12	-	-	-	contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the job.				
8			13	-	-	-	name	265 Consumers Rd. Suite 120 Toronto, ON M2J 1K4 416.833.2222 / 416.833.4782 info@v3design.com	 Greenpark. MINNISALE HOMES CORP.	HEMLOCK 4 9.15m Semi	sheet 180 drawing 180
7			14	-	-	-	signature information				
6			15	-	-	-	V3 Design Inc.				
5			16	-	-	-	contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the job.				
4			17	-	-	-	name				
3			18	-	-	-	signature information	265 Consumers Rd. Suite 120 Toronto, ON M2J 1K4 416.833.2222 / 416.833.4782 info@v3design.com	 Greenpark. MINNISALE HOMES CORP.	HEMLOCK 4 9.15m Semi	sheet 180 drawing 180
2			19	-	-	-	V3 Design Inc.				
1			20	-	-	-	contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the job.				
0			21	-	-	-	name				
-1			22	-	-	-	signature information				

All drawings, specifications, related documents and designs are the copyright property of WJ DESIGN. Reproduction of the property in whole or in part is strictly prohibited without WJ DESIGN's written consent.

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 10 2019
PLUMBING BY
KOFI MORIEL

ELEV. '1'-REV.
ELEV. '1'

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 08 2019
BY
MARY FRENETT

CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEWED
DEC 13 2018
BY
ALANA NIELSEN

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and applicable regulations and requirements, including zoning provisions and any provisions in the subdivision agreement. The County Architect is not responsible in any way for preparing or approving site (bottom) plan or working drawings with respect to any zoning, building code or permit transfer or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

This stamp is only for the purposes of design

JUL 7 7 2018

HEMLOCK 4
COMPLIANCE PACKAGE 'A1'

SECOND FLOOR PLAN
ELEV. '1'

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHUB IN MAIN BATHROOM. REFER TO OGC 9.5.2.3, 9.8.3.8.(1)(4) & 9.8.3.13.(1)(1).



STRUDET INC
FOR STRUCTURE ONLY

[illegible]

© 2011 Pearson Education, Inc. or its affiliate(s). All rights reserved. This publication is protected by copyright. Permission is granted to reproduce this document for personal or internal use, not for redistribution.

VA2
DESIGN

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.530.2255 / 416.530.478
m3design.com

Greenpark.

project name	MINNISALE HOMES CORP.	PARCEL	BRAMPTON
--------------	-----------------------	--------	----------

SECOND FLOOR PLAN- ELEVATION '1'

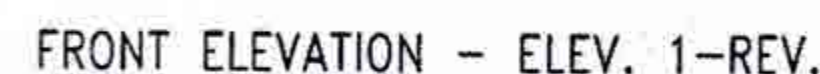
HEMLOCK 4
9.15m Semi

project no.
18012

Order No.

A3

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 03 2013
BY
MARY FRENETTE



DECLASS - 1 day - Rec - Jul 23 2013 - 10:05 AM

ASPHALT SHINGLES (TYP.)

PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)

1" x 6" ALUM. CLAD FRIEZE BO.

ASPHALT SHINGLES (TYP.)

8" x 8" COLUMN ANCHORED TO CONC. PORCH. PROVIDE SIMPSON STRONG-TIE CONNECTOR FOR POST-BEAM CONNECTION (TYP.)

POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.)

RIGHT SIDE ELEVATION - ELEV. 1

BRICK VENEER CONSTRUCTION
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

HEADER/RIM JOIST LEVEL
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATING @ HEADER
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

BRICK VENEER CONSTRUCTION
(FOR WALLS LESS THAN 1.2M [3'-11"] FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GAREX EXTERIOR WALLS.

(REFER TO SECTION SB-2 OF CBC 2012-SUPPLEMENTARY STANDARDS)

HEADER/RIM JOIST LEVEL
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATING @ HEADER
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 03 2013
BY
MARY FRENETTE

CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEWED
DEC 13 2018
BY
ALANA NIELSEN

W Architect Inc
DESIGN CONTROL REVIEW
OCT 17 2018
FINAL BY: GGE
This stamp is only for the purposes of design control and carries no other professional obligations.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

LEFT SIDE ELEVATION - ELEV. 1

ALLOWABLE GLAZED OPENINGS	
WALL AREA	=989.89 SQ. FT.
LIMITING DISTANCE 1.2 M (7'6")	=69.29 SQ. FT.
GLAZING ALLOWED	=54.23 SQ. FT. (GLASS AREA ONLY)
WITH OPTIONAL 30"x24" BASEMENT WINDOWS	
GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS	=57.23 SQ. FT. (GLASS AREA ONLY)

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 03 2018
BY
MARY FRENETTE

CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEWED
DEC 13 2018
BY
ALANA NIELSEN

W Architect Inc.
DESIGN CONTROL REVIEW
OCT 17 2018
FINAL BY: *[Signature]*

This stamp is only for the purposes of design control and carries no other professional obligation.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and measurements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site related plans or building changes with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

LEFT SIDE ELEVATION - ELEV. 1

JUL 27 2018

HEMLOCK 4
COMPLIANCE PACKAGE 'A1'

3'-6" HIGH RAILING IF PORCH SLAB IS MORE THAN 5'-11" ABOVE FINISHED GRADE AND 3'-0" HIGH RAILING WHEN PORCH SLAB IS LESS THAN 5'-11" ABOVE FINISHED GRADE

ELEVATIONS NOT DRAWN TO ACTUAL GRADE
REFER TO FINAL GRADING PLAN.

15			9		
17			7		
16			7		
15			6	ISSUED FOR PERMIT	JULY 23/18
14			5	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 20/18
13			4	REVISED PER FLR/URS CO-ORDINATION	JUNE 28/18
12			3	REVISED PER CLIENT COMMENTS	JUN 13/18
11			2	UPDATED. ISSUED FOR REVIEW/ COMMENT	MAY 16/18
10			1	TRANSFERRED FROM VETRELLA (15030)	MAY 2018
no.	description	date	by	description	date

Q1	The undersigned has reviewed and bears responsibility for this drawing and has the qualifications and meets the requirements set out in the Contracting Documents to be a Designer.	
Q2	qualification information	
Q3	Richard Vink	24488
Q4	name	signature
Q5	company information	ICM
Q6	VAS Design's Inc.	42858
Q7	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer shall must be returned at the completion of the work.	

**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.478
Tel: 416.630.2255

Greenpark.
Project Name: MINNISALE HOMES CORP. MUNICIPALITY: BRAMPTON

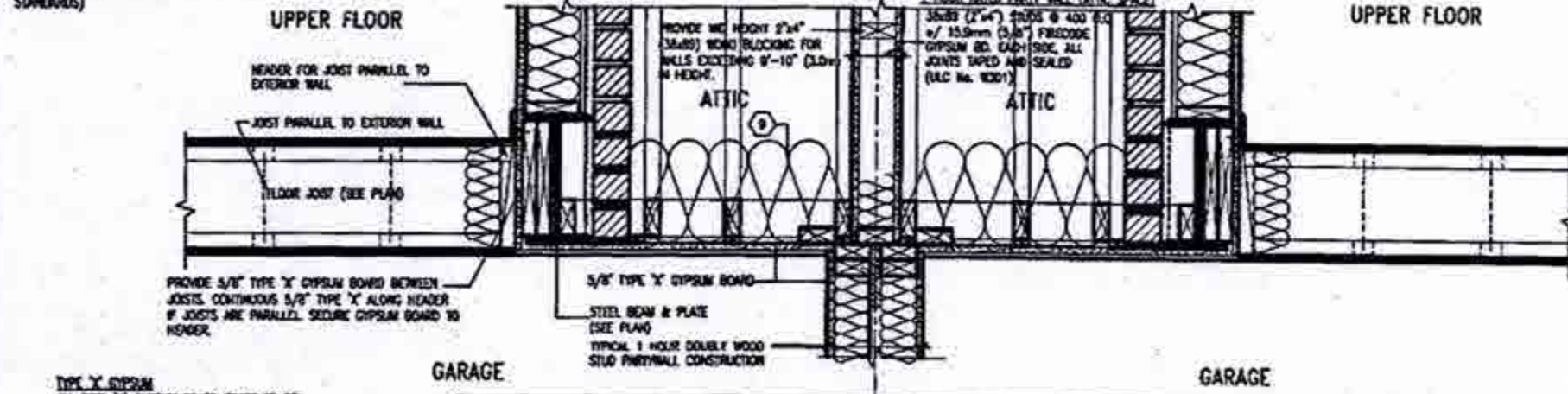
PACKAGE AT	
HEMLOCK 4	
9.15m Semi	
ON	18

A5

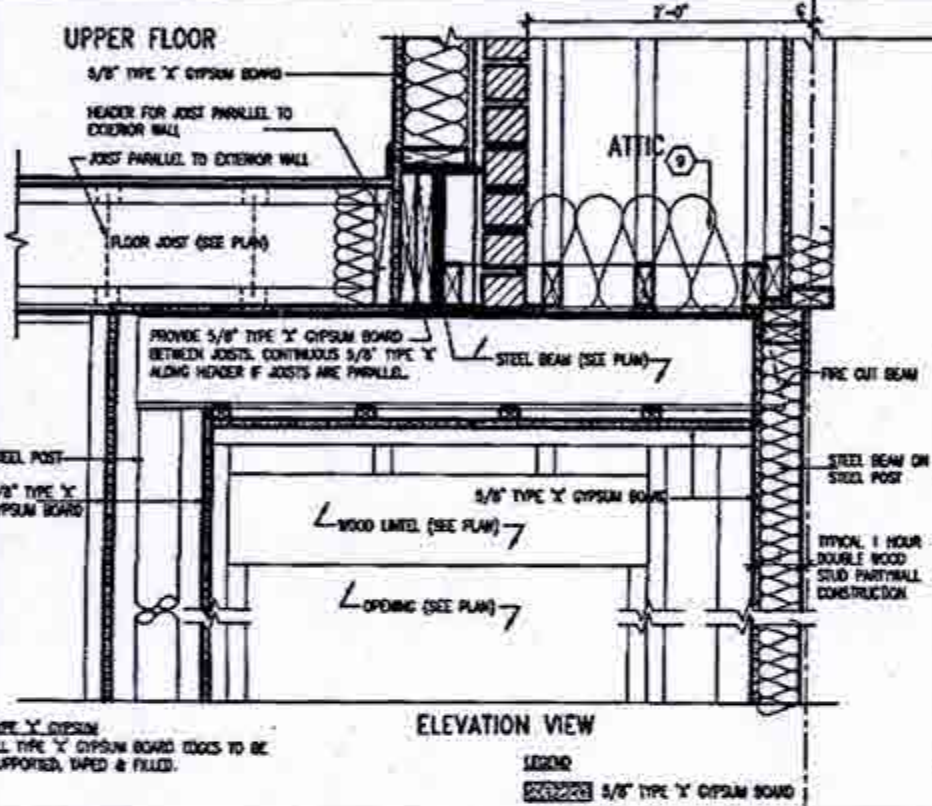
All design specifications, related documents and designs are the copyright property of WJ DESIGN. Reproduction of this property in whole or in part is strictly prohibited without WJ DESIGN's written permission.

45MIN. F.R.R. BRICK VENEER
CONSTRUCTION

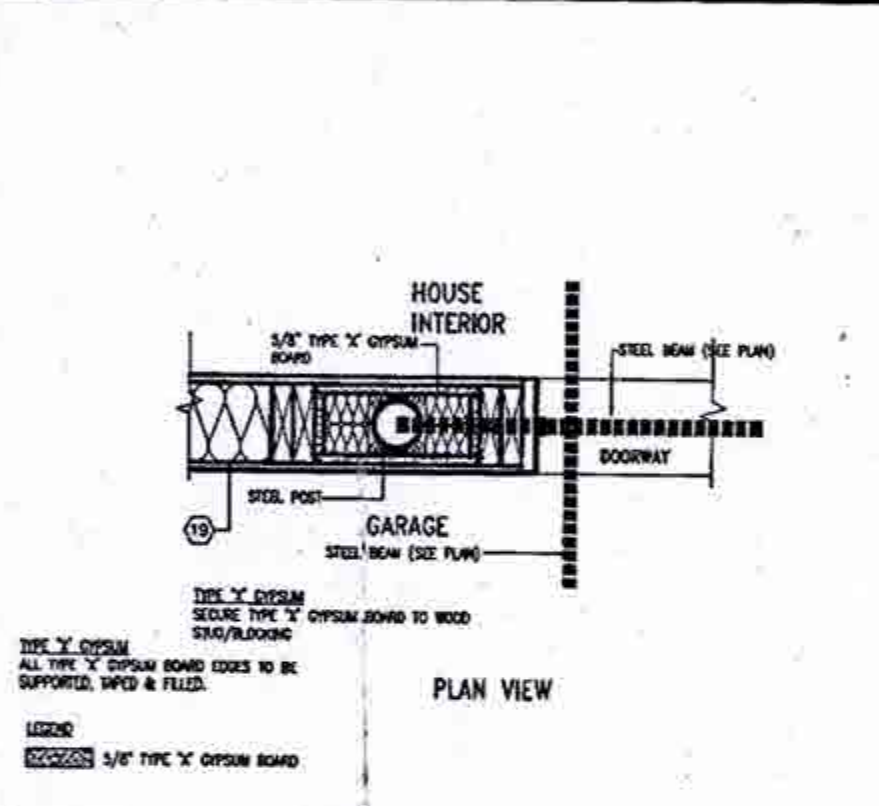
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-7022, "MINIMUM ROOF THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 kg/SQ.M. AND MUST BE AT LEAST SIX (6) TIMES THE INSULATION THICKNESS. THE TYPE 'X' INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHROOMS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
(REFER TO SECTION 90-2 OF CBC 2012-SUPPLEMENTARY STANDARDS)



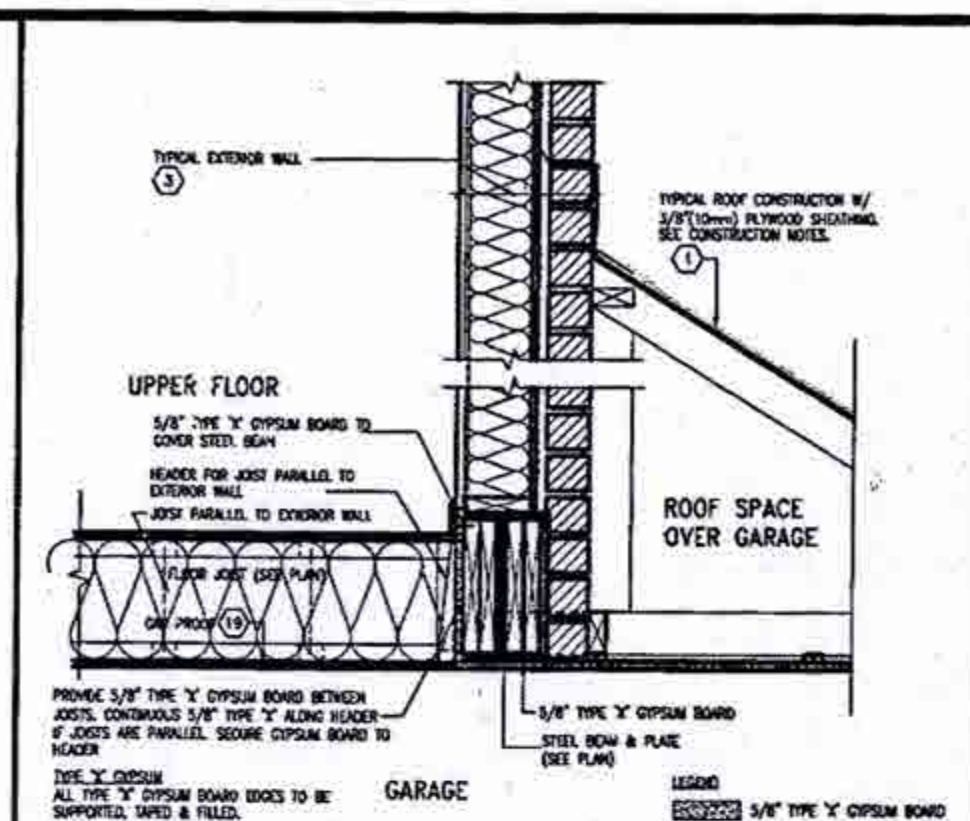
1 SECTION THRU FIRE RATED WALL
8 FLUSH CEILING/ RAISED STL. BM. SCALE: N.T.S.



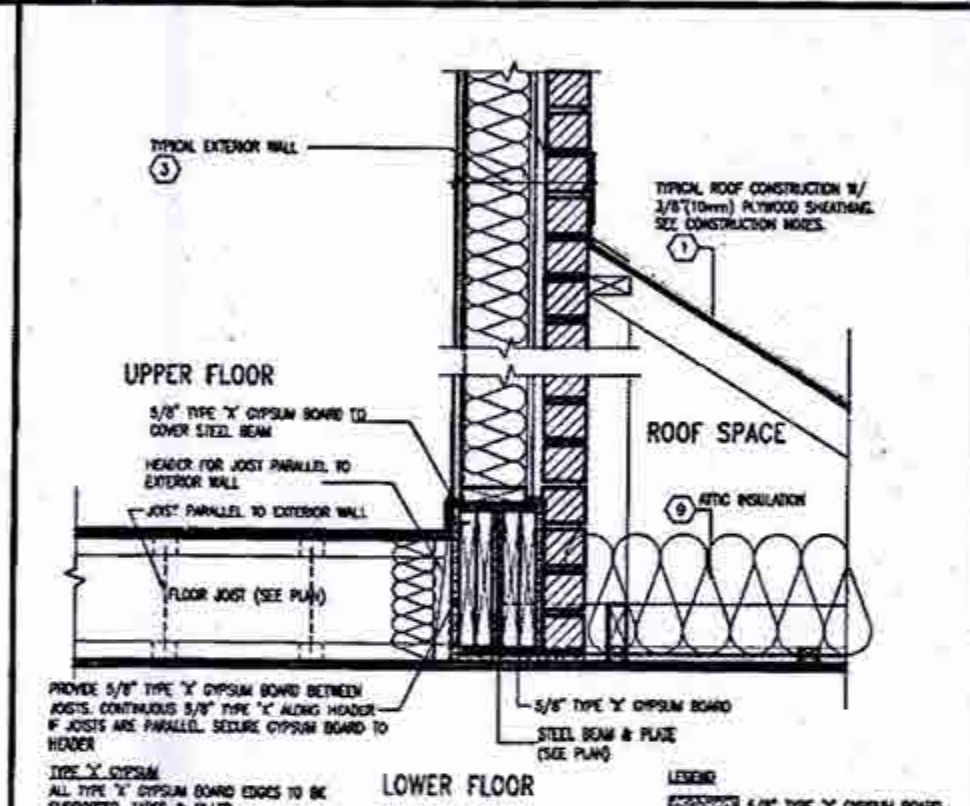
4 SECTION THRU FIRE RATED WALL
8 FLUSH CEILING/ RAISED STL. BM. SCALE: N.T.S.



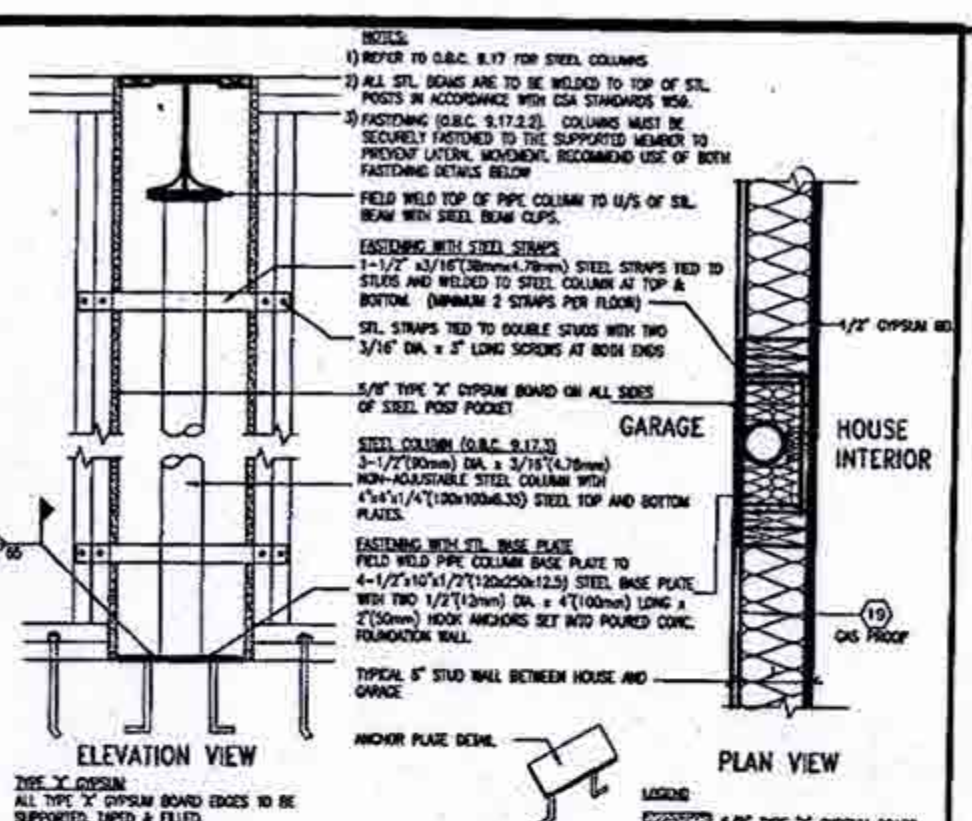
5 RATED STEEL POST POCKET
8 SCALE: N.T.S.



2 RATED STEEL BEAM OVER GARAGE
8 FLUSH CEILING/ RAISED STL. BM. SCALE: N.T.S.



6 RATED STEEL BEAM OVER LIVING SPACE
8 FLUSH CEILING/ RAISED STEEL BM. SCALE: N.T.S.



3 RATED STEEL POST POCKET
8 SCALE: N.T.S.

1960 SF.

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 09 2018
BY
MARY FRENETTE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving any (existing) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

W Architect Inc.
DESIGN CONTROL REVIEW
OCT 17 2018
FINAL BY: *WAF*
This stamp is only for the purposes of design control and carries no other professional obligations.

JUL 27 2018

HEMLOCK 4
COMPLIANCE PACKAGE 'A1'



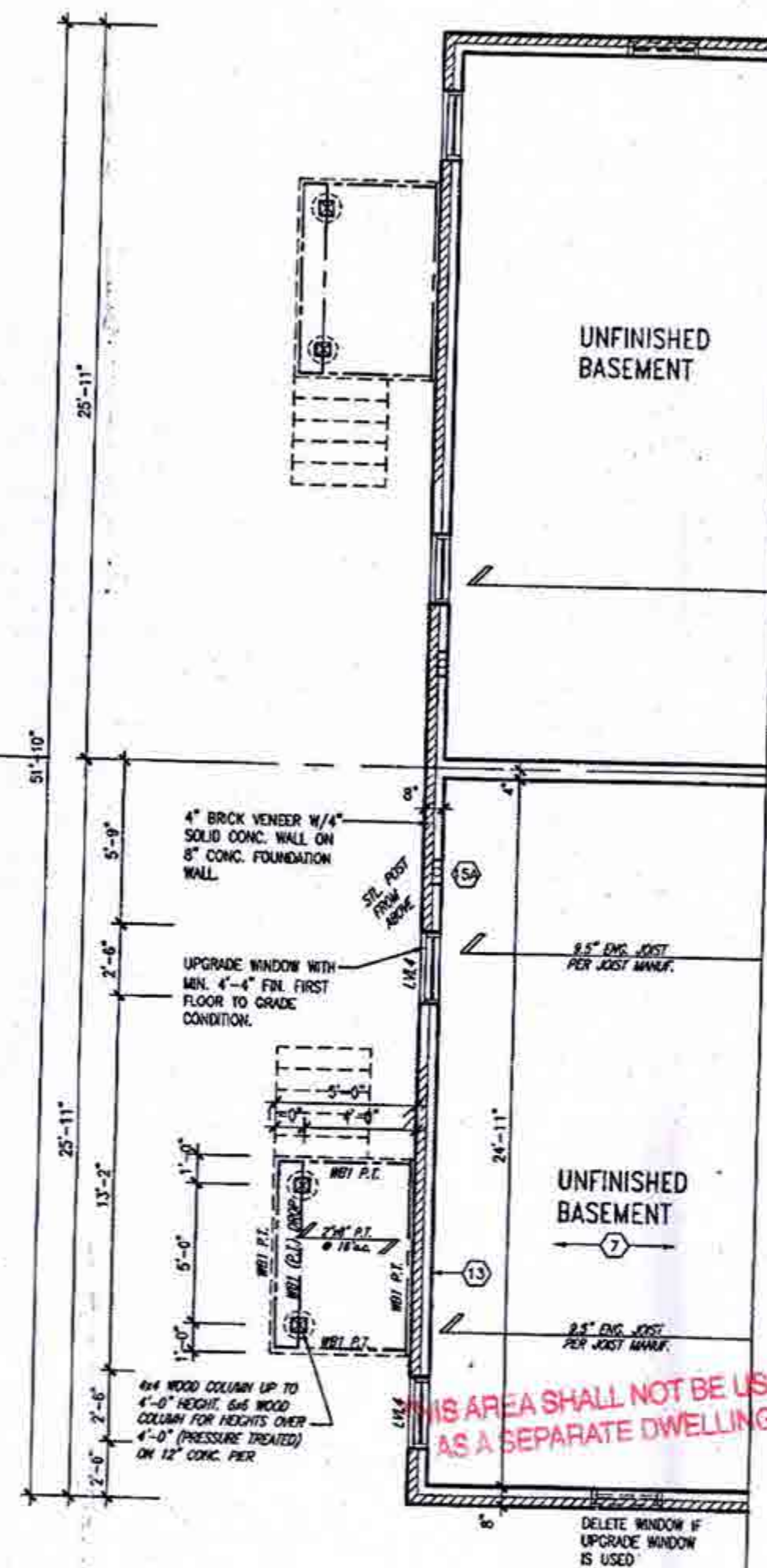
no.	description	date	by	no.	description	date	by
1	ISSUED FOR PERMIT	JULY 23/18	WAF	1	ISSUED FOR PERMIT	JULY 23/18	WAF
2	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 23/18	WAF	2	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 23/18	WAF
3	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 23/18	WAF	3	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 23/18	WAF
4	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 23/18	WAF	4	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 23/18	WAF
5	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 23/18	WAF	5	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 23/18	WAF
6	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 23/18	WAF	6	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 23/18	WAF
7	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 23/18	WAF	7	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 23/18	WAF
8	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 23/18	WAF	8	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 23/18	WAF
9	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 23/18	WAF	9	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 23/18	WAF
10	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 23/18	WAF	10	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 23/18	WAF
11	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 23/18	WAF	11	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 23/18	WAF
12	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 23/18	WAF	12	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 23/18	WAF
13	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 23/18	WAF	13	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 23/18	WAF
14	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 23/18	WAF	14	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 23/18	WAF
15	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 23/18	WAF	15	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 23/18	WAF
16	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 23/18	WAF	16	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 23/18	WAF
17	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 23/18	WAF	17	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 23/18	WAF
18	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 23/18	WAF	18	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 23/18	WAF

The undersigned has reviewed and taken responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Richard Vink
24480
WAF Design Inc.
420356

WAF DESIGN
255 Consumers Rd Suite 100
Toronto, ON M2H 1R4
416.630.2255 / 416.630.4782
wafdesign.com

Greenpark.
MINISALE HOMES CORP.
BRAMPTON
HEMLOCK 4
9.15m Semi
18012
A8

ELEV. '1'-REV.
ELEV. '1'



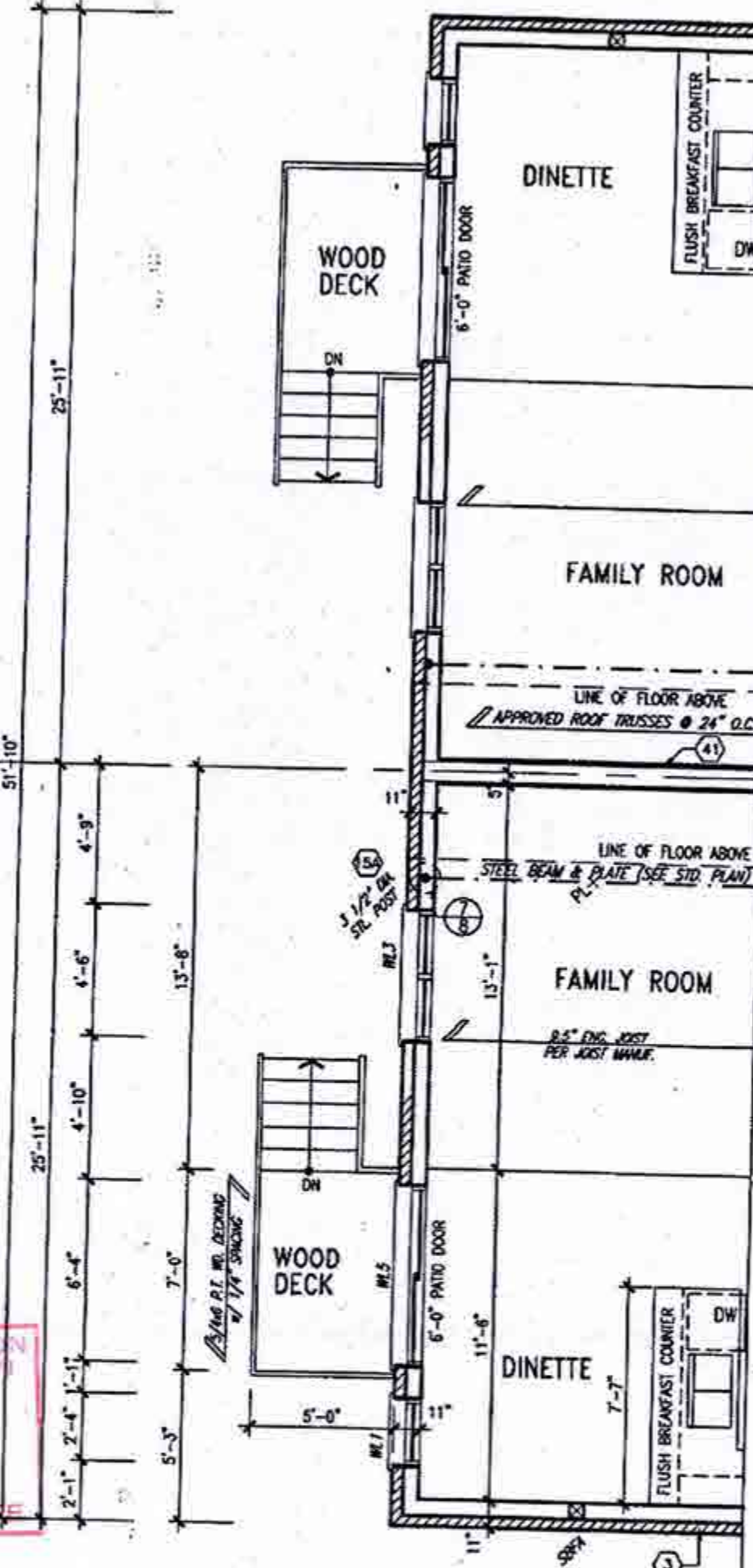
PARTIAL BASEMENT PLAN
W.O.D. CONDITION

ELEV. '1'-REV.
ELEV. '1'

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 07 2018
BY
MARY FRENETTE

CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEWED
DEC 13 2018
BY
ALANA NIELSEN

PARTIAL GROUND FLOOR PLAN
W.O.D. CONDITION



REFER TO STANDARD BASEMENT
PLAN FOR WINDOWS THAT MAY BE
ELIMINATED WITH UPGRADED REAR
WINDOWS OF DECK CONDITION.

NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION.

PLANS AND ELEVATION ILLUSTRATE DECK
CONDITIONS WHERE GRADE PERMITS. BASEMENT
WINDOWS APPLY TO CONDITIONS OF A MINIMUM
4'-4" FROM FINISHED FIRST FLOOR TO GRADE.

VENUE CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.



STRUDET INC.
FOR STRUCTURE ONLY

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	JULY 23/18	Richard Vink
2	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 20/18	Richard Vink
3	REVISED PER PL/RTS CO-ORDINATION	AUG 20/18	Richard Vink
4	REVISED PER CLIENT COMMENTS	AUG 13/18	Richard Vink
5	UPDATED, ISSUED FOR REVIEW/CONSENT	MAY 18/18	Richard Vink
6	TRANSFERRED FROM VETRALIA (15030)	MAY 2018	Richard Vink

The undersigned has reviewed and approved the design and construction of the above project and has the qualifications and experience to do so. The undersigned is not responsible for the design and construction of the project if the design and construction is not in accordance with the approved plans and specifications.

W Architect Inc.
DESIGN CONTROL REVIEW
OCT 17 2018
FINAL BY: *CTC*
This stamp is only for the purposes of design control and does not constitute a professional obligation.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreements. The Architect is not responsible in any way for examining or approving the (noting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

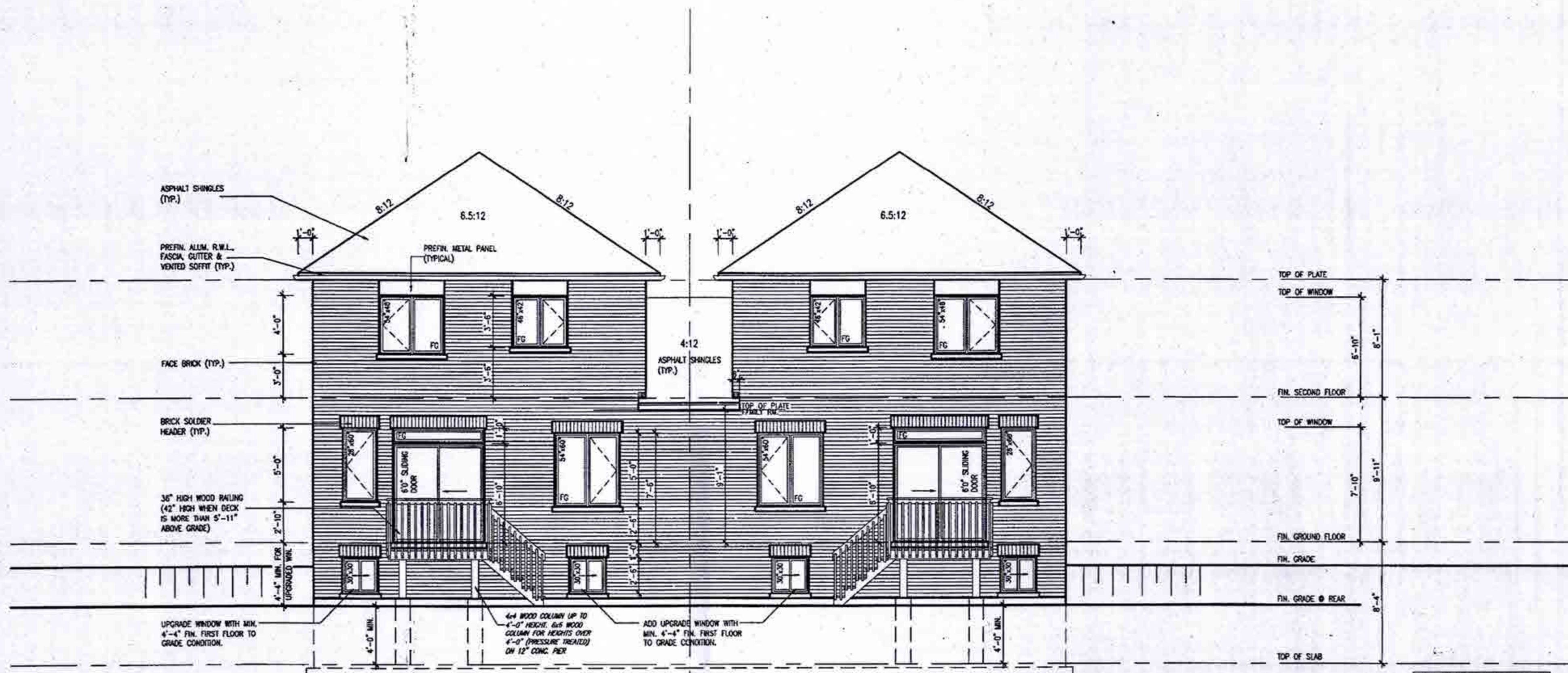
HEMLOCK 4
COMPLIANCE PACKAGE 'A1'

VAS
DESIGN
255 Consumers Rd. Suite 120
Toronto, ON M2J 1R4
Tel: 416.630.2255 / 416.630.4782
vasdesign.com

Greenpark.
MINNISALE HOMES CORP.
BRAMPTON

HEMLOCK 4
9.15m Semi
18012

PARTIAL PLANS - W.O.D. CONDITION
18012-HEMLOCK-4
A9



REAR ELEVATION - ELEV. 1-REV.
W.O.D. CONDITION

REAR ELEVATION - ELEV. 1
W.O.D. CONDITION

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

CITY OF BRANTFORD
BUILDING DIVISION
REVIEWED
JAN 08 2013
BY
MARY FRENETTE

W Architect Inc.
DESIGN CONTROL REVIEW
OCT 17 2018
FINAL BY: CTE
This stamp is only for the purposes of design control and comes no other professional obligations
JUL 27 2018

HEMLOCK 4
COMPLIANCE PACKAGE 'A1'

3'-6" HIGH RAILING IF PORCH SLAB IS MORE THAN 5'-11" ABOVE FINISHED GRADE AND 3'-0" HIGH RAILING WHEN PORCH SLAB IS LESS THAN 5'-11" ABOVE FINISHED GRADE

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

17			9	-	-	-	The contractor has reserved the right to amend this plan and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	 255 Consumers Rd Suite 120 Scarborough, ON M2L 1S4 P: 416.632.2355 / 416.632.1782 vabdesign.com	 MINNISALE HOMES CORP. BRAMPTON	HEMLOCK 4 9.15m Semi	project # 1801
18			10	-	-	-					
19			11	-	-	-					
20			12	-	-	-					
21			13	-	-	-					
22			14	ISSUED FOR PERMIT.	JULY 23/18	ON					
23			15	REVISED FOR CLIENT/ENGINEER COMMENTS.	JULY 26/18	ON					
24			16	REVISED FOR FLR/TRS CO-ORDINATION.	JUNE 28/18	ON					
25			17	REVISED FOR CLIENT COMMENTS.	AUG. 13/18	ON					
26			18	UPDATED. ISSUED FOR REVIEW / COMMENT.	MAY 18/18	ON					
27			19	TRANSFERRED FROM VETRALIA (150.50)	MAY 2018	ON					
28			20	description	date	by	description	date			
29			21								

All names, specifications, model numbers and prices are the property of V&J DESK. Reproduction of this property in whole or in part is strictly prohibited without V&J DESK's written consent.