

STRIP FOOTINGS

FOR SINGLES & SEMIS UP TO 2 STOREY

6" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW PARTY WALLS.

(REFER TO FOOTING DETAILS ON ENGINEERED FILL)

ASSUME THE LARGER FOOTING SIZE

WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 psf) SOIL BEARING CAPACITY OR 90 KPa
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL

90 KPa ENGINEERED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD F2 = 48"x48"x20" CONCRETE PAD
F3 = 36"x36"x18" CONCRETE PAD F4 = 40"x40"x18" CONCRETE PAD
F5 = 30"x30"x12" CONCRETE PAD F6 = 34"x34"x14" CONCRETE PAD
F7 = 24"x24"x12" CONCRETE PAD F8 = 28"x28"x12" CONCRETE PAD
F9 = 18"x18"x8" CONCRETE PAD F10 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC.
FOOTING WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

BRICK VENEER LINTELS

HL1 = 3-1/2"x3-1/2"x1/4" (100x100x6.0) + 2-2"x8" SPR. No.2
HL2 = 4"x3-1/2"x1/4" (100x100x6.0) + 2-2"x8" SPR. No.2
HL3 = 5"x3-1/2"x1/4" (125x100x6.0) + 2-2"x10" SPR. No.2
HL4 = 6"x3-1/2"x1/4" (150x100x6.0) + 2-2"x12" SPR. No.2
HL5 = 6"x4"x3/8" (150x100x10.0) + 2-2"x12" SPR. No.2
HL6 = 5"x3-1/2"x1/4" (125x100x6.0) + 2-2"x12" SPR. No.2
HL7 = 5"x3-1/2"x1/4" (125x100x6.0) + 3-2"x10" SPR. No.2
HL8 = 5"x3-1/2"x1/4" (125x100x6.0) + 3-2"x12" SPR. No.2
HL9 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WOOD LINTELS AND BEAMS

WB1 = 2-2"x8" SPR. No.2 (2-38x104 SPR. No.2)
WB2 = 3-2"x8" SPR. No.2 (3-38x104 SPR. No.2)
WB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)
WB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)
WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)
WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)
WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)
WB8 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)
WB9 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (4-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (4-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (4-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)
LVL10 = 2-1 3/4" x 18" (2-45x456)

LOOSE STEEL LINTELS

L1 = 3-1/2"x3-1/2"x1/4" (100x100x6.0)
L2 = 4"x3-1/2"x1/4" (100x100x6.0)
L3 = 5"x3-1/2"x1/4" (125x100x6.0)
L4 = 6"x3-1/2"x1/4" (150x100x6.0)
L5 = 6"x4"x3/8" (150x100x10.0)
L6 = 7"x4"x3/8" (175x100x10.0)

DOOR SCHEDULE

1 = 2'-0" x 6'-8" (865x2033) - INSULATED ENTRANCE DOOR
2 = 2'-8" x 6'-8" (815x2033) - INSULATED FRONT DOORS
3 = 2'-8" x 6'-8" (815x2033) - WOOD & GLASS DOOR
4 = 2'-8" x 6'-8" x 1-3/4" (815x2033x45) - EXTERIOR SLAB DOOR
5 = 2'-8" x 6'-8" x 1-3/8" (815x2033x35) - INTERIOR SLAB DOOR
6 = 2'-6" x 6'-8" x 1-3/8" (160x2033x35) - INTERIOR SLAB DOOR
7 = 2'-2" x 6'-8" x 1-3/8" (660x2033x35) - INTERIOR SLAB DOOR
8 = 1'-6" x 6'-8" x 1-3/8" (460x2033x35) - INTERIOR SLAB DOOR

SPACE CONVENTIONAL FLOOR JOISTS @ 12"
O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF
5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR
ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO
FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS
FOR ENGINEERED FRAMING LAYOUTS

SUPPORTED STEEL
ANGLE UP TO 11'-7"
OTHERWISE TO BE
REVIEWED
BY ENGINEER.

BRICK/
STONE
VENEER

INVERTED
3-1/2"x3-1/2"x1/4"
(100x100x6.0)
STEEL ANGLE

BRICK/
STONE
VENEER

SUPPORTED STEEL ANGLE
UP TO 11'-7"
OTHERWISE TO BE
REVIEWED
BY ENGINEER.

INVERTED STEEL
ANGLE DETAIL

THE MINIMUM THERMAL PERFORMANCE OF BUILDING
ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE
FOLLOWING

COMPLIANCE PACKAGE "A1"

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10/51 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5/46 (R20)
EXPOSED FLOOR MINIMUM RSI (R) VALUE	5/46 (R20)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	3/21 (R22)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3/52 (R20 R1610)
HEATED SLAB OR SLAB 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1/36 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY RATING = 25, MAX. U-0.20
SPACE HEATING EQUIPMENT MINIMUM AFUE	96%
HVAC MINIMUM EFFICIENCY	75%
HOT WATER TANK	MIN. EF 0.80

ENGINEERED FILL ON LOT(S)

PROVIDE COPIES OF SOIL ENGINEER'S
REPORT(S) TO THE INSPECTOR
BEFORE FOOTING CONSTRUCTION

The undersigned has reviewed and takes responsibility for this
design, and has the qualifications and meets the requirements set
out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME SIGNATURE
28770
BCIN

AREA CALCULATIONS		ELEV. 1
GROUND FLOOR AREA	=	1144 Sq. Ft.
SECOND FLOOR AREA	=	1492 Sq. Ft.
TOTAL FLOOR AREA	=	2642 Sq. Ft.
	=	245.45 Sq. M.
1st FLOOR OPEN AREA	=	0 Sq. Ft.
2nd FLOOR OPEN AREA	=	0 Sq. Ft.
ADD TOTAL OPEN AREAS	=	0 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2642 Sq. Ft.
	=	245.45 Sq. M.
GROUND FLOOR COVERAGE	=	1144 Sq. Ft.
GARAGE COVERAGE / AREA	=	360 Sq. Ft.
PORCH COVERAGE / AREA	=	64 Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1568 Sq. Ft.
	=	145.67 Sq. m.
TOTAL COVERAGE W/O PORCH	=	1504 Sq. Ft.
	=	139.73 Sq. m.

AREA CALCULATIONS		ELEV. 2
GROUND FLOOR AREA	=	1143 Sq. Ft.
SECOND FLOOR AREA	=	1474 Sq. Ft.
TOTAL FLOOR AREA	=	2617 Sq. Ft.
	=	243.13 Sq. M.
1st FLOOR OPEN AREA	=	0 Sq. Ft.
2nd FLOOR OPEN AREA	=	0 Sq. Ft.
ADD TOTAL OPEN AREAS	=	0 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2617 Sq. Ft.
	=	243.13 Sq. M.
GROUND FLOOR COVERAGE	=	1143 Sq. Ft.
GARAGE COVERAGE / AREA	=	353 Sq. Ft.
PORCH COVERAGE / AREA	=	60 Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1556 Sq. Ft.
	=	144.56 Sq. m.
TOTAL COVERAGE W/O PORCH	=	1496 Sq. Ft.
	=	138.98 Sq. m.

ALL ELECTRICAL INSTALLATIONS MUST BE
INSPECTED BY THE ELECTRICAL SAFETY
AUTHORITY. SEPARATE INSPECTION
APPLICATIONS MUST BE FILED.

FOR MORE INFORMATION PLEASE CALL
ELECTRICAL SAFETY AUTHORITY
CUSTOMER SERVICE CENTRE
PHONE (877) 372-7233 FAX (800) 667-4278

LOCATION OF SMOKE ALARMS AS PER OBC DIV. B 9.10.15.3
(i) Within dwelling units, sufficient smoke alarms shall be installed so that:
(a) there is at least one smoke alarm installed on each storey, including
basement, and
(b) on any storey of a dwelling unit containing sleeping rooms, a smoke
alarm is installed:
(i) in each sleeping room and
(ii) in a location between the sleeping room and the remainder of the
storey, and if the sleeping room is served by a hallway, the
smoke alarm shall be located in the hallway.

For conventional wood framing
framing shall conform to OBC.9.23

JUL 27 2018

MILLWOOD 12		SB12 - ELEV.1			
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	681.27	63.24	98.51	4.15	14.46 %
FLANKAGE	1081.83	100.51	279.51	25.47	23.84 %
RIGHT SIDE	938.67	87.21	0.00	0.00	0.00 %
REAR	664.85	61.77	141.93	13.14	21.35 %
TOTAL	3366.62	312.77	519.95	48.30	15.44 %

MILLWOOD 12		SB12 - ELEV.2			
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	664.77	61.76	90.24	8.38	13.57 %
FLANKAGE	1038.50	96.48	245.83	22.84	23.67 %
RIGHT SIDE	938.66	87.20	0.00	0.00	0.00 %
REAR	664.85	61.77	141.93	13.14	21.35 %
TOTAL	3306.78	307.21	478.00	44.41	14.46 %

1. POST PERMIT CARD IN A CONSPICUOUS PLACE
7 FEET ABOVE GRADE AT BUILDING SITE.
2. APPROVED DRAWINGS MUST BE KEPT ON SITE
AT ALL TIMES.
3. IT IS MANDATORY THAT YOU CALL FOR REQUIRED
INSPECTIONS 24 HRS. IN ADVANCE.
4. FAILURE TO COMPLY WITH SENTENCE 1 TO 3
WILL RESULT IN STOP WORK ORDERS BEING POSTED.

All work shall conform to the Ontario
Building Code O. Reg. 332/12 as amended

Engineered floor joists shall be installed
in accordance with the supplier's layout and
specifications.

W Architect Inc. DESIGN CONTROL REVIEW

OCT 17 2018

FINAL BY: CCE

This stamp is only for the purposes of design
control and carries no other professional obligations.

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED

JAN 05 2019

BY
MARY FRENETTE

STRUDET INC.



FOR STRUCTURE ONLY

MILLWOOD 12

COMPLIANCE PACKAGE "A1"

Greenpark

PROJECT NAME
MINNISALE HOMES CORP.

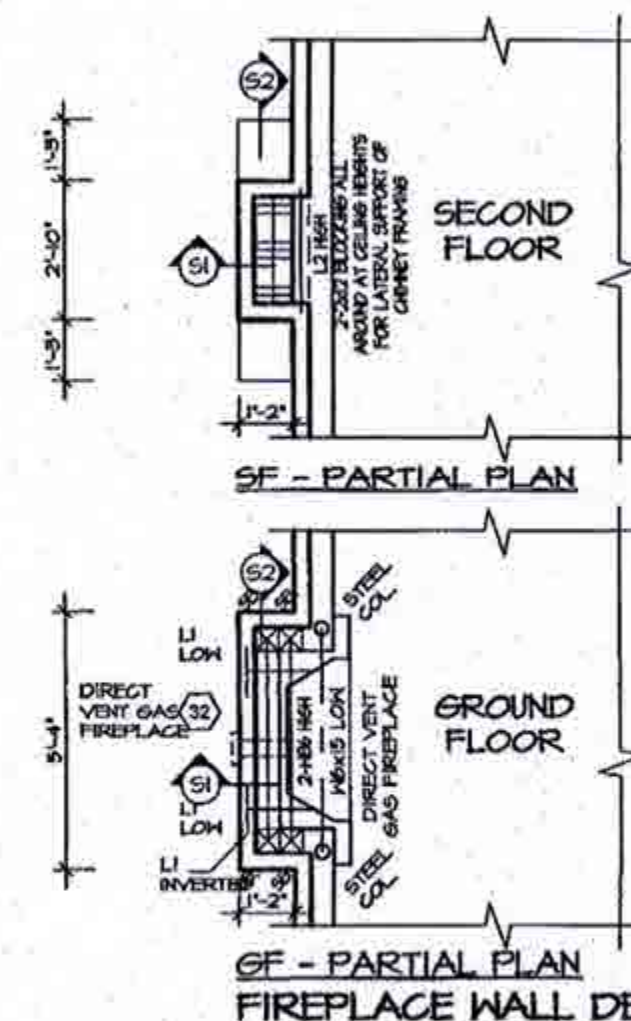
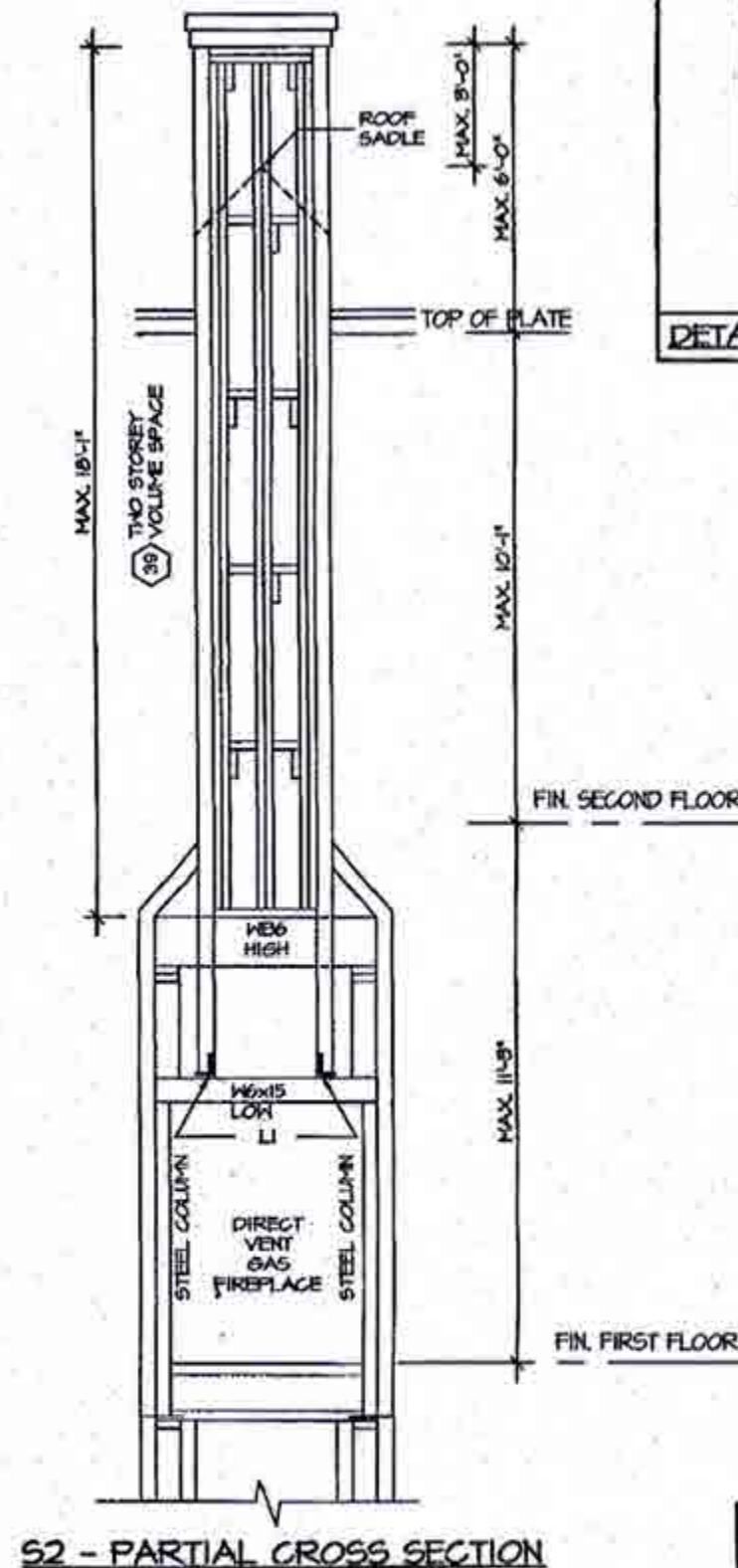
5.	
4.	
3.	
2.	ISSUED FOR PERMIT JULY 2018
1.	TRANSFERRED FROM VETRAALLA AND MODIFIED MAY 10, 2018
REVISIONS	

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4018
F (905) 660-0748

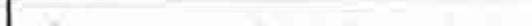
REGION
DESIGN
INC.

SHEET TITLE	
AREA CHARTS	
SCALE	3/16"=1'-0"
DATE	JULY 2018
BY	MB
TYPE	

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA	2642
PAGE No.	0
PROJECT	17-04-19



39 TWO STOREY VOLUME SPACES
FOR A MAXIMUM 5440mm (18'-0")
HEIGHT, PROVIDE 2-38x40
(2-2"x6") CONTINUOUS STUDS
@300mm (12") o.c. FOR BRICK AND
400mm (16") o.c. FOR SIDING.
PROVIDE SOLID WOOD BLOCKING
BETWEEN STUDS @1220mm (4'-0")
o.c. VERT. 1/16" EXT. PLYWOOD.

5.			The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR  28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 738-4096 F (905) 660-0746	RDI REGION DESIGN INC.	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.						
4.						AREA CHARTS								
3.						SCALE	3/16"=1'-0"	BY	MB	AREA	2642	PAGE No.	0-2	PROJECT NAME MINNISALE HOMES CORP.
2.	ISSUED FOR PERMIT	JULY 2018				DATE	JULY 2018	TYPE		PROJECT	17-04-19			
1.	TRANSFERED FROM VETRALLA AND MODIFIED	MAY 10, 2018												
REVISIONS														

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 08 2019
PLUMBING BY
KOFI MORIEL

ALL PLUMBING SHALL CONFORM TO
THE ONTARIO BUILDING CODE, O.B.C.
332/12, AS AMENDED, DIVISION B, PART 7.

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 05 2019
BY
MARY FRENETTE

W Architect Inc.
DESIGN CONTROL REVIEW
OCT 17 2018
FINAL BY: CCE
This stamp is only for the purposes of design
control and carries no other professional obligations.

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the City of
BRAMPTON.

CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEWED
DEC 10 2018
BY
LESLEY DAHONICK



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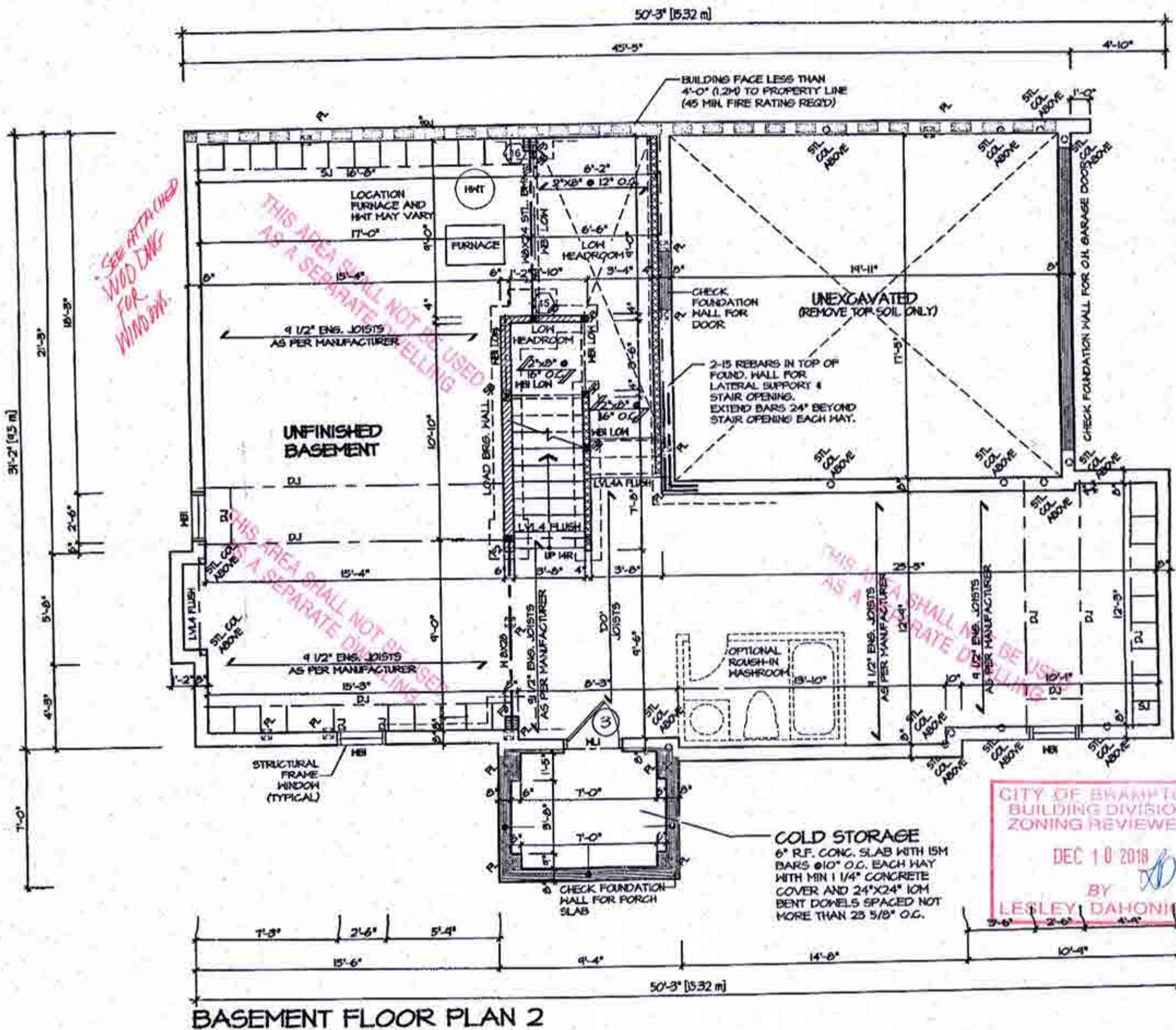
JUL 27 2018

MILLWOOD 12
COMPLIANCE PACKAGE "A1"



PROJECT NAME
MINNISALE HOMES CORP.

5. _____ 4. _____ 3. _____ 2. ISSUED FOR PERMIT JULY 2018 1. TRANSFERRED FROM VETRALLA AND MODIFIED MAY 10, 2018 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR NAME SIGNATURE 28770 BCIN	REGION DESIGN INC. 6700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S5 P (416) 736-4095 F (905) 660-1746	REGION DESIGN INC.	SHEET TITLE BASEMENT PLAN ELEV. 2 SCALE 3/16"=1'-0" DATE JULY 2018	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. AREA 2642 PAGE NO. 1-2
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BASEMENT FLOOR PLAN 2

PLUMBING BY
KOFI MORIEL

BY
MARY FRENETTE

BY DD
LESLEY DAHONICK

FOR STRUCTURE ONLY

GROUND FLOOR PLAN 2

MILLWOOD 12
COMPLIANCE PACKAGE "A1"

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4.					FIRST FLOOR PLAN ELEV. 2						
3.					SCALE	BY			AREA	PAGE No.	
2.	ISSUED FOR PERMIT				JULY 2018	3/16"=1'-0"			MB	2642	2-2
1.	TRANSFERRED FROM VETRALLA AND MODIFIED				MAY 10, 2018	DATE			TYPE	PROJECT	
REVISIONS											

PLUMBING BY
KOFI MORIEL

BY
MARY FRENETTE

FINAL BY: GGE
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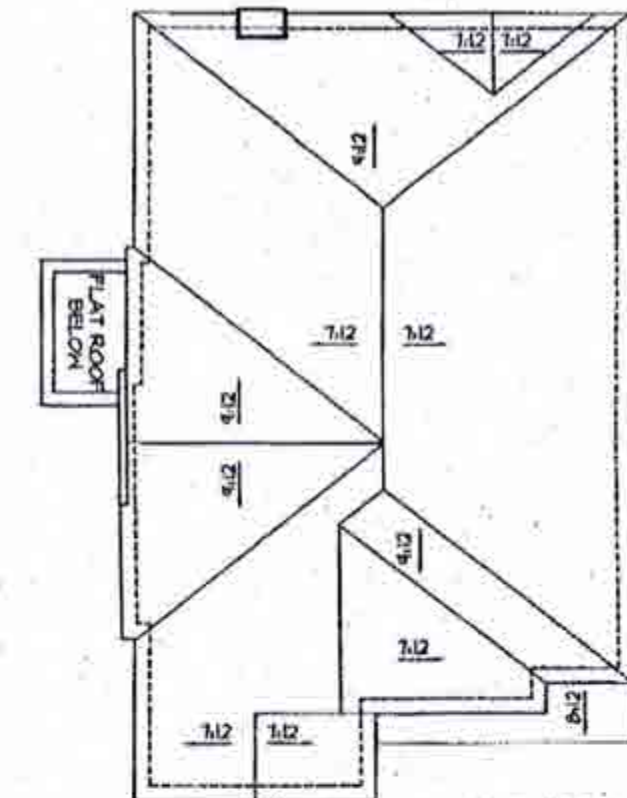
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

FOR STRUCTURE ONLY

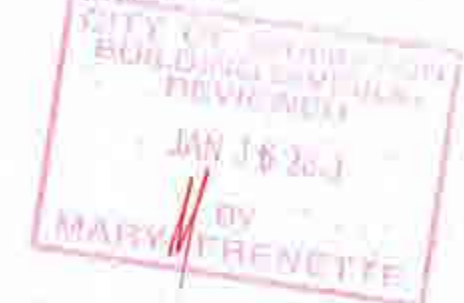
MILLWOOD 12
COMPLIANCE PACKAGE "A1"

JUL 27 2018

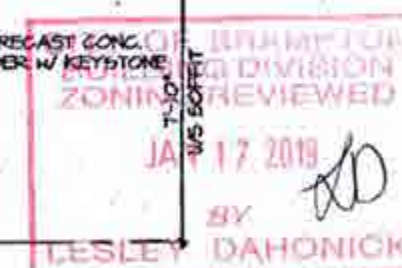
5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR  28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S8 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE SECOND FLOOR PLAN ELEV. 2		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		 PROJECT NAME MINNISALE HOMES CORP.
4.									
3.									
2. ISSUED FOR PERMIT	JULY 2018				SCALE 3/16"=1'-0" BY MB AREA 2642 DATE JULY 2018 TYPE PROJECT 17-04-19	PAGE NO. 3-2			
1. TRANSFERRED FROM VETRALLA AND MODIFIED	MAY 10, 2018								
REVISIONS									



ROOF PLAN 2
SCALE: N.T.S.



All work shall conform to the Ontario
Building Code O. Reg. 330/12 as amended



RECEIVED
JAN 16 2019
Building Division

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements, including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving any (telling) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

JAN 08 2019

MILLWOOD 12
COMPLIANCE PACKAGE "A1"

5. MULTI RISER FOR LOT 33 JAN 2019 2. ISSUED FOR PERMIT JULY 2018 1. TRANSFERRED FROM VETRALLA AND MODIFIED MAY 10, 2018 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR 28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4G0 P (416) 736-4098 F (905) 660-0746	SHEET TITLE FRONT ELEVATION ELEV. 2 LOT 33 SCALE 3/16"=1'-0" DATE JULY 2018 BY MB/VG TYPE	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. AREA 2642 PROJECT 17-04-19 PAGE No. 4-2A	Greenpark. PROJECT NAME MINNISALE HOMES CORP.
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W Architect Inc.
DESIGN CONTROL REVIEW
JAN. 15, 2019
RECEIVED
FINAL BY CCE



ALL WORK SHALL CONFORM TO THE ONTARIO BUILDING CODE O. REG. 332/12 AS AMENDED

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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FLANKAGE ELEVATION 2
FOR LOT 33

LEFT SIDE ELEVATION
ELEV. 2 LOT 33
JAN 17 2019
BY
LESLEY DAHONICK

JAN 08 2019

MILLWOOD 12
COMPLIANCE PACKAGE "A1"

5.		
4.		
3.	MULTI RISER FOR LOT 33	JAN 2019
2.	ISSUED FOR PERMIT	JULY 2018
1.	TRANSFERRED FROM VETRAALLA AND MODIFIED	MAY 10, 2018
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
SIGNATURE
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S8
P (416) 736-4096
F (905) 660-0746

REGION
DESIGN
INC.

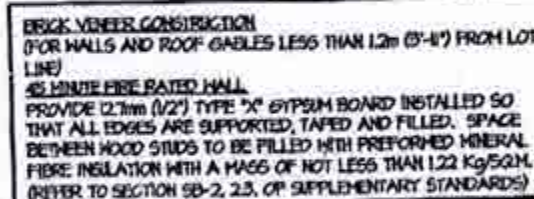
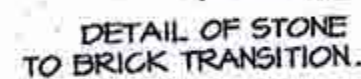
SHEET TITLE
LEFT SIDE ELEVATION
ELEV. 2 LOT 33
SCALE
3/16"=1'-0"
DATE
JULY 2018

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

BY MB/VG
TYPE
PROJECT
17-04-19

AREA 2642
PAGE No. 5-2A
PROJECT NAME
MINNISALE HOMES CORP.

Greenpark.



CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 05 2010
BY
MARY FRENETTE

CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEWED
DEC 10 2018
BY 
LESLEY DAHONICK

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

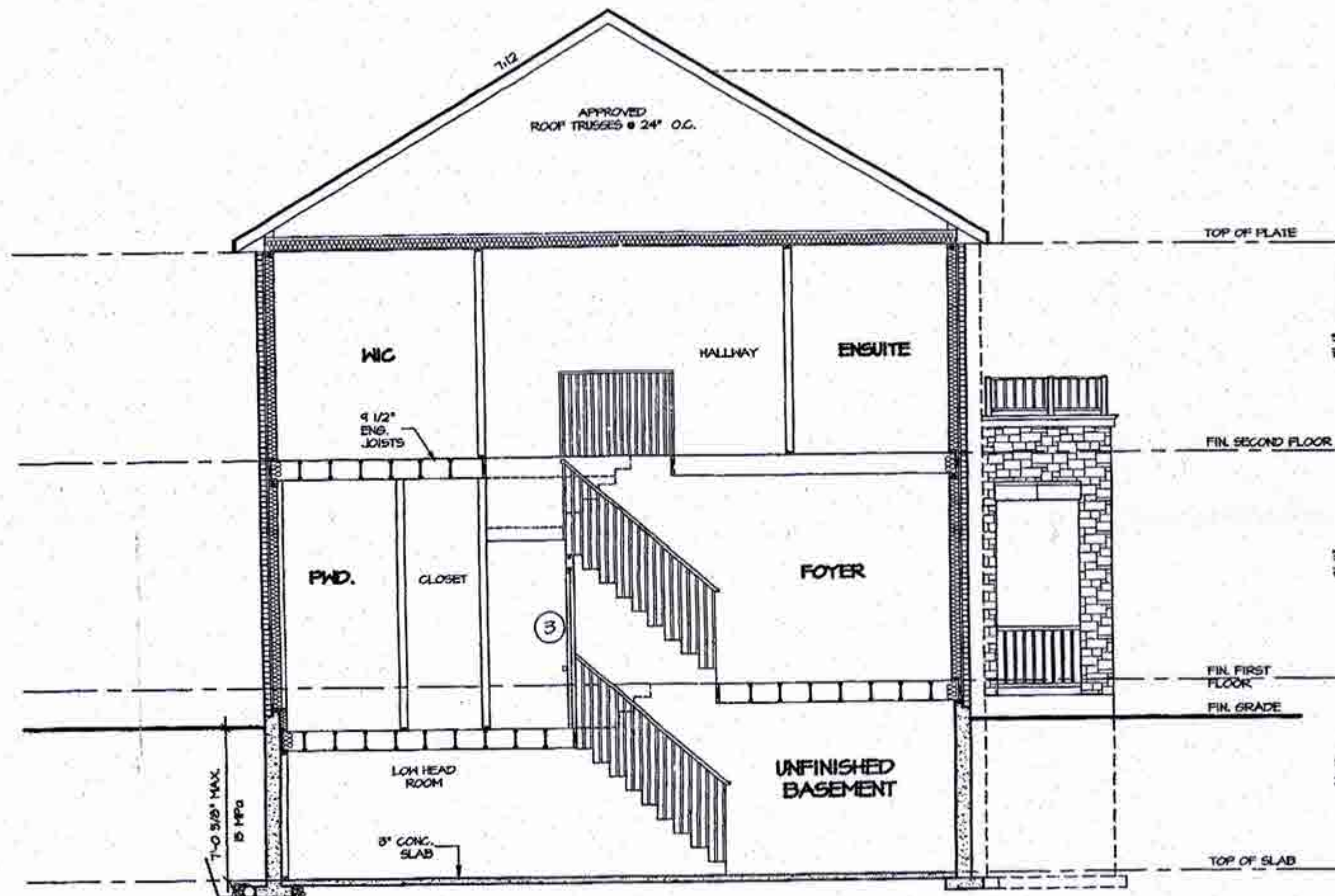
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

ALLOWABLE GLAZED AREA	936	Sq. Ft.
WALL AREA	85.66	Sq. Ft.
ALLOWABLE GLAZED AREA @ 7% I.R.M.	0.0	Sq. Ft.
SIDE YARD	0.0	Sq. Ft.
ACTUAL GLAZED AREA	0.0	Sq. Ft.
WITH OPTIONAL 30"x24" BASEMENT HINDOCHS ACTUAL GLAZED AREA	0.0	Sq. Ft.

This stamp is only for the purpose of identification and control and carries no other professional obligation.

MILLWOOD 12
COMPLIANCE PACKAGE "A1"

5.			The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR NAME  SIGNATURE 28770 BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 650-0746	REGION DESIGN INC.	RIGHT SIDE ELEVATION ELEV. 2	DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
4.								
3.								
2.	ISSUED FOR PERMIT	JULY 2018						
1.	TRANSFERRED FROM VETRALLA AND MODIFIED	MAY 10, 2018						
REVISIONS								PROJECT NAME MINNISALE HOMES CORP.



SECTION A-A



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W Architect Inc.
DESIGN CONTROL REVIEW

OCT 17 2018

FINAL BY: GCE

This stamp is only for the purpose of design control and carries no other professional obligations.

MILLWOOD 12
COMPLIANCE PACKAGE "A1"

5.	
4.	
3.	
2.	ISSUED FOR PERMIT JULY 2018
1.	TRANSFERRED FROM VETRALLA AND MODIFIED MAY 10, 2018
REVISIONS	

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QUALIFICATION INFORMATION
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VIKAS GAJJAR
NAME SIGNATURE 28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 860-0746

**REGION
DESIGN
INC.**

SHEET TITLE
CROSS SECTION

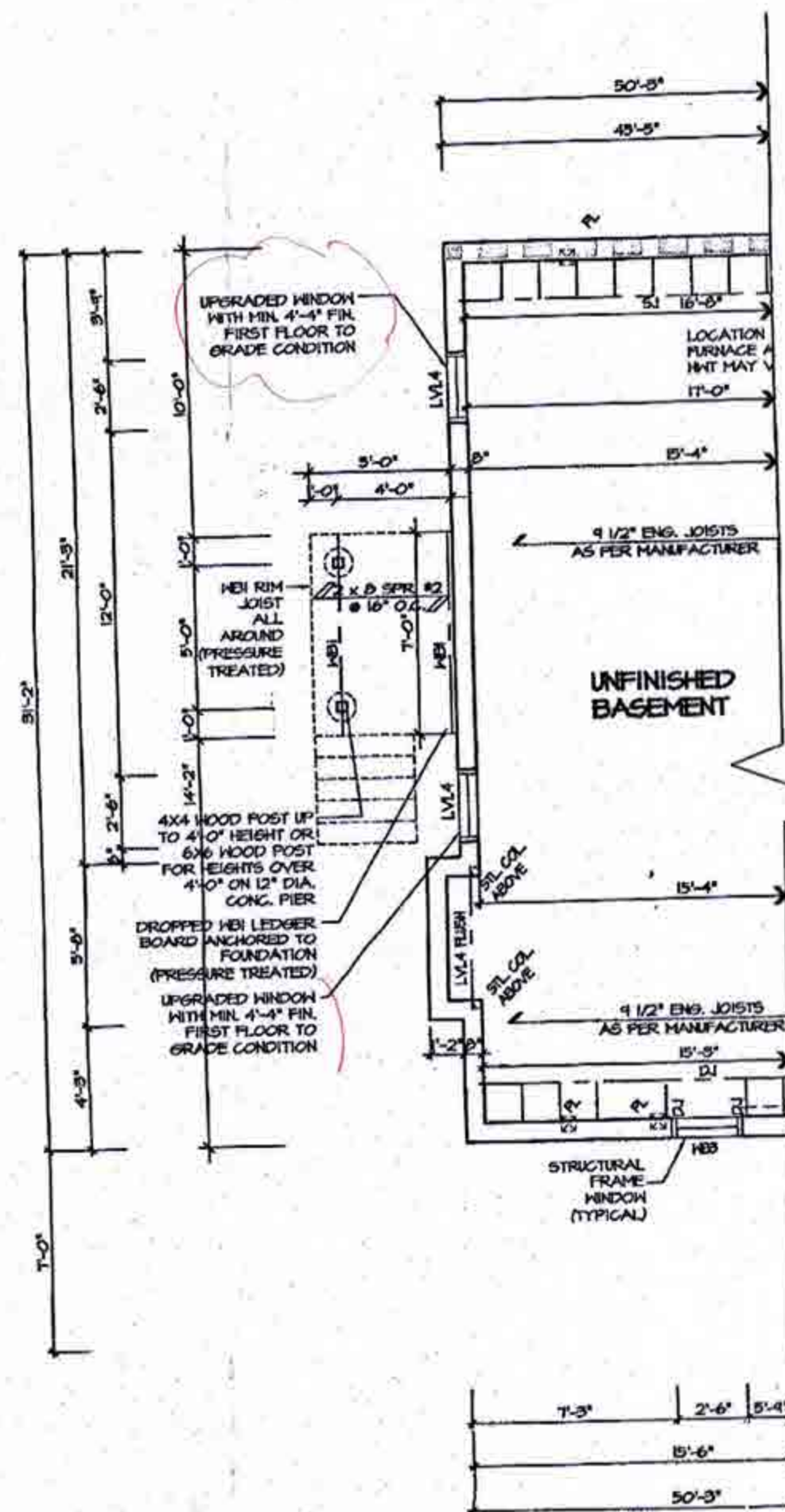
SCALE 3/16"=1'-0"
DATE JULY 2018

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

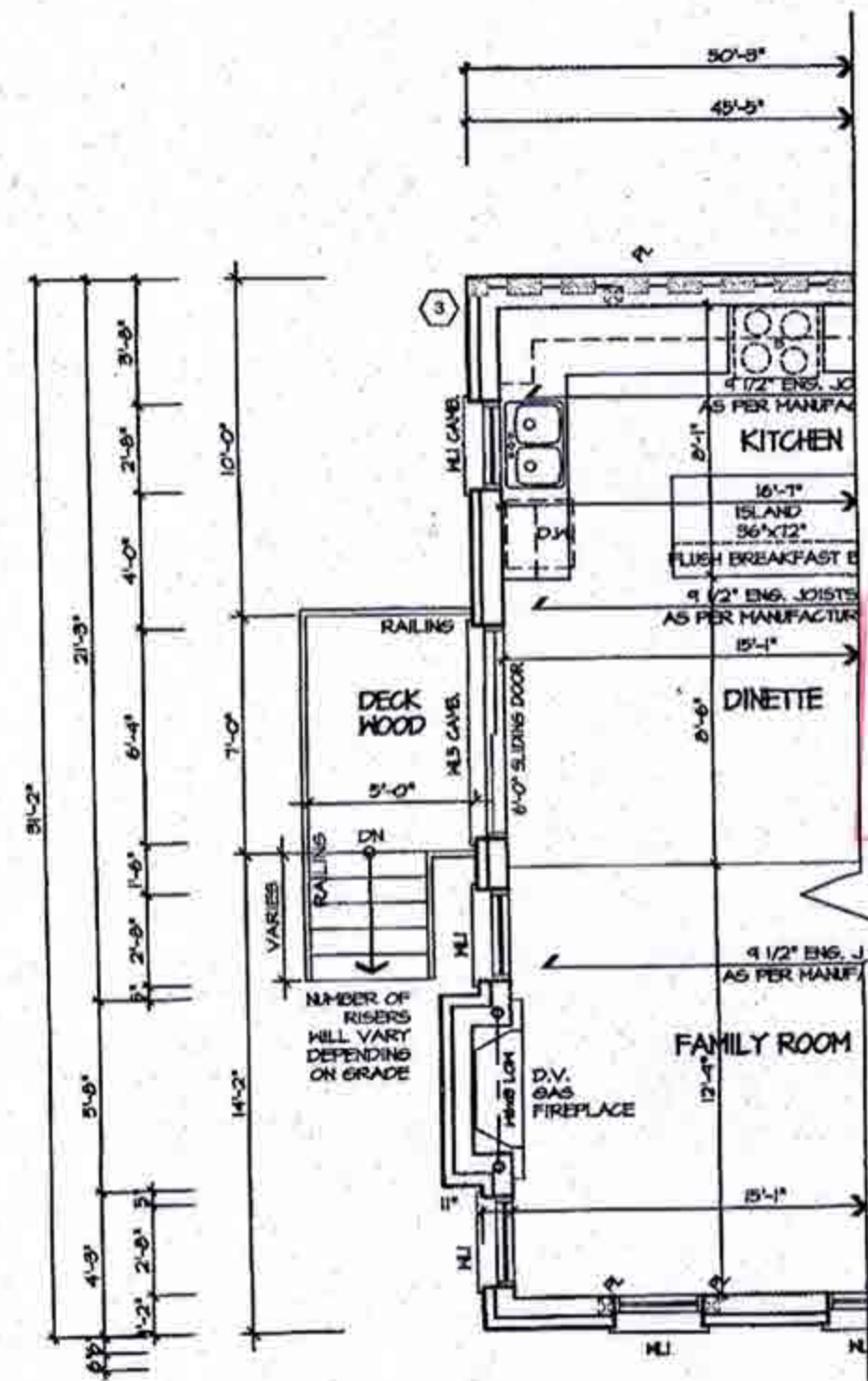
AREA 2642
PROJECT 17-04-19

Greenpark

PROJECT NAME
MINNISALE HOMES CORP.



PARTIAL
BASEMENT FLOOR PLAN 2
W.O.D. CONDITION



W Architect Inc.
DESIGN CONTROL REVIEW
OCT 17 2018
FINAL BY: CEE
This stamp is only for the purposes of design control and carries no other professional obligations.

PARTIAL
GROUND FLOOR PLAN 2
W.O.D. CONDITION

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 05 2019
BY
MARY FRENETTE

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FOR STRUCTURE ONLY
MILLWOOD 12
COMPLIANCE PACKAGE "A1"

REVISIONS	
5.	
4.	
3.	
2. ISSUED FOR PERMIT	JULY 2018
1. TRANSFERRED FROM VETRALLA AND MODIFIED	MAY 10, 2018

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REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 735-4095
F (905) 660-0746

**REGION
DESIGN
INC.**

SHEET TITLE
DECK PLANS 2
SCALE
3/16"=1'-0"
DATE
JULY 2018

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.
AREA
2642
PAGE No.
9-2
PROJECT
17-04-19

Greenpark
PROJECT NAME
MINNISALE HOMES CORP.

